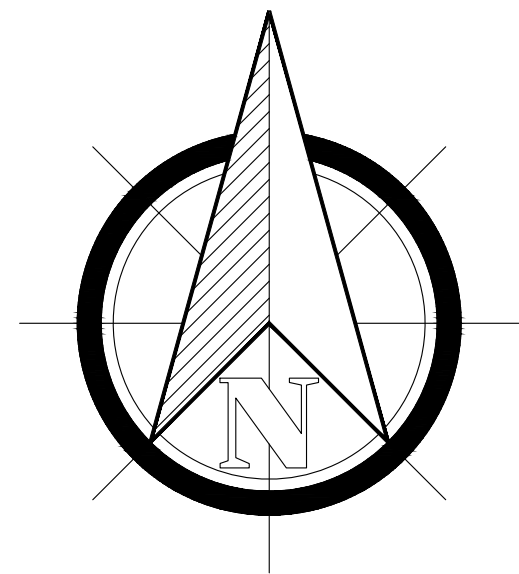
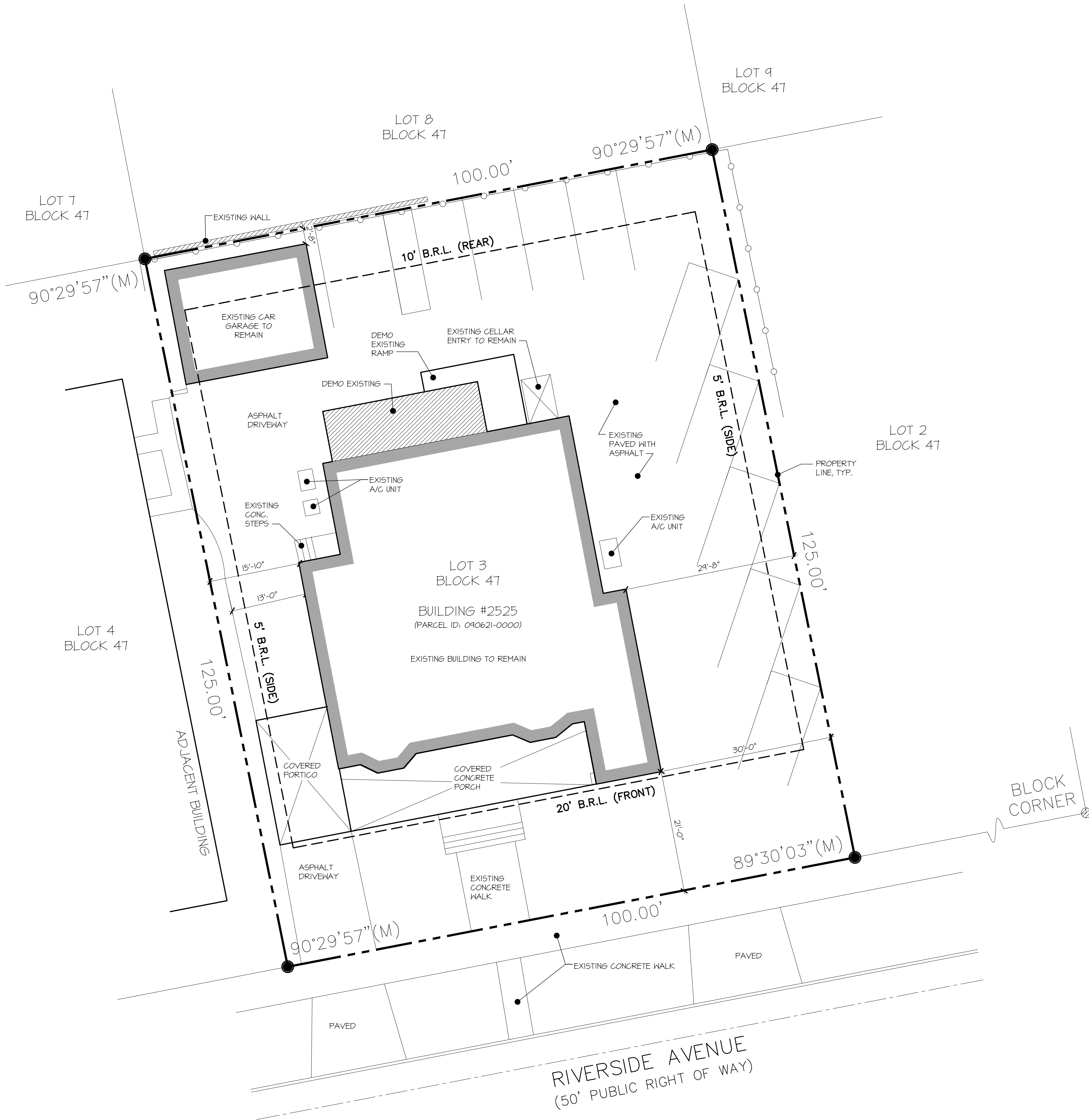




TENANT IMPROVEMENT
BUSINESS OFFICE
2525 RIVERSIDE AVE
JACKSONVILLE, FL 32204

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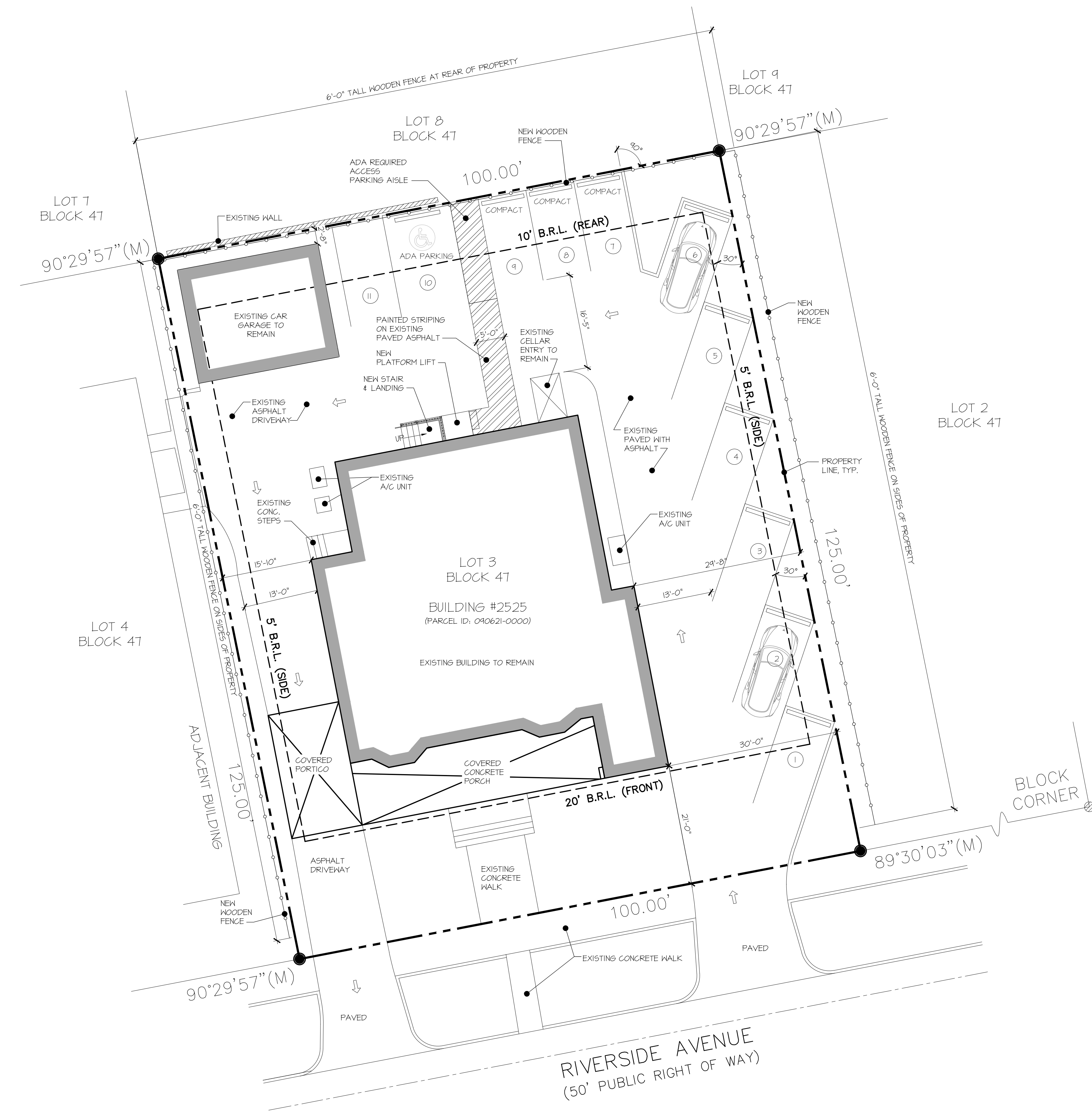


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25-0491

A0.1

SCHEMATIC DESIGN SET



HISTORIC PRESERVATION - SITE NOTES

1. THE FRONT SETBACK SHALL REASONABLY MATCH THE SETBACK OF THE IMMEDIATELY ADJACENT HISTORIC STRUCTURES. (VERIFY IN FIELD)
2. THE FINISHED FLOOR HEIGHT SHALL REASONABLY MATCH THE FLOOR HEIGHT OF THE IMMEDIATELY ADJACENT HISTORIC STRUCTURES. (VERIFY IN FIELD)
3. THE DRIVEWAY SHALL BE LIMITED TO NO MORE THAN 10'-0" IN WIDTH UP TO THE FRONT PLANE OF THE HOUSE & SHALL FEATURE EITHER CONCRETE RIBBONS, BRICK PAVERS, OR A COMBINATION OF CONCRETE RIBBONS & PAVERS TO CREATE A SIMULATED RIBBON APPEARANCE. IF A CONCRETE RIBBON DRIVEWAY IS CONSTRUCTED THAN THE AREA BETWEEN THE RIBBONS SHALL BE TWICE THE WIDTH OF THE RIBBONS.
- IF BRICK PAVERS ARE USED THE PAVERS SHALL BE NO LARGER THAN A 4'X 8' OR 6'X 10,' SHALL BE LAID IN A RUNNING BOND OR HERRINGBONE PATTERN, & SHALL BE A TRADITIONAL BRICK SHAPE & COLOR WITH THE FINAL COLOR CHOICE APPROVED BY THE PLANNING & DEVELOPMENT DEPARTMENT PRIOR TO PURCHASE OR INSTALLATION.
4. 2-STORY CARRIAGE HOUSE - ALL ZONING REQUIREMENTS SET FORTH UNDER THE RIVERSIDE-AVONDALE ZONING OVERLAY MUST BE MET PRIOR TO CONSTRUCTION.

TYPICAL SITE PLAN NOTES

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO STAKE-OUT THE PERIMETER OF NEW OR EXISTING STRUCTURES & FIELD VERIFY ALL SETBACKS PRIOR TO COMMENCEMENT OF ANY DEMO OR CONSTRUCTION.
2. VERIFY EXIST. FLOOD ZONES & COORDINATE ALL REQUIRED DOCUMENTS/REQUIREMENTS W/ SCOPE OF WORK IF APPLICABLE.
3. VERIFY ALL CODES & RESTRICTIONS WITH STATE & LOCAL MUNICIPALITIES PRIOR TO CONSTRUCTION.
4. G.C. TO VERIFY ANY EXISTING STRUCTURES, SEPTIC, GAS, ETC. DEMOLISH & RELOCATE AS REQUIRED PER LOCAL CODES.
5. ** (WATER, SEWER, & ELECTRICAL) ALL SERVICE PROVIDERS TO BE VERIFIED BY BUILDER**
6. ** THE APPLICANT/OWNER/CONTRACTOR SHALL IMMEDIATELY CONTACT " DUYAL " COUNTY LOT GRADING STAFF SHOULD MODIFICATIONS TO THE DRAINAGE PLAN BE REQUIRED DURING SITE DEVELOPMENT, BASED ON ACTUAL FIELD CONDITIONS.**
7. ** 1 % MINIMUM SLOPE WILL BE PROVIDED FROM BUILDINGS TO DISCHARGE POINT.

SITE CALCULATIONS:

LAND AREA PER APPRAISER: (0.29 ACRES)	=	12,632.00	SQFT.
LAND AREA PER SURVEY:	=	12,500.00	SQFT.
50% MAX. IMPERVIOUS PER SURVEY:	=	6,250.00	SQFT.

EXISTING CONDITIONED BUILDING:	+/-	2758.00	SQFT.
EXISTING COVERED ENTRY PORCH:	+/-	448.00	SQFT.
EXISTING TWO CAR GARAGE (BUILDING):	+/-	500.00	SQFT.

EXISTING DRIVEWAY, A/C PADS, WALKWAY:	+/-	1070.00	SQFT.

NEW STAIRS AND PLATFORM LIFT:	+/-	58.00	SQFT.

TOTAL UNDER ROOF:	+/-	3,706.00	SQFT. (29.34 %)
TOTAL IMPERVIOUS:	+/-	7,070.00	SQFT. (55.97 %)

SITE INFO:

PARCEL #: 090621-0000

ADDRESS: 2525 RIVERSIDE AVE. JACKSONVILLE, FL 32204

LEGAL DESCR.: LOT 3 BLK 47 1-104-56-25-26E

BOOK / MAP: PAGE (21635-00704) PANEL (6422)

FLOOD ZONE: " 0.2 PCT ANNUAL CHANCE FLOOD HAZARD "

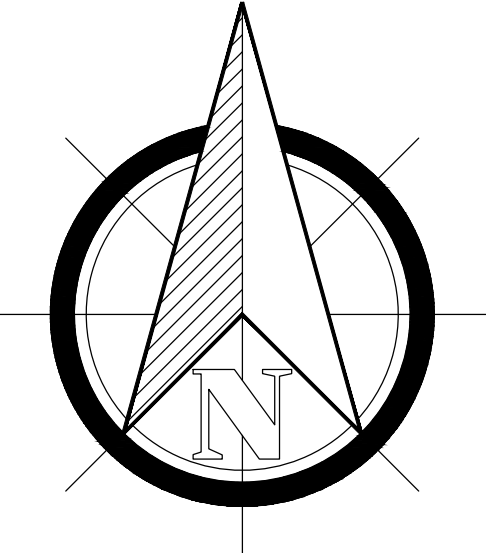
ZONING: " GRO " RIVERSIDE

SETBACKS :

FRONT : 20'-0" (HISTORICAL VARIES)

SIDES : 5'-0" (HISTORICAL VARIES)

REAR : 10'-0" (HISTORICAL VARIES)



BUILDING DESIGN CRITERIA
TO BE PROVIDED BY
ENGINEER OF RECORD

PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



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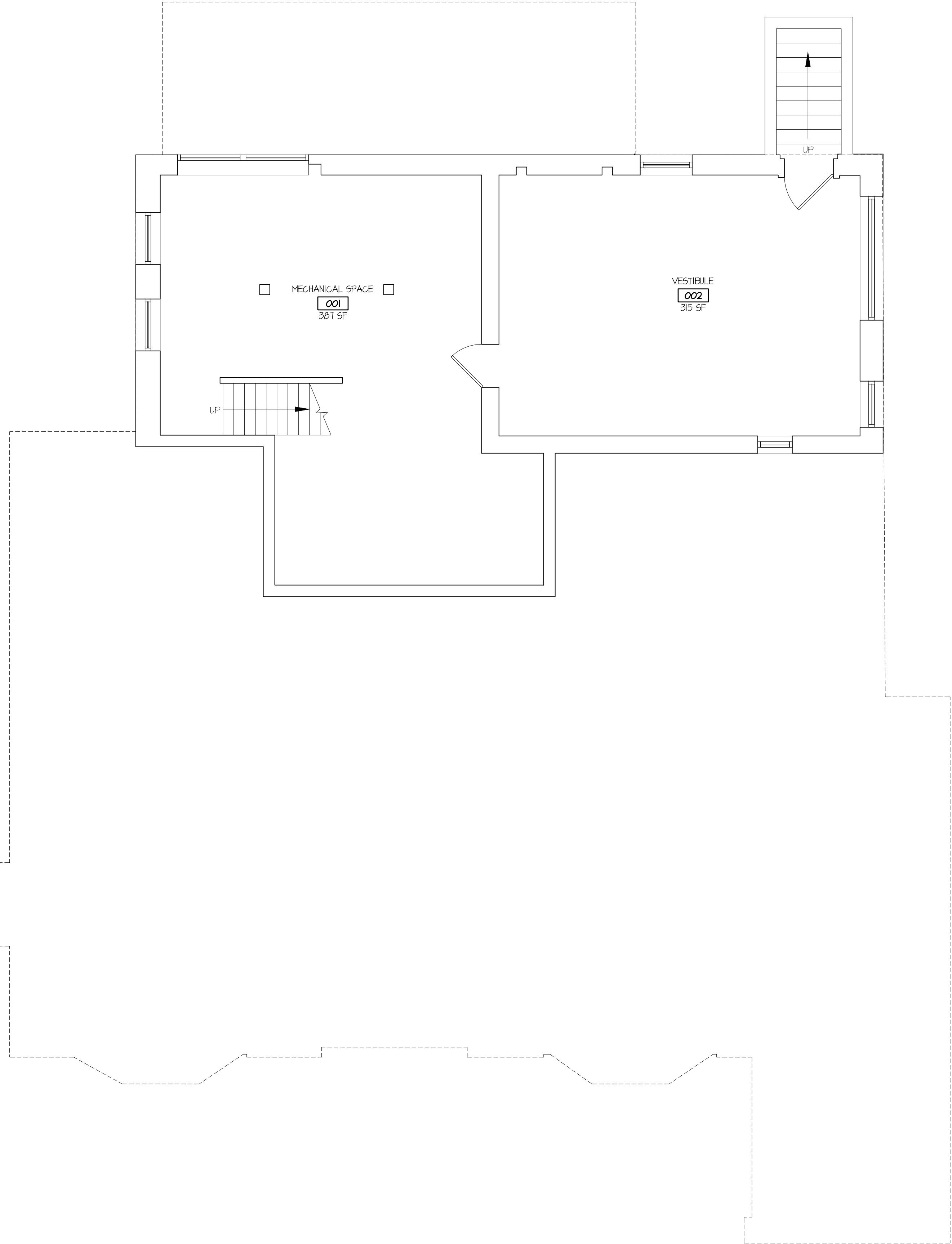


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A0.2

SCHEMATIC DESIGN SET



1 FLOOR PLAN - BASEMENT
A2.0 1/4" = 1'-0"

RENOVATION AREA	
	SQFT.
EXISTING BASEMENT	+/- 923
EXISTING 1ST FLOOR	+/- 2,764
EXISTING PORCH (COVERED)	+/- 444
EXISTING 2ND FLOOR	+/- 2,355
EXISTING 3RD FLOOR	+/- 941
TOTAL (NOT INCLUDING EXISTING PORCH)	+/- 6,983
* BUILDER TO VERIFY ALL EXISTING SQFT. *	

PARTITION LEGEND	
EXIST. WALL TO REMAIN	
WALL TO BE DEMOLISHED	
NEW PARTITION	
1 HR PARTITION	
2 HR PARTITION	



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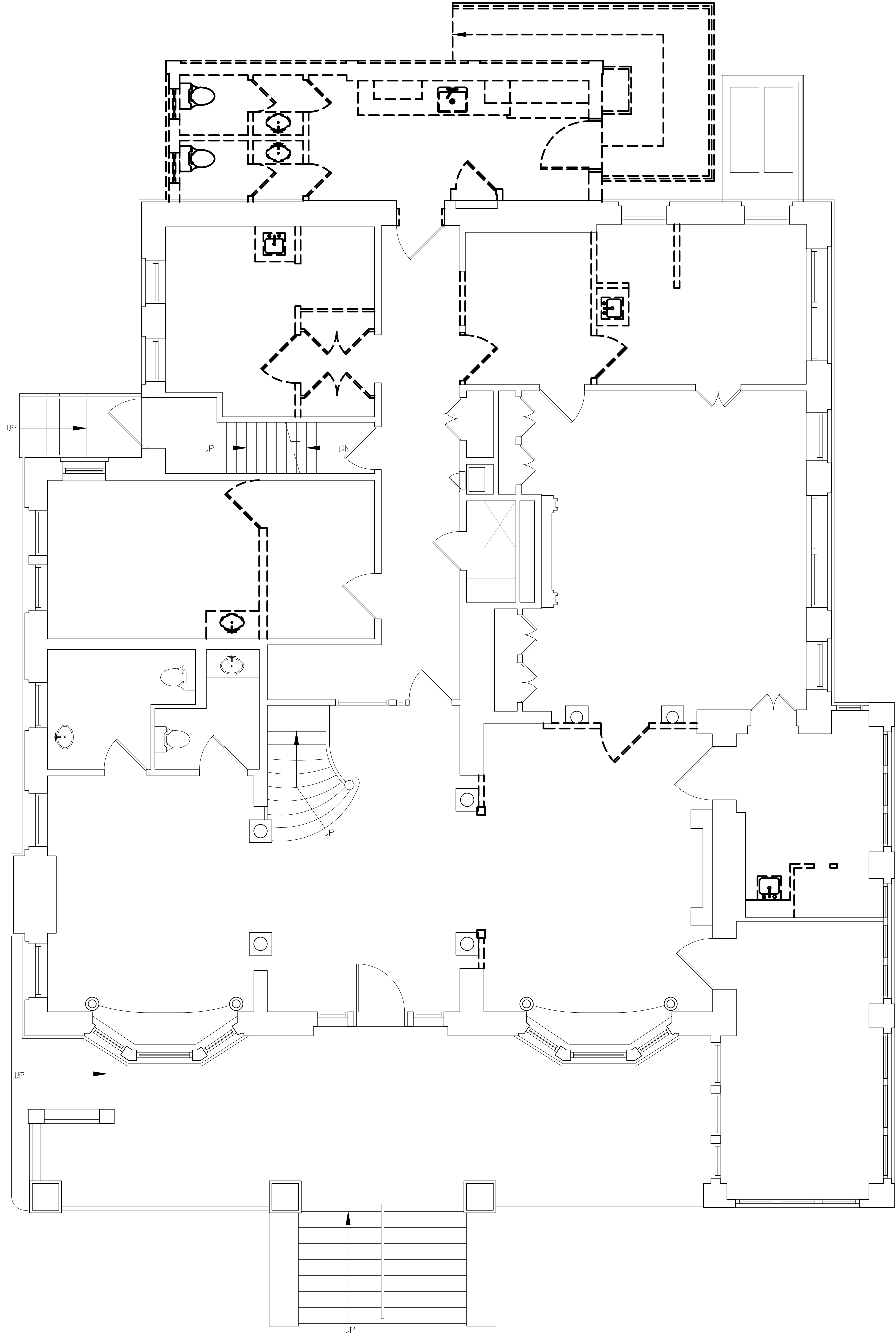


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25-0491

A2.0

SCHEMATIC DESIGN SET



1 FLOOR PLAN - 1ST FLOOR - DEMO
A2.1D 1/4" = 1'-0"

PARTITION LEGEND		
EXIST. WALL TO REMAIN		
WALL TO BE DEMOLISHED		
NEW PARTITION		
1 HR PARTITION		
2 HR PARTITION		



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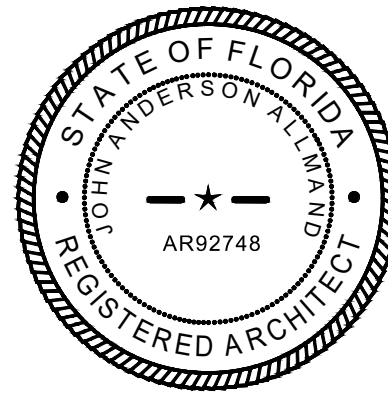
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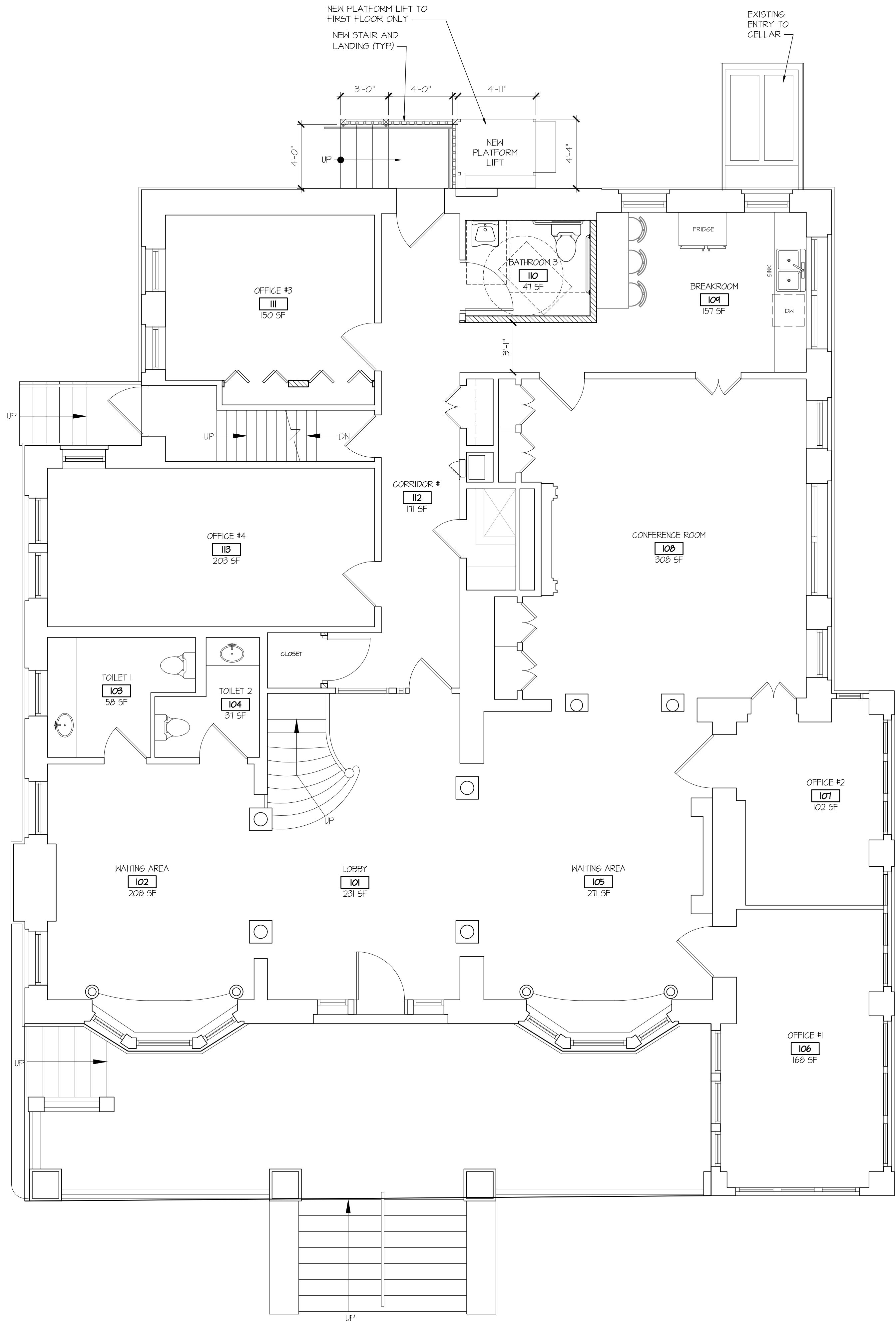


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A2.1D

SCHEMATIC DESIGN SET



1 FLOOR PLAN - 1ST FLOOR - NEW
A2.1 1/4" = 1'-0"

RENOVATION AREA	
	SQFT.
EXISTING BASEMENT	+/- 923
EXISTING 1ST FLOOR	+/- 2,764
EXISTING PORCH (COVERED)	+/- 444
EXISTING 2ND FLOOR	+/- 2,355
EXISTING 3RD FLOOR	+/- 941
TOTAL (NOT INCLUDING EXISTING PORCH)	+/- 6,983
* BUILDER TO VERIFY ALL EXISTING SQFT. *	

PARTITION LEGEND	
EXIST. WALL TO REMAIN	
WALL TO BE DEMOLISHED	
NEW PARTITION	
1 HR PARTITION	
2 HR PARTITION	



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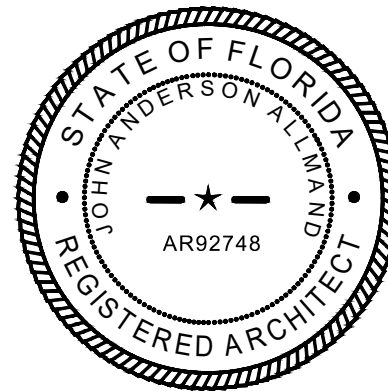
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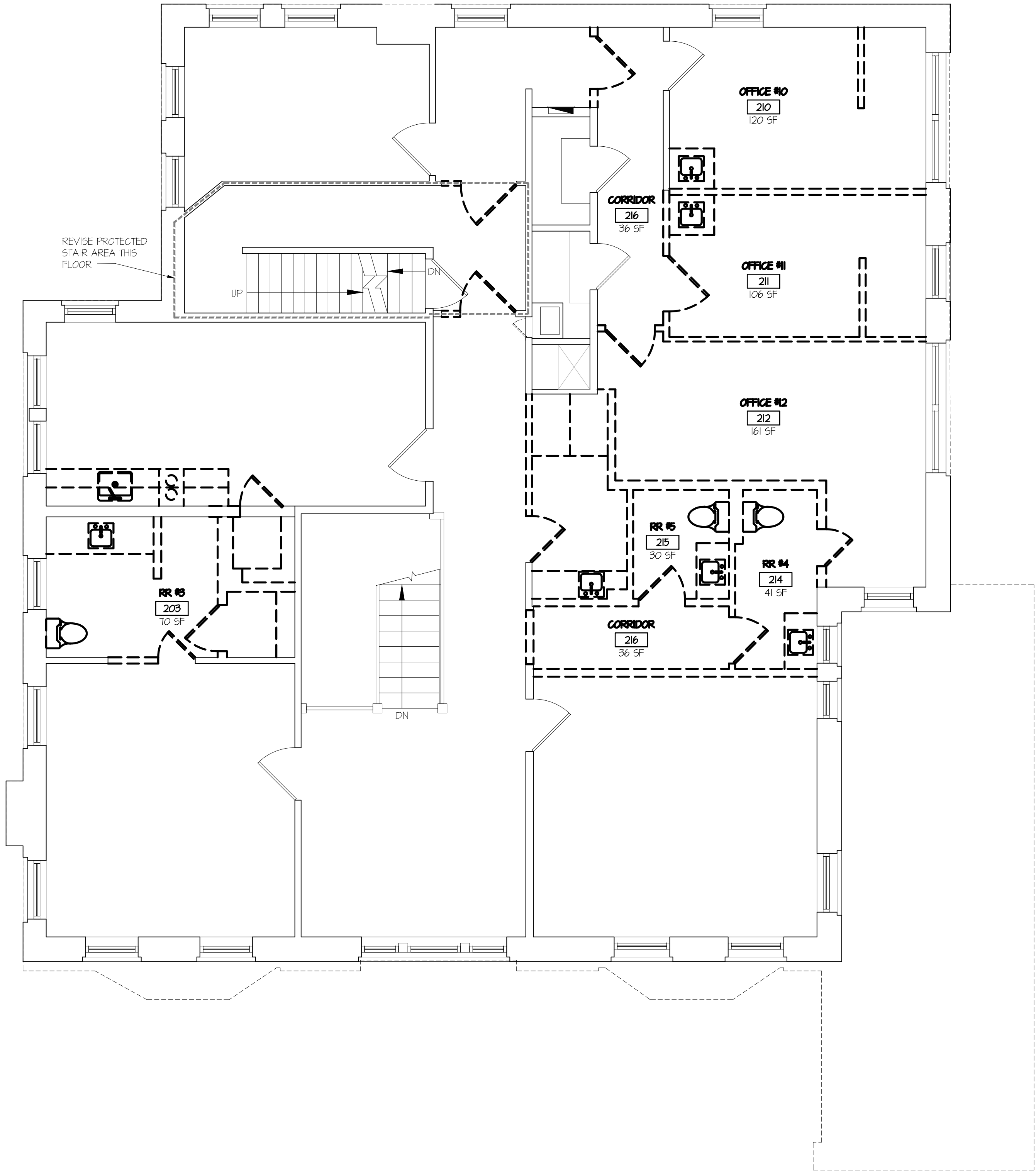
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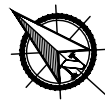


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1 FLOOR PLAN - 2ND FLOOR - DEMO
A2.2D/ 1/4" = 1'-0"



PARTITION LEGEND	
EXIST. WALL TO REMAIN	
WALL TO BE DEMOLISHED	
NEW PARTITION	
1 HR PARTITION	
2 HR PARTITION	

A2.2D

SCHEMATIC DESIGN SET



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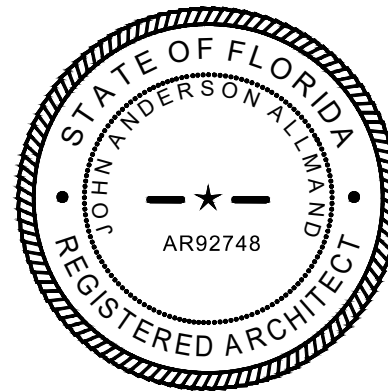
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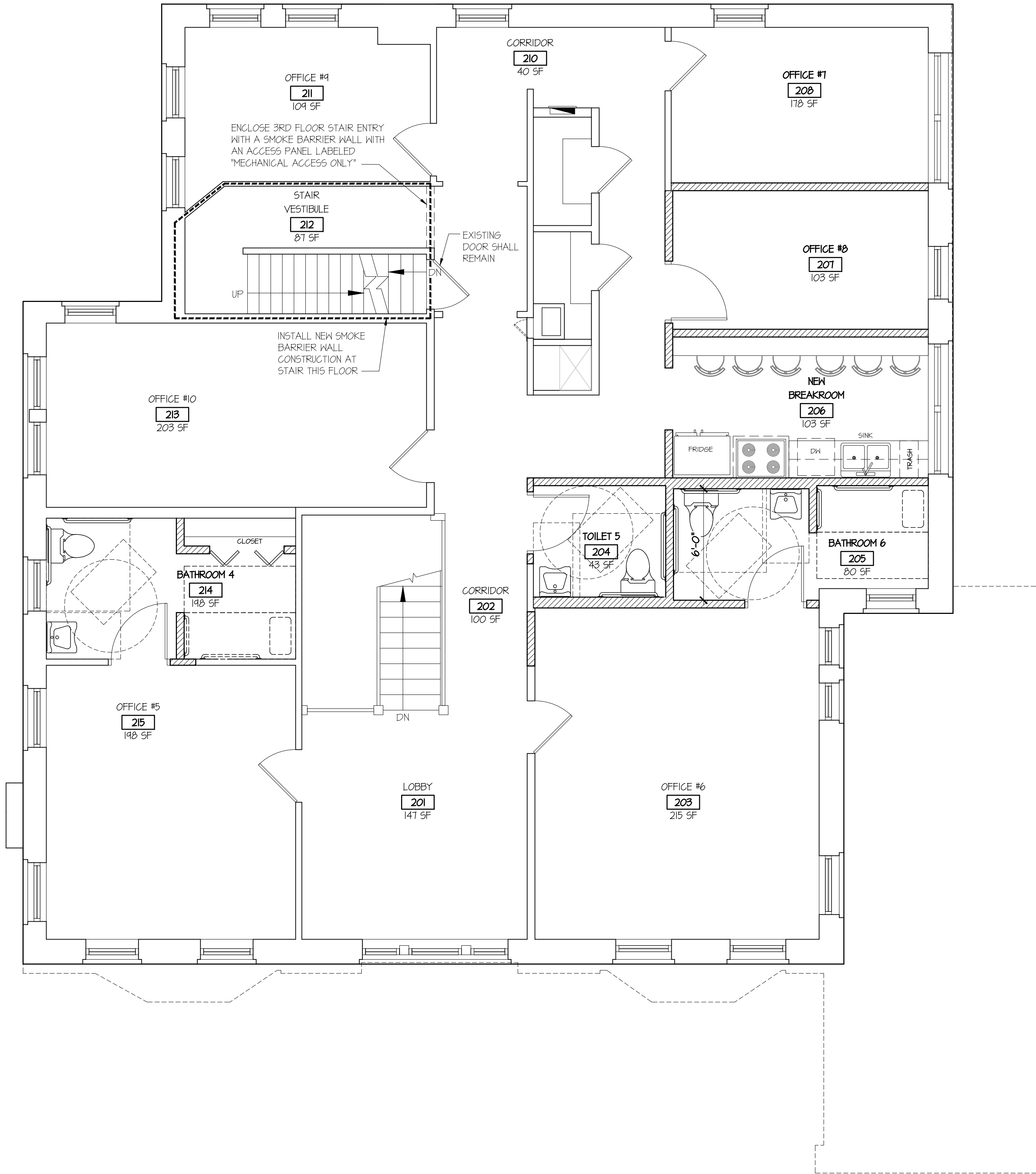


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RENOVATION AREA	
	SQFT.
EXISTING BASEMENT	+/- 923
EXISTING 1ST FLOOR	+/- 2,764
EXISTING PORCH (COVERED)	+/- 444
EXISTING 2ND FLOOR	+/- 2,355
EXISTING 3RD FLOOR	+/- 941
TOTAL (NOT INCLUDING EXISTING PORCH)	+/- 6,983
* BUILDER TO VERIFY ALL EXISTING SQFT. *	

PARTITION LEGEND	
EXIST. WALL TO REMAIN	
WALL TO BE DEMOLISHED	
NEW PARTITION	
1 HR PARTITION	
2 HR PARTITION	



1 FLOOR PLAN - 2ND FLOOR - NEW
A2.2 / 1/4" = 1'-0"

A2.2

SCHEMATIC DESIGN SET



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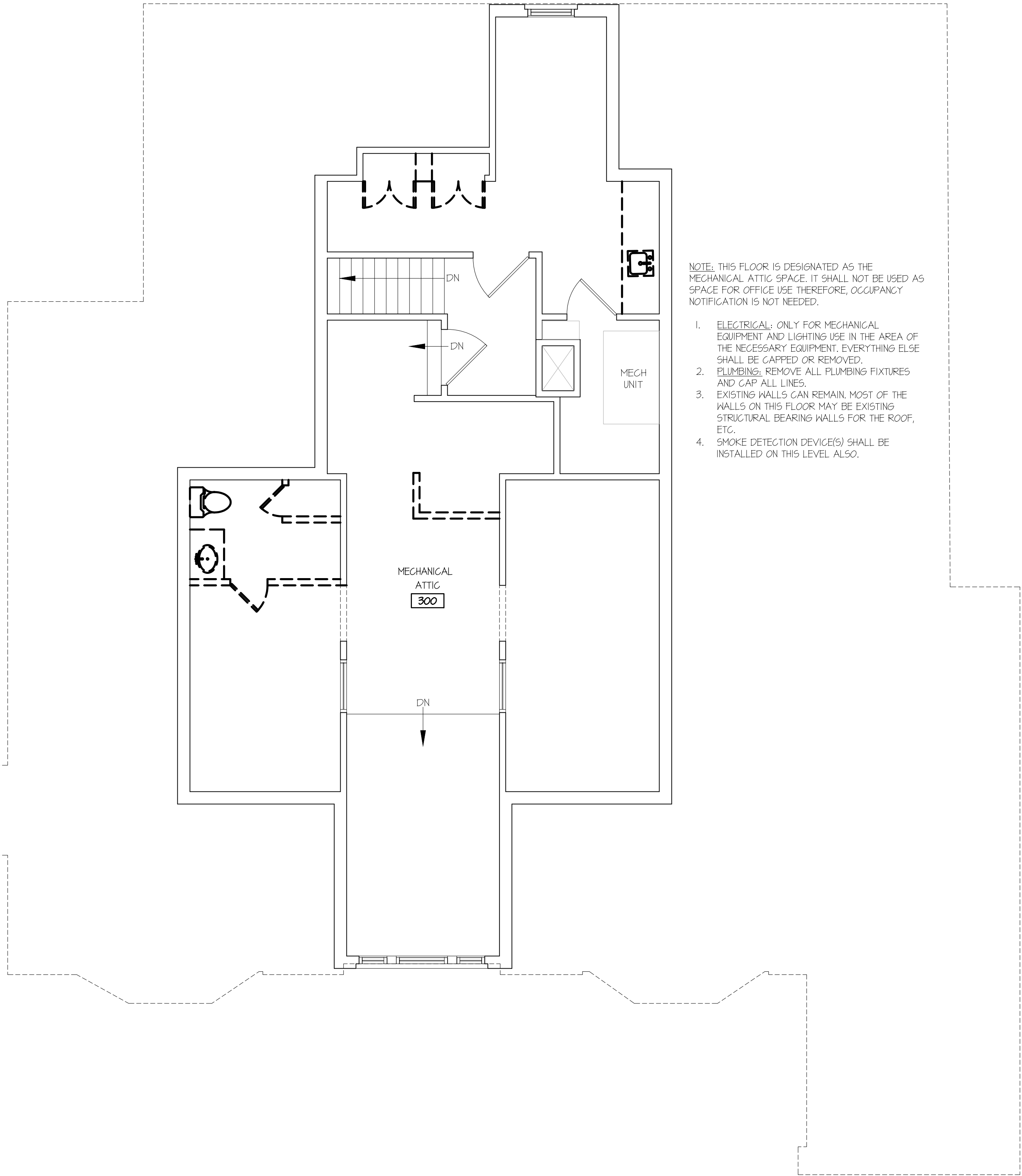


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A2.3D

SCHEMATIC DESIGN SET



1 FLOOR PLAN - 3RD FLOOR - DEMO
A2.3D 1/4" = 1'-0"



PARTITION LEGEND	
EXIST. WALL TO REMAIN	
WALL TO BE DEMOLISHED	
NEW PARTITION	
1 HR PARTITION	
2 HR PARTITION	



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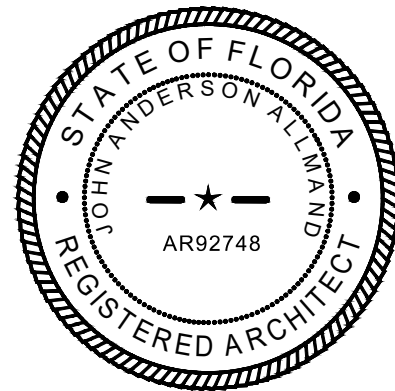
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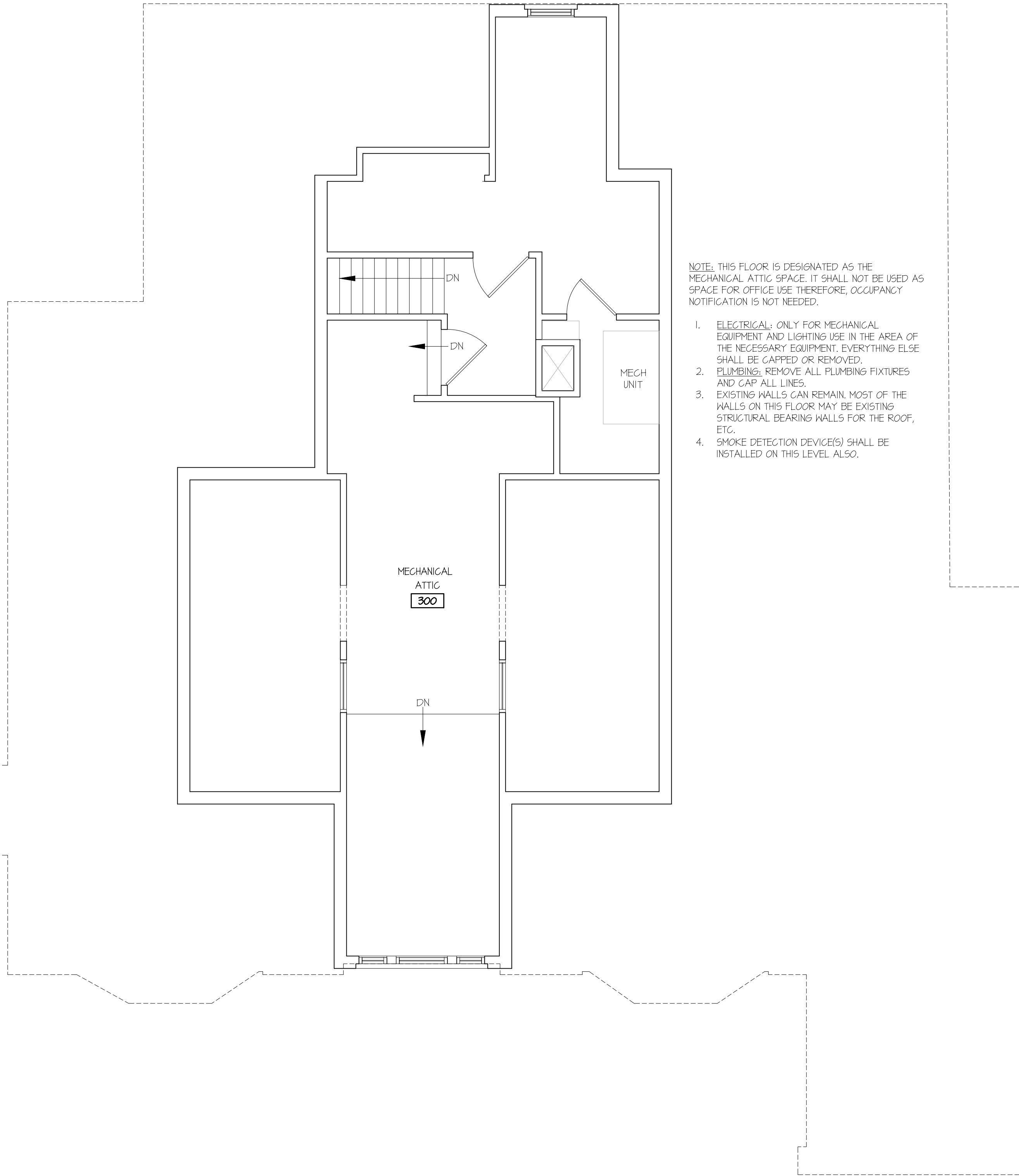


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A2.3

SCHEMATIC DESIGN SET



NOTE: THIS FLOOR IS DESIGNATED AS THE MECHANICAL ATTIC SPACE. IT SHALL NOT BE USED AS SPACE FOR OFFICE USE. THEREFORE, OCCUPANCY NOTIFICATION IS NOT NEEDED.

- ELECTRICAL: ONLY FOR MECHANICAL EQUIPMENT AND LIGHTING USE IN THE AREA OF THE NECESSARY EQUIPMENT. EVERYTHING ELSE SHALL BE CAPPED OR REMOVED.
- PLUMBING: REMOVE ALL PLUMBING FIXTURES AND CAP ALL LINES.
- EXISTING WALLS CAN REMAIN. MOST OF THE WALLS ON THIS FLOOR MAY BE EXISTING STRUCTURAL BEARING WALLS FOR THE ROOF, ETC.
- SMOKE DETECTION DEVICE(S) SHALL BE INSTALLED ON THIS LEVEL ALSO.

RENOVATION AREA

	SQFT.
EXISTING BASEMENT	+/- 923
EXISTING 1ST FLOOR	+/- 2,764
EXISTING PORCH (COVERED)	+/- 444
EXISTING 2ND FLOOR	+/- 2,355
EXISTING 3RD FLOOR	+/- 941
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PARTITION LEGEND	
EXIST. WALL TO REMAIN	
WALL TO BE DEMOLISHED	
NEW PARTITION	
1 HR PARTITION	
2 HR PARTITION	

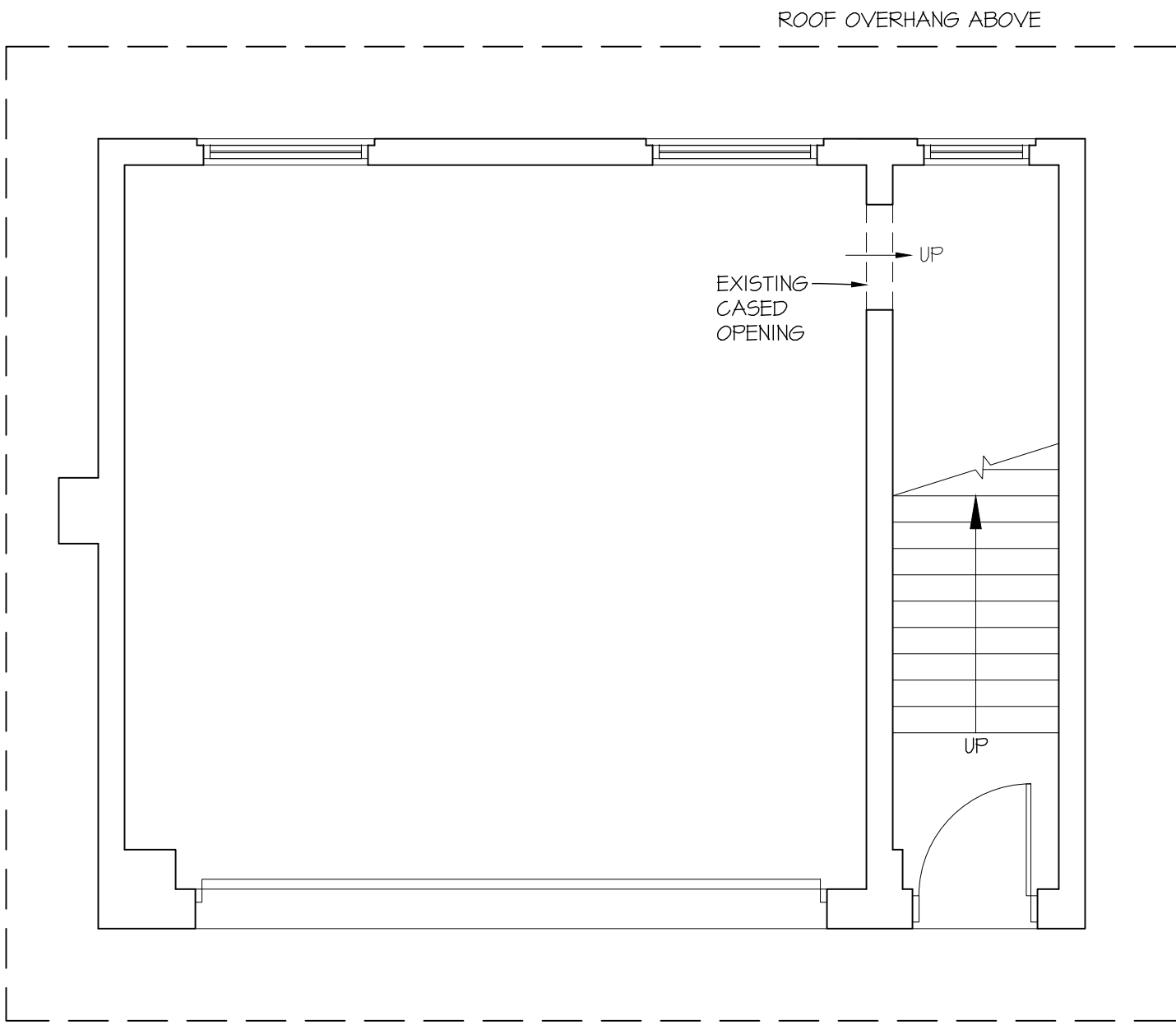


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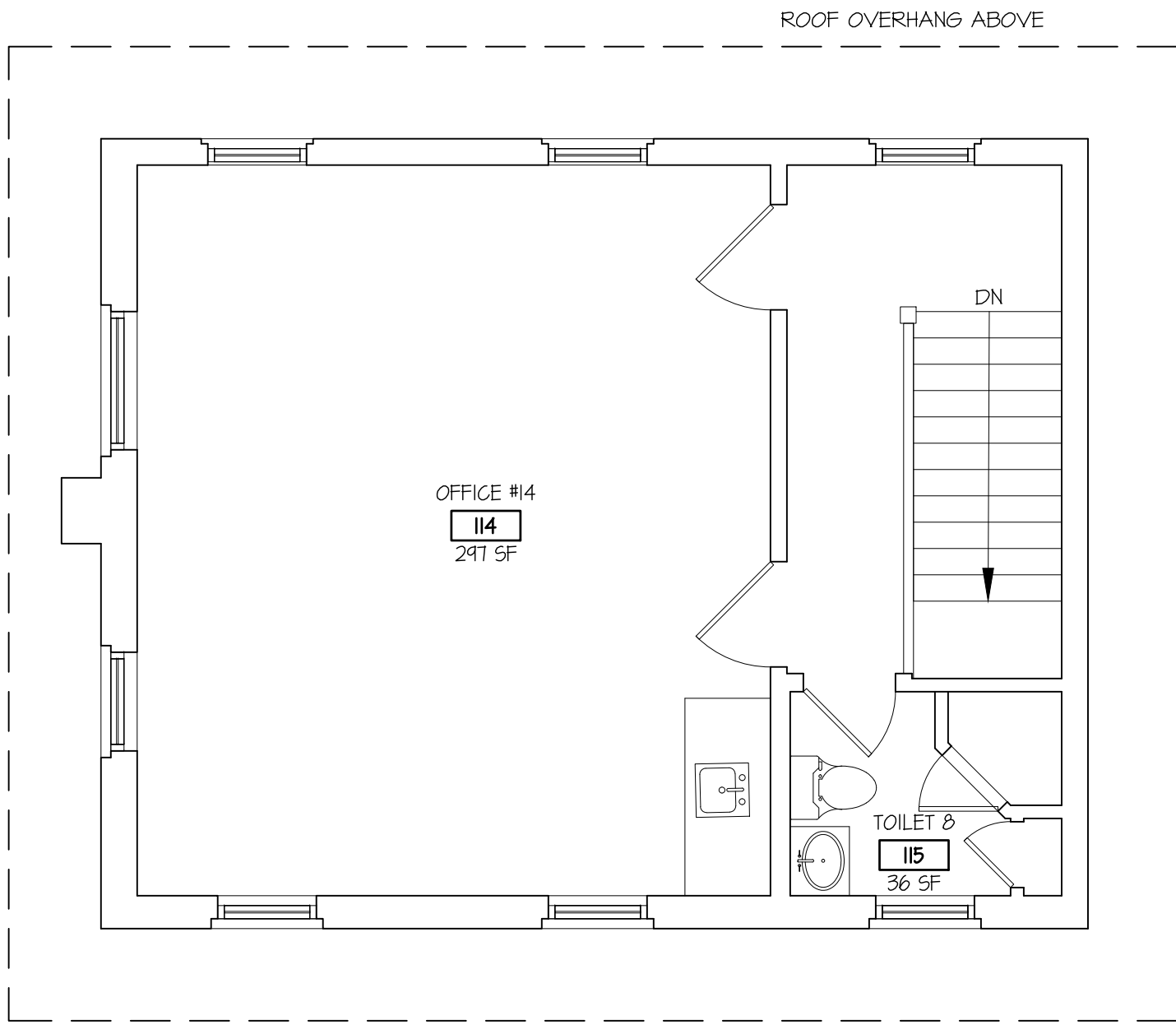
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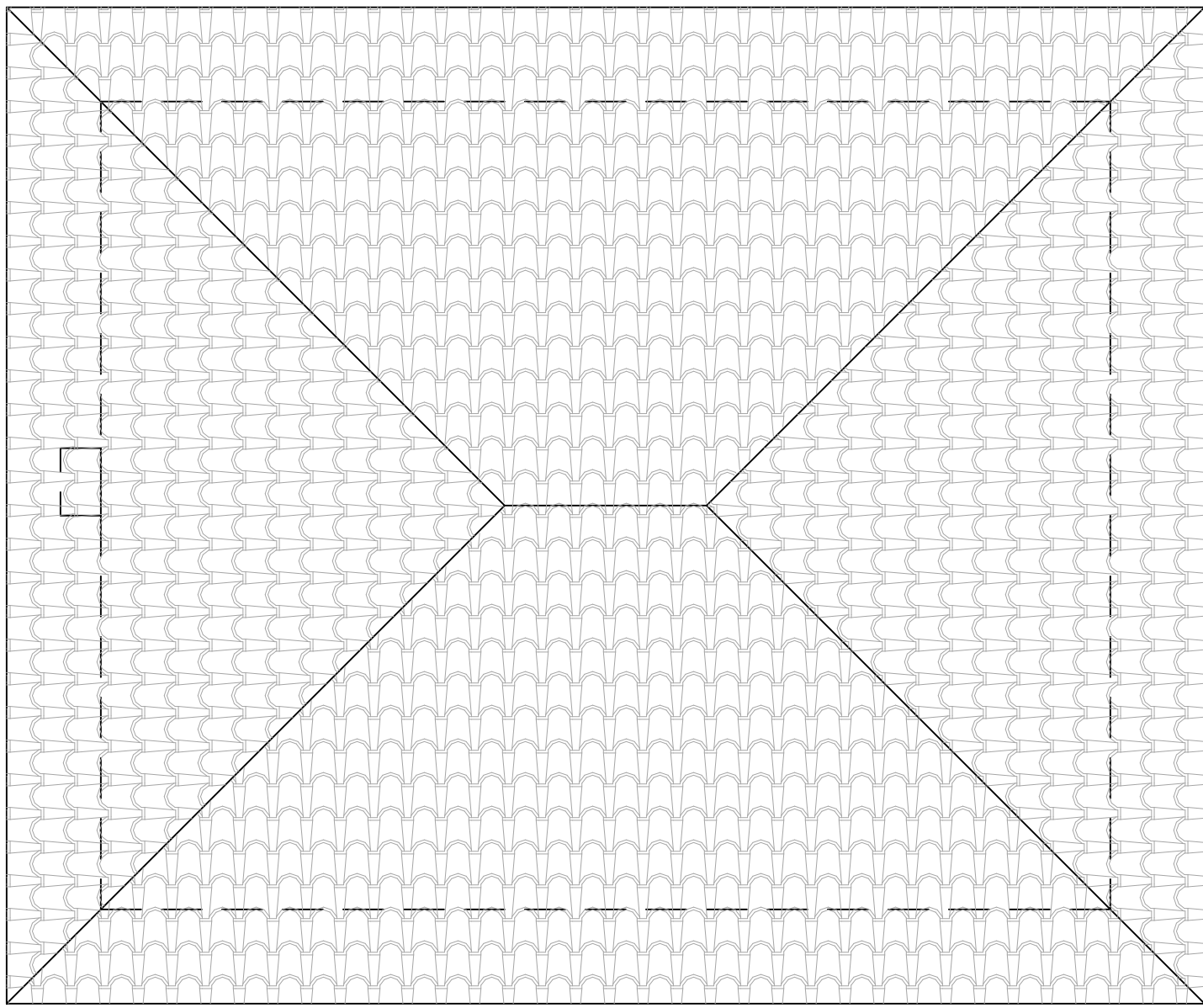
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JACKSONVILLE, FL 32204



1 GARAGE PLAN - 1ST FLOOR - EXISTING
A2.4 1/4" = 1'-0"



2 GARAGE PLAN - 2ND FLOOR - EXISTING
A2.4 1/4" = 1'-0"



3 GARAGE ROOF PLAN - EXISTING
A2.4 1/4" = 1'-0"

PARTITION LEGEND		
EXIST. WALL TO REMAIN		
WALL TO BE DEMOLISHED		
NEW PARTITION		
1 HR PARTITION		
2 HR PARTITION		

REVISIONS		
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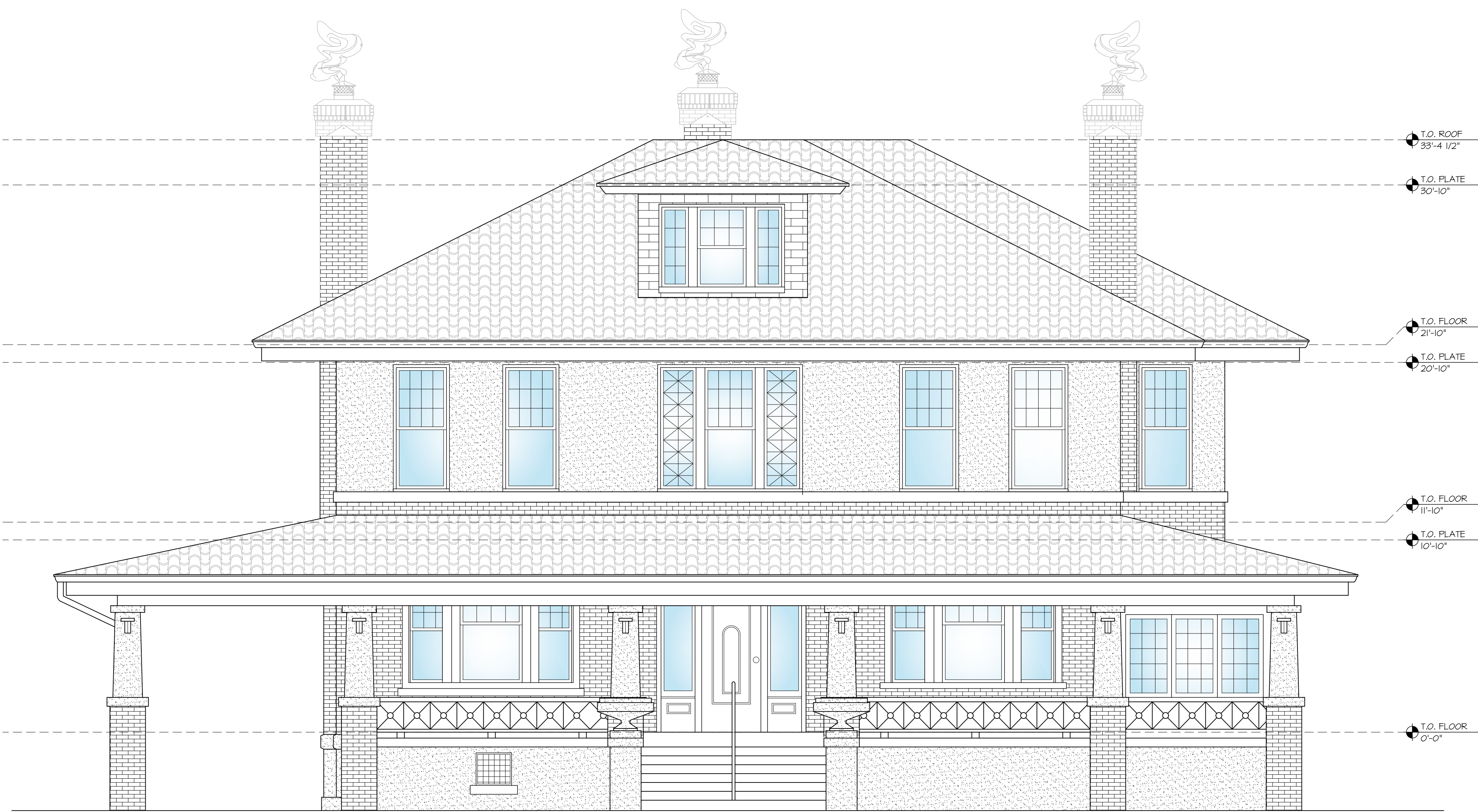
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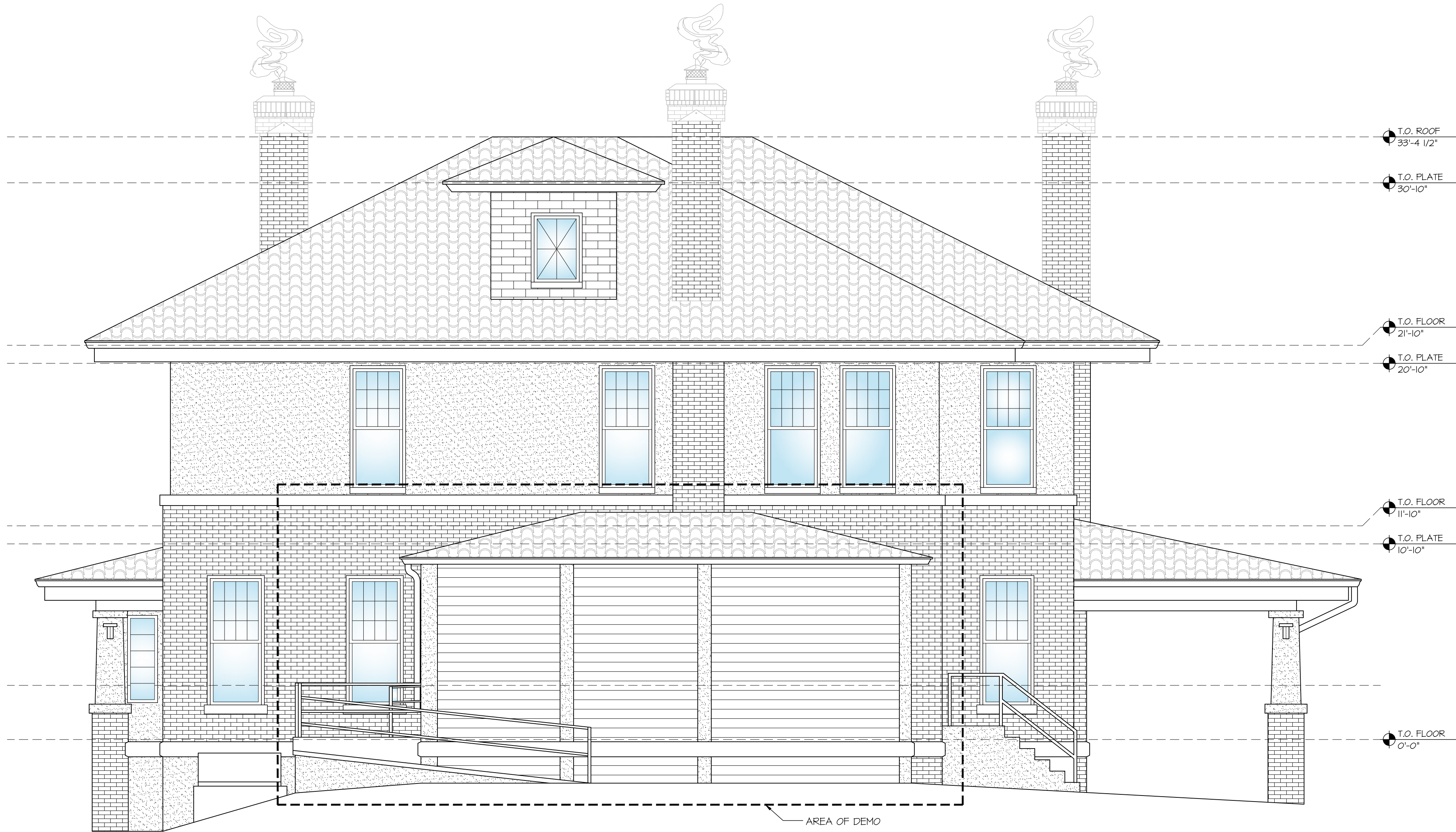
A2.4

SCHEMATIC DESIGN SET

1 FRONT ELEVATION - EXISTING
3E.1 1/4" = 1'-0"



1 REAR ELEVATION - EXISTING
3E.1 1/4" = 1'-0"



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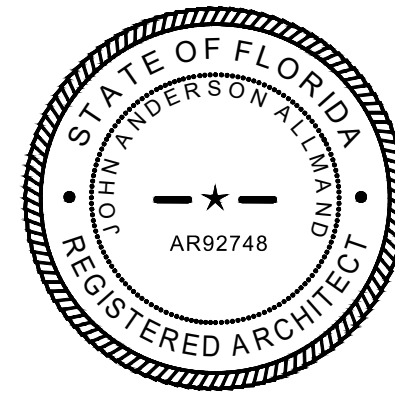
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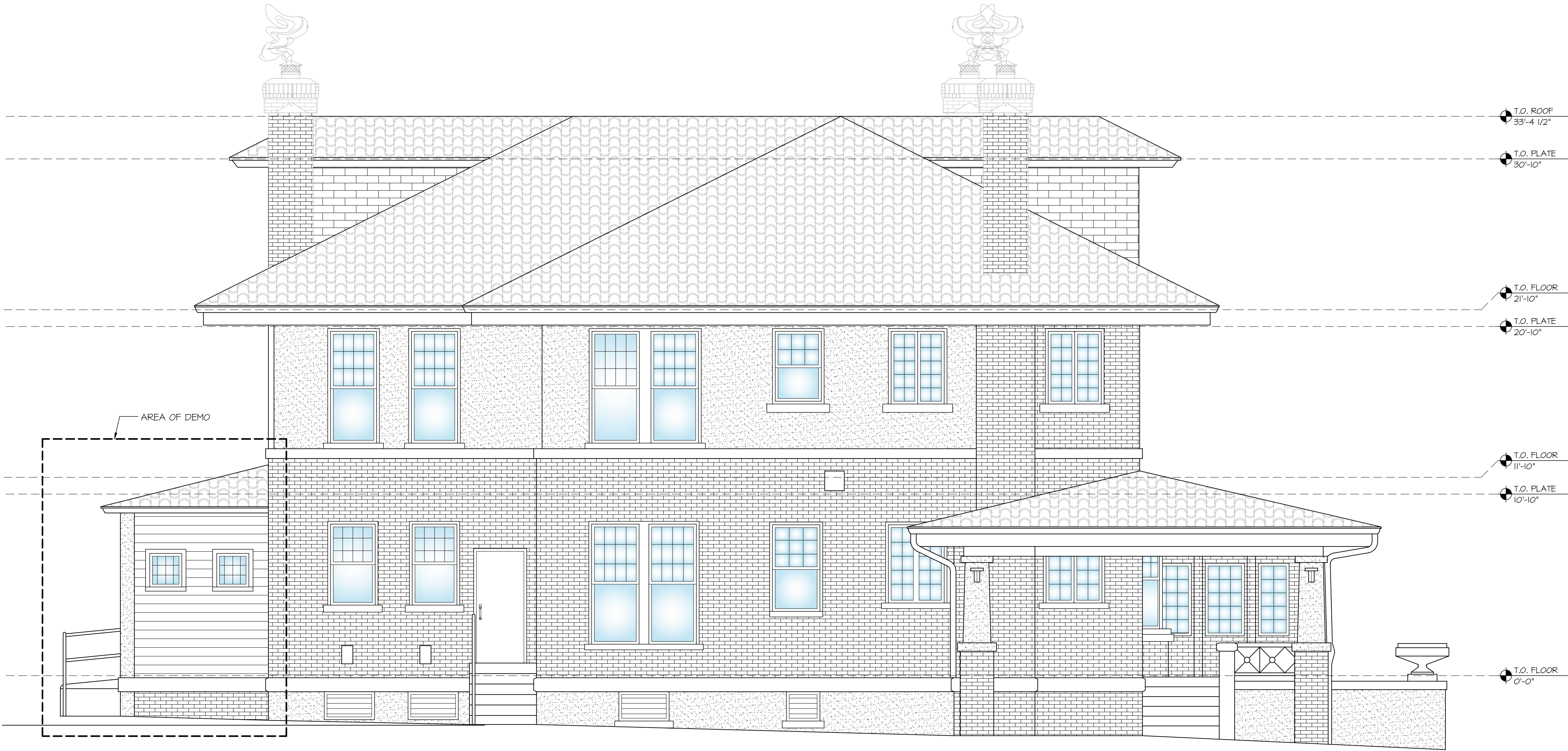


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3E.1

SCHEMATIC DESIGN SET



1 LEFT SIDE ELEVATION - EXISTING
3E.2 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION - EXISTING
3E.2 1/4" = 1'-0"



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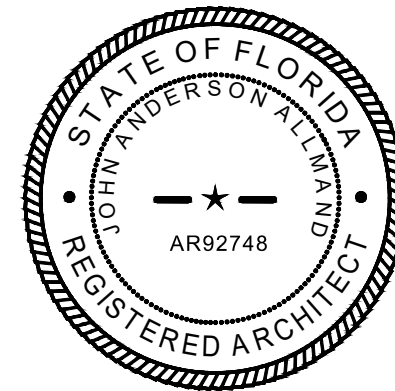
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3E.2

SCHEMATIC DESIGN SET

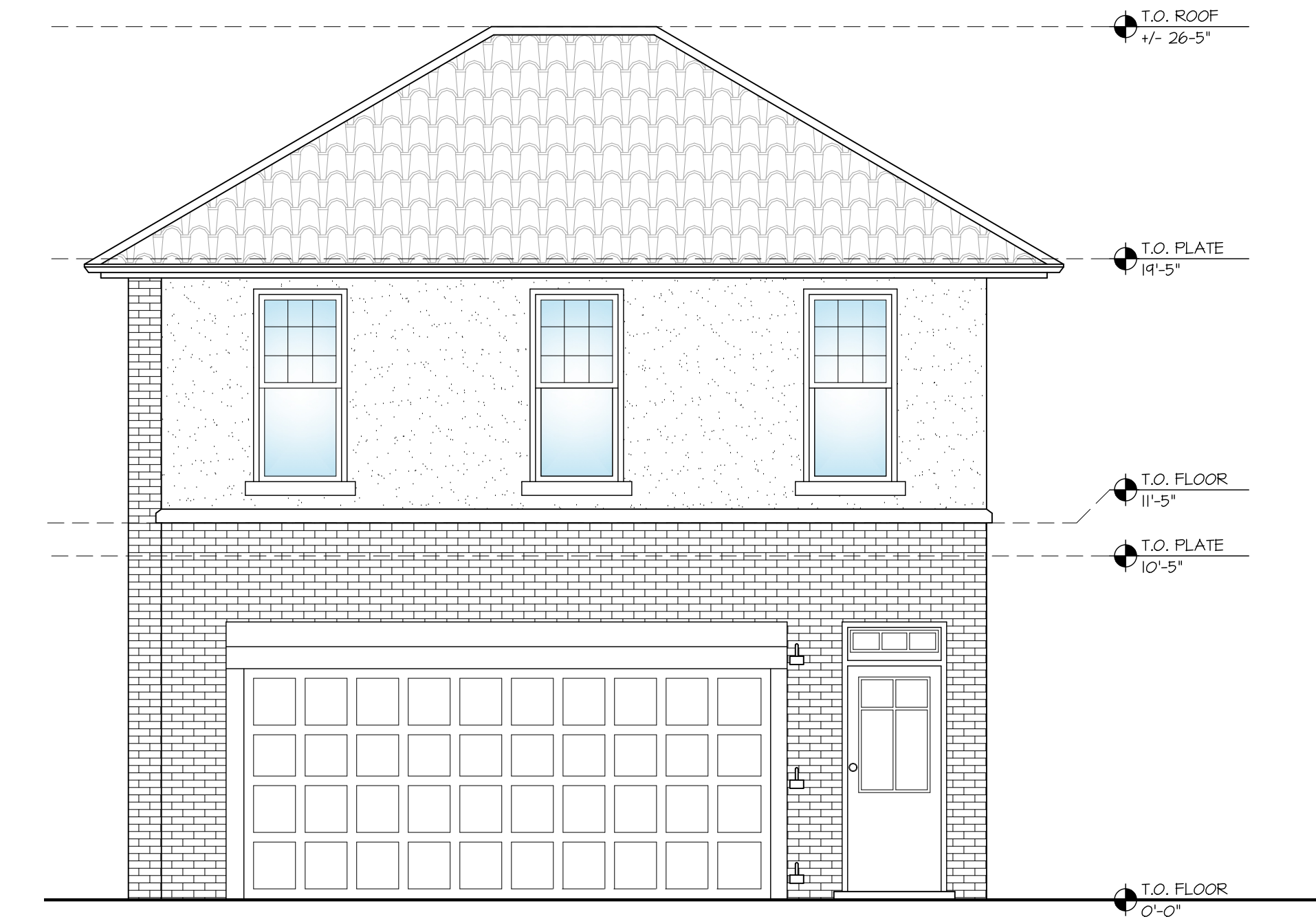


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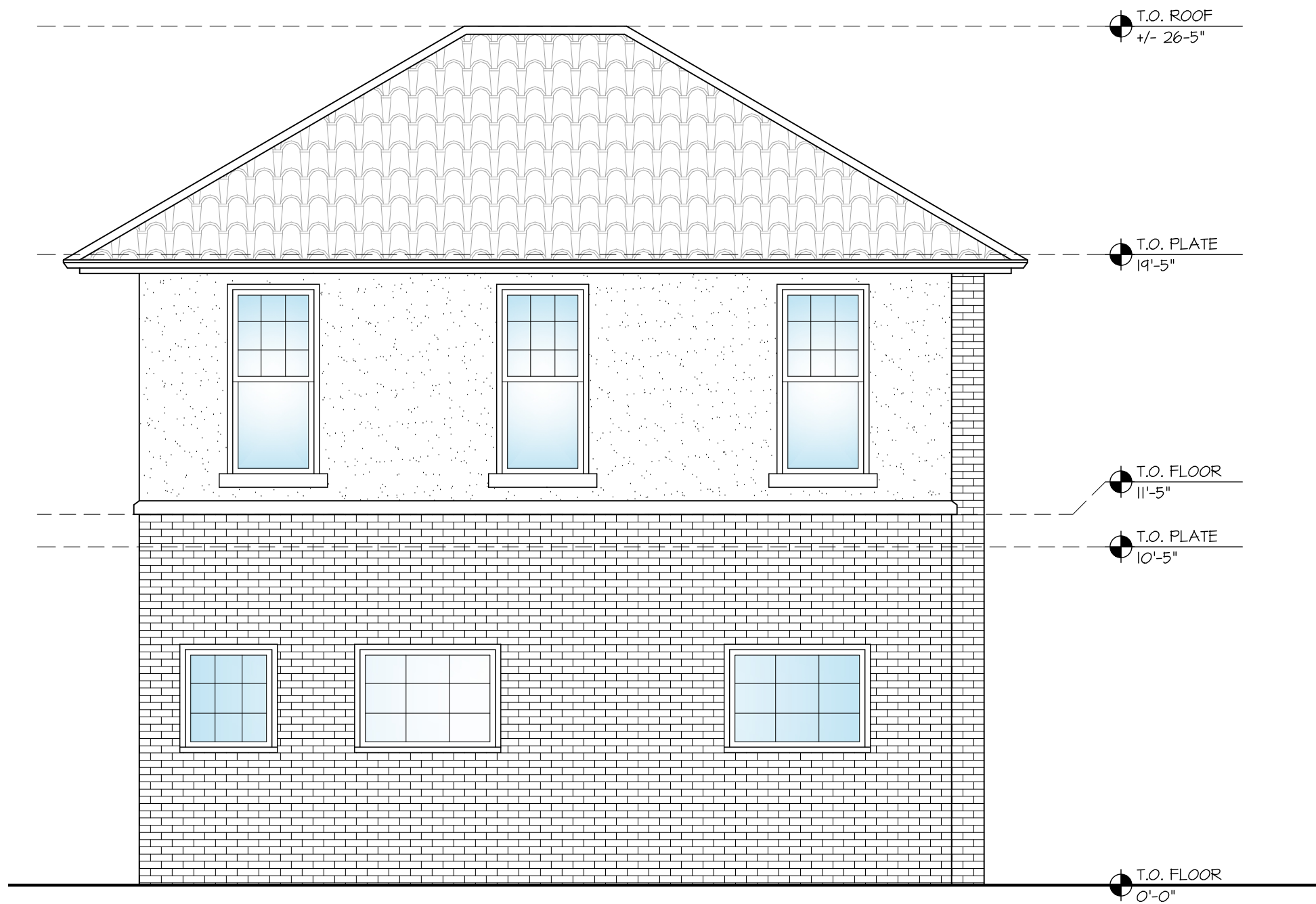
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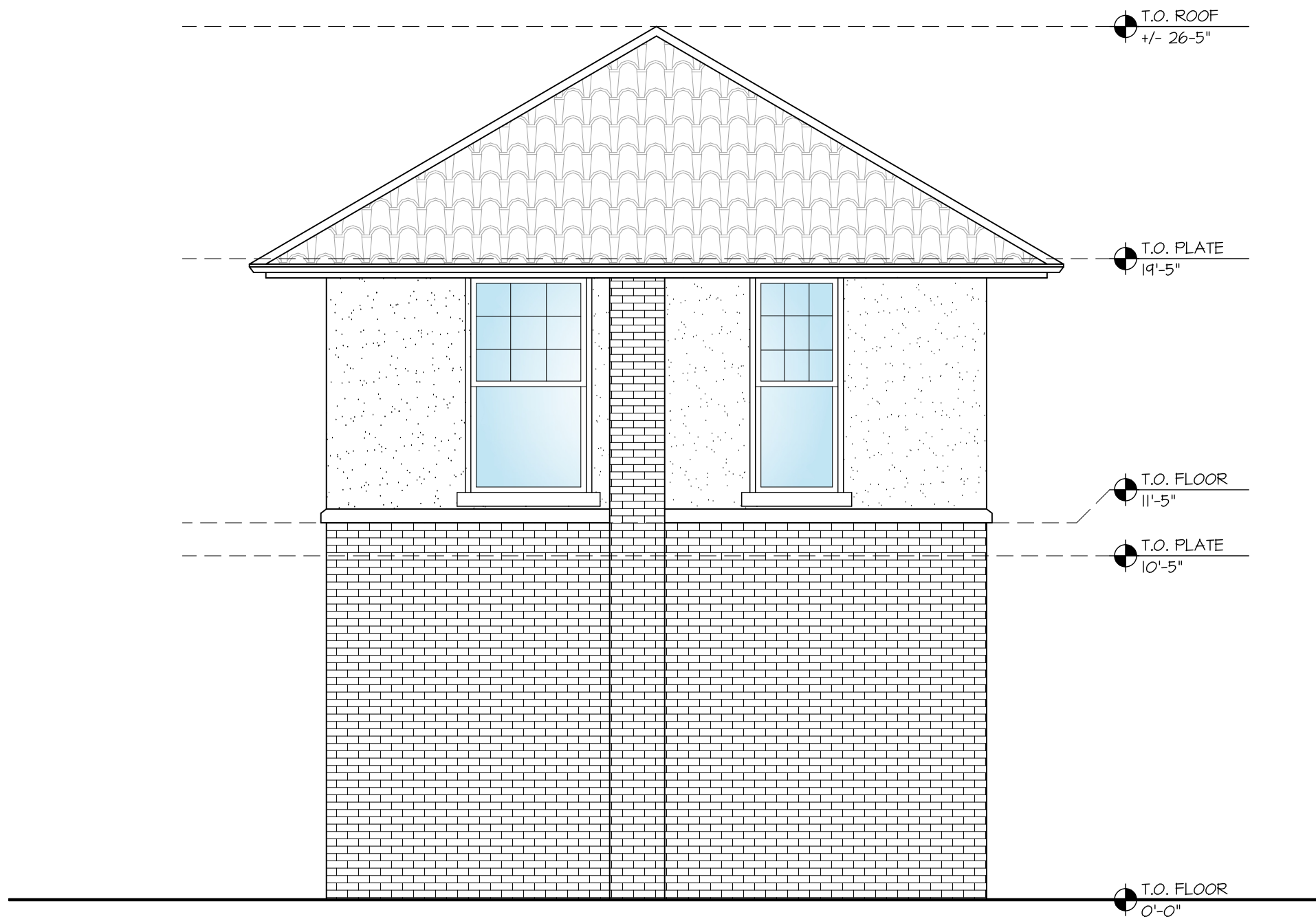
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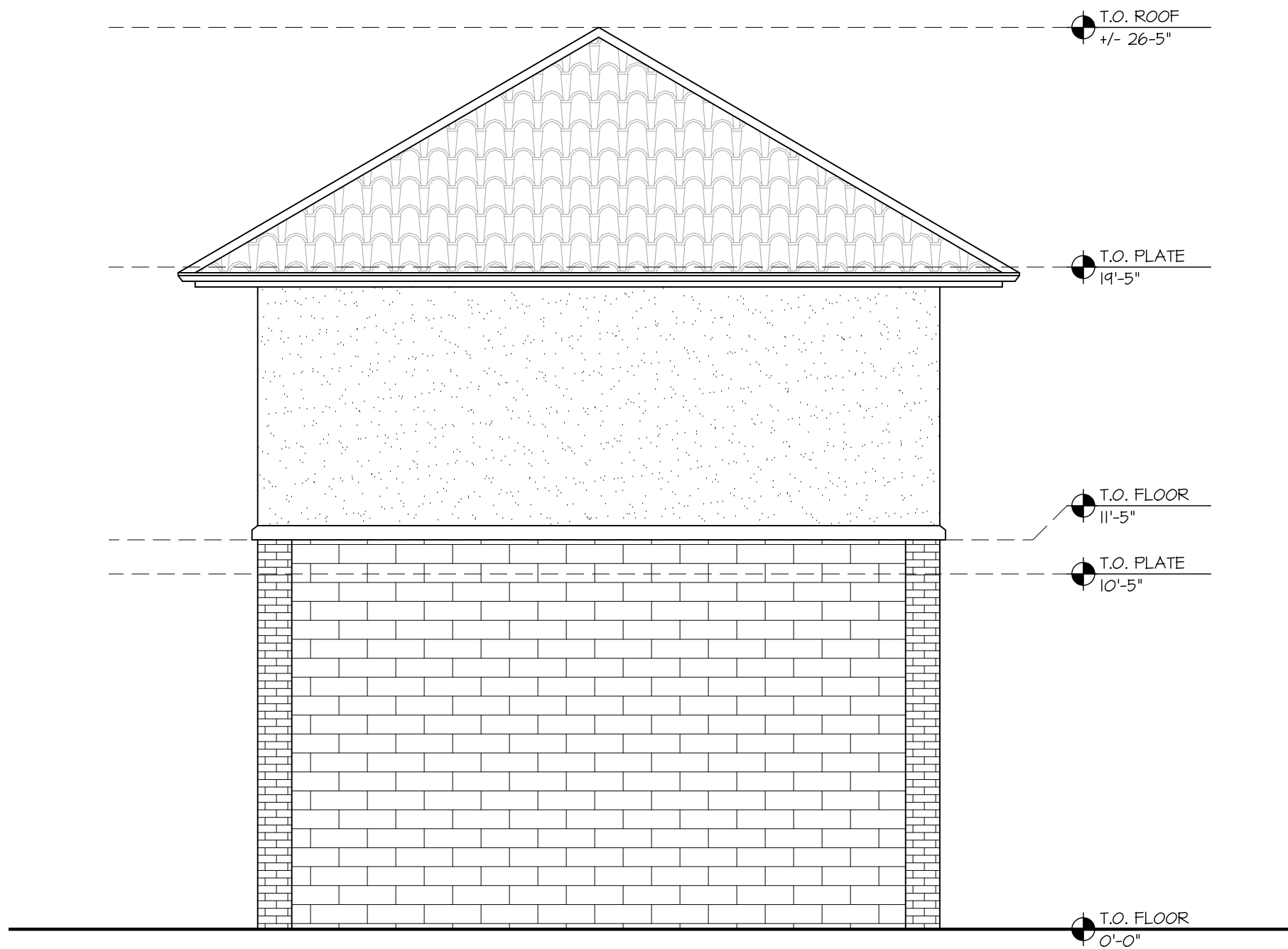
4 FRONT ELEVATION @ GARAGE - EXISTING
3E.3 1/4" = 1'-0"



2 REAR ELEVATION @ GARAGE - EXISTING
3E.3 1/4" = 1'-0"



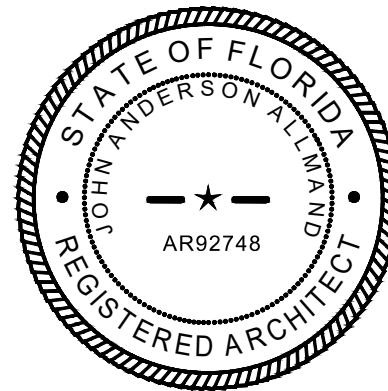
3 LEFT SIDE ELEVATION @ GARAGE - EXISTING
3E.3 1/4" = 1'-0"



1 RIGHT SIDE ELEVATION @ GARAGE - EXISTING
3E.3 1/4" = 1'-0"

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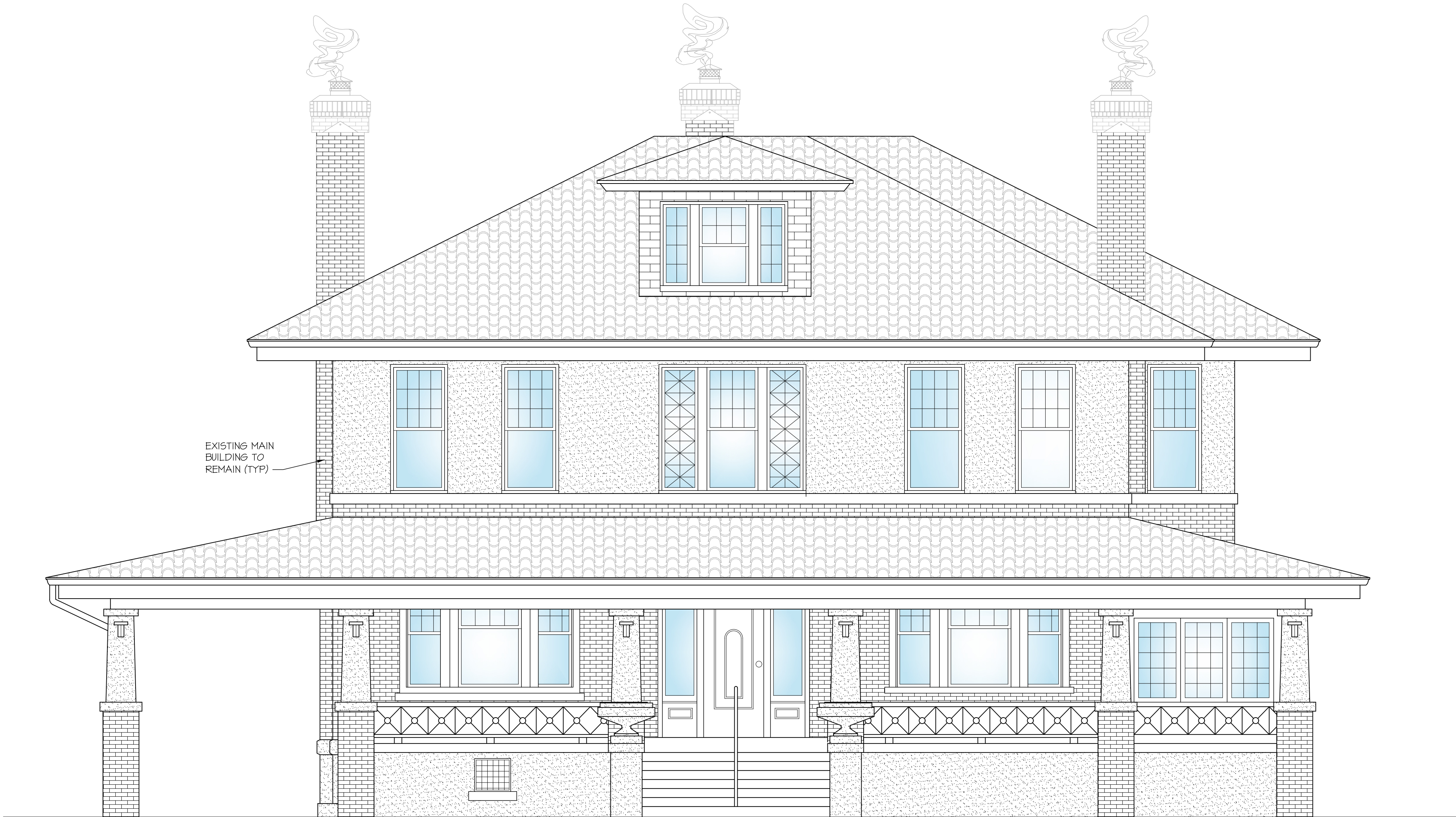
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3E.3

SCHEMATIC DESIGN SET



1 FRONT ELEVATION @ GARAGE - EXISTING
3N 1/4" = 1'-0"



1 FRONT ELEVATION - NEW
3N 1/4" = 1'-0"

JHPC - ELEVATION NOTES

1. THE FRONT ENTRY DOOR SHALL FEATURE CLEAR GLASS (NO DECORATIVE ETCHING, FROSTING, OR LEADING).
2. THE EAVES SHALL BE A MINIMUM OF 18" IN SIZE & SHALL FEATURE A TRADITIONAL BEAD BOARD APPEARANCE. THE MATERIALS USED FOR THE SOFFITS & FASCIA SHALL BE EITHER A WOOD OR CEMENTITIOUS SIDING PRODUCT.
3. THE WINDOWS SHALL FEATURE EXTERIOR, RAISED-PROFILE MUNTIN GRIDS & EQUAL SIZE SASHES. ALL WINDOWS SHALL BE RECESSED WITHIN THE WALL PLANE & TRIMMED OUT IN A TRADITIONAL MANNER INCLUDING THE PRESENCE OF CROWN MOLDING & A WINDOW SILL. ANY WINDOW PAIRINGS SHALL BE DIVIDED BY A TRADITIONAL MULLION.
4. A STUCCO PARSE FINISH SHALL BE APPLIED TO THE CONCRETE BLOCK PIERS OR THE PIERS SHALL BE CONSTRUCTED WITH A TRADITIONAL RUSTICATED BLOCK OR MASONRY MATERIAL (BRICK OR SPLIT-FACE BLOCK) WITH THE FINAL MATERIAL APPROVED BY STAFF PRIOR TO CONSTRUCTION. FRAMED LATTICE PANELS SHALL BE INSTALLED & RECESSED IN BETWEEN THE PIERS. (APPLIES TO CHEEK WALLS)
5. THE RAILING SYSTEM SHALL BE MADE OF WOOD, SET BELOW THE CAP OF THE PIERS, AND FEATURE SQUARE 2" X 2" SPINDLES SET IN BETWEEN AN UPPER & LOWER RAILING WITH NO EXPOSED ENDS.
6. ALL CEMENTITIOUS SIDING SHALL HAVE A SMOOTH APPEARANCE.



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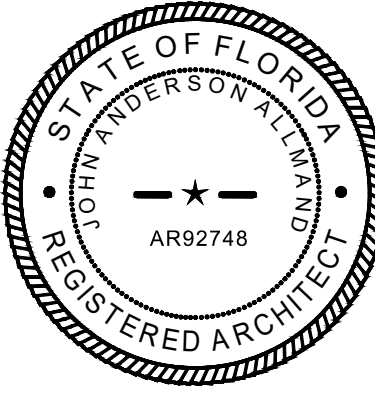
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3N

SCHEMATIC DESIGN SET



1 REAR ELEVATION @ GARAGE - NEW
4N 1/4" = 1'-0"



1 REAR ELEVATION - NEW
4N 1/4" = 1'-0"

JHPC - ELEVATION NOTES

1. THE FRONT ENTRY DOOR SHALL FEATURE CLEAR GLASS (NO DECORATIVE ETCHING, FROSTING, OR LEADING).
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6. ALL CEMENTITIOUS SIDING SHALL HAVE A SMOOTH APPEARANCE.



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4N

SCHEMATIC DESIGN SET



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5N
RIGHT SIDE ELEVATION - NEW
1/4" = 1'-0"

JHPC - ELEVATION NOTES

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1
5N
RIGHT SIDE ELEVATION @ GARAGE - NEW
1/4" = 1'-0"



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5N

SCHEMATIC DESIGN SET

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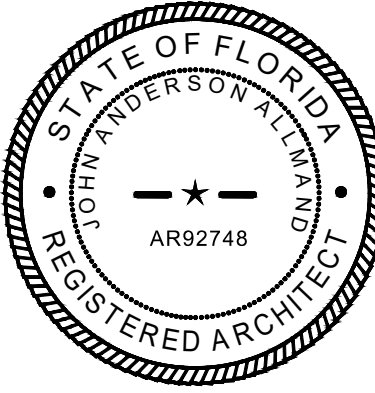
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6N

SCHEMATIC DESIGN SET



1 LEFT SIDE ELEVATION @ GARAGE - NEW
6N 1/4" = 1'-0"

1 LEFT SIDE ELEVATION - NEW
6N 1/4" = 1'-0"