

1 SITE PLAN
SCALE: 3/16" = 1'-0"

PROPERTY INFORMATION	
PROPERTY ADDRESS	129 N. MIAMI AVENUE, MIAMI, FL 33128
FOLIO NUMBER	01-0110-050-1070
ZONING CLASSIFICATION	T6-80-O
YEAR BUILT	1930
LEGAL DESCRIPTION	MIAMI NORTH PB B-41PB N50FT OF 1/4 OF LOT 10 BLK 105 LOT SIZE 50.000 X 50 OR 15350-2103 1291 4
FEMA ZONE	X

ZONING LEGEND (T6-80-O)			
(AS PER MIAMI-21 ARTICLE 5, ILLUSTRATION 5.6)			
	ALLOWED	EXISTING	PROPOSED
LOT OCCUPATION			
LOT AREA	5,000 FT ² (MIN.)	1,287 FT ²	N/A
LOT WIDTH	100 FT (MIN)	25.25 FT	N/A
LOT COVERAGE	80% (MAX) 1-8 stories	1,232 FT ²	N/A
FLOOR LOT RATIO (FLR)	24 / 50% additional Public Benefit	1.9000	N/A
FRONTAGE FRONT SETBACK	70%	100%	N/A
OPEN SPACE	10% LOT AREA (MIN.)	0 FT ² (00.00%)	N/A
DENSITY	150 DU/ACRE (MAX)	0.0000	N/A
BUILDING SETBACK			
PRINCIPAL FRONT	10'-0" MIN.; 20' MIN. ABOVE 8TH STORY	1.96'	N/A
SECONDARY FRONT	10'-0" MIN.; 20' MIN. ABOVE 8TH STORY	N/A	N/A
SIDE	0'-0" MIN.; 30' MIN. ABOVE 8TH STORY	0'-0" (EAST) 0'-0" (WEST)	N/A
REAR	0'-0" MIN.; 30' MIN. ABOVE 8TH STORY	0'-0"	N/A
FRONTAGE			
COMMON LAWN	PROHIBITED	N/A	N/A
PORCH & FENCE	PROHIBITED	N/A	N/A
TERRACE OR L.C	PROHIBITED	N/A	N/A
FORECOURT	PERMITTED	N/A	N/A
STOOP	PERMITTED	N/A	N/A
SHOPFRONT	PERMITTED (T6-80 L AND T6-80 O ONLY)	PROVIDED	N/A
GALLERY	PERMITTED BY SPECIAL AREA PLAN	N/A	N/A
ARCADE	PERMITTED BY SPECIAL AREA PLAN	N/A	N/A
BUILDING HEIGHT			
MIN. HEIGHT	2 STORIES	2 STORIES	N/A
MAX. HEIGHT	80 STORIES	2 STORIES	N/A
MX. BENEFIT HEIGHT	UNLIMITED STORIES ABUTTING ALL TRANSECT ZONES EXCEPT T3	N/A	

SITE PLAN KEY NOTES	
①	EXISTING 2-STORY CBS BUILDING TO REMAIN. INTERIOR VANILLA SHELL TO BE DONE. NO EXTERIOR WORK ON THIS PERMIT.
②	EXISTING PARTY WALL TO REMAIN. N.I.C.
③	EXISTING COVERED ENTRY AND STOREFRONT TO REMAIN. N.I.C.
④	EXISTING SIDEWALK TO REMAIN. N.I.C.

PROPOSED INTERIOR "VANILLA SHELL" FOR:
127 BUILDING IMPROVEMENTS
 127 NORTH MIAMI AVENUE
 MIAMI, FL 33128

REVISIONS:

DRAWN J.C.
CHECKED
DATE 02.05.2021
SCALE AS INDICATED
JOB NO. 20-023
SHEET

GENERAL DEMOLITION NOTES:

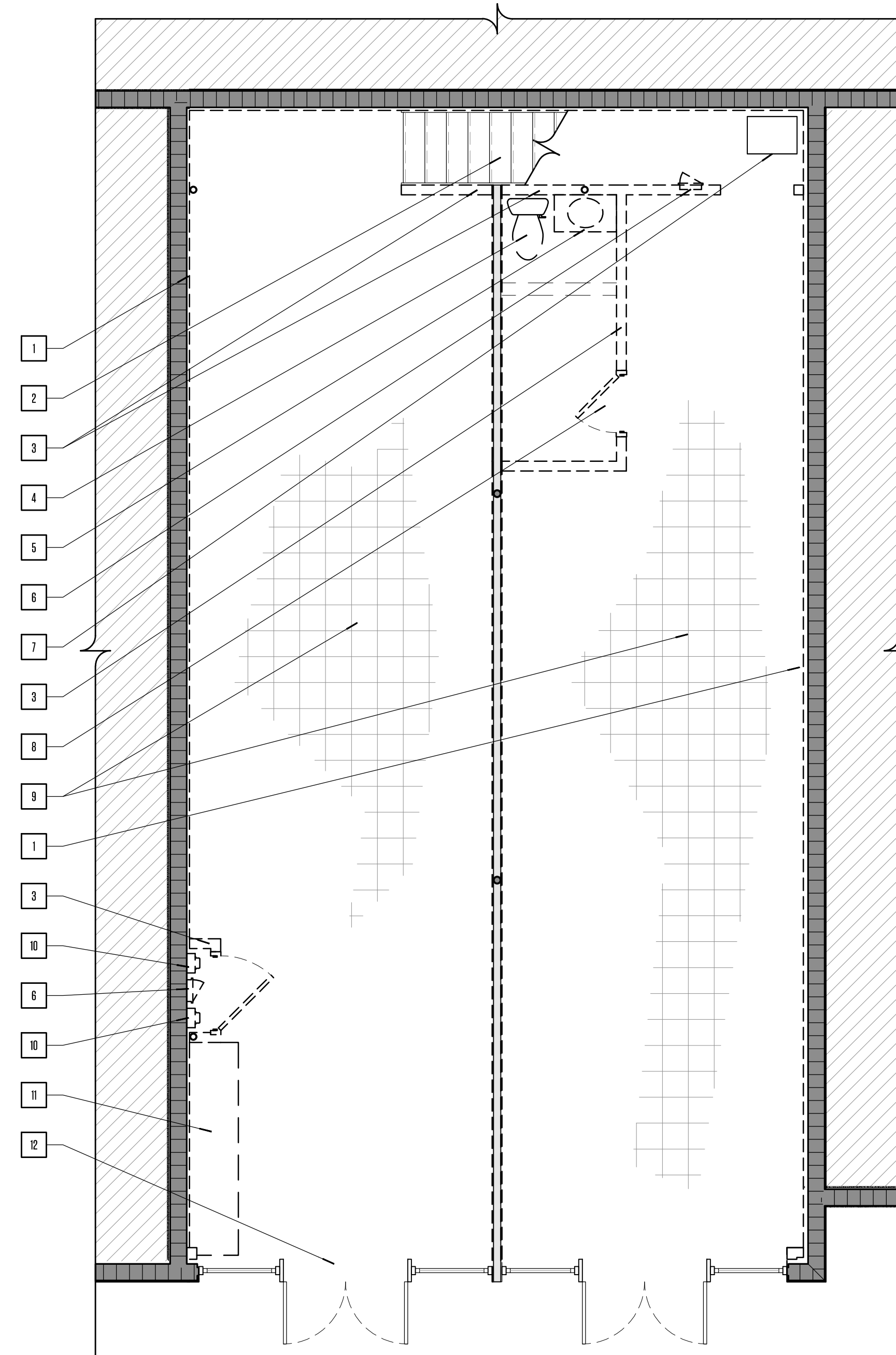
- DEMOLITION CONTRACTOR SHALL BE FULLY LICENSED AND INSURED AND SHALL MAINTAIN COMPLIANCE WITH ALL O.S.H.A. AND OTHER APPLICABLE SAFETY STANDARDS.
- DEMOLITION CONTRACTOR SHALL MAINTAIN STRICT COMPLIANCE WITH ALL RULES AND REGULATIONS GOVERNING THE DISPOSAL OF CONSTRUCTION DEBRIS.
- DEMOLITION CONTRACTOR SHALL MAINTAIN STRICT ADHERENCE WITH THE LOCAL JURISDICTION'S RULES FOR CONSTRUCTION TIMES AND PROCEDURES FOR PICK UP AND REMOVAL OF CONSTRUCTION DEBRIS.
- DEMOLITION CONTRACTOR SHALL MAINTAIN STRICT COMPLIANCE WITH ALL PUBLIC SAFETY PROTOCOLS APPLICABLE TO DEMOLITION WORK WITHIN THE LOCAL JURISDICTION AND SPECIFICALLY AT THIS SITE.
- DEMOLITION CONTRACTOR SHALL MAINTAIN STRICT ADHERENCE WITH THE LANDLORD'S RULES FOR CONSTRUCTION TIMES AND PROCEDURES AND FOR PICK UP AND REMOVAL OF CONSTRUCTION DEBRIS.
- SHOULD ANY KNOWN HAZARDOUS MATERIALS BE DETECTED WITHIN THE STRUCTURE, DEMOLITION WORK SHALL STOP AND THE CONTRACTOR SHALL FILE AN RFI (REQUEST FOR INFORMATION) WITH THE ARCHITECT. WORK SHALL NOT RESUME UNTIL WRITTEN INSTRUCTIONS ARE PROVIDED.
- IMPORTANT: IF THERE IS ANY DOUBT AS TO WHETHER A COMPONENT IS STRUCTURAL OR NON-STRUCTURAL, DEMOLITION WORK SHALL STOP AND THE CONTRACTOR SHALL FILE AN RFI (REQUEST FOR INFORMATION) WITH THE ARCHITECT. DEMOLITION WORK SHALL RESUME PURSUANT TO THE ARCHITECT'S WRITTEN INSTRUCTIONS TO PROCEED.
- IMPORTANT: IF THE DEMOLITION OF ANY NON-STRUCTURAL COMPONENT THREATENS THE INTEGRITY OF ANY STRUCTURAL COMPONENT, DEMOLITION WORK SHALL STOP AND THE CONTRACTOR SHALL FILE AN RFI (REQUEST FOR INFORMATION) WITH THE ARCHITECT. DEMOLITION WORK SHALL NOT RESUME UNTIL WRITTEN INSTRUCTIONS ARE PROVIDED.
- REMOVE ALL FINISHES IN ALL AREAS. STRIP AWAY ALL BACKING AND SUPPORT FOR FINISHES, EXPOSING STRUCTURE BENEATH IN ALL AREAS, ALL CONDITIONS THROUGHOUT.
- REMOVE ALL NON-BEARING INTERIOR PARTITIONS AS INDICATED ON THIS PLAN. REMOVE ALL RELATED CONSTRUCTION (DOORS, BUILT-INS, MILLWORK, HEADERS, AND SOFFITS)
- REMOVE NON-STRUCTURAL CEILINGS AS INDICATED ON THIS PLAN AND FULLY EXPOSE UNDERLYING STRUCTURE.
- REMOVE ALL PLUMBING FIXTURES AND RELATED PIPING, BOTH SANITARY SEWER LINES AND WATER SUPPLY LINES. CAP ALL EXISTING PIPES BELOW SLAB.
- REMOVE ELECTRICAL COMPONENTS, WIRING, CONDUITS, RACEWAYS, PANELS, JUNCTION BOXES, ELECTRICAL FIXTURES, & RELATED COMPONENTS WITHIN EXISTING BUILDING ELEMENTS TO BE DEMOLISHED. CAP ALL REMAINING PIPES AND CONDUITS BELOW SLAB.

DEMOLITION PLAN KEY NOTES

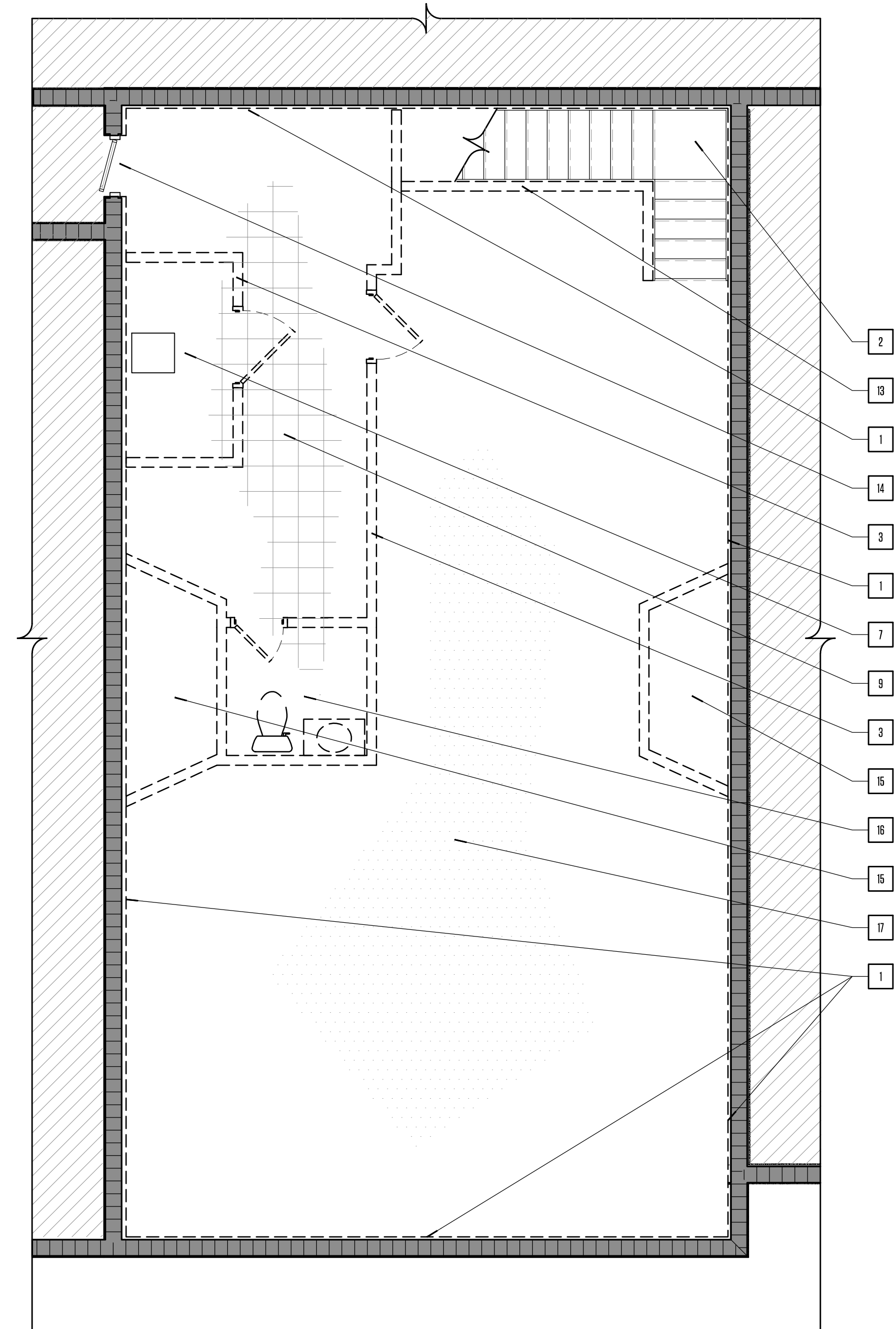
- | | |
|----|--|
| 1 | REMOVE AND DISCARD GYPSUM BOARD SHEATHING FROM INTERIOR SIDE OF EXISTING CONCRETE DEMISING WALL. |
| 2 | EXISTING WOODEN STAIRS TO REMAIN (NIC) |
| 3 | INTERIOR NON-LOAD BEARING PARTITIONS AND DOORS TO BE REMOVED AND DISCARDED. SEE PROPOSED ARCH DWGS. |
| 4 | EXISTING WATER CLOSET TO BE COMPLETELY REMOVED AND DISCARDED. SEE PROPOSED ARCH + ENG SHEETS FOR PROPOSED RESTROOMS. |
| 5 | EXISTING LAVATORY TO BE COMPLETELY REMOVED AND DISCARDED. SEE PROPOSED ARCH + ENG SHEETS FOR PROPOSED RESTROOMS. |
| 6 | ELECTRICAL PANEL TO BE REMOVED AND DISCARDED. SEE EL ENG DWGS FOR SPECS AND LOCATION OF NEW ELECTRICAL PANEL. |
| 7 | EXISTING AIR HANDLER UNIT TO BE RELOCATED. SEE ENG SHEETS FOR SPECS AND LOCATION. |
| 8 | INTERIOR DOOR TO BE REMOVED AND DISCARDED. |
| 9 | FLOOR TILES TO BE REMOVED AND REPLACED. SUB FLOOR SHEATHING ON SECOND FLOOR TO BE EVALUATED UPON REMOVAL OF FLOORING TO DETERMINE REPLACEMENT. |
| 10 | ELECTRICAL METER TO BE REMOVED AND DISCARDED. SEE EL ENG DWGS FOR SPECS AND LOCATION OF NEW ELECTRICAL METER. |
| 11 | BUILT-IN BENCH TO BE REMOVED AND DISCARDED. |
| 12 | EXISTING STOREFRONT TO REMAIN (NIC) |
| 13 | INTERIOR KNEE WALL GYPSUM BOARD TO BE REMOVED AND REPLACED. PARTITION STUDS TO REMAIN IF FOUND IN GOOD CONDITION. |
| 14 | ACCESS PANEL TO ROOFTOP TO BE REPLACED. |
| 15 | BUILT-IN NICHE TO BE REMOVED AND DISCARDED. |
| 16 | ENTIRE RESTROOM TO BE REMOVED AND DISCARDED. |
| 17 | ALL CARPETING ON SECOND FLOOR TO BE REMOVED AND DISCARDED. |

DEMOLITION LEGEND

	EXISTING WALLS OR PARTITION TO BE REMAIN
	NEW INTERIOR WALL OR PARTITION (SEE WALL TYPES AND DETAILS)
	EXISTING WALL OR PARTITION TO BE DEMOLISHED
	INDICATES AREA NOT IN CONTRACT (DIAGONALLY HATCHED AREAS)
	INDICATES AREAS WHERE CONCRETE IS TO BE REMOVED
	INDICATES AREA WHERE DEMOLITION IS TO OCCUR



1 DEMOLITION FLOOR PLAN (GROUND FLR)
SCALE: 1/4" = 1'-0"



2 DEMOLITION FLOOR PLAN (SECOND FLR)
SCALE: 1/4" = 1'-0"

PROPOSED INTERIOR "VANILLA SHELL" FOR:
127 BUILDING IMPROVEMENTS
127 NORTH MIAMI AVENUE
MIAMI, FL 33128

REVISIONS:

DRAWN J.C.
CHECKED
DATE 02.05.2021
SCALE AS INDICATED
JOB NO. 20-023
SHEET

GENERAL NOTES

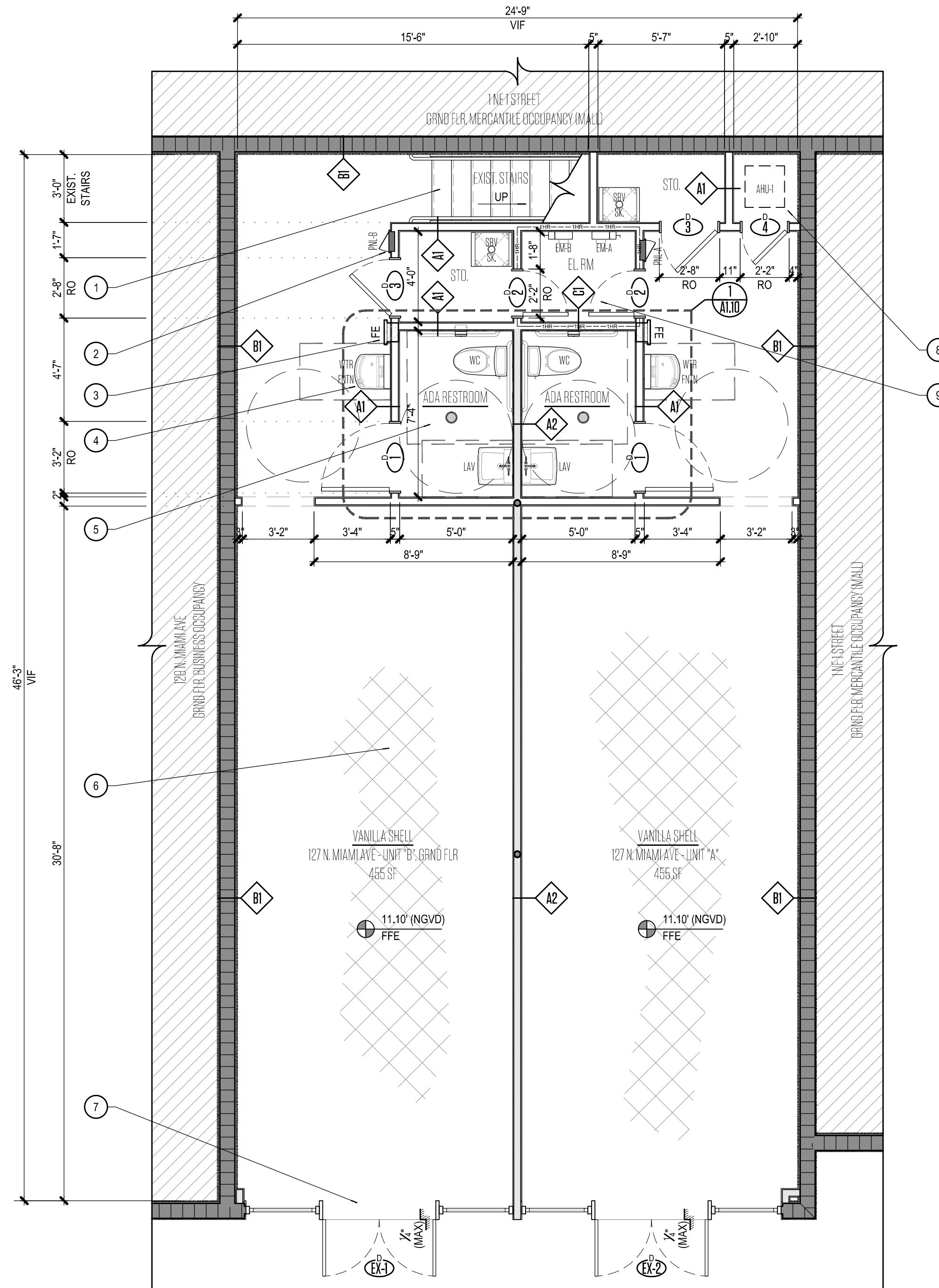
- ALL GWB PARTITIONS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS. PATCH AND REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES WHERE REQ'D. ALIGNED SURFACES.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACES UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARK CLEAR OR "CLR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THE THICKNESS OF ALL WALL FINISHES.
- DIMENSIONS NOTED "CLEAR" OR "CLR" MUST BE ACCURATELY MAINTAINED.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATION(S) OF NEW CONSTRUCTION. UPON COMPLETION OF PARTITIONS LAYOUTS, NOTIFY THE ARCHITECT FOR APPROVAL PRIOR TO PARTITION INSTALLATION.
- ALL EXPOSED GWB EDGES SHALL HAVE EDGES OR CORNER TRIMS AS REQUIRED. ALL WORK SHALL BE INSTALLED PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
- FOR LOCATION OF SWITCHES, OUTLETS, THERMOSTATS AND OTHER DEVICES, REFER TO DRAWINGS.
- ALL EXISTING AND NEW FLOOR SLAB PENETRATIONS FOR PIPING SHALL BE FULLY PACKED AND SEALED IN ACCORDANCE WITH THE APPLICABLE BUILDING AND FIRE CODES AND REGULATIONS.
- TRIM THE BOTTOM OF DOORS TO CLEAR TOP OF FINISH FLOOR BY 3/8" MINIMUM.
- ALL GLASS SHALL BE TEMPERED GLASS UNLESS OTHERWISE NOTED.
- F.R. WOOD BLOCKING SHALL BE PROVIDED AT LOCATION(S) WHERE MILLWORK, TOILET ROOM ACCESSORIES SHELVING, EQUIPMENT, FIXED FURNISHING ARE TO BE FASTENED TO THE PARTITIONS COORDINATE LOCATION WITH THE DIFFERENT TRADES.
- ALL DOORS SHALL HAVE 1'-6" CLEAR ON THE PULL SIDE AND 12" ON THE STRIKE SIDE IF LATCH AND CLOSER ARE PRESENT.
- COORDINATE FURNISHING AND EQUIPMENT WITH FURNISHING AND EQUIPMENT PLANS ALL COORDINATE INSTALLATION WORK WITH MANUFACTURER RECOMMENDATIONS, SPECIFICATIONS AND M.E.P. DRAWINGS.
- GRID LINES ARE SHOWN FOR REFERENCE ONLY
- TENANT IMPROVEMENT RENOVATION WORK SHALL NOT IMPACT THE TENANT DEMISING WALL FIRE RATED ASSEMBLY. REFER TO WALL DETAILS.
- GLAZING IN DOORS SHALL BE SAFETY GLAZING, CAT I FOR GLAZING 9 S.F. OR LESS, CAT II FOR GLAZING MORE THAN 9 S.F.
- WOOD IN CONTACT WITH CONCRETE, MASONRY WALLS, SHALL BE PRESSURE TREATED

FLOOR PLAN LEGEND

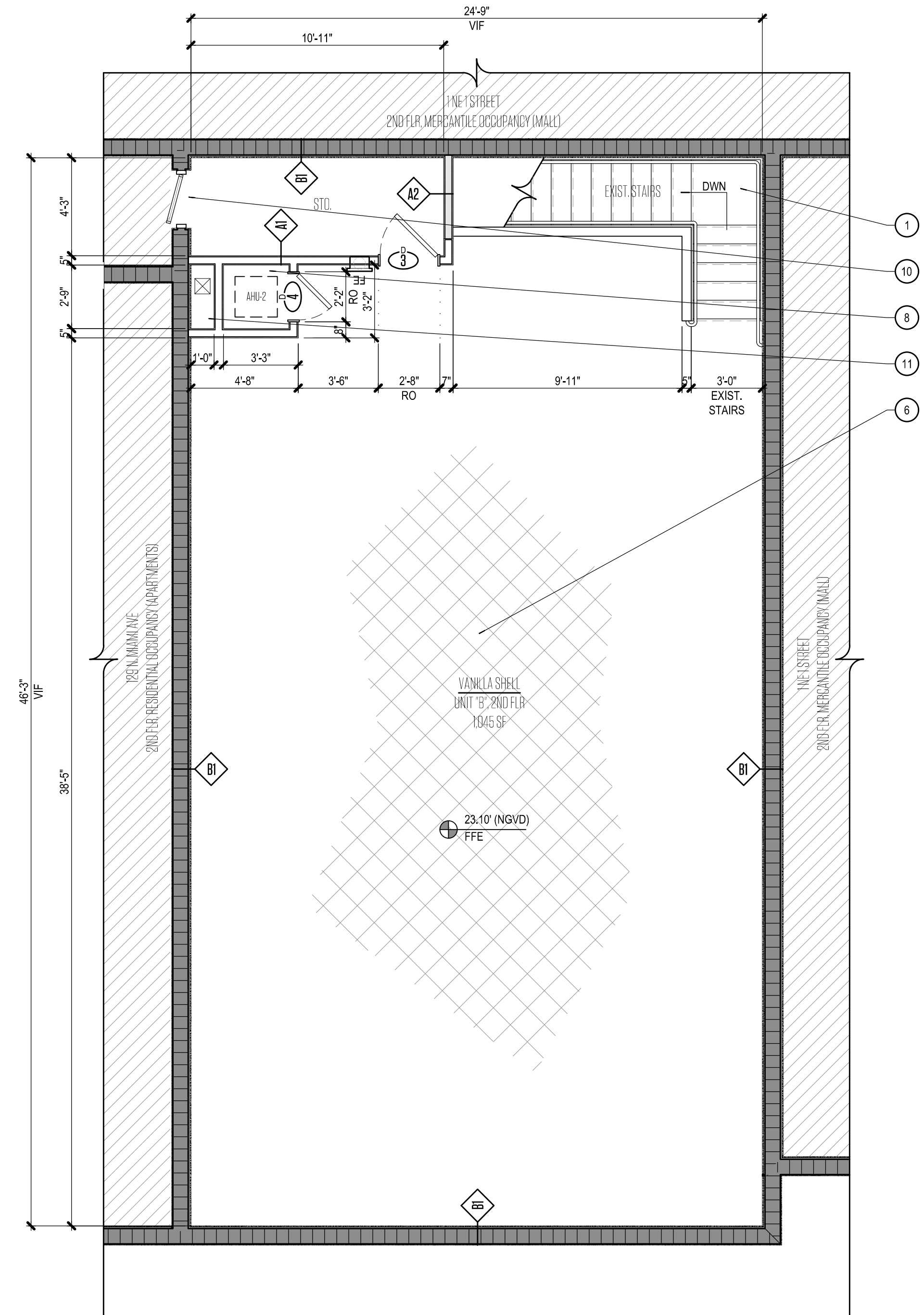
	NEW INTERIOR PARTITION (DIAGONAL HATCH)
	EXISTING INTERIOR PARTITION (SOLID HATCH)
	EXISTING EXTERIOR CMU PARTITION (SOLID HATCH)
	WINDOW TAG
	DOOR TAG
	WALL TAG (REFER TO PARTITION TYPE DETAILS & NOTES).
	SECTION CUT TAG
	DETAIL TAG
	KEY NOTE TAG
	ELEVATION CHANGE SYMBOL
	REVISION CLOUD AND SYMBOL. REFER TO COVER SHEET FOR REVISION INFORMATION.

INTERIOR FINISH NOTE

ALL NEW FINISHES (WALL/CEILING/FLOOR) TO COMPLY WITH FBC 803 AND FBC 804, FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION



1 PROPOSED FLOOR PLAN (GROUND FLR)
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN (SECOND FLR)
SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN KEY NOTES

- EXISTING STAIRS TO REMAIN (NIC). REPLACE HANDRAILS ON BOTH SIDES OF EXISTING STAIRS.
- PROVIDE NEW ELECTRICAL PANEL; SEE ENG SHEETS FOR INFO.
- RELOCATE EXISTING FIRE EXTINGUISHER TO LOCATION SHOWN ON PLANS.
- PROVIDE NEW ACCESSIBLE WATER FOUNTAIN/BOTTLE FILLING STATION. SEE SHEET A3.00 FOR MOUNTING DETAILS.
- PROVIDE NEW ADA COMPLIANT RESTROOM; SEE SHEET A3.00 FOR NOTES AND DETAILS.
- NEW FLOORING TO BE INSTALLED THROUGHOUT; FLOORING FINISH TBD BY OWNER.
- EXISTING IMPACT RATED STOREFRONT TO REMAIN (NIC).
- EXISTING HVAC UNITS (AHU + CU) TO REMAIN (NIC). RELOCATE AHU AS SHOWN ON PLANS.
- NEW ELECTRICAL METER ROOM TO BE CONSTRUCTED; PROVIDE NEW 1-HR RATED WALL AND CEILING ASSEMBLY. SEE SHEET A4.00 FOR FIRE RATED DETAILS.
- EXISTING ROOF ACCESS TO REMAIN.
- PROVIDE CHASE BUILT FROM 3-5/8" STUDS AND 5/8" GYPSUM BOARD FOR SUPPLY AIR DUCTS ROUTED DOWN TO FIRST FLOOR.

PROPOSED INTERIOR "VANILLA SHELL" FOR:
127 BUILDING IMPROVEMENTS
127 NORTH MIAMI AVENUE
MIAMI, FL 33128

REVISIONS:

DRAWN
J.C.
CHECKED

DATE
02.05.2021
SCALE
AS INDICATED
JOB NO.
20-023
SHEET

A1.00

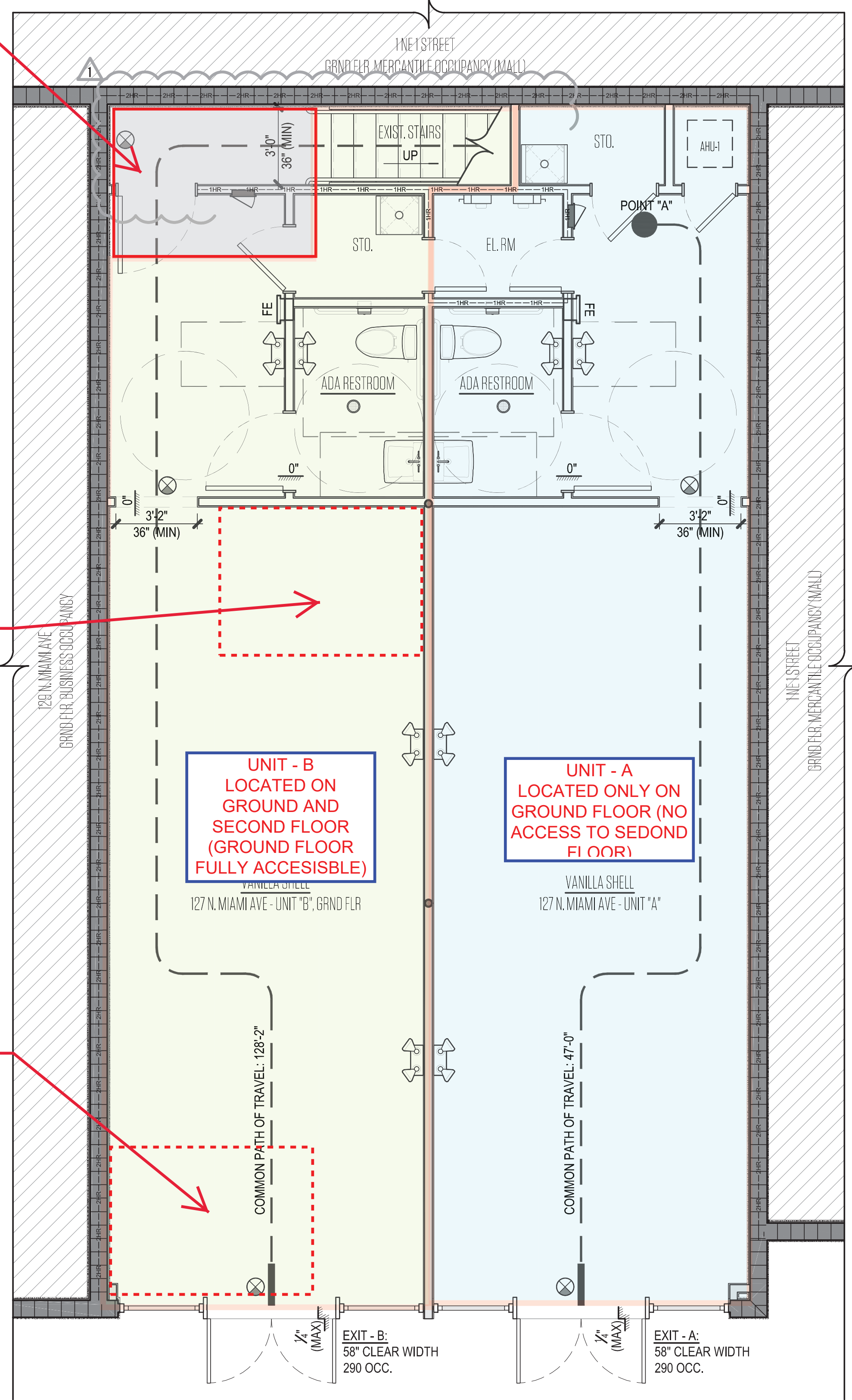
07 OF 16 SHEETS

SIZE AND LOCATION FOR ADA COMPLIANT PASSENGER ELEVATOR HOISTWAY (100"x69"); DIMENSIONS ARE BASED ON A SYSTEM THAT HAS A BUILT-IN MACHINE ROOM.

LOCATION DRAWN TO ILLUSTRATE THE IMPEDENCE AND REDUCTION OF ACCESSIBLE ROUTES.

POTENTIAL LOCATION FOR ADA COMPLIANT PASSENGER ELEVATOR HOISTWAY; LOCATION DRAWN TO ILLUSTRATE NON-ADJACENT STRUCTURAL WALLS. NEW HOST STRUCTURE WOULD NEED TO BE BUILT (COST DISPROPORTIONATE TO PROJECT)

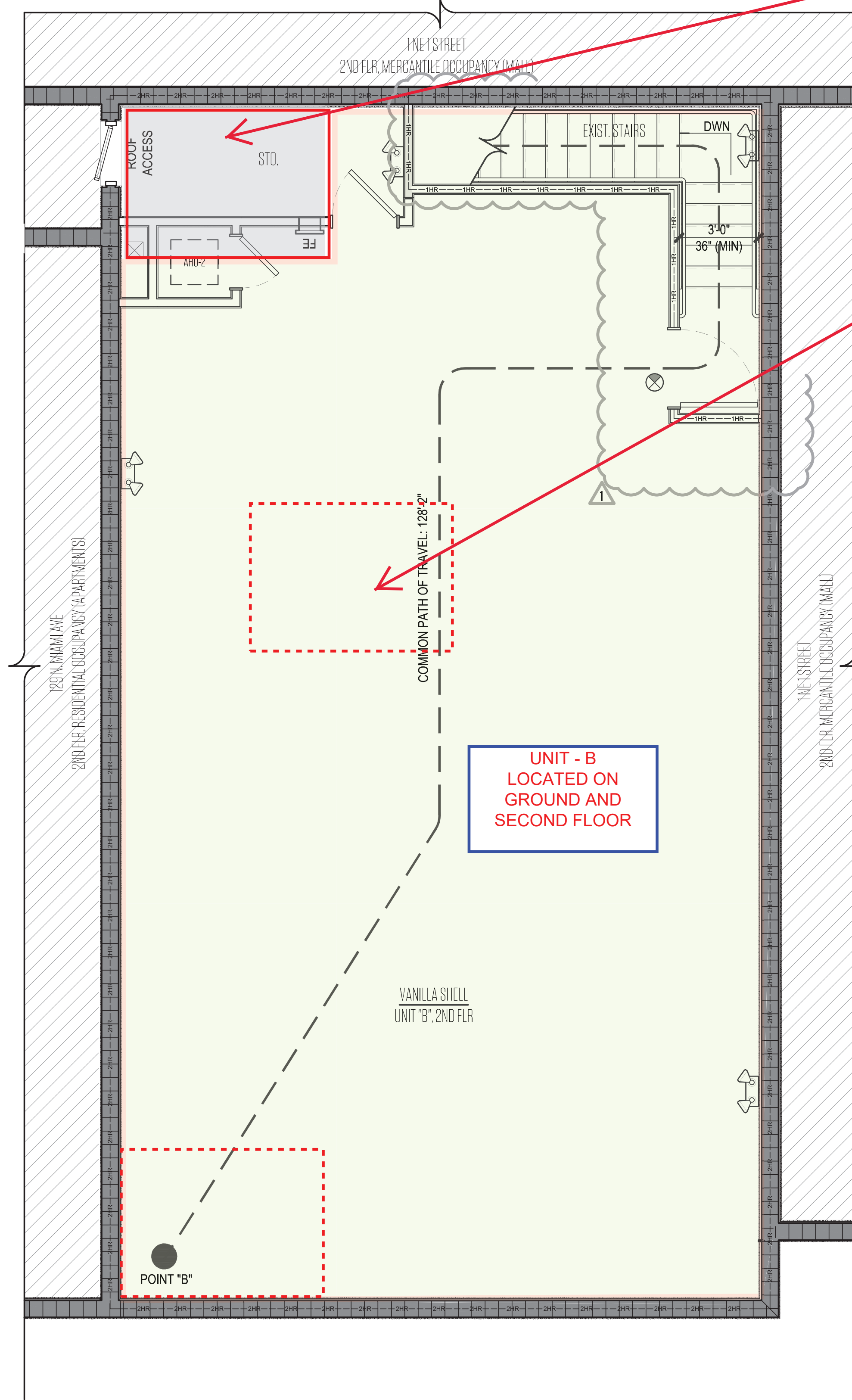
POTENTIAL LOCATION FOR ADA COMPLIANT PASSENGER ELEVATOR HOISTWAY; LOCATION DRAWN TO ILLUSTRATE THE IMPEDENCE AND REDUCTION OF ACCESSIBLE ROUTES.



1 LIFE SAFETY PLAN (GROUND FLR)
SCALE: 1/4" = 1'-0"

POTENTIAL LOCATION FOR ADA COMPLIANT PASSENGER ELEVATOR HOISTWAY; LOCATION DRAWN TO ILLUSTRATE IMPEDENCE TO EXISTING ROOF ACCESS.

POTENTIAL LOCATION FOR ADA COMPLIANT PASSENGER ELEVATOR HOISTWAY; LOCATION DRAWN TO ILLUSTRATE STRUCTURAL WALLS. NEW HOST STRUCTURE WOULD NEED TO BE BUILT. DISPROPORTIONATE TO PROJECT). ELEVATOR IS ALSO LOCATED IN THE CENTER OF THE SECOND FLOOR WHICH GREATLY DISTRUPTS THE INTENDED WORK AREA.



2 LIFE SAFETY PLAN (SECOND FLR)
SCALE: 1/4" = 1'-0"