



2 0 0 C O L L I N S A V E

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 200 COLLINS AVENUE
 MIAMI BEACH, FL 33139

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JOSE L GOMEZ
 A R 0 1 5 4 1 6

DWG. TITLE	COVER PAGE
SCALE	N.T.S.
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	G000
DATE	REVISION

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CONSULTANT

ABBREVIATIONS

MATERIAL LEGEND

PROJECT TEAM

APPLICABLE CODES

Table with columns A, C, R, H, B, H.C, HDWD, HDWE, H.M, HORIZ, HR, HGT. Rows include ACOUS, A.C, A.D, ADJ, AGGR, AL, APPROX, ARCH, ASB, ASPH, BOARD, BITUM, BLDG, BLK, BLKG, BLKHD, BM, BOT, GA, GALV, G.B, G.C, GL, GND, GR, GYP, G.W.B, HOSE BIB, HOLLOW CORE, HARD WOOD, HARDWARE, HOLLOW METAL, HORIZONTAL, HOUR, HEIGHT.

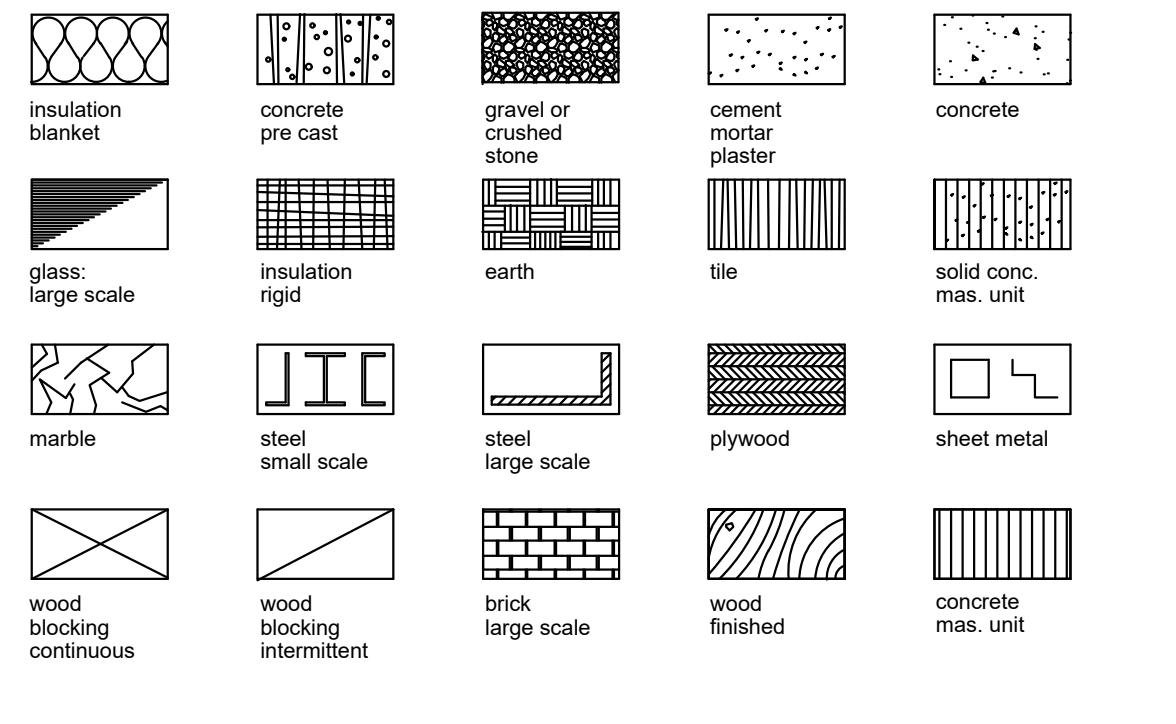
Table with columns R, S, S.AB, S.C, S.C.D, SCHED, S.D, SECT, SH, SHR, SHT, SIM, S.N.R, SPEC, SQ, S.ST, S.SK, STD, STL, STOR, STRL, SUSP, SYM. Rows include RISER, RAD, R.D, REF, REF.L, REFR, RF, RGTR, REINF, REQ, RESIL, RM, R.O, R.WD, R.W.L, SOUTH, SOUND ATTENUATION FIRE BLANKETS, SOLID CORE, SEAT COVER DISPENSER, SOAP DISPENSER, SECTION, SHELF, SHOWER, SHEET, SIMILAR, SANITARY NAPKIN DISPENSER, SANITARY NAPKIN RECEPTACLE, SPECIFICATION, SQUARE, STAINLESS STEEL, SERVICE SINK, STATION, STANDARD, STEEL, STORAGE, STRUCTURAL, SUSPEND, SYMMETRICAL.

Table with columns C, I.D, IN, INSUL, INT, INV, JAN, JST, JT, KIT, LAB, LAM, LAV, L.F, LKR, LT, LTG, LTWT. Rows include CAB, CARP, C.B, CEM, CER, C.I, C.G, CLG, CLO, CLR, C.M.U, C.O, COL, CONC, CONN, CONSTR, CONT, CORR, CTSK, CNTR, C.T, CTR, INSIDE DIAMETER (DIM), INCH, INSULATION, INTERIOR, INVERT, JANITOR, JOIST, JOINT, KITCHEN, LABORATORY, LAMINATE, LAVATORY, LINEAR FEET, LOCKER, LIGHT, LIGHTING, LIGHT WEIGHT.

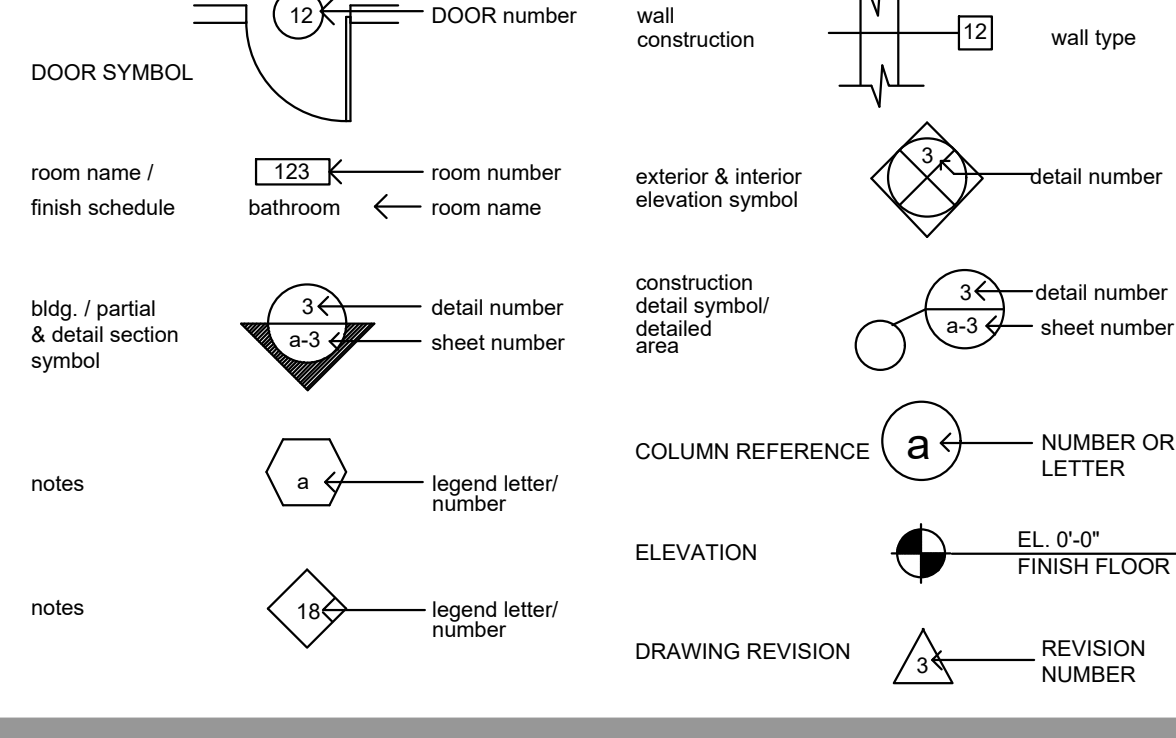
Table with columns T, TRD, T.B, T.C, TEL, TEMP, T & G, THK, THL, T.P.D, T.V, T.W, T.Y.P, T.O.B, T.O.C, T.O.S, UNF, U.O.N, UR, V.I.F, VERT, V.T, VEST, V.B, W, WT, W/, W.C, WP, WSCT. Rows include TREAD, TOWEL BAR, TOP OF CURB, TELEPHONE, TEMPERED, TONGUE AND GROOVE, THICK, TOILET, TOP OF PAVEMENT, TOILET PAPER DISPENSER, TELEVISION, TOP OF WALL, TYPICAL, TOP OF BEAM, TOP OF CONCRETE, TOP OF SLAB, UNFINISHED, UNLESS OTHERWISE NOTED, URINAL, UNDERWRITERS LAB, VERIFY IN FIELD, VERTICAL, VINYL TILE, VESTIBULE, VAPOR BARRIER, WEST, WEIGHT, WITH, WATER CLOSET, WOOD, WITHOUT, WATERPROOF, WAINSCOT.

Table with columns D, DBL, DEPT, D.F, DET, DIA, DIM, DISP, DN, D.O, DR, DW, DS, D.S.P, E, EA, E.J, EL, ELEC, ELEV, EMER, ENCL, E.P, EQ, EQPT, E.S, E.W.C, EXST, EXP, EXT, F, F.A, F.B, F.D, FDN, F.E, F.E.C, F.H.C, FIN, FL, FLASH, FLUOR, F.O.C, F.O.F, F.O.S, FPRF, F.S, FT, FTG, FURR, FUT, F.V, F.V.C. Rows include DOUBLE, DEPARTMENT, DRINKING FOUNTAIN, DETAIL, DIAMETER, DIMENSION, DISPENSER, MANHOLE, MINIMUM, MIRROR, MISC, M.L, M.O, MTD, MUL, EAST, EACH, EXPANSION JOINT, ELEVATION, ELECTRICAL, ELEVATOR, EMERGENCY ENCLOSURE, ELECTRICAL PANEL BOARD, EQUIPMENT, EMERGENCY OVERFLOW SCUPPER, ELECTRIC WATER COOLER, EXISTING, EXPOSED, EXPANSION, EXTERIOR, FIRE ALARM, FLAT BAR, FLOOR DRAIN, FOUNDATION, FIRE EXTINGUISHER, FIRE EXTINGUISHER CAB, FIRE HOSE CABINET, FINISH, FLOOR, FLASHING, FLUORESCENT, FACE OF CONCRETE, FACE OF FINISH, FACE OF STUDS, FIREPROOF, FULL SIZE, FOOT OR FEET, FOOTING, FURRING, FUTURE, FIELD VERIFY, FIRE VALVE CABINET.

Table with columns M, MAX, M.C, MACH, MECH, MEMB, MET, MFR, MH, MIN, MIR, MISC, M.L, M.O, MTD, MUL, N, N.I.C, NO, OR #, NOM, N.T.S, O.A, OBS, O.C, O.D, OFF, OPNG, OP, HD, OPP, P, PRCST, P.L, P.T, PL, P.LAM, PLAS, PLYWD, POL, PR, PT, P.T.D, PTN, PTR, Q.T. Rows include MAXIMUM, MEDICINE CABINET, MACHINE, MECHANICAL, MEMBRANE, METAL, MANUFACTURER, MANHOLE, MINIMUM, MIRROR, MISCELLANEOUS, MATCH LINE, MASONRY OPENING, MOUNTED, MULLION, NORTH, NOT IN CONTRACT, NUMBER, NOMINAL, NOT TO SCALE, OVERALL, OBSCURE, ON CENTER, OUTSIDE DIMENSION, OFFICE, OPENING, OPPOSITE HAND, OPPOSITE, PRE-CAST, PROPERTY LINE, PRESSURE TREATED, PLATE, PLASTIC LAMINATE, PLASTER, PLYWOOD, POLISHED, PAIR, POINT, PAPER TOWEL, DISPENSER, PARTITION, PAPER TOWEL, RECEPTACLE, QUARRY TILE.



SYMBOL LEGEND



GENERAL NOTES

- 1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. ALL WORK TO BE DONE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT.
3. ALL MATERIALS SHALL CONFORM WITH ALL PREVAILING CODES. MANUFACTURERS SHALL PROVIDE DADE COUNTY APPROVAL CODES FOR ALL REQUIRED ASSEMBLIES.
4. CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL AT HIS OWN COST REPAIR OR REPLACE ALL DAMAGED DURING REPAIR FOR THE PERIOD OF THE GUARANTEE.
5. COORDINATE ALL STRUCTURAL WORK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DWGS. FOR VERIFICATION OF LOCATIONS AND DIMENSIONS OF ALL PROJECT REQUIREMENTS.
6. SUBMIT MIN. 5 SETS SHOP DWGS. FOR ARCHITECTS REVIEW OF ALL ITEM REQUIRING FABRICATION. DO NOT FABRICATE UNTIL REVIEWED.
7. ALL MATERIALS AND FIXTURES MUST BE BRAND NEW.
8. INFORMATION SHOWN ON THE DWGS. AS TO THE LOCATION OF THE EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE A/E. HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS OR MODIFICATIONS TO THE SYSTEMS NOT SHOWN. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF ANY DAMAGE TO UTILITIES DURING CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED AND THE PROJECT REPRESENTATIVE NOTIFIED OF ANY CONFLICT OR DISCREPANCIES WHICH MAY OCCUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHICH CONDITIONS WILL NEED SHORING DURING EXCAVATION AND SHALL PROVIDE SUCH SHORING AND SUPPORT AS REQUIRED.
9. CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO EXCAVATION.
10. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
11. EXISTING PAVEMENT, SIDEWALKS, SOO, CURB OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED DURING CONSTRUCTION PERFORMED UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO OWNER.
12. ALL PAVING, SIDEWALK AND CURB & GUTTER WORK IN THE PUBLIC RIGHT OF WAY SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY OF MIAMI BEACH, FLORIDA AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
13. ALL UTILITY CONSTRUCTION AND CONNECTIONS WITHIN THE PUBLIC RIGHT OF WAY ARE TO BE PERFORMED BY THE MIAMI DADE COUNTY WATER AND SEWER DEPARTMENT.
14. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.
15. THIRD PARTY BENEFICIARIES: NOTHING CONTAINED IN THESE DRAWINGS SHALL CREATE A CONTRACTUAL RELATIONSHIP WITH OR A CAUSE OF ACTION IN FAVOR OF A THIRD PARTY AGAINST EITHER THE CLIENT OR THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL'S SERVICES UNDER WHICH THESE DRAWINGS WERE PREPARED, ARE BEING PERFORMED SOLELY FOR THE CLIENT'S BENEFIT, AND NO OTHER ENTITY SHALL HAVE ANY CLAIM AGAINST THE DESIGN PROFESSIONAL, BECAUSE OF THESE DRAWINGS OR THE PERFORMANCE OR NONPERFORMANCE OF SERVICES HEREUNDER.
16. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWING SCALE.
17. CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF ALL CONSTRUCTION REQUIREMENTS AND THE RELEVANCE TO THE WORK FAILURE TO BE ACQUAINTED WITH THIS KNOWLEDGE DOES NOT RELIEVE RESPONSIBILITY FOR PERFORMING ALL WORK PROPERLY. ADDITIONAL COMPENSATION SHALL NOT BE ALLOWED DUE TO THE FAILURE TO BECOME FAMILIAR WITH THE ENTIRE CONSTRUCTION DOCUMENT PACKAGE.
18. FIRE SPRINKLER SYSTEM AND FIRE ALARM SYSTEM (IF REQUIRED) ARE DESIGN BUILT BY THE CONTRACTOR. CONTRACTOR SHALL SUBMIT FIRE SPRINKLER & FIRE ALARM DRAWINGS TO THE JURISDICTION AND OBTAIN APPROVAL PRIOR TO BEGINNING ANY WORK ON THE FIRE SPRINKLER OR ALARM SYSTEM. THE FIRE SPRINKLER AND ALARM WORK SHALL BE PERFORMED UNDER A SEPARATE PERMIT WHERE APPLICABLE. COORDINATE ALL ROOF PENETRATIONS WITH MEP DRAWINGS.
19. CONTRACTOR SHALL INSPECT ALL EXISTING FIRE PROOFING OF STRUCTURAL ELEMENTS, DEMISING WALLS, AND FLOOR CEILING ASSEMBLIES WHICH ARE REQUIRED TO BE FIRE PROTECTED BY GOVERNING CODES. CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED FIREPROOFING. CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE RATINGS OF ALL ELEMENTS AND SHALL PATCH AND REPAIR ANY DAMAGED OR REMOVED ELEMENTS AS REQUIRED TO MAINTAIN ALL FIRE RATINGS.
20. OWNER HAS FILED FOR AND OBTAINED APPROVAL OF THE BUILDING PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING ANY OUTSTANDING BUILDING PERMIT ITEMS AND PICKING UP THE PERMIT.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL TRADE PERMITS AND OTHER PERMITS AS MAY BE REQUIRED BY THE JURISDICTIONS HAVING AUTHORITY OVER THE PROJECT.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING ANY REVISIONS TO THE APPROVED PERMIT DOCUMENTS AND PROCESSING THE APPROVAL OF THE REVISED DOCUMENTS WITH THE JURISDICTIONS HAVING AUTHORITY.
23. CONTRACTOR SHALL VERIFY THAT ALL EXISTING DEMISING WALL EXTEND TO THE BOTTOM OF THE FLOOR OF THE LANDLORD'S RESPONSIBILITY.
24. CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING SUBSTRATES TO RECEIVE NEW FINISHES AND ALL EXISTING SURFACES AND FINISHES AS NECESSARY FOR A COMPLETE AND PROPER INSTALLATION.
25. CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO REVIEW, DESIGN, AND SEAL ALL CHANGES NECESSARY TO THE BUILDING STRUCTURE FOR THE INSTALLATION OF OR REVISION OF ALL CONTRACTOR INSTALLED MECHANICAL UNITS OR OTHER CONTRACTOR INSTALLED ELEMENTS SUPPORTED BY OR ANCHORED TO THE EXISTING STRUCTURE. THE ENGINEER SHALL SUBstantiate THE DESIGN MODIFICATIONS NECESSARY TO MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING STRUCTURE.
26. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE, CONSTRUCTION MANAGER, AND THE ARCHITECT OF RECORD, IN WRITING OF THE CONCERNS AND/OR SUSPICIONS.
27. ALL BUILDINGS SHALL HAVE A PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES AS PER FBC 1816.1.7. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."
28. A WEATHER RESISTANT JOB SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL BE PROVIDED PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE OBTAINED PRIOR TO FINAL BUILDING APPROVAL.
29. MINIMUM INSULATION SHALL BE: R-19 FOR ROOF, R-5 FOR EXTERIOR WALLS, R-3 BOTH SIDES FOR CBS COMMON WALLS, AS PER FBC CHAPTER 13, SUB-CHAPTER 6.
30. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON PLANS ARE TAKEN FROM SURVEY PREPARED BY AMERICAN SERVICES OF MIAMI, CORP. DATED 06-13-2020, JOB No 20-813.

DRAWING INDEX

Table with columns G001, G900, G901, EXIST100, EXIST101, EXIST102, EXIST201, EXIST202, EXIST301, A100, A101, A102, A201, A202, A301, A302, A401, A402. Rows include GENERAL NOTES, INDEX AND ZONING INFORMATION, SITE PHOTOS, INTERIOR PHOTOS, EXISTING SITE PLAN & BASEMENT, EXISTING GROUND FLOOR, EXISTING SECOND FLOOR, EXISTING ELEVATIONS, EXISTING ELEVATIONS, EXISTING SECTIONS, PROPOSED SITE PLAN & BASEMENT, PROPOSED GROUND FLOOR PLAN, PROPOSED ELEVATIONS, PROPOSED SECTIONS, EXISTING / PROPOSED SECTIONS, ENLARGED ADA ROOM, ENLARGED GUEST ROOMS.

PROJECT INFORMATION

SCOPE OF WORK: CHANGE OF OCCUPANCY CLASSIFICATION FROM A GROUP R-2 TO A GROUP R-1. RENOVATION OF AN EXISTING HISTORICAL BUILDING WITH DWELLING UNITS. INTERIOR RENOVATION OF ALL EXISTING GUESTROOMS, BATHROOMS, CORRIDORS AND BASEMENT, INCLUDING NEW FURNITURE, BUILT-IN FURNITURE, PLUMBING FIXTURES, LIGHTING FIXTURES AND FINISHES.
LEGAL DESCRIPTION: LOTS 7 AND 8, BLOCK 8, OCEAN BEACH FLA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 38, OF MIAMI DADE COUNTY, FLORIDA.
FOLIO NUMBER: 02-4203-003-1050

ZONING SUMMARY

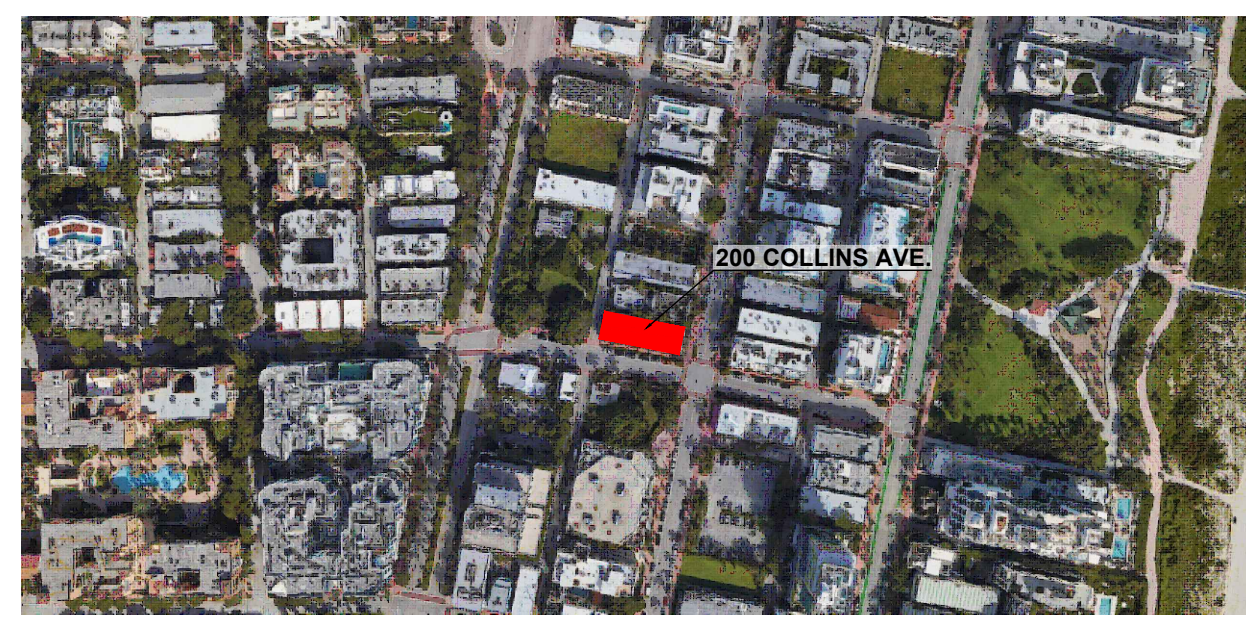
PROJECT ADDRESS: 200 COLLINS AVENUE, MIAMI BEACH, FL 33139
ZONING DISTRICT: 3003 MULTI-FAMILY R-PS3
PRESENT OCCUPANCY: RESIDENTIAL R-2
PROPOSED OCCUPANCY: HOTEL R-1
LOT COVERAGE: TO REMAIN - EXISTING
SETBACKS: TO REMAIN - EXISTING
EXISTING BUILDING AREA: 10,281.00 SQ. FT.

ALTERATION LEVEL

ALTERATION LEVEL 3 - (AS PER FBC 2020 7th ED EXISTING BUILDING, CHAPTER 6)

CLASSIFICATION OF REHABILITATION WORK

MODIFICATION AS PER FFPC 7TH EDITION CHAPTER 43.5, RECONSTRUCTION AS PER FFPC 7TH EDITION CHAPTER 43.6



LOCATION MAP

200 COLLINS AVE
200 COLLINS AVENUE
MIAMI BEACH, FL 33139

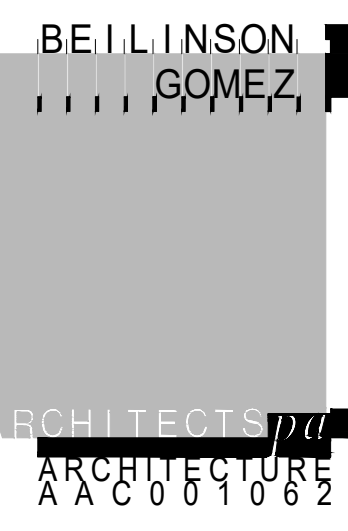


Table with columns DWG. TITLE, SCALE, PROJECT NO., DATE, SHEET NUMBER. Rows include GENERAL NOTES, INDEX AND ZONING INFORMATION, N.T.S., 2021-01, 04-12-21, G001.



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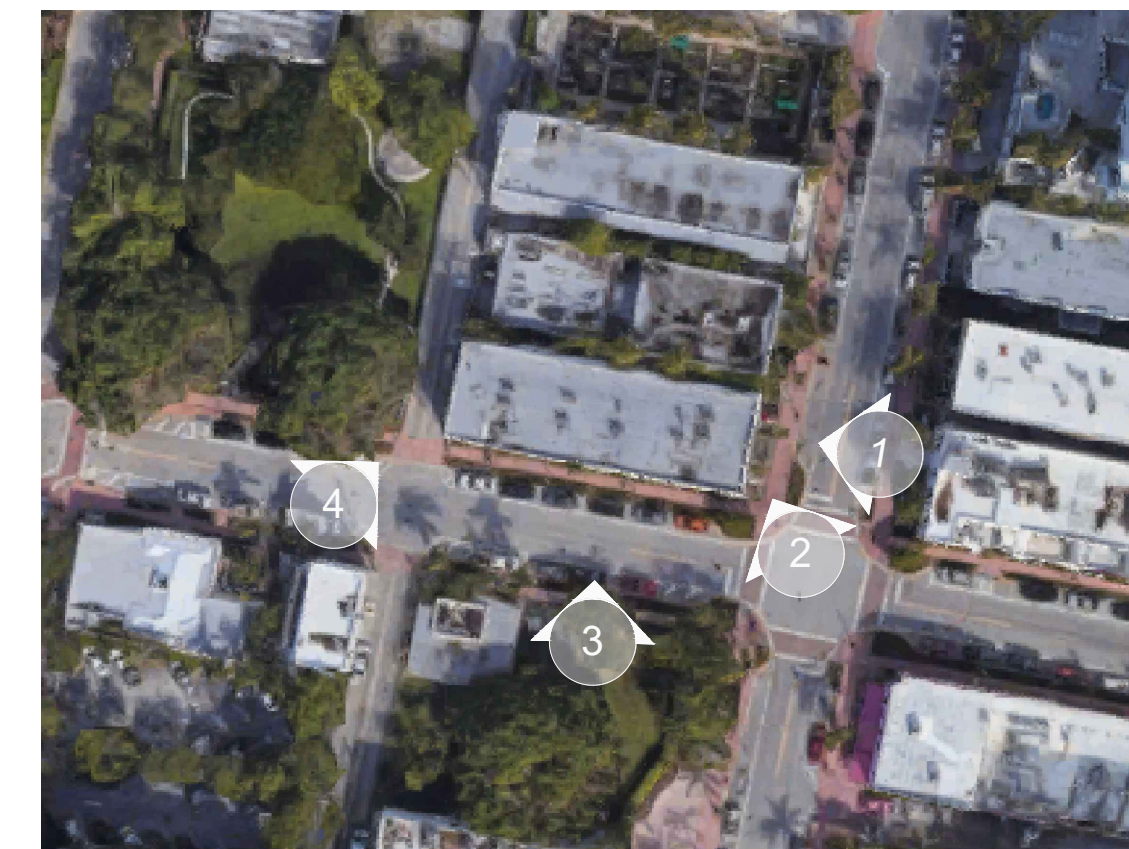
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3



4



LOCATION MAP

200 COLLINS AVE
 200 COLLINS AVENUE
 MIAMI BEACH, FL 33139

BEILINSON
 GOMEZ

ARCHITECTS P.A.
 ARCHITECTURE
 A A C 0 1 0 6 2

ROSE J GOMEZ

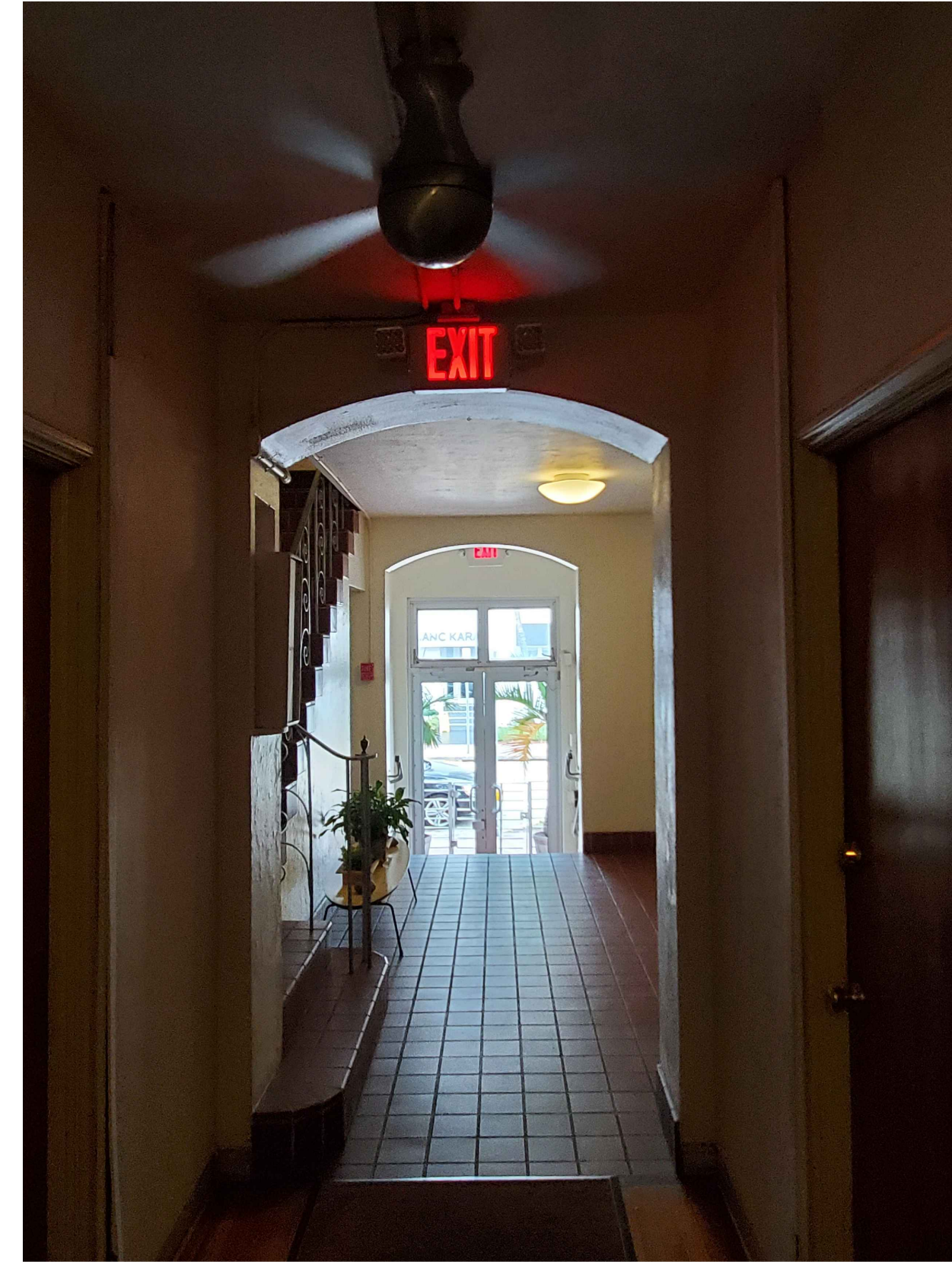
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		PROJECT NO.	2021-01
		DATE	04-12-21
		SHEET NUMBER	G900



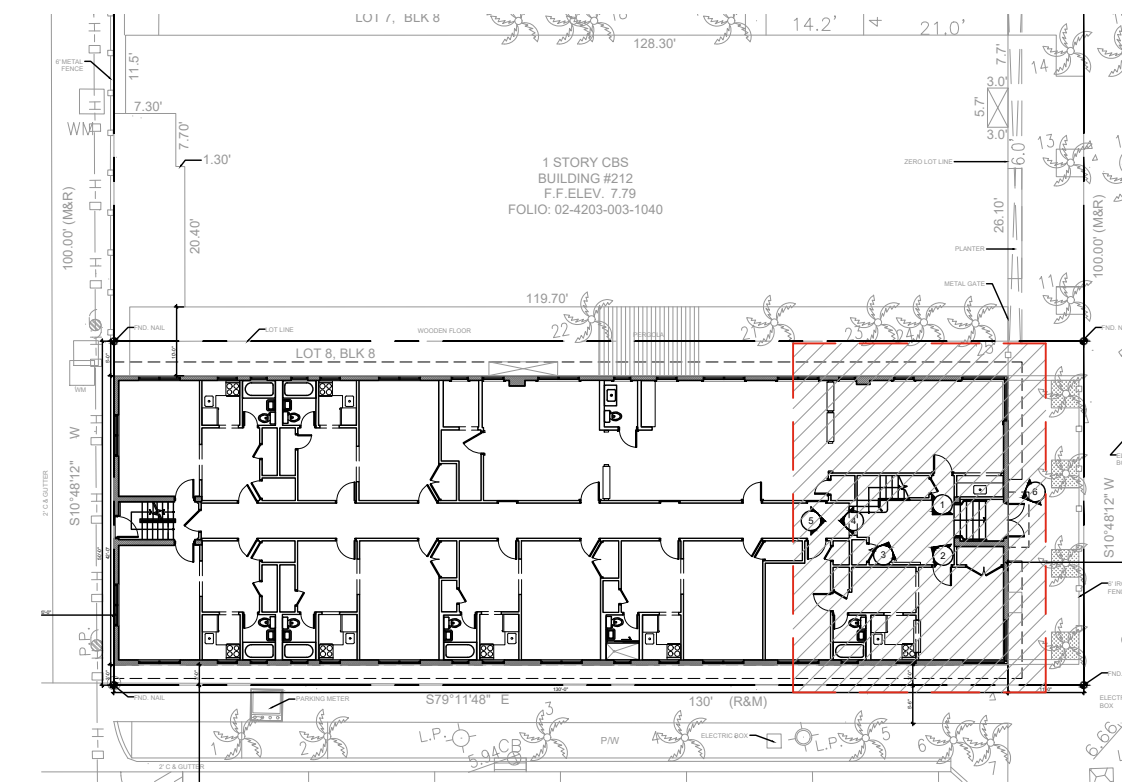
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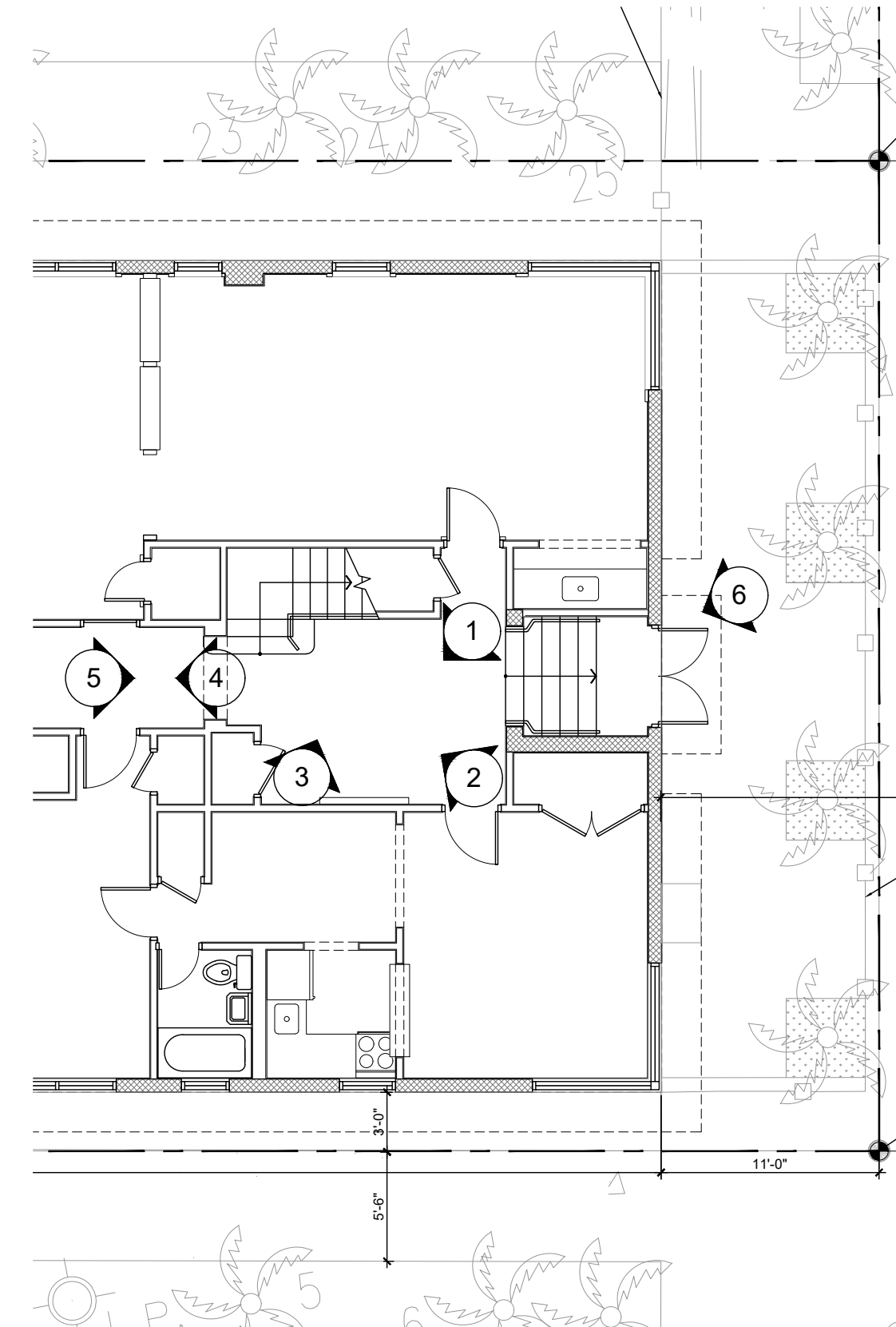
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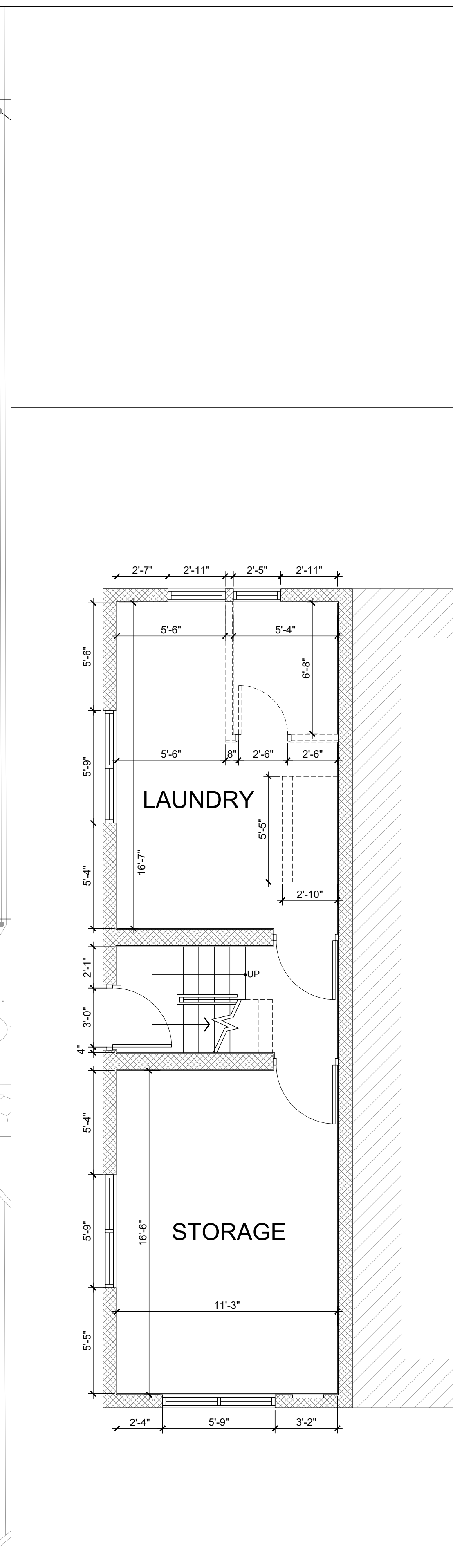
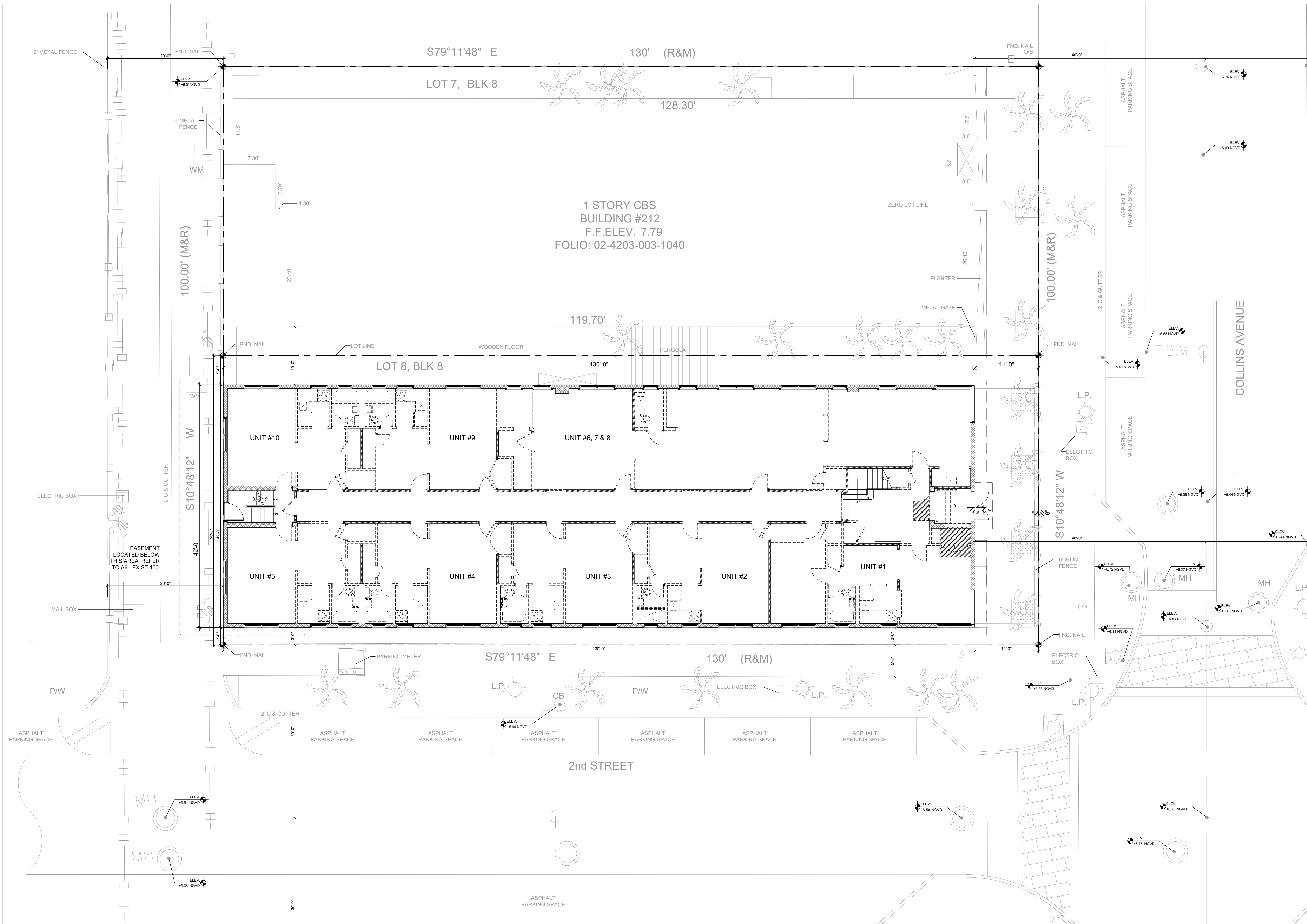
LOCATION MAP

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 200 COLLINS AVENUE
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DWG. TITLE	
INTERIOR PHOTOS	
SCALE	N.T.S.
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	G901
DATE	REVISION

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A1 EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"

A6 EXISTING BASEMENT

SCALE: 1/4" = 1'-0"

200 COLLINS AVE
200 COLLINS AVENUE
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BEILINSON
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ARCHITECTS

ARCHITECTURE

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ROSE L GOMEZ

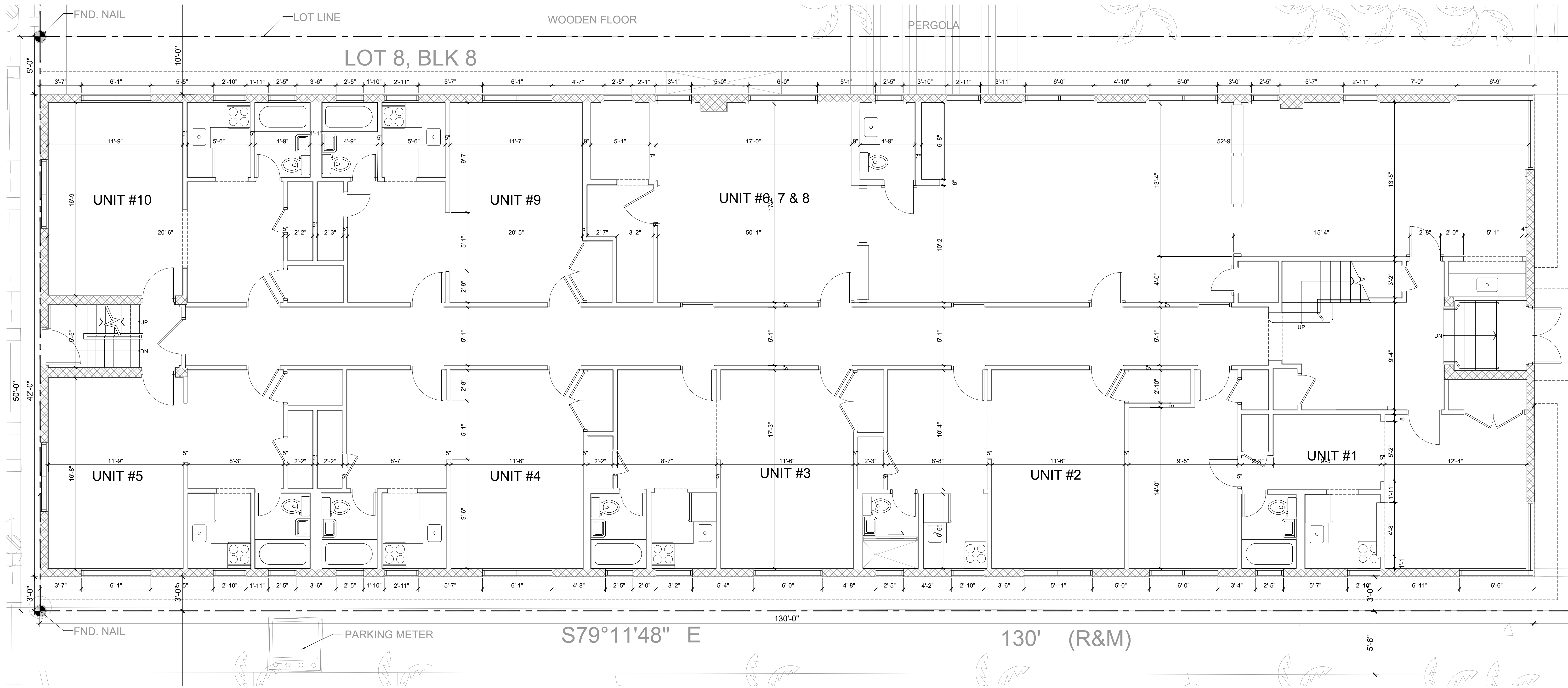
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DWG. TITLE	EXISTING SITE PLAN
SCALE	AS SHOWN
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	EXIST100

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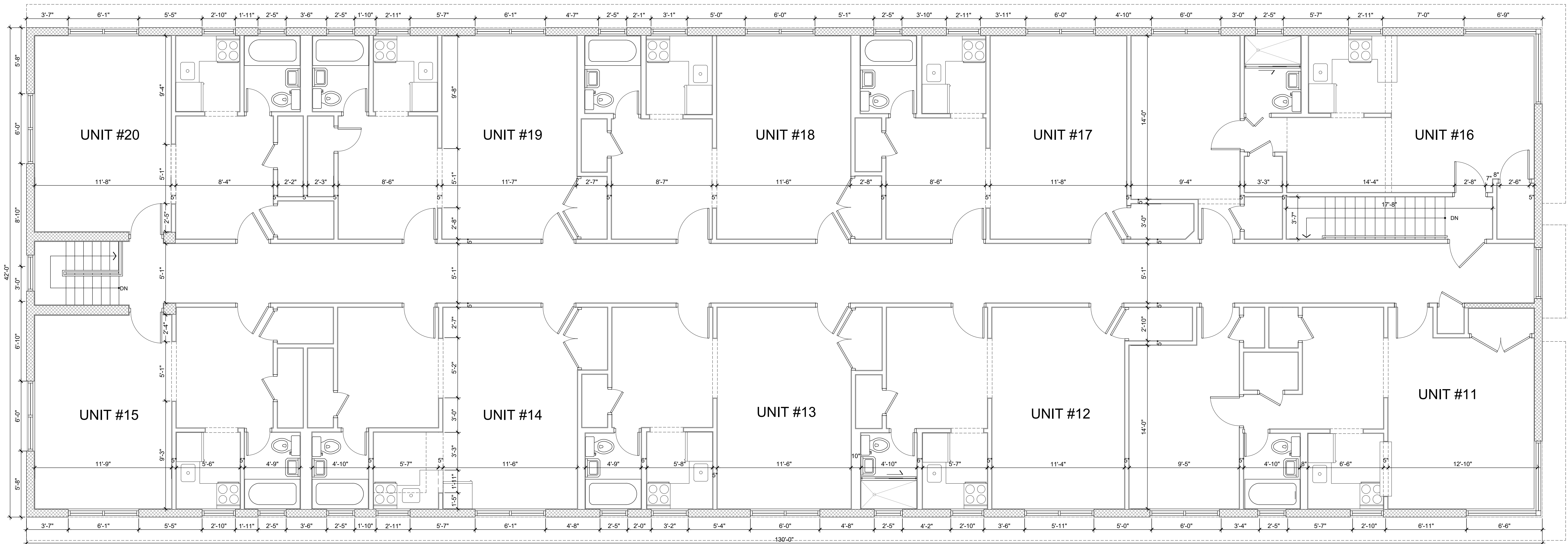
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DWG. TITLE	EXISTING GROUND FLOOR
SCALE	1/4" = 1'-0"
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	EXIST101

DATE	REVISION
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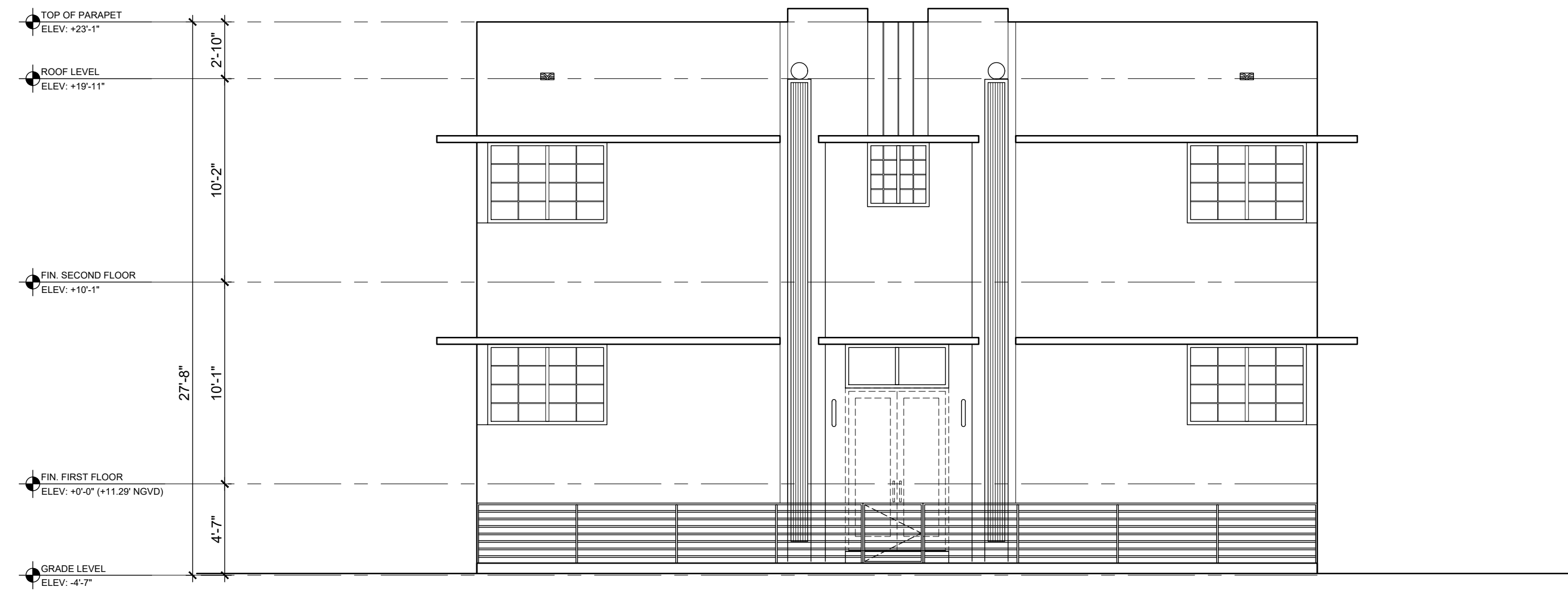
ROSE + GOMEZ
 ARCHITECTS

DWG. TITLE	EXISTING SECOND FLOOR
SCALE	1/4" = 1'-0"
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	EXIST102

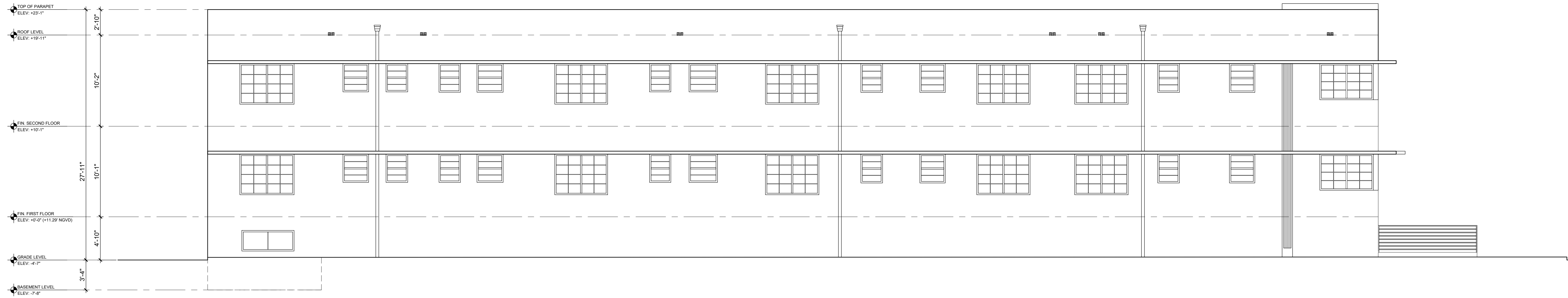
DATE REVISION

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CONSULTANT



1 EAST ELEVATION



2 SOUTH ELEVATION

200 COLLINS AVE
 200 COLLINS AVENUE
 MIAMI BEACH, FL 33139

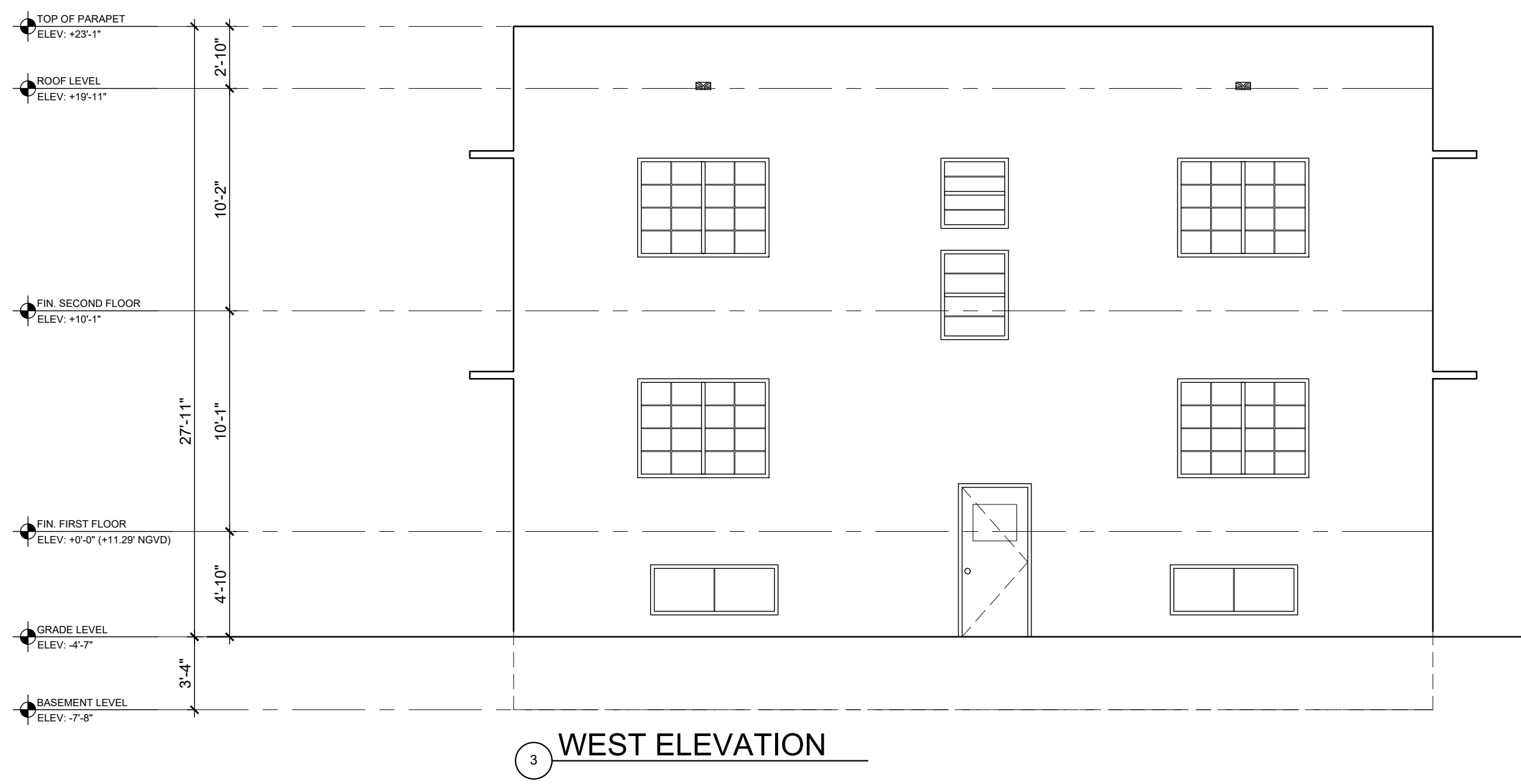
BEILINSON
 GOMEZ

ARCHITECTS P.A.
 A A C 0 0 1 0 6 2

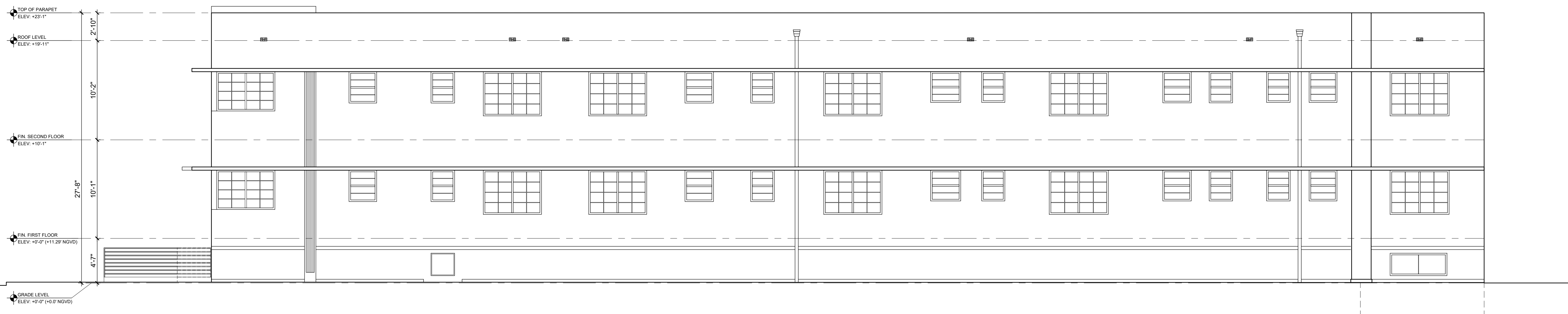
8101 BISCAYNE BLVD. S. 309-310 MIAMI, FL 33138
 T 305.559.1250 F 305.551.1746

ROSE J. GOMEZ

DATE	REVISION	DWG. TITLE
		EXISTING ELEVATIONS
		SCALE 3/16" = 1'-0"
		PROJECT NO. 2021-01
		DATE 04-12-21
		SHEET NUMBER EXIST201



3 WEST ELEVATION



4 NORTH ELEVATION

200 COLLINS AVE
200 COLLINS AVENUE
MIAMI BEACH, FL 33139

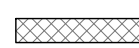
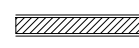

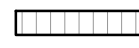
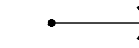
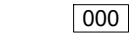


BEILINSON
GOMEZ

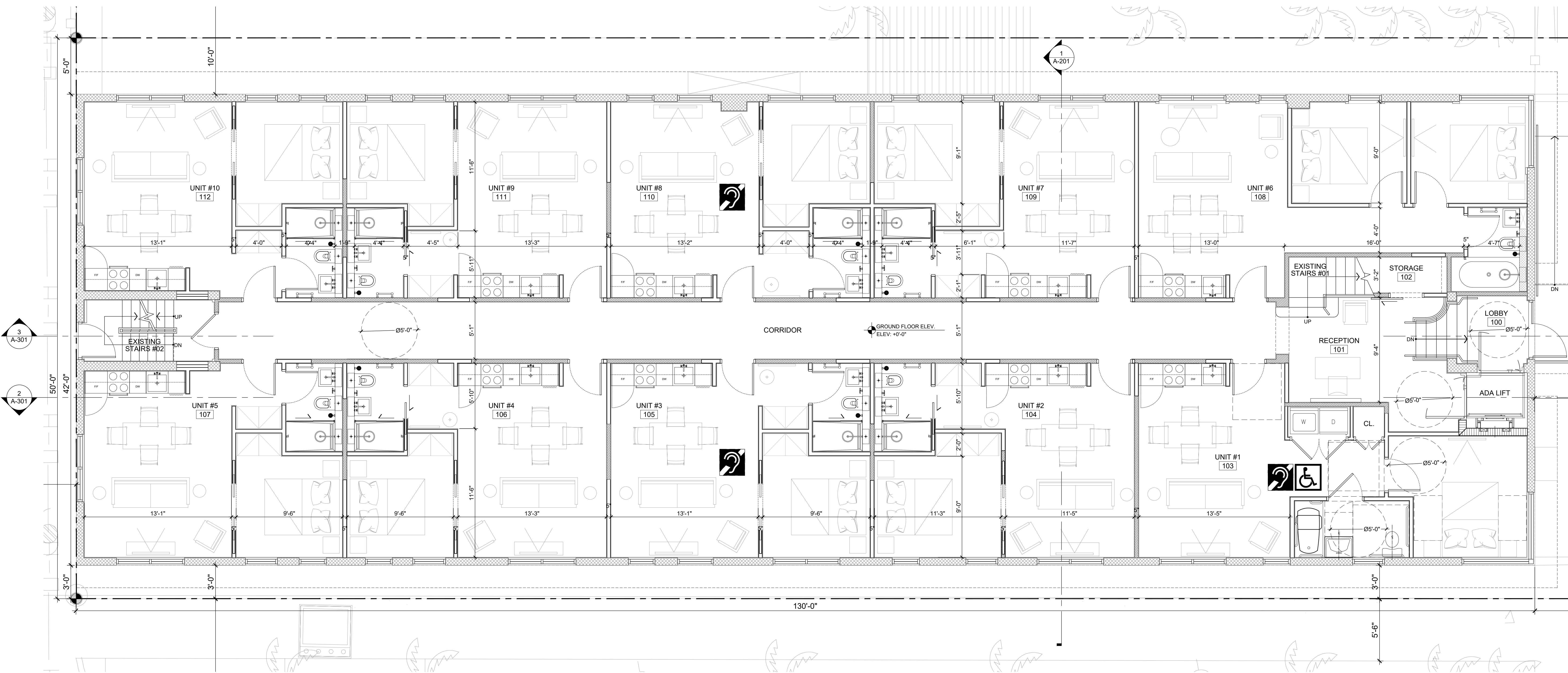
ARCHITECTS P.A.
ARCHITECTURE
A A C 0 0 1 0 6 2

DWG. TITLE	EXISTING ELEVATIONS
SCALE	3/16" = 1'-0"
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	EXIST202
DATE	REVISION

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LEGEND

-  EXISTING STRUCTURE/EXTERIOR WALL TO REMAIN
-  EXISTING INTERIOR PARTITION TO REMAIN
-  NEW INTERIOR PARTITION
-  NEW CMU WALL
-  STAIR DIRECTION
-  ROOM-NAME
-  PROPOSED UNIT W/COMMUNICATION FEATURES
-  PROPOSED UNIT W/MOBILITY FEATURES



200 COLLINS AVE

200 COLLINS AVENUE
MIAMI BEACH, FL 33139

**BELLINSON
GOMEZ**

ARCHITECTS P.A.

ARCHITECTURE

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MIAMI, FL 33138-4684
T 305.559.1250 F 305.551.1740

ROSE + GOMEZ

DWG. TITLE
PROPOSED GROUND FLOOR PLAN

SCALE
1/4" = 1'-0"

PROJECT NO.
2021-01

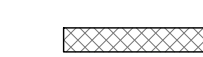
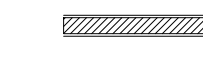

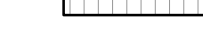


DATE
04-12-21

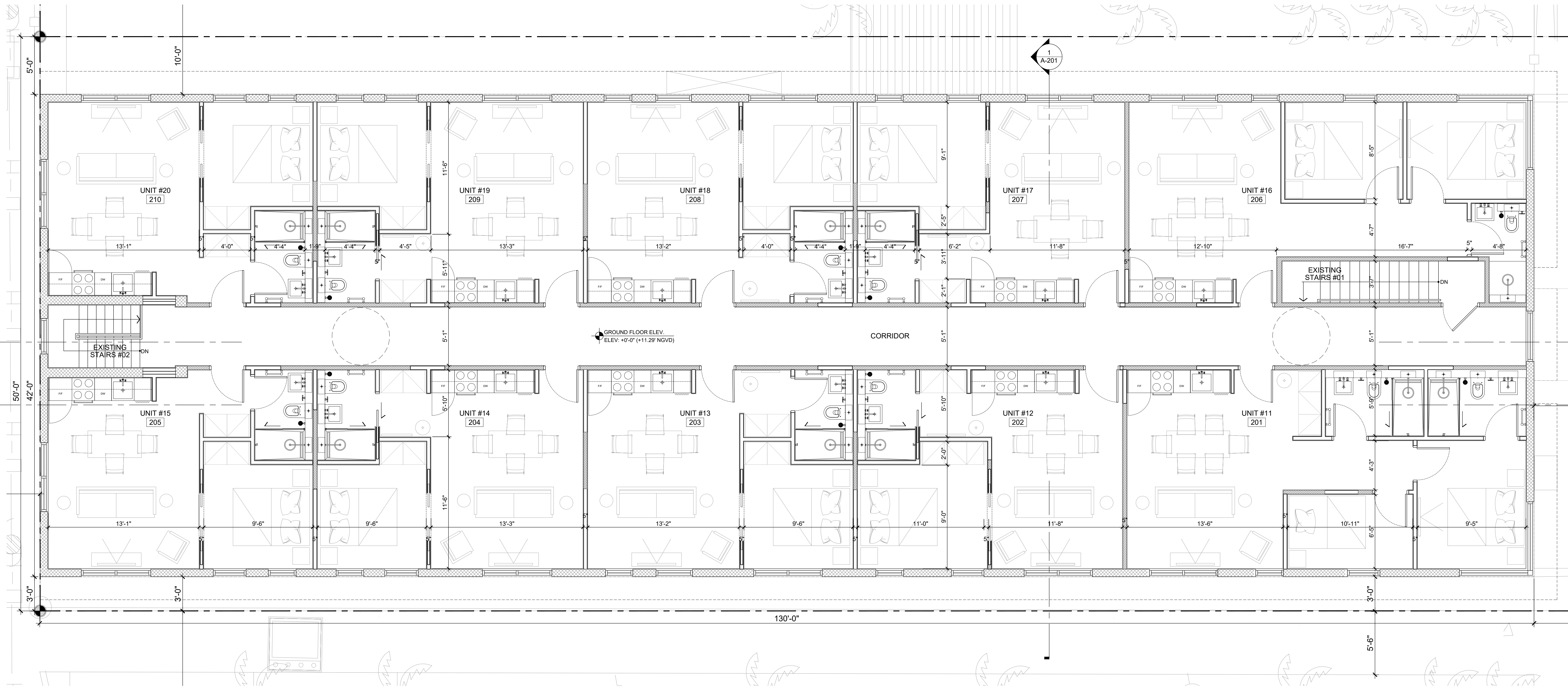
SHEET NUMBER

A101

DATE REVISION

LEGEND

-  EXISTING STRUCTURE/EXTERIOR WALL TO REMAIN
-  EXISTING INTERIOR PARTITION TO REMAIN
-  NEW INTERIOR PARTITION
-  NEW CMU WALL
-  STAIR DIRECTION
-  ROOM-NAME



200 COLLINS AVE

200 COLLINS AVENUE
MIAMI BEACH, FL 33139

**BEILINSON
GOMEZ**

ARCHITECTS P.A.

ARCHITECTURE

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8101 BISCAYNE BLVD. S. 309-310 MIAMI FL 33138-4684 T 305.559.1250 F 305.551.1746

ROSE + GOMEZ

A R 0 1 9 4 6 6

DWG. TITLE
PROPOSED SECOND FLOOR PLAN

SCALE
1/4" = 1'-0"

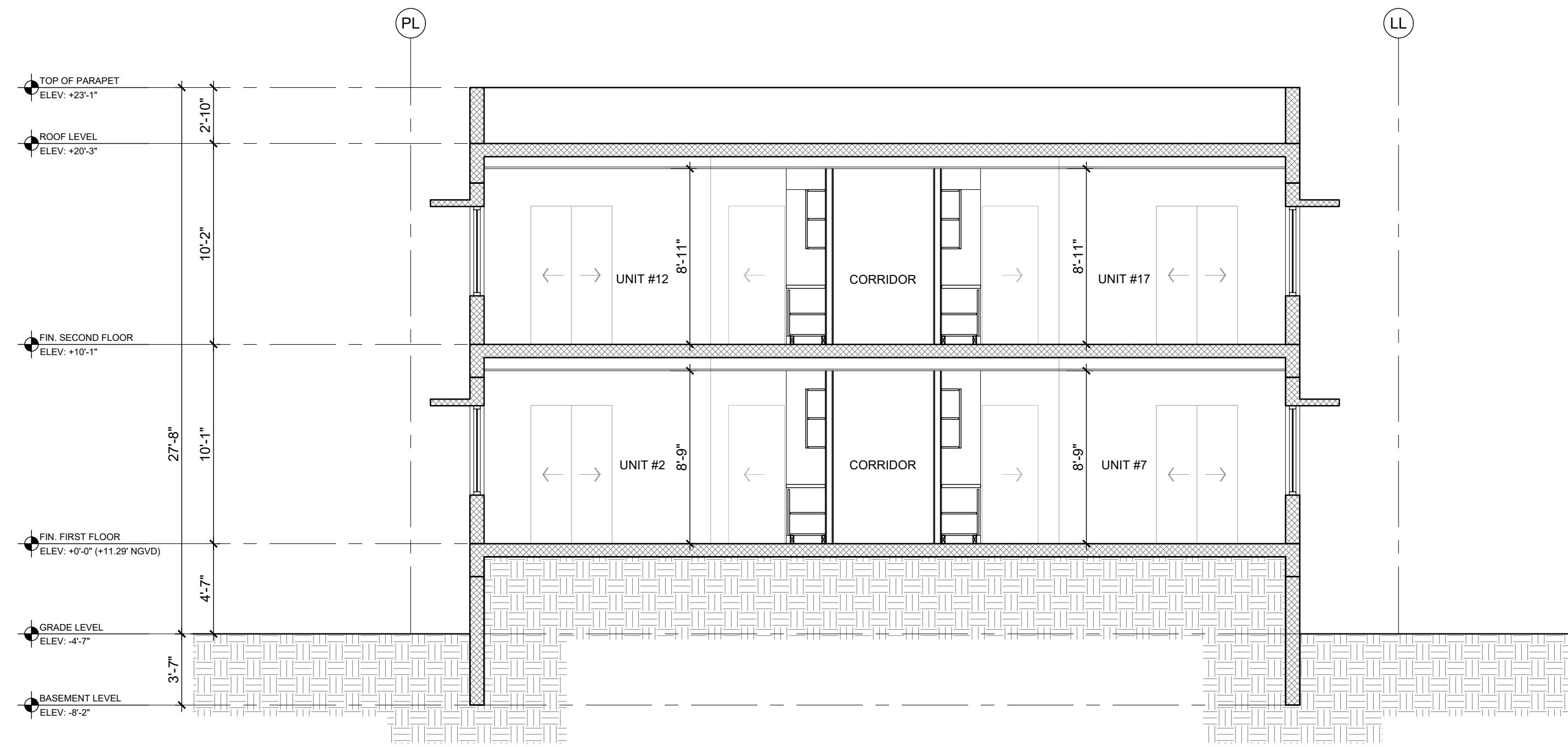
PROJECT NO.
2021-01

DATE
04-12-21

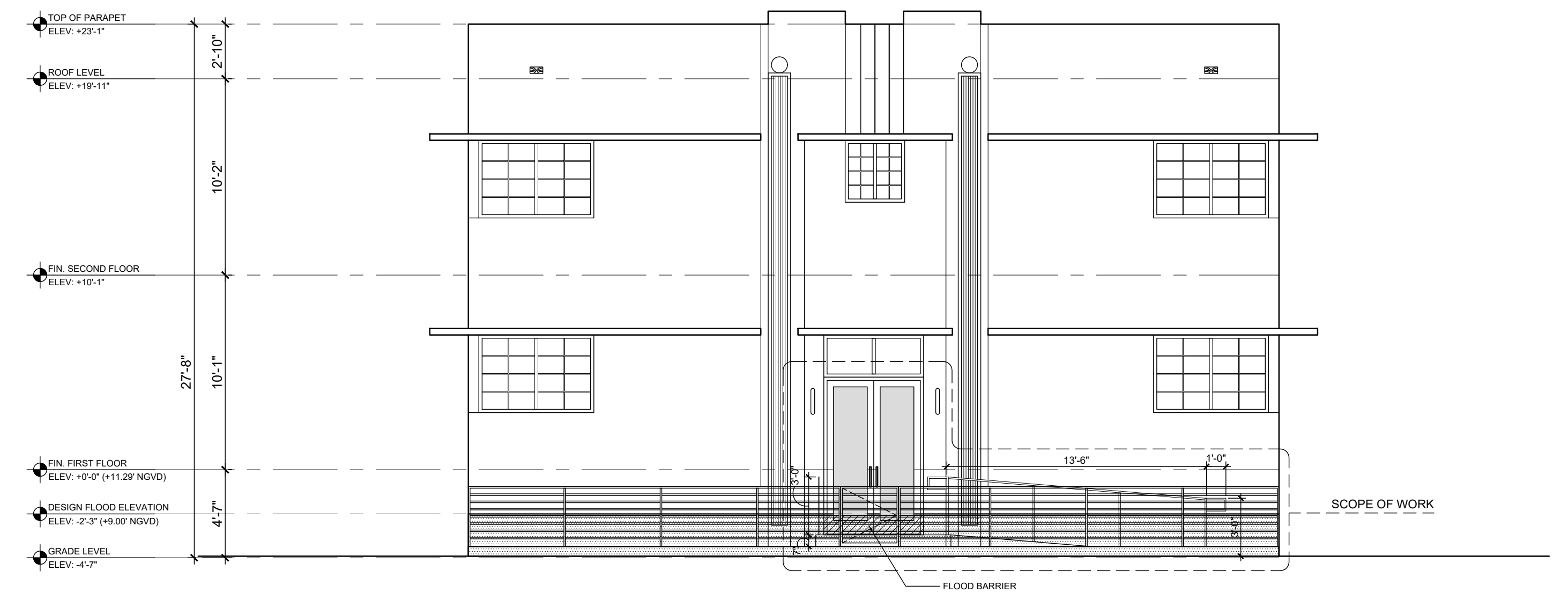
SHEET NUMBER
A102

DATE REVISION

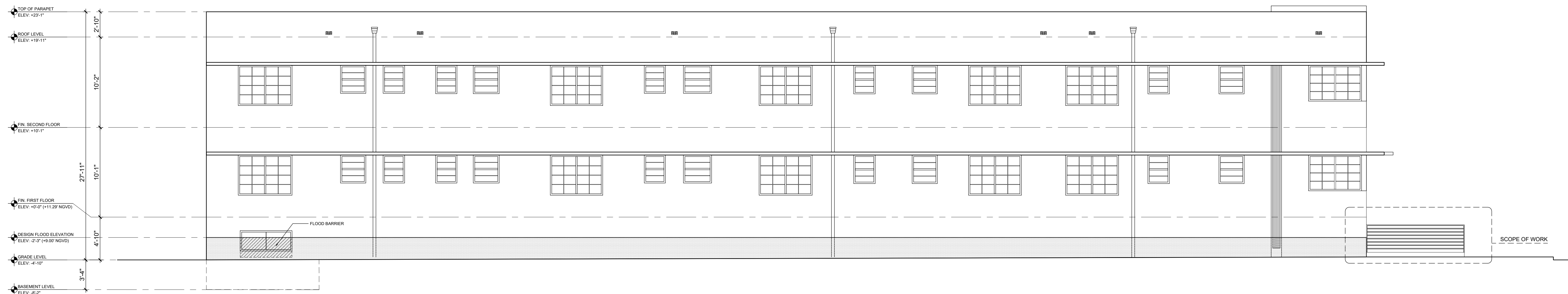
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SECTION 1



EAST ELEVATION 1



SOUTH ELEVATION 2

- NEW WALL WATERPROOFING UP TO 9.0' NGVD
- FLOOD BARRIERS UP TO 9.0' NGVD
- SCOPE OF WORK

200 COLLINS AVE
200 COLLINS AVENUE
MIAMI BEACH, FL 33139

BEILINSON
GOMEZ
ARCHITECTS P.A.
A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD. S. 309-310
MIAMI, FL 33133
T 305.559.1250 F 305.551.1746

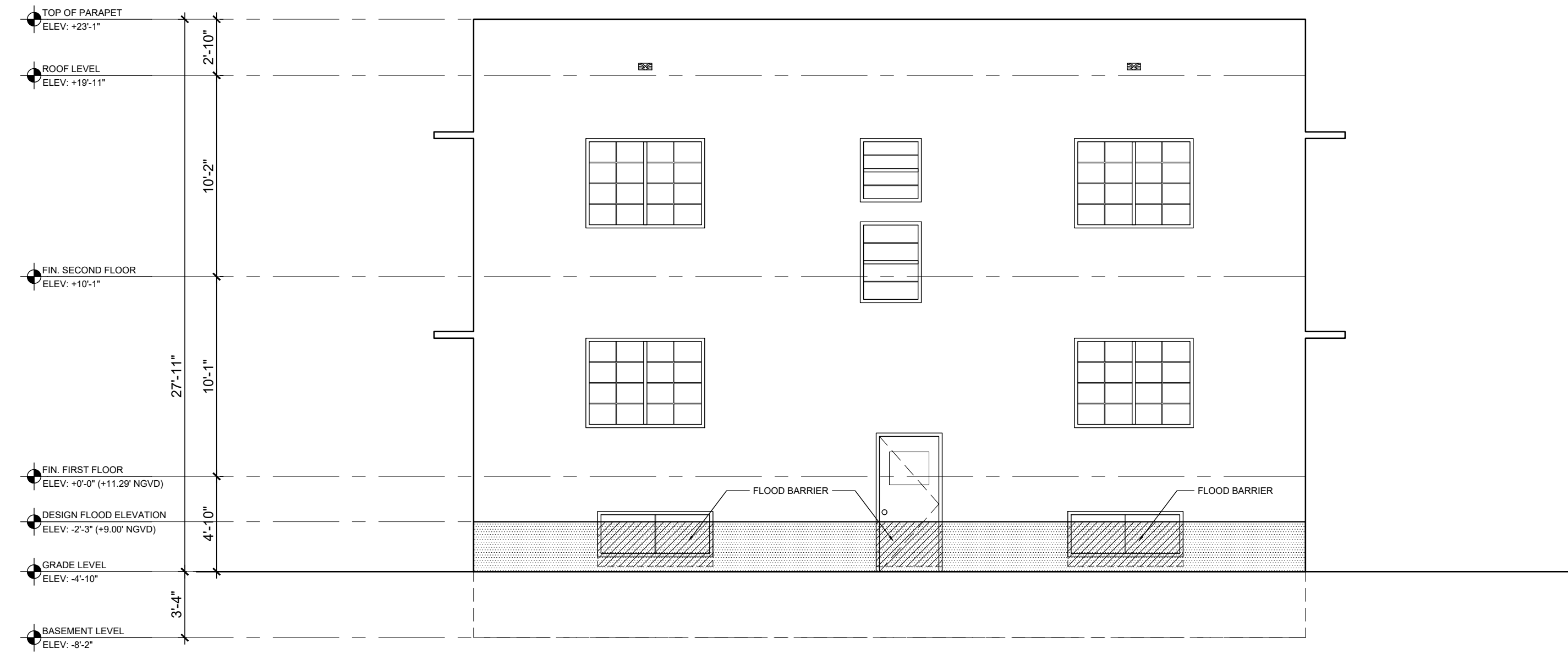
JOSE L GOMEZ

DWG. TITLE	PROPOSED ELEVATIONS
SCALE	3/16" = 1'-0"
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	A201

DATE REVISION

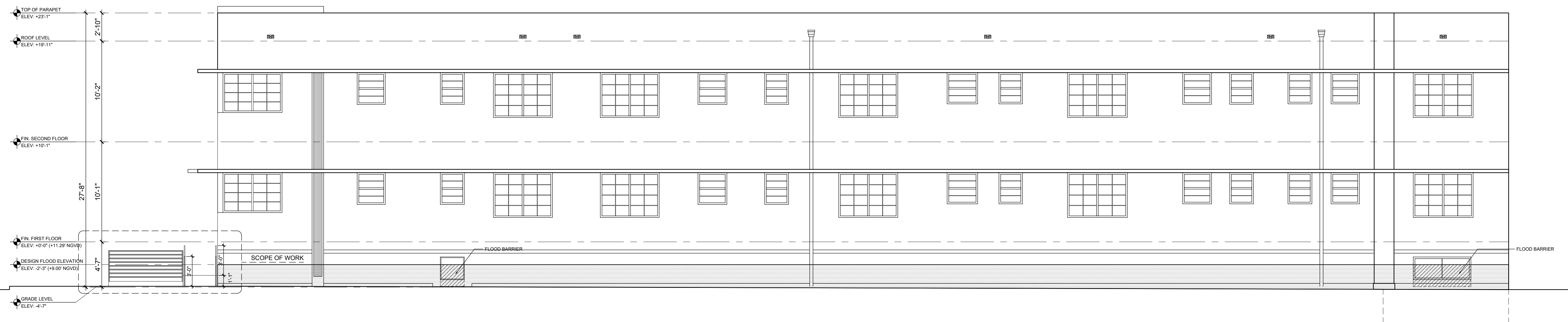
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CONSULTANT





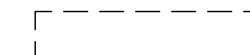
WEST ELEVATION

3



NORTH ELEVATION

4

-  NEW WALL WATERPROOFING UP TO 9.0' NGVD
-  FLOOD BARRIERS UP TO 9.0' NGVD.
-  SCOPE OF WORK.

200 COLLINS AVE
200 COLLINS AVENUE
MIAMI BEACH, FL 33139

BEILINSON
GOMEZ

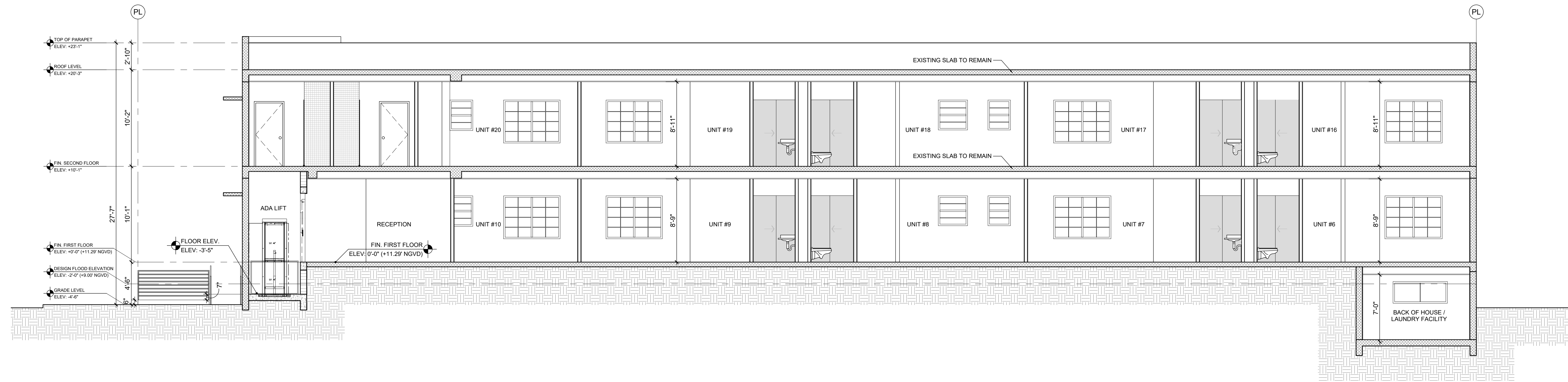
ARCHITECTS
P.A.

8101 815 CAYNE BLVD. S. 309-310
MIAMI, FL 33133
T 305.559.1250 F 305.551.1746

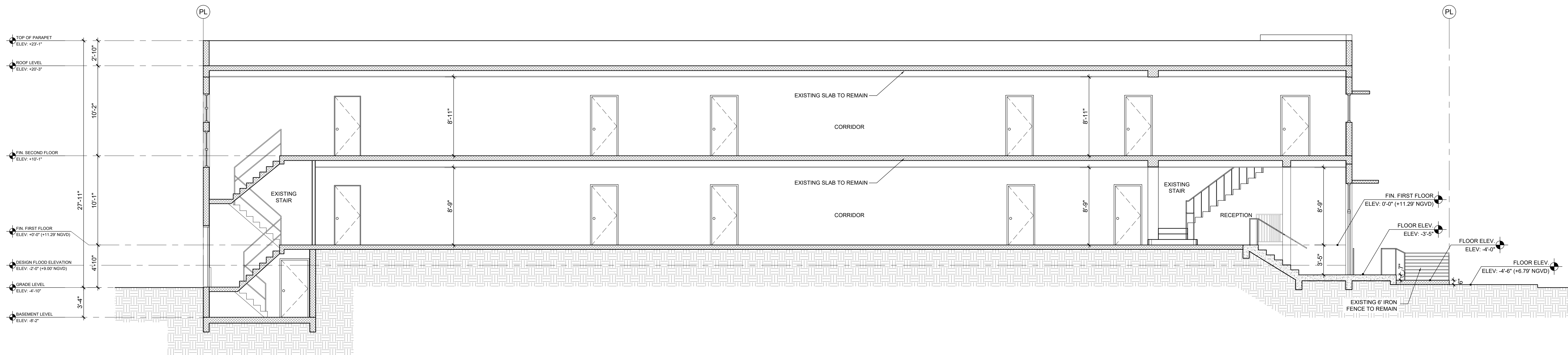
ROSE J. GOMEZ
A R 0 1 9 4 F 6

DWG. TITLE	PROPOSED ELEVATIONS
SCALE	3/16" = 1'-0"
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	A202

DATE REVISION



SECTION 2



SECTION 3

200 COLLINS AVE
200 COLLINS AVENUE
MIAMI BEACH, FL 33139

BEILINSON
GOMEZ

ARCHITECTS P.A.

ARCHITECTURE

A A C 0 0 1 0 6 2

8101 BISCAYNE BLVD. S. 309-310

M I A M I, F L 3 3 1 3 8 - 4 6 8 4

T 305.559.1250 F 305.551.1746

ROSE + GOMEZ

A R 0 1 9 4 F 6

DWG. TITLE
PROPOSED SECTIONS

SCALE
3/16" = 1'-0"

PROJECT NO.
2021-01

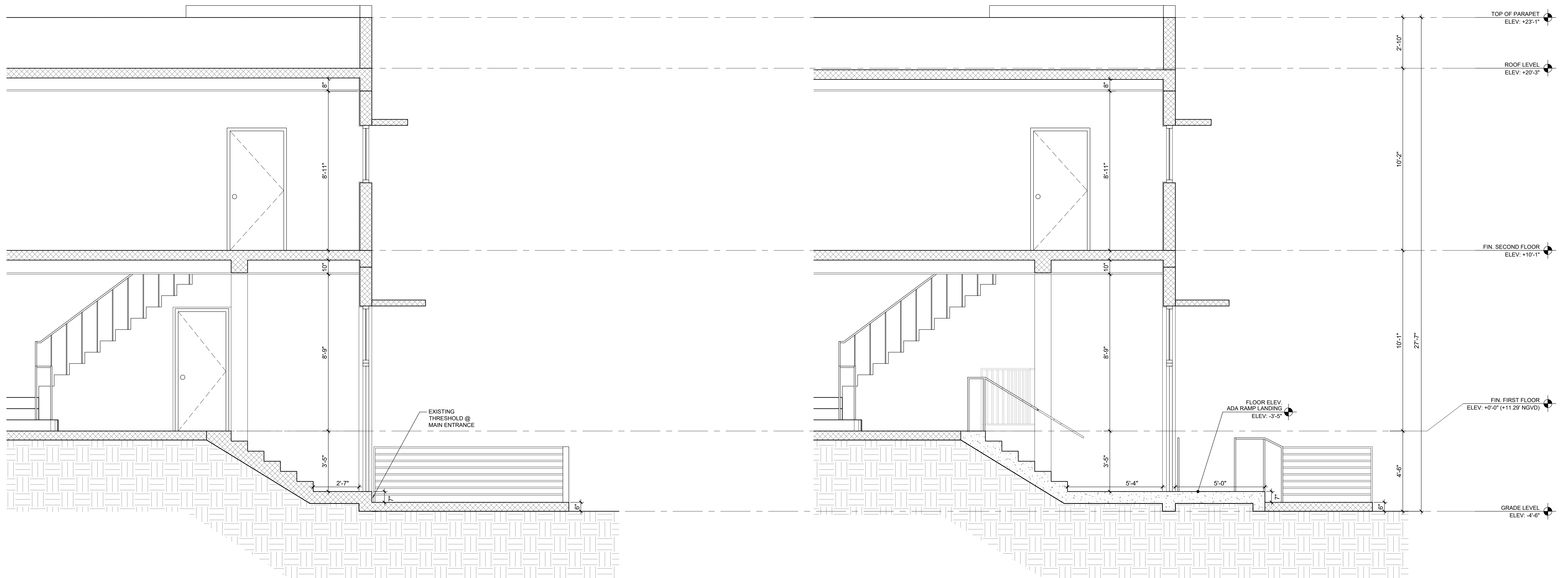
DATE
04-12-21

SHEET NUMBER
A301

DATE REVISION

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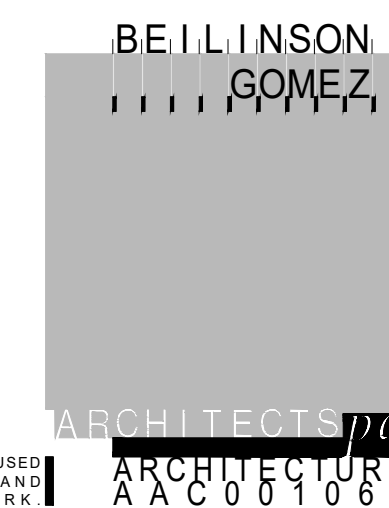
CONSULTANT



EXISTING MAIN ENTRANCE ①

PROPOSED MAIN ENTRANCE ②

200 COLLINS AVE
 200 COLLINS AVENUE
 MIAMI BEACH, FL 33139

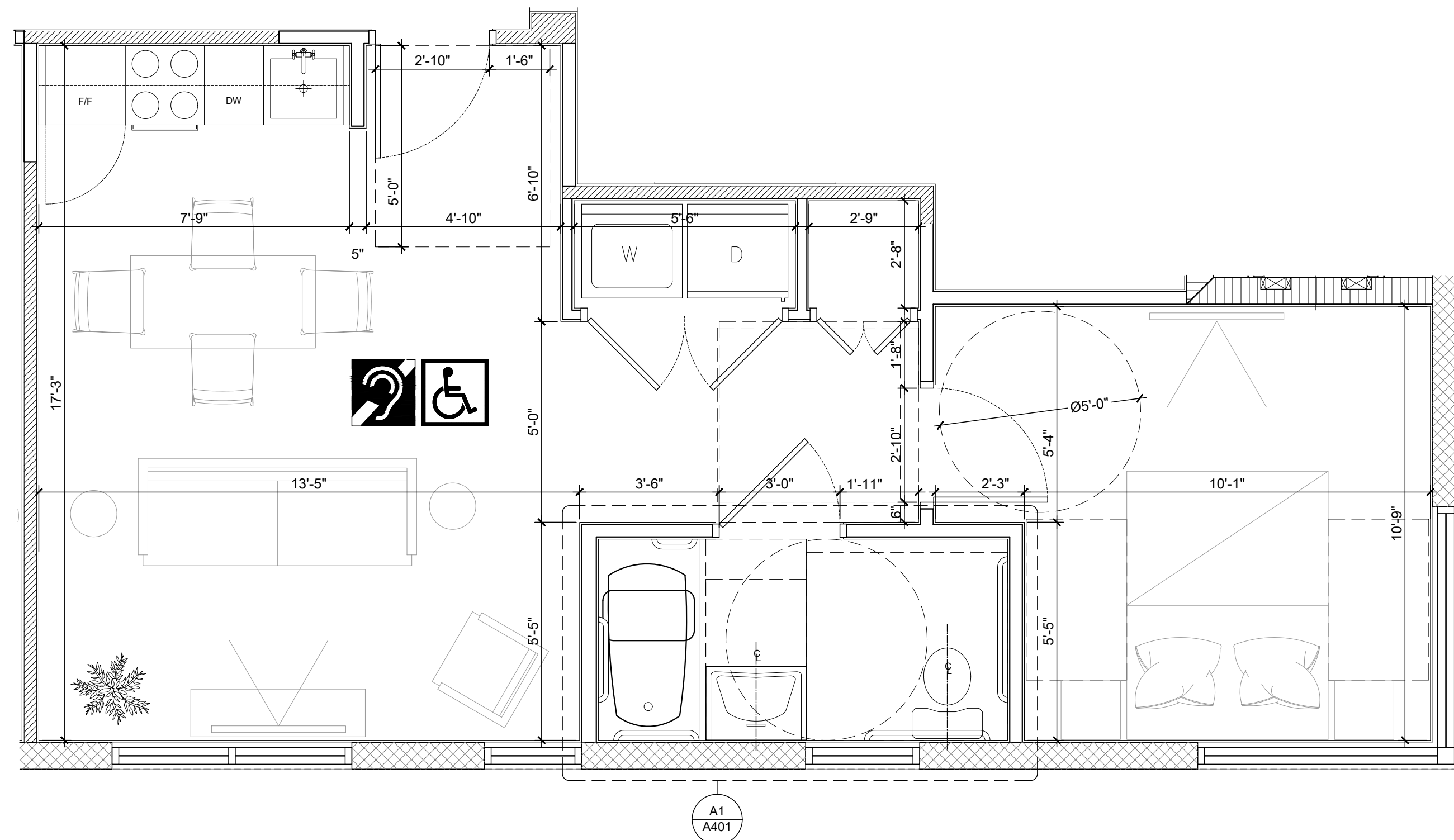


BEILINSON GOMEZ ARCHITECTS P.A. 8101 BISCAYNE BLVD. S. 309-310 MIAMI, FL 33133
 T 305.559.1250 F 305.551.1746

DWG. TITLE	PROPOSED SECTIONS
SCALE	3/8" = 1'-0"
PROJECT NO.	2021-01
DATE	05-07-21
SHEET NUMBER	A302
DATE	REVISION

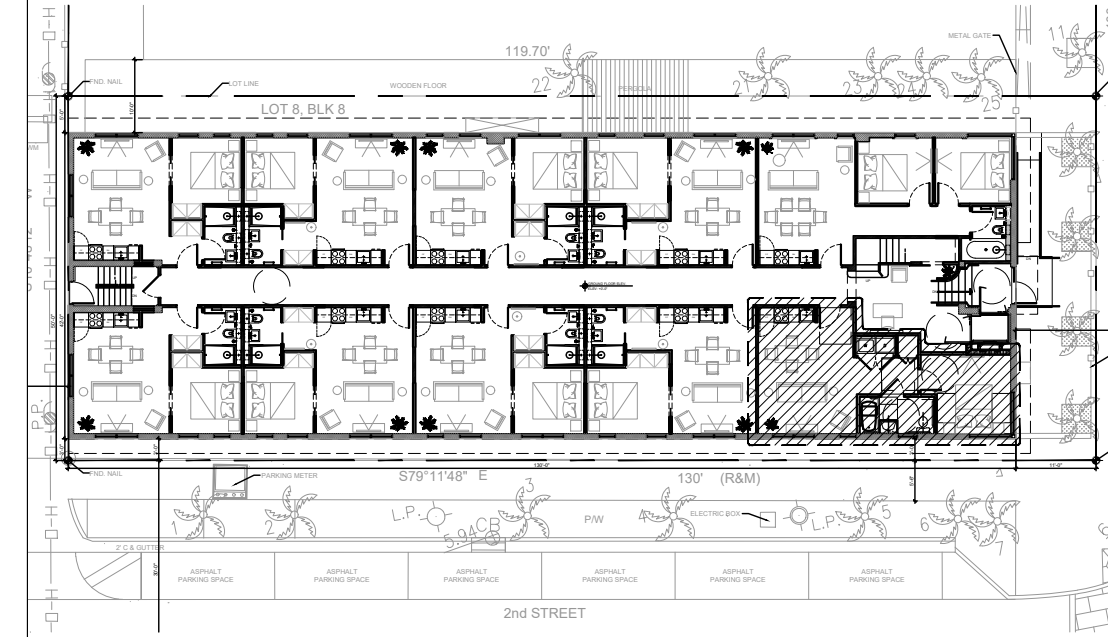
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D1 TEX SCALE: D2 TEX SCALE: D3 TEX SCALE: D4 TEX SCALE: D5 TEX SCALE:



GUEST ROOM WITH MOBILITY FEATURES CALCULATION (FBC 2020 ACC.-TABLE 224.2)			
TOTAL # OF ROOMS = 20 UNITS			
F.B.C. CLASSIFICATION	1-25	MINIMUM NUMBER OF REQUIRED ROOMS WITHOUT ROLL-IN SHOWERS	0
F.B.C. REQUIRED		1	1
PROVIDED	UNIT #: 1	1 (#1)	1

GUEST ROOM WITH COMMUNICATION FEATURES (FBC 2020 ACC.-TABLE 224.4)	
TOTAL # OF ROOMS = 20 UNITS	
F.B.C. CLASSIFICATION	2-25
F.B.C. REQUIRED	2
PROVIDED	UNITS #: 3 & 8



RESTROOMS KEY NOTES

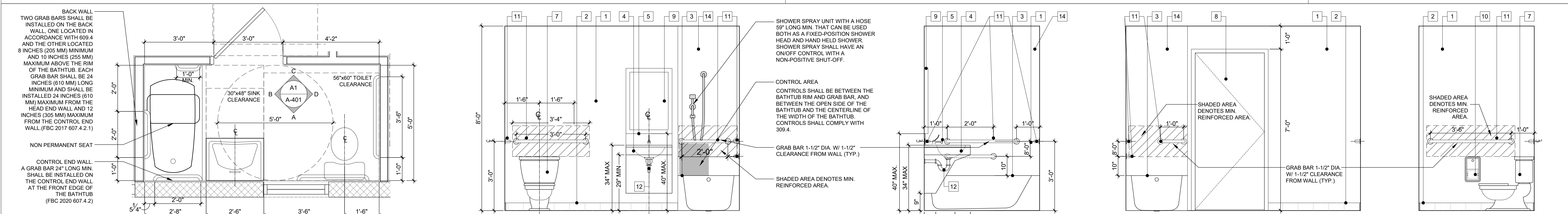
- 01 PAINT FINISH ON MOISTURE RESISTANT FIBER-CEMENT BOARD MINIMUM HEIGHT 6'-0" FBCR 307 & R702.4
- 02 BASEBOARD BY OWNER
- 03 ADA BATHTUB WITHOUT PERMANENT SEAT
- 04 ADA COMPLIANT SINK BY OWNER
- 05 ADA COMPLIANT FAUCET
- 06 WATER CLOSET TO BE SELECTED BY OWNER
- 07 ADA COMPLIANT WATER CLOSET
- 08 BATHROOM DOOR REFER TO DOOR SCHEDULE
- 09 ADA COMPLIANT FIXED POSITION MIRROR BY OWNER
- 10 TOILET PAPER DISPENSER
- 11 1 1/2" Ø STAINLESS STEEL GRAB BARS
- 12 INSULATED PIPE AS PER FBC / ACCESSIBILITY 606.4
- 13 FIXED MIRROR TO BE SELECTED BY OWNER
- 14 CERAMIC TILE TO BE SELECTED BY OWNER

- NOTES:**
1. ALL PLUMBING FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER.
 2. TOILET, BATHING AND SHOWER ROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF SUCH FLOORS WITH WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS NOT LESS THAN 4 INCHES, TO COMPLY WITH FBC-B SECTIONS 1210.2.1 THROUGH 1210.2.4.
 3. ACCESSORIES SUCH AS GRAB BARS, TOWEL BARS, PAPER DISPENSERS AND SOAP DISHES, PROVIDED ON OR WITHIN WALLS, SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE.

B1 ENLARGED GUEST ROOM WITH MOBILITY/SPECIAL ACCESSIBILITY FEATURES - GROUND FLOOR

SCALE: **B4 TEX**

SCALE: **B6 KEY NOTES & KEY PLAN** SCALE: N.T.S.



A1 ENLARGED ADA BATHROOM (TRANSFER SHOWER-TUB)

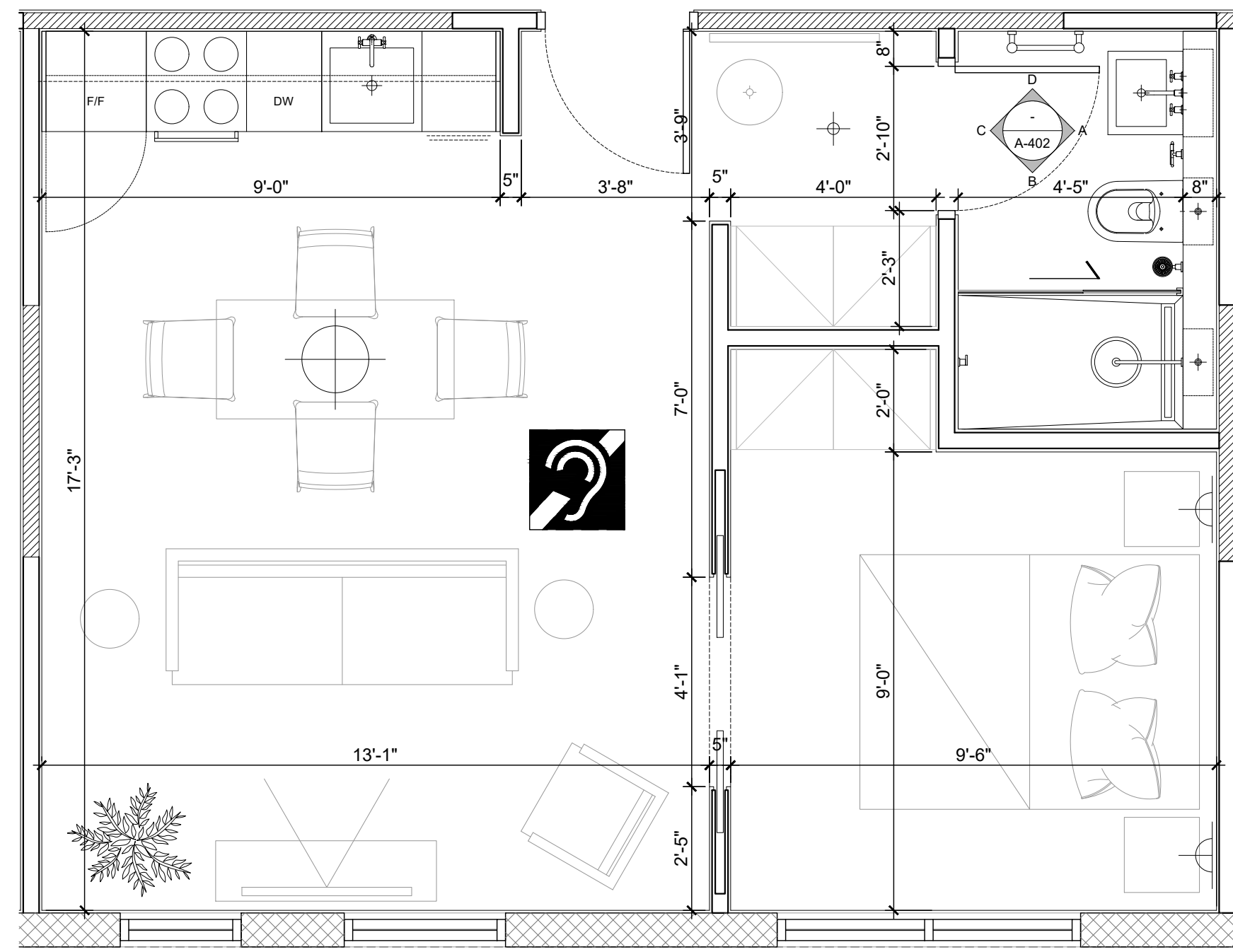
SCALE: 1/2" = 1'-0"

200 COLLINS AVE
200 COLLINS AVENUE
MIAMI BEACH, FL 33139

**BEILINSON
GOMEZ**

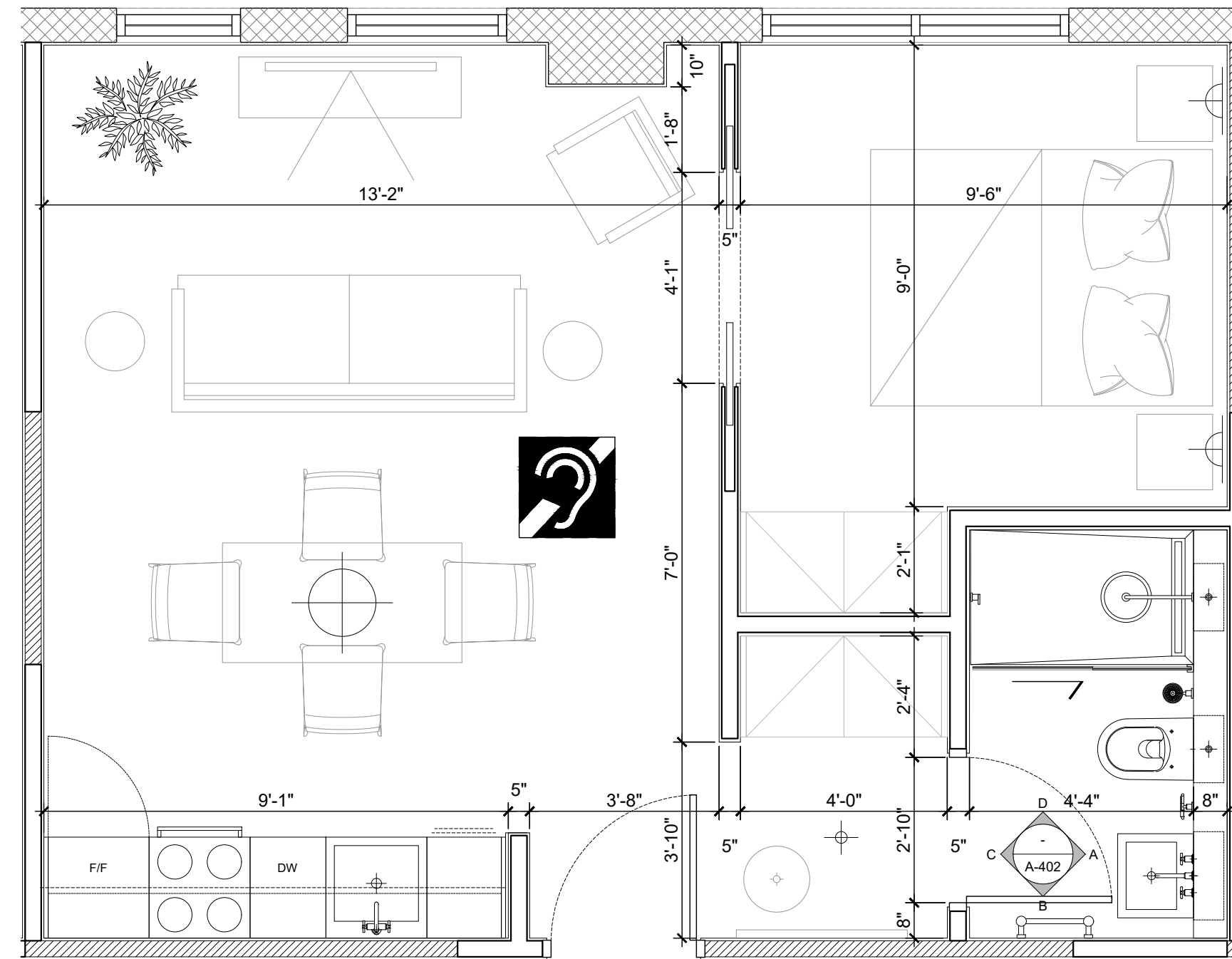
ARCHITECTS P.A.
ARCHITECTURE
A A C 0 0 1 0 6 2

DWG. TITLE	ENLARGED ADA ROOM
SCALE	AS SHOWN
PROJECT NO.	2021-01
DATE	04-12-21
SHEET NUMBER	A401



C1 ENLARGE GUEST ROOM W/COMMUNICATION FEATURES

SCALE: 3/8" = 1'-0"

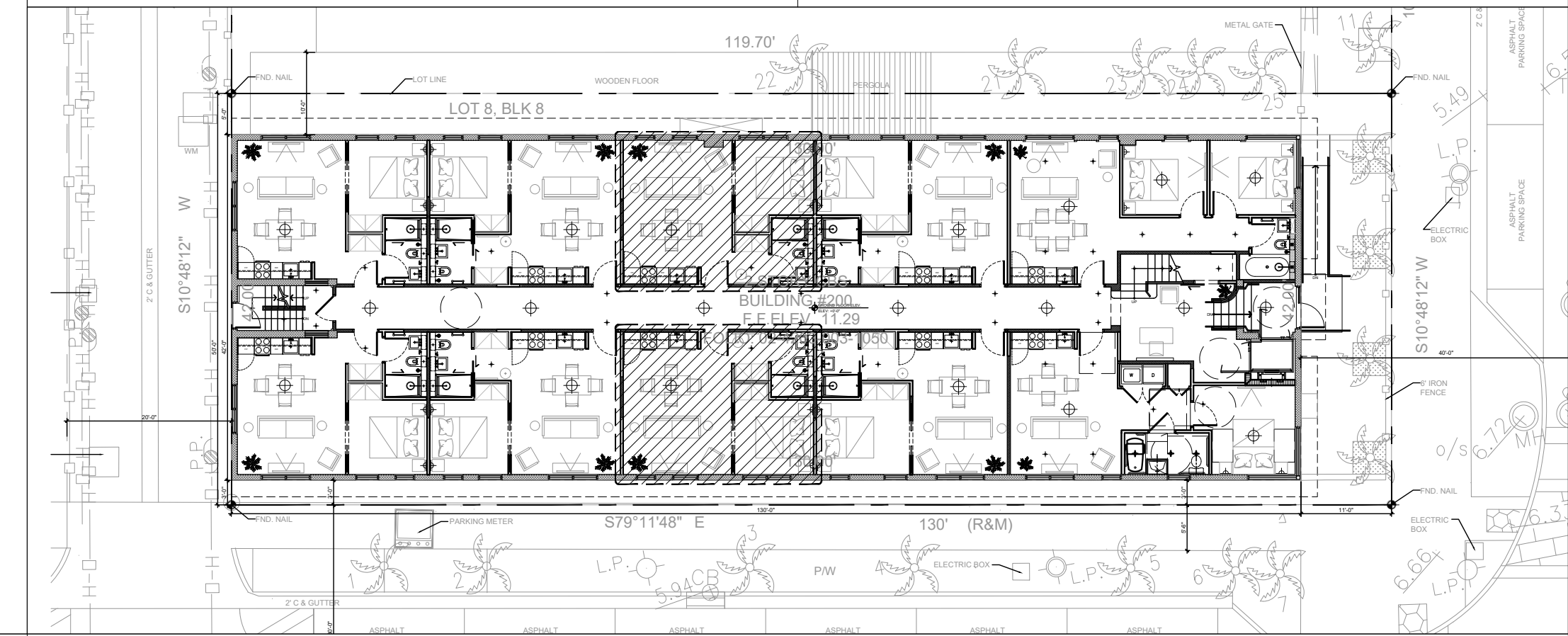


C3 ENLARGE GUEST ROOM W/COMMUNICATION FEATURES

SCALE: 3/8" = 1'-0"

D5 TEX

SCALE:



C5 KEY PLAN

SCALE: N.T.S.

GUEST ROOM WITH MOBILITY FEATURES CALCULATION (FBC 2020 ACC.-TABLE 224.2)				
TOTAL # OF ROOMS = 20 UNITS		MINIMUM NUMBER OF REQUIRED ROOMS WITHOUT ROLL-IN SHOWERS	MINIMUM NUMBER OF REQUIRED ROOMS WITH ROLL-IN SHOWERS	TOTAL NUMBER OF REQUIRED ROOMS
F.B.C. CLASSIFICATION	1-25			
F.B.C. REQUIRED		1	0	1
PROVIDED	UNIT #: 1	1 (#1)	0	1

GUEST ROOM WITH COMMUNICATION FEATURES (FBC 2020 ACC.-TABLE 224.4)		
TOTAL # OF ROOMS = 20 UNITS		MINIMUM NUMBER OF REQUIRED GUEST ROOMS WITH COMMUNICATION FEATURES
F.B.C. CLASSIFICATION	2-25	
F.B.C. REQUIRED		2
PROVIDED	UNITS #: 3 & 8	2

A1 ACCESSIBILITY ROOMS CALCULATION

SCALE: N.T.S.

A3 TEX

SCALE:

A4 TEX

SCALE:

A5 TEX

SCALE:

A6 TEX

SCALE:

200 COLLINS AVE
200 COLLINS AVENUE
MIAMI BEACH, FL 33139



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ARCHITECTS P.A.

8101 BISCAYNE BLVD. S. 309-310
MIAMI, FL 33138-4686
T 305.559.1250 F 305.551.1746

DWG. TITLE
ENLARGE GUEST ROOM
SCALE
AS SHOWN
PROJECT NO.
2021-01
DATE
04-12-21
SHEET NUMBER

A402

DATE REVISION