

This application is available in alternate formats upon request.

LIST OF REQUIRED INFORMATION:

1. X Drawings that will clearly present your project and that identify the issue(s) that relate to the waiver you are requesting. As a minimum, the following drawings must be submitted:
 - a. Project site plan
 - b. 24" x 36" minimum size drawings
 - c. Building/project sections (if necessary to assist in understanding the waiver request)
 - d. Enlarged floor plan(s) of the area in question

2. X One set of reduced scale (11" x 17") versions of the drawings submitted in item one above.

3. X One set of overhead transparencies (8 ½" x 11") of the drawings submitted in item one above. When numerous features are shown on the drawings, please designate the location of the waiver items by highlighting or outlining in color the affected areas.

4. X When substantial financial cost of compliance is alleged, supporting cost estimates with quotes from at least two vendors or contractors and catalog information.

5. N/A If you feel photographs and/or renderings are necessary for your presentation, provide 40 legible color photocopies of the photographs and/or renderings. If color photocopies of photographs are provided, use a minimum size of 4" x 6" photographs with a maximum of two photographs per photocopied page.

6. X Please submit a hard copy of this application to the Department of Community Affairs. PLEASE NOTE: Although not required by Rule 9B-7, F.A.C., in addition to the hard copy please include a copy of the application and drawings or plans on a CD in PDF format.

General Information:

- a. **Equipment:** A CD projector is provided at the Accessibility Advisory Council and Florida Building Commission meetings. Any other equipment necessary for your presentation, such as an overhead projector, TV/VCR, slide or LCD projectors, etc., is the responsibility of the applicant.

- b. **Verbal Descriptions:** Presentations may be to sight or hearing impaired persons; visual presentations should consider adequate verbal and text descriptions of charts and pictures.

Your application will be reviewed by the Accessibility Advisory Council. You will have the opportunity to answer questions and/or make a short presentation **not to exceed 15 minutes**. The Council will provide recommendations to the Florida Building Commission. The Commission will review the application. You will have another opportunity to answer questions and /or give a short presentation **not to exceed 15 minutes**. The Commission will consider all information and the Council's recommendation before voting on the waiver.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: Freight Revenue Recovery of Miami, Inc.

Address: 13977 SW 140 Street
Miami, Florida 33186

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: Richard T. Dawson

Applicant's Address: P.O. Box 770875 Miami, Florida 33177

Applicant's Telephone: 305-233-7730 ext.300 **FAX:** 305-233-1588

Applicant's E-mail Address: auditone@gmail.com

Relationship to Owner: Owner

Owner's Name: Same as Applicant

Owner's Address: Same as Applicant

Owner's Telephone: Same as Applicant **FAX** Same as Applicant

Owner's E-mail Address: Same as Applicant

Signature of Owner: 

Contact Person: Alan D. Lerner, A.I.A

Contact Person's Telephone: (305) 385-1700 **E-mail Address:** alerner@offler.com

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Form No. 2001-01

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

Existing two story office tenant improvement in two existing warehouse bays -

Total Square footage 4,153 S.F. (1st floor-2,174 S.F. and 2nd floor-1,979 S.F.) Warehouse

and Office improvements were built in 1981. No permit was on record so the

Building Department is requiring tenant improvements to be permitted. Office layout is to

remain mostly as constructed with alterations to meet current life safety requirements and ADA

issues. First floor toilet room is being made accessible, door widths are being widened, and door

hardware is being changed to lever handles.

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration): \$80,000 - Life Safety and ADA Renovations

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

The Miami Dade County Building Department is requiring that vertical access be installed

in the existing office space that has been in operation since 1981. The total cost of the vertical

lift including the unit and all structural demolition and construction became apparent

and will be a substantial financial hardship to the Owner. The Owner is already renovating the

first floor toilet room to be accessible, widening all doors to meet the clearance requirements, and is changing door hardware to levers.

7. Requirements requested to be waived. Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: Florida Statutes Section 553.509 – Vertical Accessibility

Issue

2: _____

Issue

3: _____

8. Reason(s) for Waiver Request: The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

This is an existing building with existing office space that were both built in 1981, and is not designed to structurally support a platform lift. Renovation to the office space is only being conducted because a permit could not be located by the Building Department. Renovations include life safety requirements and feasible ADA requirements.

[X] Substantial financial costs will be incurred by the owner if the waiver is denied.

The cost of the renovation is approximately \$80,000.00 to have the existing offices meet the current life safety requirements and the ADA upgrades. The installation of vertical access (platform lift) will far exceed 20% of the budgeted cost of renovation.

The proposed ADA upgrades including renovating the first floor toilet room for accessibility, widening door width for egress, and changing door hardware to levers will already exceed 20% of the budget.

[] The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. **Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates.** For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. Quote from ThyssenKrupp Access for \$19,793.00 (see quote attached) for unit only

Additional costs (\$7,500.00) would apply for construction of shaft walls, permits, reframing floor ,etc.

b. Quote from Otis Elevator Company for \$26,500.00 (see quote attached). Additional

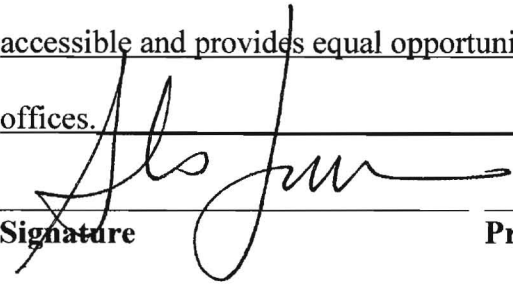
costs(\$7,500.00) would apply for construction of shaft walls, reframing of floor, etc.

c. _____

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

The owner purchased three condo warehouse units in 1981. In addition to the purchase price the owner paid the developer, a Florida licensed contractor, an additional \$112,000.00 to build-out two of the units. He subsequently received a certificate of occupancy from Dade County. He relied on the licensed contractor and the county that he had a legitimate office which to do business. He did so for twenty eight years without incident when the county shut down his business operation and forced these renovations. The first floor is being made completely accessible and provides equal opportunity for employment of disabled persons in the first floor offices.

Signature



Printed Name Alan D. Lerner

Phone number (305)385-1700

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 21 day of April, 2011

Richard J Dawson
Signature

Richard T. Dawson
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

- Home
 - Calendar
 - Contacts
 - *****
 - Deleted Items
 - Drafts [2]
 - Inbox
 - Junk E-Mail
 - Sent Items
- Click to view all folders
- Manage Folders...

Reply
 Reply to All
 Forward
 Print
 Delete
 Close

RE: Commercial Vertical Platform Lift - ProCon, Inc.

Gerd, Robert [robert.gerd@otis.com]

Sent: Friday, March 25, 2011 12:19 PM

To: Eduardo Larenas

Eduardo:

Not sure what in the world TK Access is quoting you but... the material cost on the unit you will need is \$17,290.

Otis has a license to sell Access lift.... below is my material cost total from the quote page.

Platform: 36" x 48" in plans (they quoted 42" X 60")

Model: PL-S is what I was proposing... they call for BC model?

You will need fire rated doors and frames (flush style) as well as auto-openers based on the fact the unit is front / side. My quote would include providing the doors and frames (as well as auto openers) for installation by others. Looks like maybe they have included doors and frames but not auto-openers.


The plans show a ramp at the bottom... looks like they didn't include this either.

My estimate would look something like this:

\$17,290 x 1.07 (MD tax):	\$18,500
\$7200 installation labor and OH:	\$7,200
MD Permit \$475 / MD Private Inspector \$325:	\$800
My Cost without Margin / Markup:	\$26,500

36	QUOTE TOTAL	17,290
37	QUOTE BY	
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Quote Total: **\$17,290**
 Quoted By: _____

ThyssenKrupp Access

 ThyssenKrupp Access Corporation
 1800 NW 15th Avenue, Suite 165
 Pompano Beach, Florida 33069
 Telephone: 954-979-9785 toll free 800-527-6589
 Facsimile: 954-979-0766
 Mobile: 561-844-5700

Dealer Cost: _____
 Customer Quote: _____

Robert Gerdt

Senior Account Manager

Otis Elevator Company

16200 NW 59th Avenue - Suite 109

Miami Lakes, FL 33014

Office (305)816-5756 Call (305)725-0548

E-Fax (860)660-9060

<mailto:robert.gerdt@otis.com>Let Otis take you to the next level. www.otis.com

—Original Message—

From: Eduardo Larenas [<mailto:eduardolarenas@proconcg.com>]

Sent: Wednesday, March 23, 2011 1:49 PM

To: Gerdt, Robert

Cc: Proconcg info

Subject: FW: Commercial Vertical Platform Lift - ProCon, Inc.

Hi Robert,

As per our conversation today, I am sending you quote of lift we quoted from Thyssenkrupp. Also I am attaching Architectural drawings for you to see specs. The travel distance between 1st floor and second floor is 8.5 feet.

The location is 13979 SW 140 St in Miami. The warehouse is called "Freight Revenue".

Please give me a quote with the best price you can do.

Thanks,

Eduardo.

Procon Inc.

305-609-5057

 From: Jim L. Jeschonek [Jim.Jeschonek@tkaccess.com]

Sent: Friday, March 18, 2011 12:22 PM

To: Eduardo Larenas

Cc: Jim L. Jeschonek

Subject: RE: Commercial Vertical Platform Lift - ProCon, Inc.

Eduardo

Please review attached proposal, please call or email me with any questions.

Thank You

Jim Jeschonek

ThyssenKrupp Access Corporation Florida 1800 NW 15th Avenue, Suite 165 Pompano Beach, Florida 33069

Telephone: 954-979-9785 toll free 800-527-6589

Facsimile: 954-979-0766

Mobile: 561-844-5700

4/19/2011

RE: Commercial Vertical Platform Lift - P...

MOBILE: 001-314-2780

Email: jim.jeschonek@tkaccess.com

website: www.tkaccess.com

Notice:

As you are aware, messages sent by e-mail can be manipulated by third parties. For this reason our e-mail messages are usually not legally binding. This electronic message (including any attachments) contains confidential information and may be privileged or otherwise protected from disclosure. The information is intended to be for the use of the intended addressee only. Please be aware that any disclosure, copy, distribution or use of the contents of this message is prohibited. If you have received this e-mail in error please notify me immediately by reply e-mail and delete this message and any attachments from your system. Thank you for your cooperation.

 Connected to Microsoft Exchange

ThyssenKrupp Access



ThyssenKrupp

AGREEMENT FOR VERTICAL PLATFORM LIFT

Owner: Fire saftey remediation

Contractor: Pro Con

Date: 3/17/2011

Project: Fire saftey remediation

Provided by: Jim Jeschonek, ThyssenKrupp Access Corporation

ThyssenKrupp Access Corporation

“Committed to Improving the Quality of Life. ThyssenKrupp Access Corporation, the World’s most trusted name in accessibility and home elevator solutions.”

www.tkaccess.com

1800 NW 15th Ave, Ste 165, Pompano Beach, FL 33069; Phone: (954) 979-9785, Fax: (954) 979-0766

ThyssenKrupp Access

SCOPE: This proposal covers the complete furnishing and installing of: 1 unit

Model BC-108 Indoor Vertical Platform Lift

by **ThyssenKrupp Access Corporation** (referred to herein as "we" or ThyssenKrupp Access" or "Manufacturer"), for: **Fire safety remediation** (referred to herein as "you" or "Purchaser"). In all cases where a device or part of the equipment is referred to in the singular number, it is intended that such reference shall apply to as many such devices as are required to complete the installation.

All work shall be performed in accordance with the latest revised edition (as of the date of this Proposal) of the United States of America Standard Safety Code for Elevators, Escalators, and Dumbwaiters, the National Electrical Code, and/or such State and Local Codes as may be applicable. Should, subsequent to the date of this Proposal, changes be made in any code, or should rulings by any code-enforcing authorities extend the application of the code, the work and materials necessary to make the installation comply with such changes shall be performed as an addition to the contract price. Purchaser is responsible for obtaining variances, including associated costs, required to obtain approval for Purchaser's design changes or special requests not in compliance local code. Pricing includes three (3) site visits: one at the drawing stage, one at the framing stage, and the final when the electrical has been installed. Each additional site check will be billed at \$750 per trip, plus travel time.

PERMITS, TAXES, LICENSES: All applicable sales taxes and elevator installation permit fees and licenses imposed upon us as an Elevator Contractor as of the date of this proposal are in addition to the contract price. Purchaser agrees to pay, in addition to the contract price, the amount of any additional taxes, fees or other charges exacted from the Purchaser or ThyssenKrupp Access on account thereof, by any law enacted after the date of this Proposal.

NOTE: Any permit/fees required in addition to an elevator installation permit are not included hereunder and shall be the responsibility of the Purchaser.

DESCRIPTION OF EQUIPMENT: Model BC-108 Indoor Vertical Platform Lift

Capacity:	<u>750 lbs.</u>	
Landings:	<u>2</u>	
Speed:	<u>9 fpm</u>	
Drive system:	<u>Ball screw drive</u>	
Max lift height:	<u>111 inches</u>	
Ramp:	<u>No Ramp</u>	
Exit:	<u>90 Degree Exit</u>	
Platform Size:	<u>42 X 60</u>	
Gates:	<u>Upper landing: No Gate Needed</u>	<u>Insert:</u>
	<u>Middle landing: No middle landing</u>	<u>Insert:</u>
	<u>Lower Landing: No Gate Needed</u>	<u>Insert:</u>
Doors:	<u>Upper Landing: CDP 1000 Fire-Rated w/DHP-100</u>	
	<u>Middle Landing:</u>	
	<u>Lower Landing: CDP 1000 Fire-Rated w/DHP-100</u>	
Auto Operators:	<u>None</u>	
Lower Gate Mnt:	<u>Inside Pit</u>	
Grab rail:	<u>Yes</u>	
Color:		
Shroud:	<u>Shroud Left</u>	

ThyssenKrupp Access

equipment, and shall accept all liability for any damage or loss caused by parties other than ThyssenKrupp Access. If shipment is made to a local ThyssenKrupp Access warehouse or office and Purchaser fails to take physical possession within thirty (30) days, an additional charge per unit will be assessed to Purchaser for equipment handling by ThyssenKrupp Access. In the event of Purchaser's failure to make any payments under this agreement when due, ThyssenKrupp Access shall pursue all rights afforded it under applicable laws regarding the filing of a mechanic's or construction lien.

ACCEPTANCE OF INSTALLATION:

Delivery and installation of the Vertical Platform Lift is by ThyssenKrupp Access Corporation. All other work, including but not limited to: storage of the equipment after shipment, pit requirement, hoist-way, structural support, landing preparation, and power supply to the unit is not the responsibility of ThyssenKrupp Access Corporation. Doors are provided pre-hung with frame and all required interlocks. Installation of the doors is by others. (Building permit or approval from local building authority is by owner.) See Attachment "A" – SCOPE OF WORK for further details. Upon notice from us that the installation of the Lift has been completed, the Purchaser will arrange to have present at the installation site a person duly authorized to make the final inspection and provide a written acceptance. The date and time that such person will be present at the site shall be as mutually agreed, but shall not be more than ten business days after the date of our notice to the Purchaser, unless we both agree to a certain date thereafter. Such final inspection and certificated of acceptance shall not be unreasonable delayed or withheld. This Proposal is contingent upon granting of permit where required.

TERMS OF PAYMENT:

We propose to furnish and install the equipment for the sum of..... \$ **19,793** per unit. Tax, freight and inspection are included. Up to six (6) sets of manufacturer's standard layout and equipment drawings are also included.

Total Contract Price: **\$19,793** for 1 unit Includes Sales Tax of **\$1,056** per unit.

PAYABLE AS FOLLOWS: (per unit, tax included)

DEPOSIT: \$1,000 Due upon proposal signing..... **\$1,000**
RELEASE: Amount due upon release of unit to production..... **\$16,814**

Plus any additional taxes and the cost of any options chosen above and any extra work orders shall be due when shop drawings are approved and equipment is released for manufacture. Equipment **will not** be released for manufacture until Release payment is received.

FINAL: Final balance due upon acceptance, inspection and turnover..... **\$1,979**

Plus any changes and extra work orders, and additional charges for jobsite delays, is due at the earlier of (i) acceptance, including final inspection and certificate of acceptance or (ii) thirty days following notice from us that installation of the equipment has been completed.

NONPAYMENT:

In the event a third party is retained by ThyssenKrupp Access to enforce, construe or defend any of the terms and conditions of this agreement or to collect any monies due hereunder, either with or without litigation, ThyssenKrupp Access shall be entitled to recover all costs and reasonable attorney's fees. The Purchaser does hereby waive trial by jury and does further hereby consent that

FIRE/LIFESAFETY REMEDIATION FREIGHT REVENUE RECOVERY OF MIAMI

13977-79-81 SW 140 STREET
MIAMI, FLORIDA 33186

**OFFERLE-LERNER AIA
ARCHITECTS
& PLANNERS**

ARCHITECT PRJ. NO. 09-018	SEAL
CONSULT PRJ. NO. -	
CLIENT PRJ. NO.	
ALAN D. LERNER AR#0005784	

ARCHITECT
OFFERLE-LERNER AIA
13190 SW 134TH ST SUITE 208
MIAMI, FLORIDA 33186
305-385-1700
AA#0003139

SUB-CONSULTANT

OWNER
FREIGHT REVENUE RECOVERY OF MIAMI
13977 SW 140 STREET
CONTACT: RICHARD DAWSON
MIAMI, FLORIDA 33186

ARCHITECTS & PLANNERS

OFFERLE-LERNER, AIA
PHONE: (305) 385-1700
FAX: (305) 254-4469
13190 SW 134TH STREET
CONTACT: ALAN D. LERNER
SUITE #208
MIAMI, FLORIDA 33186



NO.	DATE	DESCRIPTION	APPR.
-	04/20/2010	ISSUE FOR PERMIT	ADL
△	09/14/2010	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
△	11/09/2010	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
	12/09/2010	ISSUE FOR BID	ADL

NOT USED

NO SCALE

6

LOCATION PLAN

NO SCALE

4

PROJECT TEAM

NO SCALE

2

PROJECT TITLE
**FIRE/LIFE SAFETY REMEDIATION
TWO-STORY OFFICE
FOR:
FREIGHT REVENUE RECOVERY
OF MIAMI, INC.
13977-79-81 SW 140 STREET
MIAMI, FLORIDA 33186**

DATE	02/01/10
DRAWN BY	ADL
CHECKED BY	ADL
APPROVED BY	ADL

NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>

SHEET SCALE -

DRAWING TITLE
**PROJECT INFORMATION
& GENERAL NOTES**

DRAWING NO.
A0-0

ISSUED FOR PERMIT

LEGALIZATION NOTE:

SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT IS THE PROPOSED LEGALIZATION OF THE INTERIOR BUILD-OUT OF A TWO-STORY OFFICE IN TWO WAREHOUSE BAYS (THIRD BAY REMAINED AS ORIGINAL WAREHOUSE) UNDER THE CODE RELIEF ORDINANCE, SECTION 8-11 OF THE CODE OF MIAMI-DADE COUNTY ORDINANCE 02-44 (AMNESTY ORDINANCE).

THE CONSTRUCTION WAS PERFORMED IN 1981 AND THE APPLICABLE BUILDING CODE IS THE SOUTH FLORIDA BUILDING CODE 1979 EDITION.

IN ADDITION, THESE DRAWINGS CONTAIN REVISIONS TO THE EXISTING FLOOR PLAN TO SATISFY CURRENT LIFE SAFETY REQUIREMENTS AND THE MIAMI-DADE FIRE RESCUE DEPARTMENT.

BUILDING INFORMATION

TOTAL AREA OF WORK.....2,996 SQ. FT. (TOTAL THREE BAYS)

THE THREE BAYS WERE ORIGINALLY ALL STORAGE (ORDINARY HAZARD) & THE CONSTRUCTION OF OFFICES IN THE TWO BAYS CONSTITUTES A CHANGE OF OCCUPANCY FROM STORAGE TO BUSINESS. THE REHABILITATION CLASSIFICATION OF THIS PROJECT IS RECONSTRUCTION PER FFPC 43.6. THE THREE BAYS ARE A MULTIPLE OCCUPANCY, & ARE SEPARATED OCCUPANCIES (FFPC 6.1.14.4) AS THEY ARE SEPARATED WITH A 2-HOUR FIRE-RATED ASSEMBLY SEPARATING THE STORAGE BAY & THE TWO OFFICE BAYS.

PROJECT LOCATION: 13977-79-81 SW 140 STREET, MIAMI, FL. 33186
OWNER: FREIGHT REVENUE RECOVERY OF MIAMI, INC.
ARCHITECT: OFFERLE-LERNER, AIA
CITY: MIAMI
COUNTY: DADE
STATE: FLORIDA

CONSTRUCTION TYPE: TYPE III, PROTECTED (PER SFBC 1979 EDITION)
OCCUPANCY USE: GROUP G, DIVISION 2 - BUSINESS OCCUPANCY AND GROUP F, DIVISION 1 STORAGE (ORDINARY HAZARD)

AUTOMATIC SPRINKLER SYSTEM: NO
FIRE ALARM SYSTEM: NO

OCCUPANT LOAD (PER SFBC 1979 EDITION):

	FIRST FLOOR	SECOND FLOOR
BUSINESS		
1 PERSON PER 100 S.F.	2,174 S.F./100 = 22 PEOPLE	1,979 S.F./100 = 20 PEOPLE
STORAGE (ORDINARY HAZARD)		
1 PERSON PER 1500 S.F.	996 S.F./1500 = 1 PERSON	N/A
	3,170 S.F. = 23 PEOPLE	1,979 S.F. = 20 PEOPLE

GRAND TOTAL: FIRST AND SECOND FLOOR: 5,149 S.F. . 43 PEOPLE

CODE INFORMATION

LIFE SAFETY CODE: FLORIDA FIRE PREVENTION CODE - 2007 EDITION
FIRE CODE: FLORIDA FIRE PREVENTION CODE - 2007 EDITION
BUILDING: THE SOUTH FLORIDA BUILDING CODE - 1979 EDITION
ACCESSIBILITY CODE: FLORIDA ACCESSIBILITY CODE FOR BLDG. CONSTRUCTION
MECHANICAL CODE: THE SOUTH FLORIDA BUILDING CODE - 1979 EDITION: CHAPTER 49
ELECTRICAL CODE: THE SOUTH FLORIDA BUILDING CODE - 1979 EDITION: CHAPTER 45
PLUMBING CODE: THE SOUTH FLORIDA BUILDING CODE - 1979 EDITION: CHAPTER 46

ARCHITECTURAL

A0-0 PROJECT INFORMATION / GENERAL NOTES

A0-1 DOOR SCHEDULE/ HARDWARE

A1-0 FIRST FLOOR LIFE SAFETY PLAN AND NOTES

A1-1 SECOND FLOOR LIFE SAFETY PLAN AND NOTES

A1-2 FIRST FLOOR DEMOLITION PLAN

A1-3 SECOND FLOOR DEMOLITION PLAN

A2-0 FIRST FLOOR PLAN AND NOTES

A2-1 SECOND FLOOR PLAN AND NOTES

A5-0 ROOF FRAMING PLAN AND NOTES

A6-0 STAIR SECTION AND DETAILS

A6-1 STAIR SECTION AND DETAILS

A6-2 ENLARGED TOILET PLAN/ ELEVATIONS AND DETAILS

SP-1 SITE PLAN

MECHANICAL / PLUMBING

M1-0 FIRST FLOOR MECHANICAL PLAN & NOTES

M2-0 SECOND FLOOR MECHANICAL PLAN & NOTES

P1-0 FIRST FLOOR PLUMBING SUPPLY PLAN & SUPPLY RISER

P2-0 SECOND FLOOR PLUMBING SUPPLY PLAN & SUPPLY RISER

P3-0 FIRST FLOOR PLUMBING PLAN, NOTES & SANITARY RISER

P4-0 SECOND FLOOR PLUMBING PLAN, NOTES & SANITARY RISER

ELECTRICAL

E1-0 FIRST FLOOR CEILING PLAN, LEGEND AND NOTES

E2-0 SECOND FLOOR CEILING PLAN, LEGEND AND NOTES

E3-0 FIRST FLOOR POWER PLAN AND NOTES

E4-0 SECOND FLOOR POWER PLAN AND NOTES

SCOPE OF WORK

NO SCALE

5

BUILDING / CODE INFORMATION

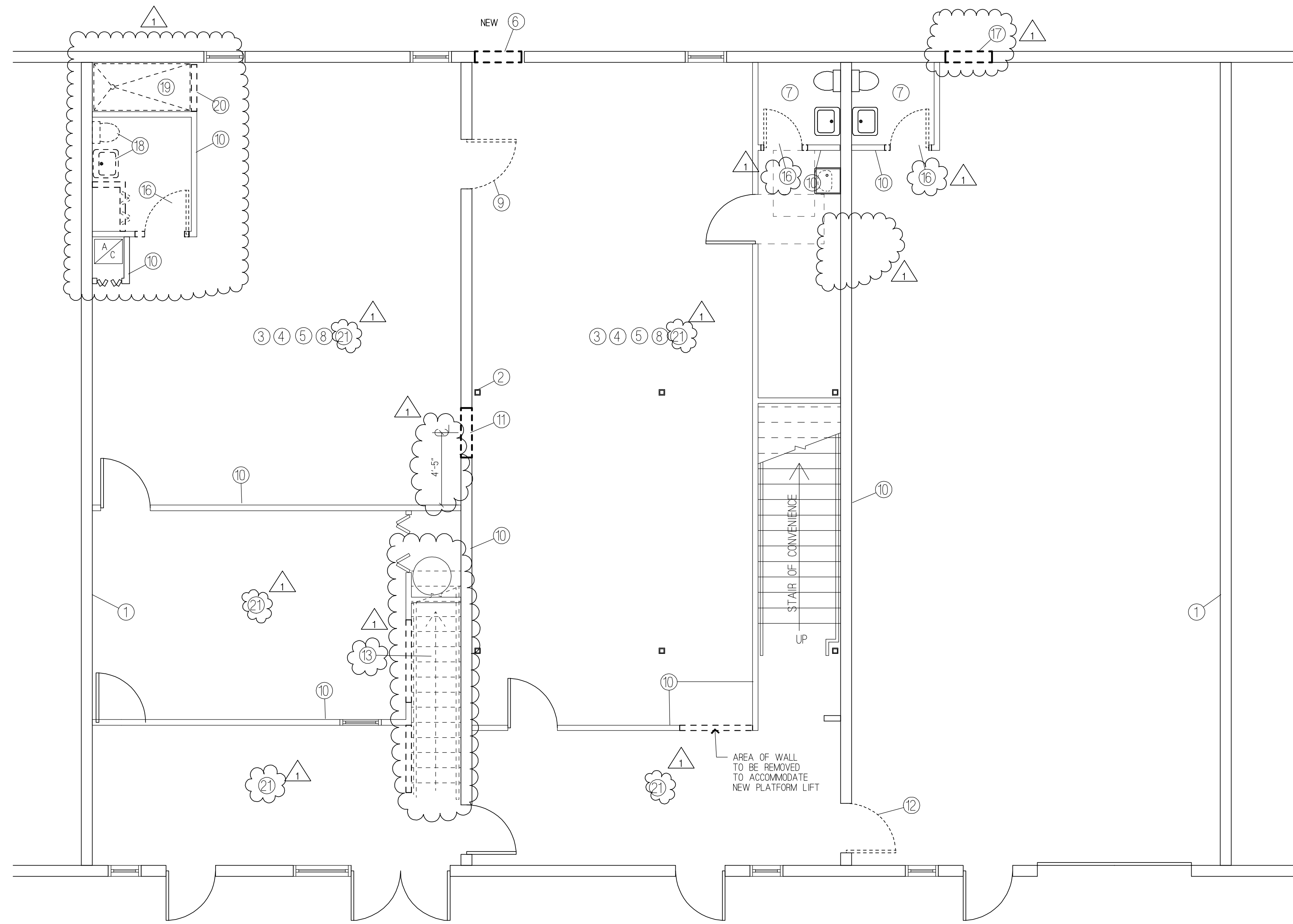
NO SCALE

3

DRAWING INDEX

NO SCALE

1



LEGALIZATION NOTE:

SCOPE OF WORK

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OFFERLE-LERNER AIA ARCHITECTS & PLANNERS

ARCHITECT PRJ. NO. 09-018
 SEAL
 CONSULT PRJ. NO. -
 CLIENT PRJ. NO. ALAN D. LERNER AR#0005784

ARCHITECT
OFFERLE-LERNER AIA
 13190 SW 134TH ST SUITE 208
 MIAMI, FLORIDA 33186
 305-385-1700
 AA#0003139

SUB-CONSULTANT

NO.	DATE	DESCRIPTION	APPR.
-	04/20/2010	ISSUE FOR PERMIT	ADL
1	09/14/2010	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
	12/09/2010	ISSUE FOR BID	ADL

PROJECT TITLE
FIRE/LIFE SAFETY REMEDIATION TWO-STORY OFFICE
 FOR:
FREIGHT REVENUE RECOVERY OF MIAMI, INC.
 13977-79-81 SW 140 STREET
 MIAMI, FLORIDA 33186

FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0" **2**

- IT IS THE INTENT IN THESE DRAWINGS THAT THE ENTIRE SPACE IS TO BE CLEARED OF ALL PARTITIONS, FIXTURES, FINISHES, STOREFRONT, AND SIGNAGE. THE REMAINING SPACE SHOULD CONSIST OF EXISTING PERIMETER WALLS, STRIPPED COLUMNS, CONCRETE FLOOR, AND EXPOSED UNDERSIDE OF STRUCTURE U.O.N. COORDINATE WITH MECHANICAL DRAWINGS IF ANY EXISTING EQUIPMENT IS TO REMAIN. SPRINKLER MAINS TO REMAIN.
- CONTRACTOR SHALL VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE(S). PROVIDE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE(S). ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY.
- CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.
- PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQ'D. BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
- ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITH AREAS OF DEMOLITION. DISCONNECT AND STUB OFF. NOTIFY THE AFFECTED UTILITY CO. AND BUILDING MANAGER IN ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
- HVAC SUBCONTRACTOR TO INSPECT EXISTING CONDITIONS PRIOR TO DEMOLITION AND DETERMINE WHETHER ANY COMPRESSOR REFRIGERANT LINES ARE PRESENT THAT MUST BE PROPERLY DRAINED (TO E.P.A. STANDARDS) PRIOR TO DEMOLITION.
- PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
- EXCEPT WHERE NOTED OTHERWISE, MAINTAIN POSSESSION OF MATERIALS BEING DEMOLISHED. IMMEDIATELY REMOVE FROM SITE.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING FOUNDATIONS AND SUPPORTING STRUCTURAL MEMBERS. PHASE DEMOLITION IN ACCORDANCE WITH CONSTRUCTION SCHEDULE.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQ'D., AT NO COST TO THE OWNER.
- BURNING OF MATERIALS ON SITE IS NOT PERMITTED.
- ALL STORE DEMOLITION WORK SHOULD BE COORDINATED WITH THE STORE MANAGER SO AS NOT TO DISRUPT STORE OPERATIONS. AREAS OF NEW CONSTRUCTION SHOULD BE CORDONED OFF TO PREVENT DEBRIS AND DUST FROM GOING INTO THE REMAINING SALES FLOOR. ACCESS TO STOCKROOM MUST BE MAINTAINED.
- REMOVE DEMOLISHED MATERIALS, TOOLS AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE OF IN A CONDITION ACCEPTABLE TO THE ARCHITECT.
- FOR STORES WITH SILENT WATCHMAN AND/OR SENSORMATIC, FDI PROJECT MANAGER TO CONTACT GAP LOSS PREVENTION DURING THE BID PERIOD IN ORDER TO DETERMINE THE CONDITION OF THE EXISTING ALARM SYSTEM AND IF IT SHOULD BE REUSED OR REMOVED.

- DEMISING WALL**
(E) DEMISING WALL TO REMAIN U.O.N.
- STRUCTURAL COLUMN**
(E) COLUMN TO REMAIN, TYP. OF 6
- CEILING AND SOFFIT**
EXISTING SUSPENDED CEILING TO BE REMOVED TO RAISE CEILING HEIGHT.
- DUCTWORK**
EXISTING DUCTWORK TO REMAIN - SUPPLY TO BE RELOCATED AS PER NEW LAYOUT. REFER TO MECHANICAL DRAWINGS FOR SCOPE OF WORK.
- FLOORING**
EXISTING FLOORING TO REMAIN. PROTECT FLOORING DURING CONSTRUCTION
- EXTERIOR WINDOW**
REMOVE (E) WINDOW AS SHOWN TO ACCOMMODATE NEW EXIT DOOR. REFER TO DETAIL 2 ON SHEET A6-0. PATCH WALL AS REQUIRED.
- PLUMBING**
EXISTING PLUMBING FIXTURES TO REMAIN. PROTECT ALL DURING CONSTRUCTION
- LIGHT FIXTURES**
REMOVE AND RELOCATE LIGHT FIXTURES ONLY AS REQUIRED IN REFLECTED CEILING PLAN. PROTECT FIXTURES TO REMAIN.
- DOOR**
(E) DOOR TO BE REMOVED AND WALL INFILLED.
- PARTITION**
(E) PARTITION TO REMAIN.
- WALL**
AREA OF EX. WALL TO BE REMOVED TO ACCOMMODATE NEW DOOR. PATCH & REPAIR TO MATCH ADJACENT WALL SURFACES.
- DOOR/FRAME ASSEMBLY**
REMOVE (E) DOOR & FRAME. PREP TO RECEIVE NEW FIRE-RATED DOOR & FRAME.
- STAIR**
(E) STAIR CONSTRUCTION TO BE REMOVED AND AREA INFILLED WITH LIKE CONSTRUCTION.
- PARTITION**
AREA OF (E) PARTITION AND DOOR TO BE REMOVED. PATCH AND REPAIR ADJACENT SURFACES AS REQUIRED TO MATCH EXISTING.
- DOOR**
(E) DOOR TO BE REMOVED AND FRAME REPAIRED AND REMAIN AS CASSED OPENING. REPAIR THRESHOLD - MAX. CHANGE OF ELEVATION 1/2" WITH BEVEL.
- DOOR**
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- EXTERIOR WALL**
REMOVE PORTION OF EX. WALL AS SHOWN TO ACCOMMODATE NEW EXIT DOOR. REFER TO DETAIL 2 ON SHEET A6-0. PATCH WALL AS REQUIRED.
- PLUMBING FIXTURES**
EXISTING PLUMBING FIXTURES TO BE REMOVED & REPLACED W/NEW ADA COMPLIANT FIXTURES.
- SHOWER**
EXISTING SHOWER TO BE REMOVED. CAP ALL PLUMBING AS REQUIRED.
- PARTITION**
AREA OF EXISTING PARTITION TO BE REMOVED TO ACCOMMODATE NEW DOOR TO NEW CLOSET. PATCH & REPAIR TO MATCH ADJACENT SURFACES.
- SUSPENDED CEILING**
EXISTING SUSPENDED CEILING ACOUSTICAL TILE & GWB CEILING TO BE REMOVED. ONE LAYER OF 5/8" THK TYPE 'X' GWB TO BE ATTACHED TO BOTTOM OF JOISTS. SEE FLOOR SYSTEM NOTE IN DETAIL 1 ON SHEET A6-0.

DEMOLITION NOTES

SCALE: N.T.S. **3**

DEMOLITION KEYNOTES

SCALE: N.T.S. **1**

DATE	02/01/10
DRAWN BY	ADL
CHECKED BY	ADL
APPROVED BY	ADL
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>
SHEET SCALE	N/A

DRAWING TITLE
**FIRE/LIFE SAFETY REMEDIATION PLAN
 FIRST FLOOR DEMOLITION PLAN**

DRAWING NO.
A1-2

ISSUED FOR PERMIT

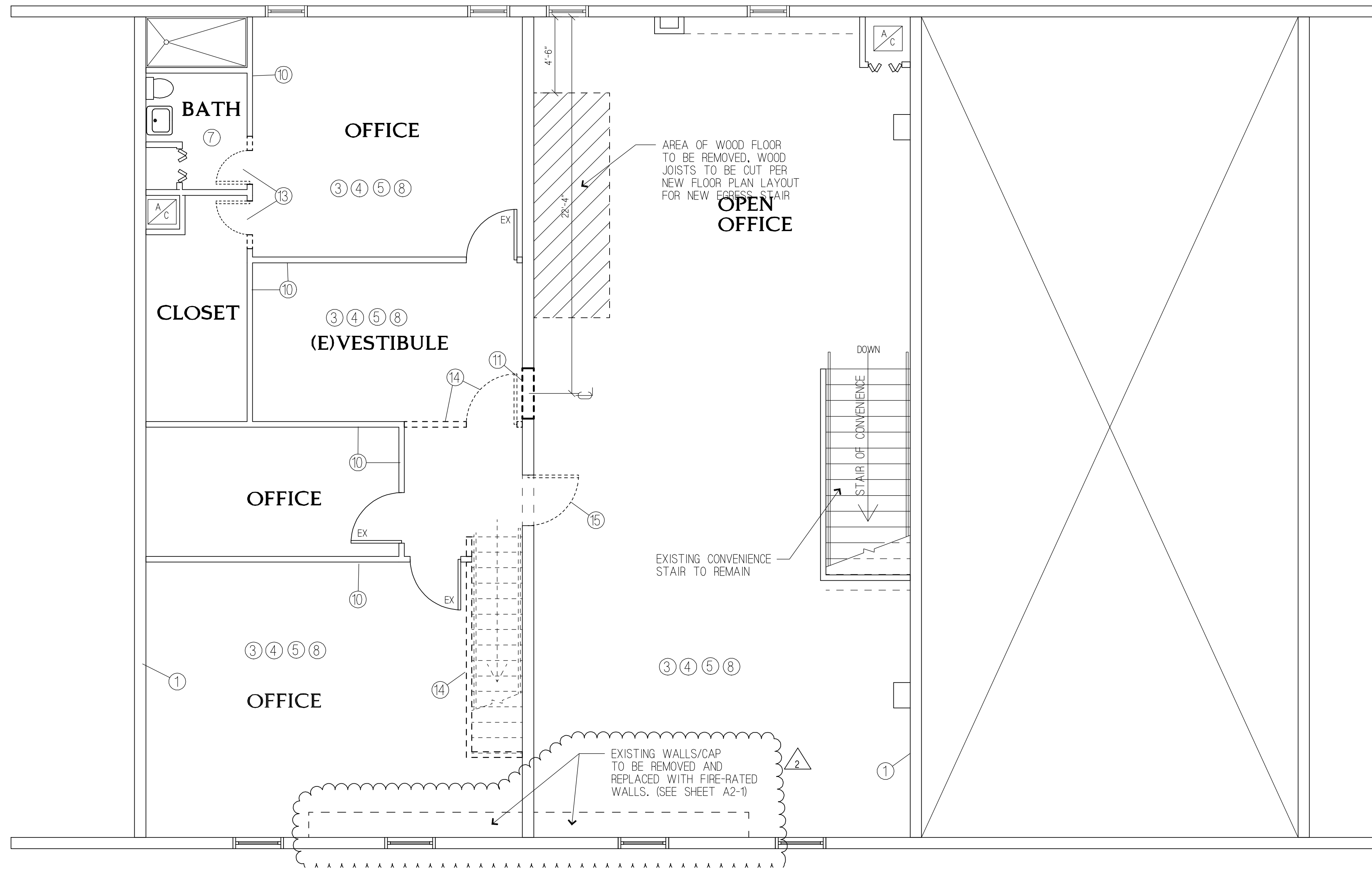
LEGALIZATION NOTE:

SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT IS THE PROPOSED LEGALIZATION OF THE INTERIOR BUILD-OUT OF A TWO-STORY OFFICE IN TWO WAREHOUSE BAYS (THIRD BAY REMAINED AS ORIGINAL WAREHOUSE) UNDER THE CODE RELIEF ORDINANCE, SECTION 8-11 OF THE CODE OF MIAMI-DADE COUNTY ORDINANCE 02-44 (AMNESTY ORDINANCE).

THE CONSTRUCTION WAS PERFORMED IN 1981 AND THE APPLICABLE BUILDING CODE IS THE SOUTH FLORIDA BUILDING CODE 1979 EDITION.

IN ADDITION, THESE DRAWINGS CONTAIN REVISIONS TO THE EXISTING FLOOR PLAN TO SATISFY CURRENT LIFE SAFETY REQUIREMENTS AND THE MIAMI-DADE FIRE RESCUE DEPARTMENT.



**OFFERLE-LERNER AIA
ARCHITECTS
& PLANNERS**

ARCHITECT PRJ. NO. 09-018	SEAL
CONSULT PRJ. NO. -	
CLIENT PRJ. NO.	ALAN D. LERNER AR#0005784

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OFFERLE-LERNER AIA
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	12/09/2010	ISSUE FOR BID	ADL

PROJECT TITLE
**FIRE/LIFE SAFETY REMEDIATION
TWO-STORY OFFICE
FOR:
FREIGHT REVENUE RECOVERY
OF MIAMI, INC.
13977-79-81 SW 140 STREET
MIAMI, FLORIDA 33186**

SECOND FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

2

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EXISTING PLUMBING FIXTURES TO REMAIN. PROTECT ALL DURING CONSTRUCTION

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DEMOLITION NOTES AND KEYNOTES

SCALE: N.T.S.

1

DATE	02/01/10
DRAWN BY	ADL
CHECKED BY	ADL
APPROVED BY	ADL

NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>
AS-BUILT DRAWING	<input type="checkbox"/>
SHEET SCALE	=

DRAWING TITLE
**FIRE/LIFE SAFETY
REMEDATION PLAN
SECOND FLOOR DEMOLITION PLAN**

DRAWING NO.
A1-3

ISSUED FOR PERMIT

ARCHITECT PRJ. NO.	09-018	SEAL
CONSULT PRJ. NO.	-	
CLIENT PRJ. NO.		ALAN D. LERNER AR#0005784

ARCHITECT
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3	12/01/2010	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
	12/09/2010	ISSUE FOR BID	ADL

PROJECT TITLE
**FIRE/LIFE SAFETY REMEDIATION
TWO-STORY OFFICE**
FOR:
**FREIGHT REVENUE RECOVERY
OF MIAMI, INC.**
13977-79-81 SW 140 STREET
MIAMI, FLORIDA 33186

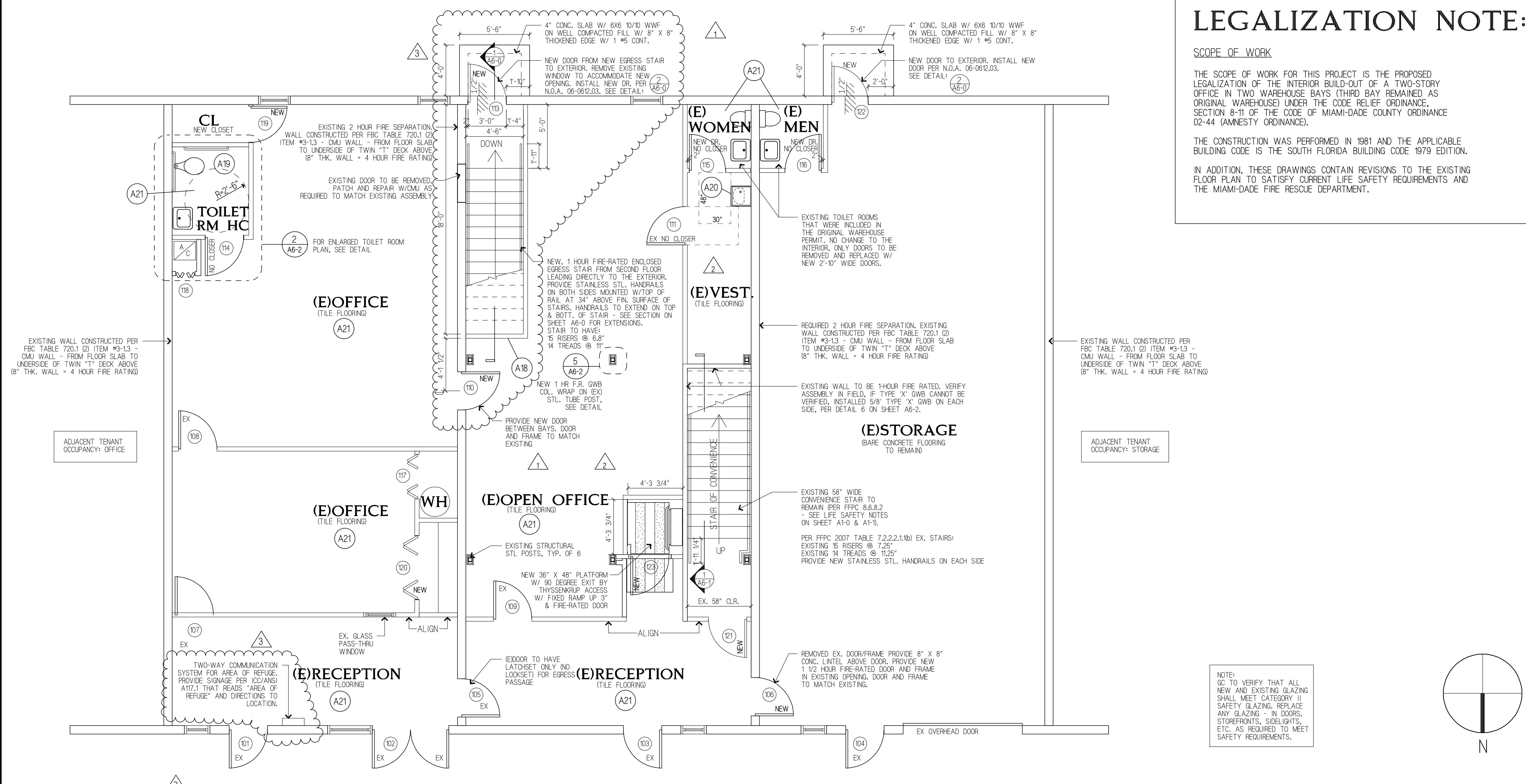
LEGALIZATION NOTE:

SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT IS THE PROPOSED LEGALIZATION OF THE INTERIOR BUILD-OUT OF A TWO-STORY OFFICE IN TWO WAREHOUSE BAYS (THIRD BAY REMAINED AS ORIGINAL WAREHOUSE) UNDER THE CODE RELIEF ORDINANCE, SECTION 8-11 OF THE CODE OF MIAMI-DADE COUNTY ORDINANCE 02-44 (AMNESTY ORDINANCE).

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FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
3

	3 5/8" OR 6" MTL. STUDS @ 16" O.C. PARTITION WITH 5/8" GYP. BD. AT ONE SIDE. EXTEND WALL TO BOTTOM OF (E) DECK - REFER TO FLOOR PLAN FOR SIZE. (PROVIDE 4" R-11 INSULATION IN WALLS BETWEEN CONDITIONED AND NON-CONDITIONED AREAS).
	ONE HOUR FIRE-RATED WALL W/ 2x4 WOOD STUDS AT 16" O.C. W/ 5/8" THK. TYPE 'X' GYP. WALLBOARD ON EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED W/ 6d COOLER OR WALLBOARD NAILS AT 7" O.C. W/ END JOINTS ON NAILING MEMBERS. STAGGER JOINTS ON EACH SIDE. PER FBC TABLE 720.1(2) ITEM NUMBER 14-13. WALL TO HAVE DBL. PLATE AT TOP AND SINGLE SILL PLATE AT BOTTOM. ATTACH SILL W/ 3/16" TAPCONS @ 16" O.C.
	INFILL WALL TO MATCH EXISTING 2 HOUR FIRE-RATED CMU WALL. PATCH AND REPAIR TO MATCH EXISTING. CONSTRUCT PER FBC TABLE 720.1(2) ITEM #3-13
	EXISTING PARTITION TO BE REMOVED.
	EXISTING PARTITION TO REMAIN.
	LOW PARTITION W/ 2x4 WOOD STUDS SPACED AT 16" O.C. WITH (3) LAYER OF 5/8" GWB ON EACH SIDE. W/ WOOD CAP. WALL TO RUN TO 42" A.F.F. SEE DETAIL XX ON SHEET AX3.
	GYP. BOARD CHASE WALL W/ 1" SHAPTLINER PANEL INSTALLED BETWEEN FLANGES OF 2-1/2" STL. 1-STUDS, C.H. STUDS, OR C-1 STUDS 24" O.C. W/ 5/8" TYPE 'X' GWB ON OFFICE FACE

WALL TYPES SCHEDULE

SCALE: N.T.S.
2

- | | | |
|---|--|---|
| <p>A1. SEE SHEET A0-0 FOR ADDITIONAL NOTES & SPECIFICATIONS. REFER TO ENGINEERS DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATION.</p> <p>A2. G.C. SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH PROVIDING PROFESSIONALS CARRYING OUT ALL REQUIRED CONTROLLED INSPECTIONS FOR HVAC, STRUCTURAL.</p> <p>A3. G.C. IS RESPONSIBLE TO COORDINATE WITH BLDG. MANAGEMENT ALL REQUIRED BLDG. SHUTDOWNS (I.E. FIRE SAFETY, HVAC, ELECTRICAL, SPRINKLER, ETC.) THROUGHOUT COURSE OF WORK.</p> <p>A4. G.C. SHALL PAY FOR AND OBTAIN ALL NECESSARY PERMITS, FEES AND SIGNOFFS FOR THE CONSTRUCTION OF THE PROJECT.</p> <p>A5. ALL ELECTRIC, PLUMBING, HVAC AND SPRINKLER WORK SHALL COMPLY, AT LEAST WITH THE MINIMUM REQUIREMENT OF THE BUILDING DEPARTMENT. REFER TO SERVICE ENGINEER'S SPECIFICATIONS.</p> <p>A6. ALL CONSTRUCTION MEANS, METHODS AND MATERIALS SHALL COMPLY, AT LEAST, WITH MINIMUM REQUIREMENTS OF THE BUILDING DEPARTMENT CODES/RULES AND REGULATIONS.</p> <p>A7. G.C. IS RESPONSIBLE FOR SETTING OUT ALL REQUIRED STATUTORY SIGNAGE THAT MEET ALL REGULATORY GOVERNING BODIES.</p> | <p>A8. ALL WORK TO BE COMPLETED IN STRICT COMPLIANCE WITH ALL LOCAL CODES IN CONFORMANCE TO BUILDING DEPARTMENT RULES AND REGULATIONS.</p> <p>A9. G.C. TO ENSURE THE FLOORS MUST REMAIN IN A STATE OF SAFE CONDITIONS WITH REGARD TO FIRE SAFETY FOR PERSONNEL WORKING ON ALL THE FLOORS. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC., MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES.</p> <p>A10. FINAL PLACEMENT OF ALL PARTITIONS SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. G.C. SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICT.</p> <p>A11. ALL PARTITION DIMENSIONS ARE FROM FINISHED SURFACE OR FROM FACE OF THE EXTERIOR PERIMETER WALL, U.O.N.</p> <p>A12. ALIGN FINISHED FACE OF ALL PARTITIONS WHERE NEW WALLS ABUT EXISTING COLUMNS AND/OR WALLS.</p> <p>A13. WHERE ALIGN SYMBOL IS INDICATED, G.C. TO ALIGN WALL WITH COLUMNS AS REQ'D. FOR "CONTINUOUS" WALL AS SHOWN.</p> <p>A14. ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE G.C. AT THEIR EXPENSE IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PRE-EXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO CONSTRUCTION.</p> | <p>A15. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES AS PER FINISH PLAN.</p> <p>A16. G.C. TO PREPARE ALL NEW & AFFECTED WALLS AS REQ'D FOR THE INSTALLATION OF NEW PAINT.</p> <p>A17. CONTRACTOR TO COORDINATE STUD SPECIFICATIONS AS PER MANUFACTURER'S RECOMMENDATION FOR FULL HEIGHT SLAB TO SLAB CONSTRUCTION. REFER TO DRAWINGS A3-0 FOR CEILING HEIGHTS.</p> <p>A18. 1 HOUR F.R. LOAD-BEARING WALL W/ 2x4 WD. STUDS @ 16" O.C. MAX. W/ 5/8" TYPE 'X' GWB ON EACH SIDE NAILED AT 7" O.C. W/ 6d CEMENT COATED NAILS 1-7/8" LONG APPLIED HORIZ. OR VERTICALLY W/ DBL. PLATE AT TOP & SINGLE PLATE AT BOTTL. WALL ASSEMBLY TO BE CONSTRUCTED PER GYPSUM ASSOC. GA. FILE # WP3605 AND U.L. DESIGN # 305.</p> <p>A19. (E) TOILET ROOM TO BE REMODELED TO BE HANDICAPPED ACCESSIBLE. REMOVE AND REPLACE W/ NEW FIXTURES PER NEW LAYOUT. SHOWER TO BE CAPPED AND REMODELED TO BE A NEW CLOSET OPEN TO OFFICE. CONSTRUCT NEW PARTITION W/ 5/8" GWB ON EA. SIDE OF 2x4 WD. STUDS AT 16" O.C.</p> <p>A20. (E) DRINKING FOUNTAIN. VERIFY EXACT LOCATION FOR ADA CLEARANCE WITH EXISTING DOORS.</p> <p>A21. PROVIDE ONE LAYER 5/8" THICK TYPE 'X' GWB ON BOTTOM OF FLOOR JOISTS FOR 1 HOUR FIRE-RATED FLOOR/CEILING SYSTEM. TAPE AND FINISH FOR NEW CEILING. SEE NOTE ON DETAIL 1 ON SHEET A6-0.</p> |
|---|--|---|

FLOOR PLAN NOTES

SCALE: 1/2" = 1'-0"
1

DATE	02/01/10
DRAWN BY	ADL
CHECKED BY	ADL
APPROVED BY	ADL
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
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SHEET SCALE	-
DRAWING TITLE	FIRE/LIFESAFETY REMEDIATION TWO STORY OFFICE FIRST FLOOR PLAN & NOTES
DRAWING NO.	A2-0
ISSUED FOR PERMIT	

LEGALIZATION NOTE:

SCOPE OF WORK

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THE CONSTRUCTION WAS PERFORMED IN 1981 AND THE APPLICABLE BUILDING CODE IS THE SOUTH FLORIDA BUILDING CODE 1979 EDITION.

IN ADDITION, THESE DRAWINGS CONTAIN REVISIONS TO THE EXISTING FLOOR PLAN TO SATISFY CURRENT LIFE SAFETY REQUIREMENTS AND THE MIAMI-DADE FIRE RESCUE DEPARTMENT.

OFFERLE-LERNER AIA ARCHITECTS & PLANNERS

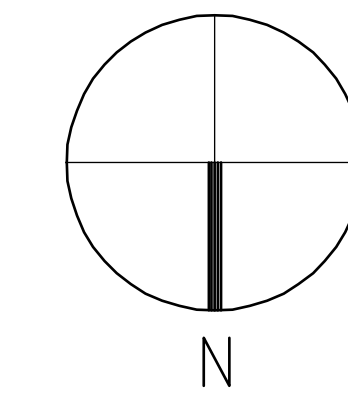
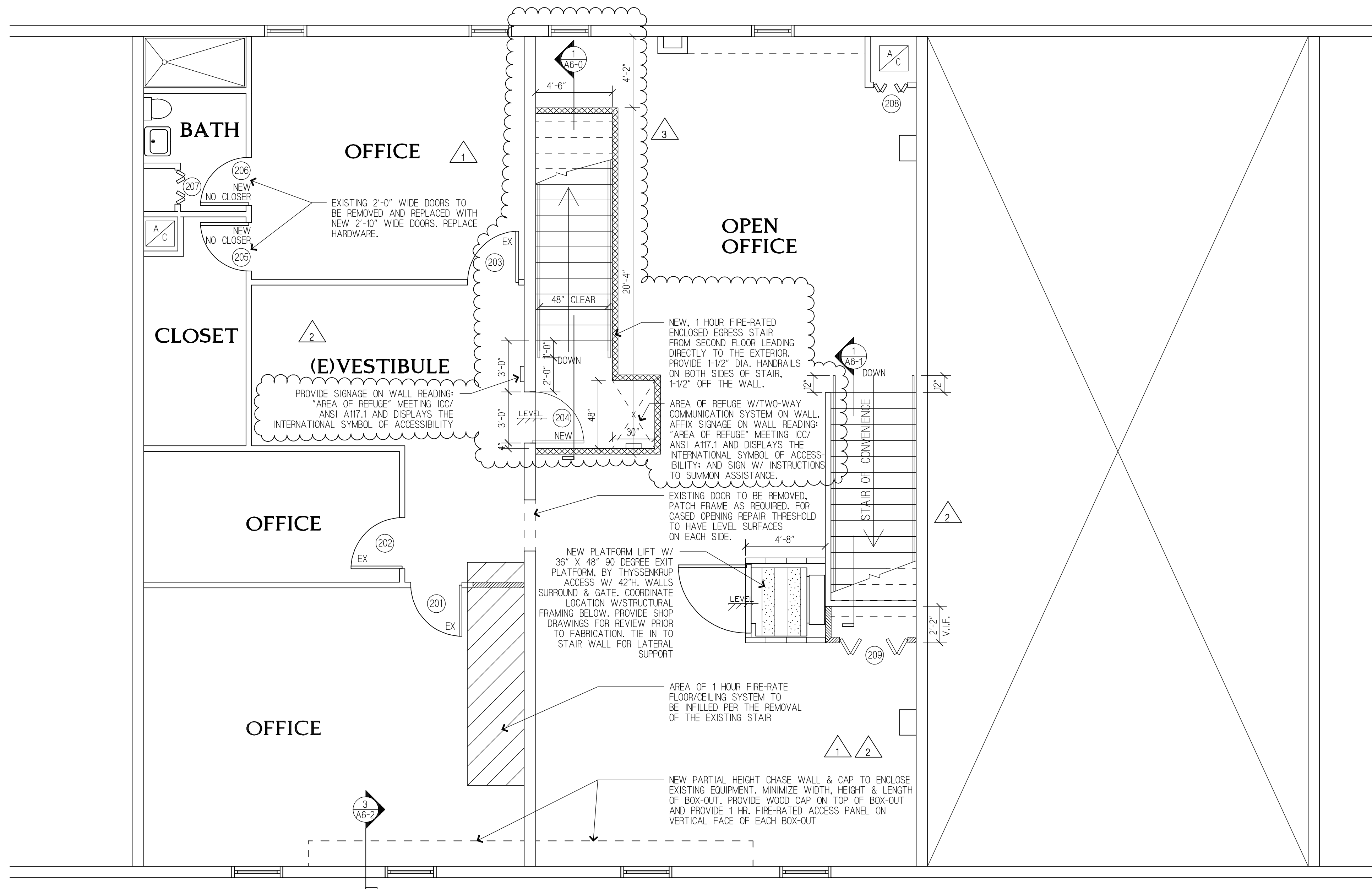
ARCHITECT PRJ. NO. 09-018	SEAL
CONSULT PRJ. NO. -	
CLIENT PRJ. NO.	ALAN D. LERNER AR#0005784

ARCHITECT
OFFERLE-LERNER AIA
13190 SW 134TH ST SUITE 208
MIAMI, FLORIDA 33186
305-385-1700
AA#0003139

SUB-CONSULTANT

NO.	DATE	DESCRIPTION	APPR.
-	04/20/2010	ISSUE FOR PERMIT	ADL
1	09/14/2010	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
2	11/09/2010	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
3	12/01/2010	REVISIONS PER BUILDING DEPARTMENT COMMENTS	ADL
	12/09/2010	ISSUE FOR BID	ADL

PROJECT TITLE
**FIRE/LIFE SAFETY REMEDIATION
TWO-STORY OFFICE
FOR:
FREIGHT REVENUE RECOVERY
OF MIAMI, INC.**
13977-79-81 SW 140 STREET
MIAMI, FLORIDA 33186



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

3

	3 5/8" OR 6" MTL. STUDS @ 16" O.C. PARTITION WITH 5/8" GYP. BD. AT ONE SIDE. EXTEND WALL TO BOTTOM OF (E) DECK - REFER TO FLOOR PLAN FOR SIZE. PROVIDE 4" R-11 INSULATION IN WALLS BETWEEN CONDITIONED AND NON-CONDITIONED AREAS.
	ONE HOUR FIRE-RATED WALL W/ 2x4 WOOD STUDS AT 16" O.C. W/ 5/8" THK. TYPE X GYP. WALLBOARD ON EACH SIDE APPLIED VERTICALLY OR HORIZONTALLY NAILED W/ 6d COOLER OR WALLBOARD NAILS AT 7" O.C. W/ END JOINTS ON NAILING MEMBERS. STAGGER JOINTS ON EACH SIDE. PER FBC TABLE 720.1(2) ITEM NUMBER 14-1.3. WALL TO HAVE DBL. PLATE AT TOP AND SINGLE SILL PLATE AT BOTTOM. ATTACH SILL W/ 3/16" TAPCONS @ 16" O.C.
	INFILL WALL TO MATCH EXISTING 2 HOUR FIRE-RATED CMU WALL. PATCH AND REPAIR TO MATCH EXISTING. CONSTRUCT PER FBC TABLE 720.1(2) ITEM #3-1.3
	EXISTING PARTITION TO BE REMOVED.
	EXISTING PARTITION TO REMAIN.
	LOW PARTITION W/ 2x4 WOOD STUDS SPACED AT 16" O.C. WITH (1) LAYER OF 5/8" GWB ON EACH SIDE. W/ WOOD CAP. WALL TO RUN TO 42" A.F.F. SEE DETAIL XX ON SHEET AXX.
	GYP. BOARD CHASE WALL W/ 1" SHAFTLINER PANEL INSTALLED BETWEEN FLANGES OF 2-1/2" STL. I-STUDS, C-H STUDS, OR C-T STUDS 24" O.C. W/ 5/8" TYPE 'X' GWB ON OFFICE FACE

WALL TYPES SCHEDULE

SCALE: N.T.S.

2

FLOOR PLAN NOTES

- SEE SHEET A0-0 FOR ADDITIONAL NOTES & SPECIFICATIONS. REFER TO ENGINEERS DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATION.
- G.C. SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH PROVIDING PROFESSIONALS CARRYING OUT ALL REQUIRED CONTROLLED INSPECTIONS FOR HVAC, STRUCTURAL.
- G.C. IS RESPONSIBLE TO COORDINATE WITH BLDG. MANAGEMENT ALL REQUIRED BLDG. SHUTDOWNS (I.E. FIRE SAFETY, HVAC, ELECTRICAL, SPRINKLER, ETC.) THROUGHOUT COURSE OF WORK.
- G.C. SHALL PAY FOR AND OBTAIN ALL NECESSARY PERMITS, FEES AND SIGNOFFS FOR THE CONSTRUCTION OF THE PROJECT.
- ALL ELECTRIC, PLUMBING, HVAC AND SPRINKLER WORK SHALL COMPLY, AT LEAST WITH THE MINIMUM REQUIREMENT OF THE BUILDING DEPARTMENT. (REFER TO SERVICE ENGINEER'S SPECIFICATIONS).
- ALL CONSTRUCTION MEANS, METHODS AND MATERIALS SHALL COMPLY, AT LEAST, WITH MINIMUM REQUIREMENTS OF THE BUILDING DEPARTMENT CODES/RULES AND REGULATIONS.
- G.C. IS RESPONSIBLE FOR SETTING OUT ALL REQUIRED STATUTORY SIGNAGE THAT MEET ALL REGULATORY GOVERNING BODIES.
- ALL WORK TO BE COMPLETED IN STRICT COMPLIANCE WITH ALL LOCAL CODES IN CONFORMANCE TO BUILDING DEPARTMENT RULES AND REGULATIONS.
- G.C. TO ENSURE THE FLOORS MUST REMAIN IN A STATE OF SAFE CONDITIONS WITH REGARD TO FIRE SAFETY FOR PERSONNEL WORKING ON ALL THE FLOORS. ALL FIRE STAIRS, ALARMS, SPEAKERS, ETC., MUST REMAIN ACCESSIBLE AND OPERABLE AT ALL TIMES.
- FINAL PLACEMENT OF ALL PARTITIONS SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. G.C. SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICT.
- ALL PARTITION DIMENSIONS ARE FROM FINISHED SURFACE OR FROM FACE OF THE EXTERIOR PERIMETER WALL, U.O.N.
- ALIGN FINISHED FACE OF ALL PARTITIONS WHERE NEW WALLS ABUT EXISTING COLUMNS AND/OR WALLS.
- WHERE ALIGN SYMBOL IS INDICATED, G.C. TO ALIGN WALL WITH COLUMNS AS REQ'D. FOR "CONTINUOUS" WALL AS SHOWN.
- ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE G.C. AT THEIR EXPENSE IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PRE-EXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO CONSTRUCTION.
- ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES AS PER FINISH PLAN.
- G.C. TO PREPARE ALL NEW & AFFECTED WALLS AS REQ'D FOR THE INSTALLATION OF NEW PAINT.
- CONTRACTOR TO COORDINATE STUD SPECIFICATIONS AS PER MANUFACTURER'S RECOMMENDATION FOR FULL HEIGHT SLAB TO SLAB CONSTRUCTION. REFER TO DRAWINGS A3-0 FOR CEILING HEIGHTS.
- 1 HOUR F.R. LOAD-BEARING WALL W/ 2x4 WD. STUDS @ 16" O.C. MAX. W/ 5/8" TYPE 'X' GWB ON EACH SIDE NAILED AT 7" O.C. W/ 6d CEMENT COATED NAILS 1-7/8" LONG APPLIED HORIZ. OR VERTICALLY W/ DBL. PLATE AT TOP & SINGLE PLATE AT BOTTL. WALL ASSEMBLY TO BE CONSTRUCTED PER GYPSUM ASSOC. GA. FILE # WP3605 AND U.L. DESIGN # 305.
- (E) TOILET ROOM TO BE REMODELED TO BE HANDICAPPED ACCESSIBLE. REMOVE AND REPLACE W/ NEW FIXTURES PER NEW LAYOUT. SHOWER TO BE CARPED AND REMODELED TO BE A NEW CLOSET OPEN TO OFFICE. CONSTRUCT NEW PARTITION W/ 5/8" GWB ON EA. SIDE OF 2x4 WD. STUDS AT 16" O.C.
- (E) DRINKING FOUNTAIN. VERIFY EXACT LOCATION FOR ADA CLEARANCE WITH EXISTING DOORS.
- PROVIDE ONE LAYER 5/8" THICK TYPE 'X' GWB ON BOTTOM OF FLOOR JOISTS FOR 1 HOUR FIRE-RATED FLOOR/CEILING SYSTEM. TAPE AND FINISH FOR NEW CEILING. SEE NOTE ON DETAIL 1 ON SHEET A6-0.

SCALE: 1/2" = 1'-0"

1

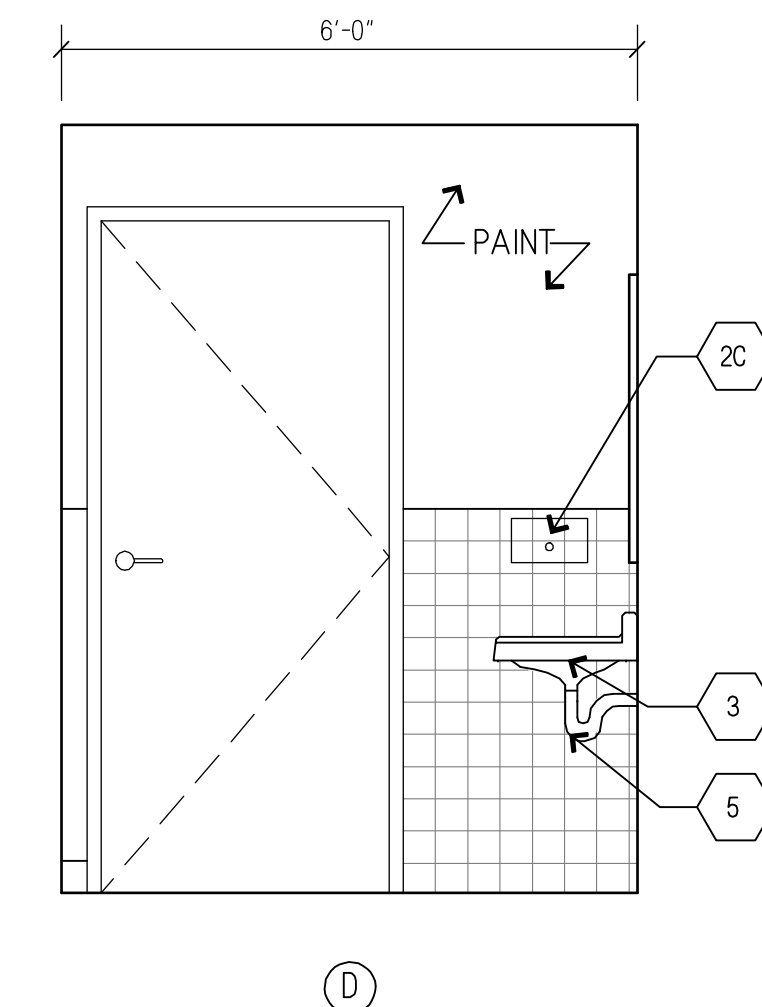
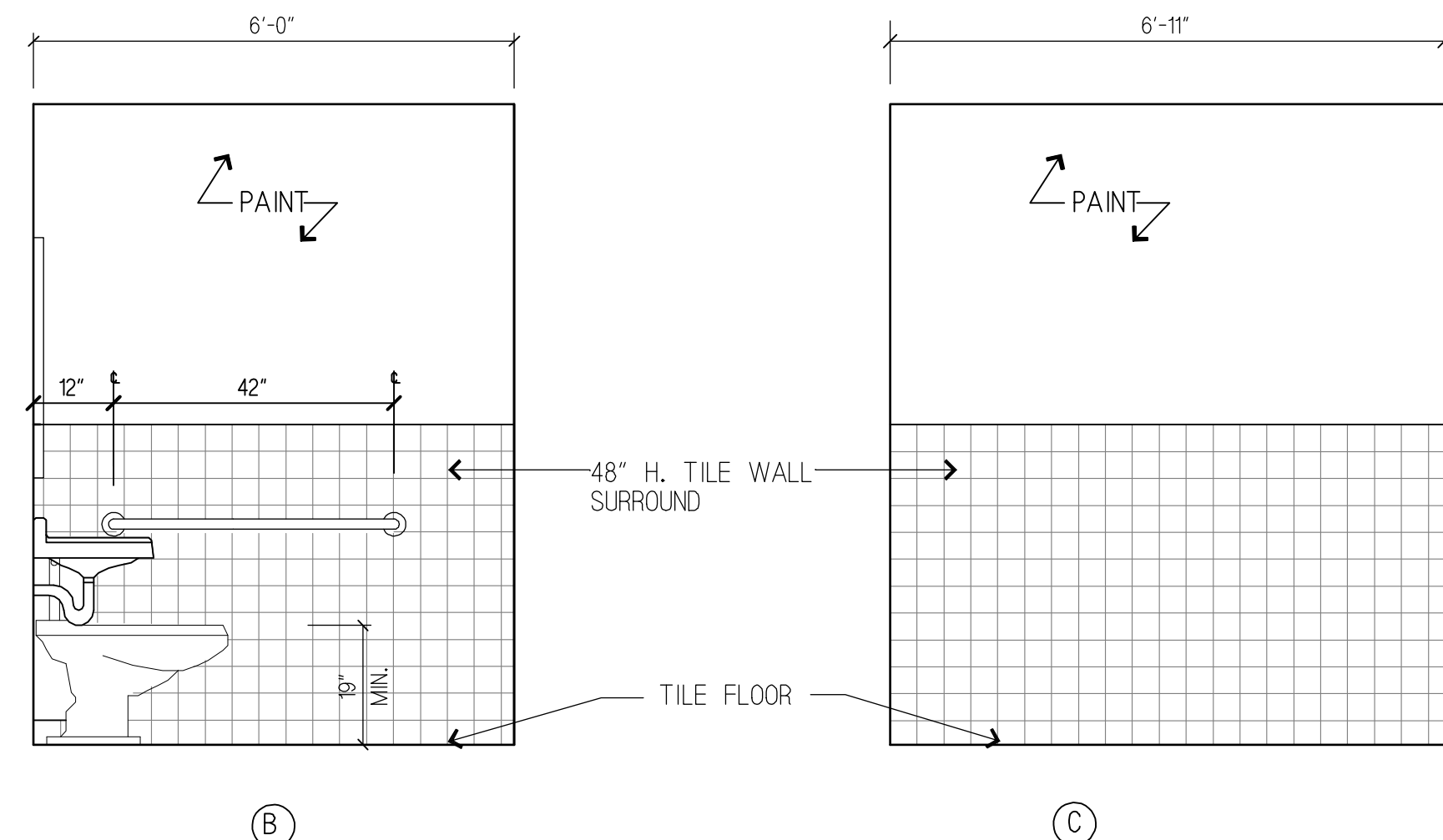
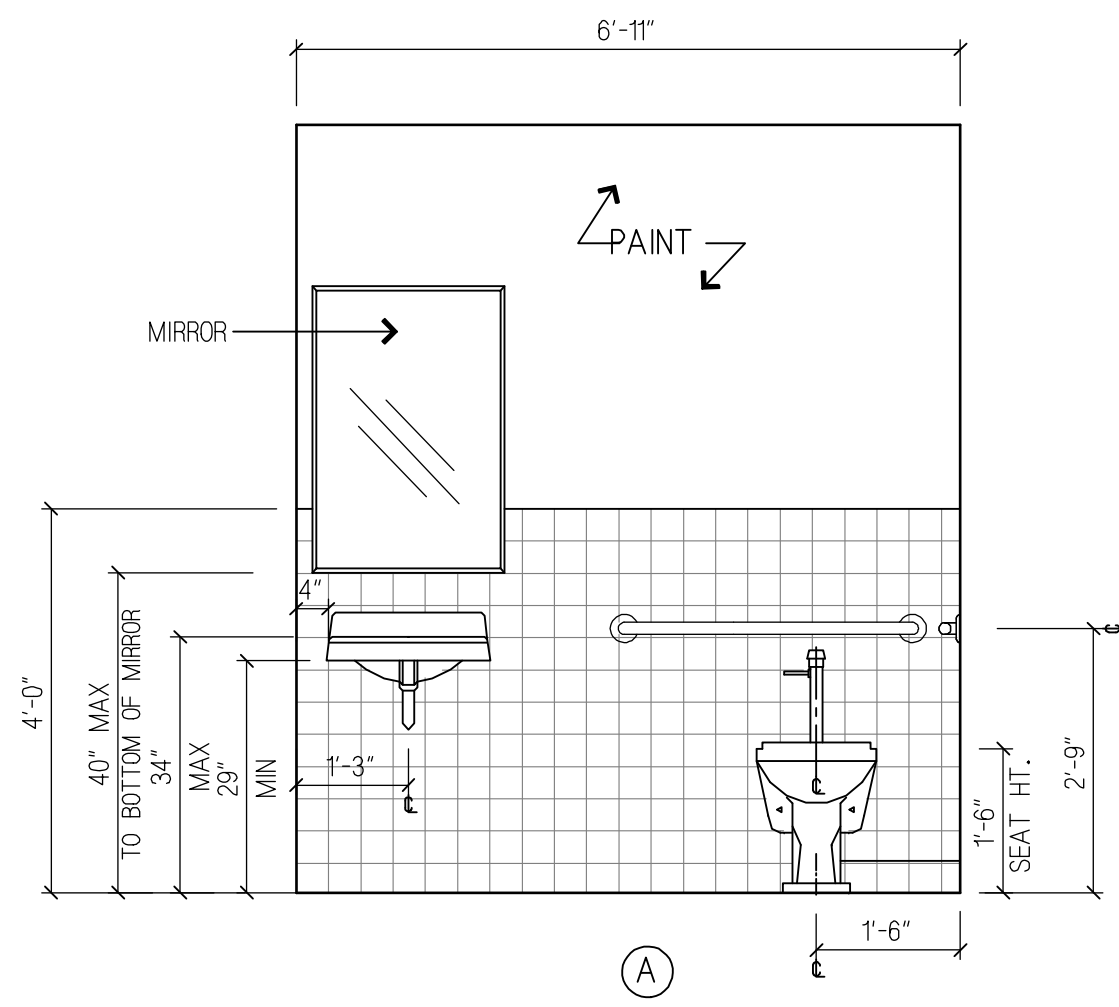
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CHECKED BY	ADL
APPROVED BY	ADL

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SHEET SCALE	-

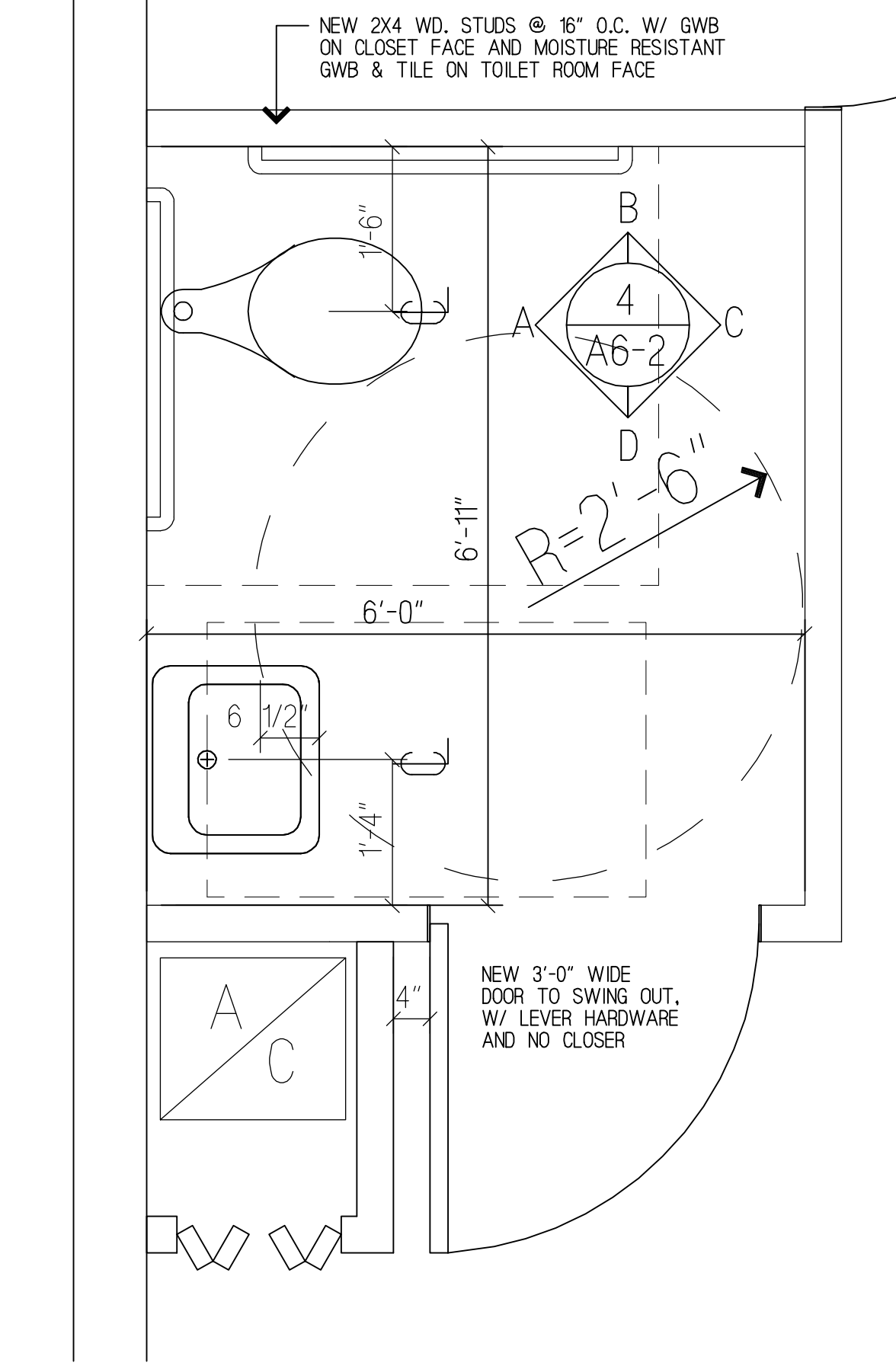
DRAWING TITLE
**FIRE/LIFESAFETY REMEDIATION
TWO STORY OFFICE
SECOND FLOOR PLAN & NOTES**

DRAWING NO.
A2-1

ISSUED FOR PERMIT



1. ALL ELECTRICAL RECEPTACLE PLATES AND LIGHT SWITCH PLATES TO BE BRUSHED STAINLESS STEEL.
2. TOILET ROOM ACCESSORIES SHALL BE BOBRICK AS FOLLOWS:
 - A. RECESSED TOILET SEAT COVER DISPENSER, SANITARY NAPKIN DISPOSAL AND TOILET TISSUE DISPENSER-B-3574 AND -B-3474
 - B. MIRROR: GL-6
 - C. TRIMLESS SOAP DISPENSER-B-306
3. FOR PLUMBING FIXTURES, SEE PLUMBING SCHEDULE.
4. CERAMIC TILE WAINSCOT (T-3) FROM FLOOR TO 48" A.F.F. WITH CERAMIC TILE COVE BASE (B-2) REFER TO FINISH LEGEND AT SHEET A4-1.
5. ALL PIPING TO BE WRAPPED WITH PLASTIC COVER TO MEET ADA REQUIREMENTS.
6. PROVIDE WATER RESISTANT GYPSUM BOARD, TYPICAL ALL WALLS. PRINT WALLS ABOVE WAINSCOT AND CEILING AS SHOWN.
7. TOILET ROOM REQUIREMENTS COMPLY W/ ADAAG AND 2001 CALIFORNIA TITLE 24 ACCESSIBILITY CODE.
8. GRAB BARS TO RESIST A LATERAL FORCE OF AT LEAST 250 LBS VERTICALLY APPLIED AT ANY POINT FOR ATLEAST 5 MINUTES WITHOUT ANY DAMAGE.
9. BATHROOM FLOORS TO HAVE WATER PROOF MEMBRANE EQUAL TO STONEHARD (1-800-257-7953) OR BETTER MEMBRANE TO RETURN ONTO WALLS MINIMUM OF 6".



TOILET ELEVATIONS

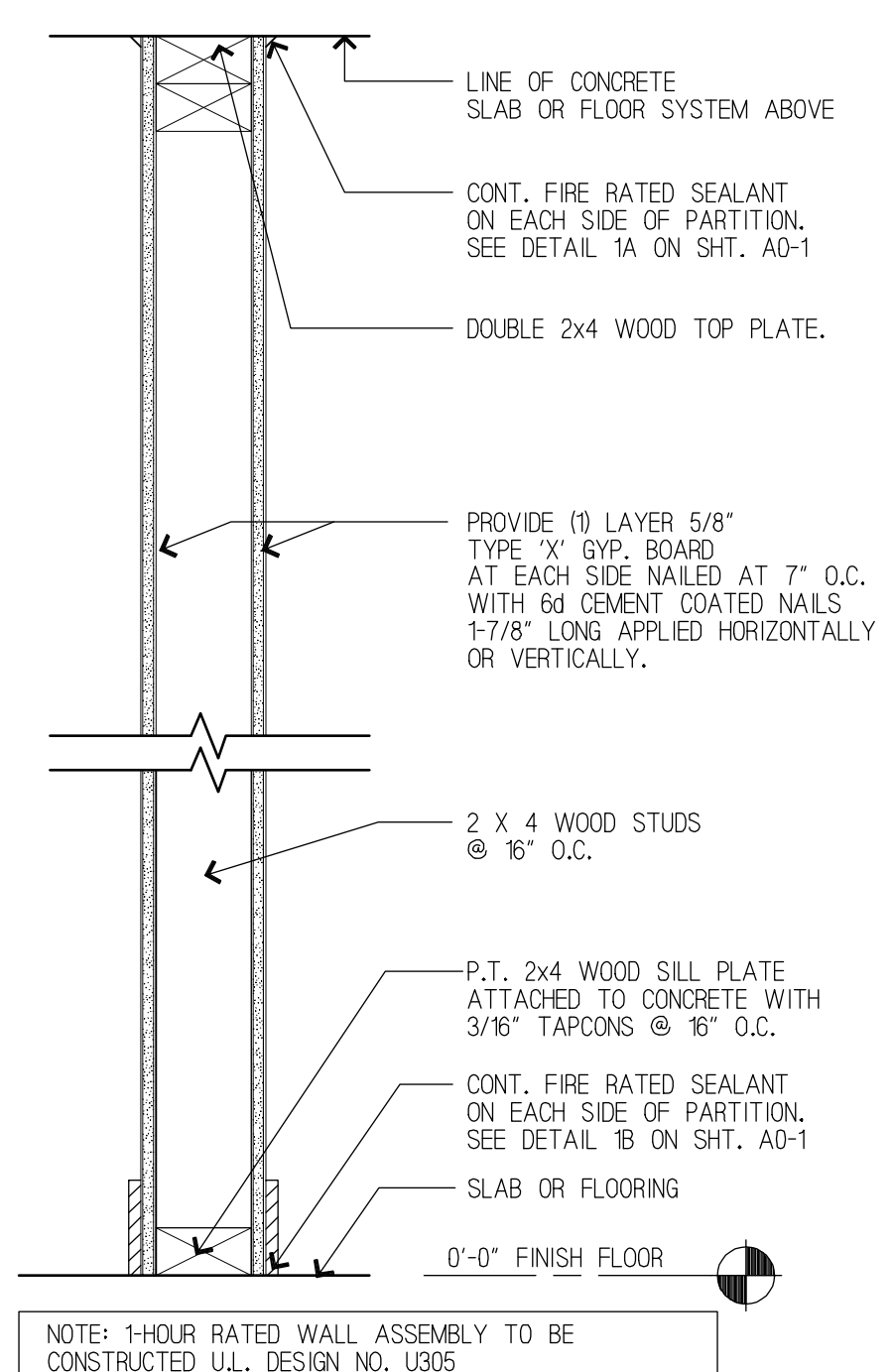
SCALE: 1/2" = 1'-0"

4

ENLARGED PLAN AT TOILET AREA

SCALE: 3/4" = 1'-0"

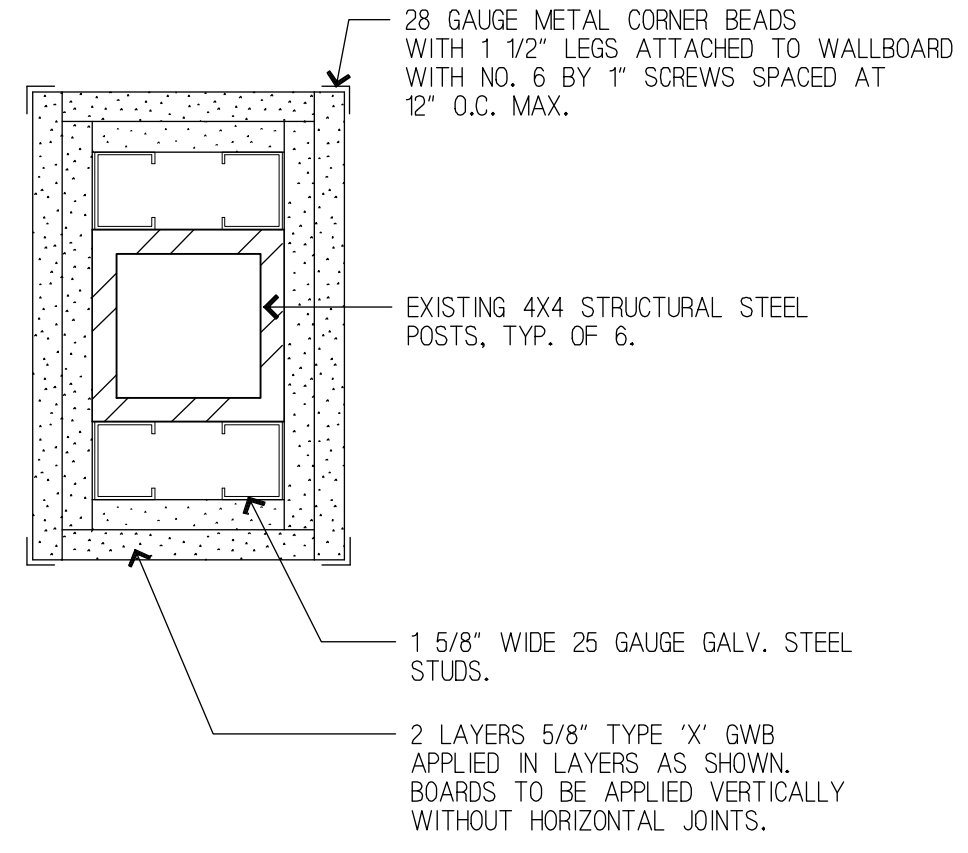
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1 HR PARTITION DETAIL

SCALE: 1-1/2" = 1'-0"

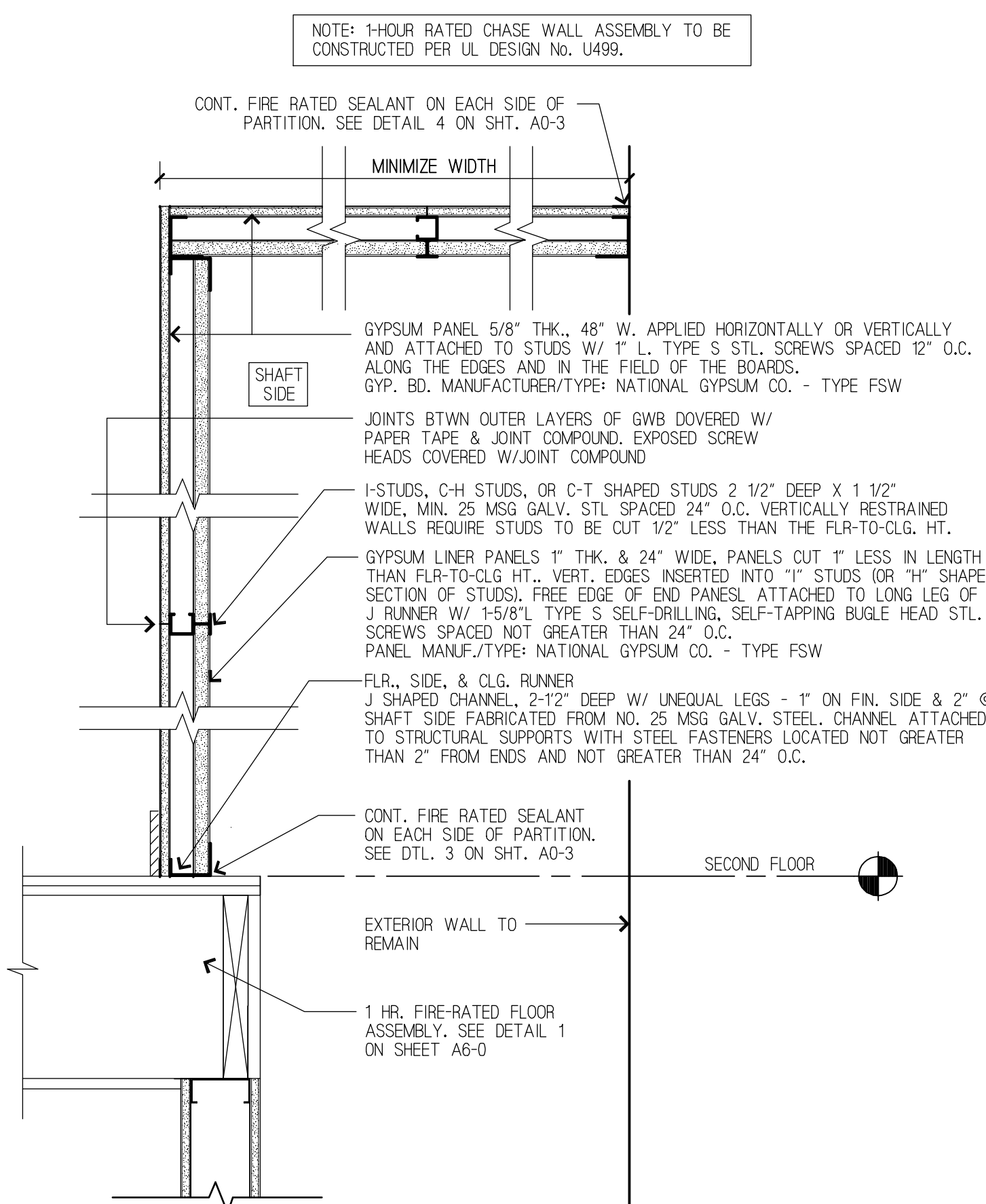
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1 HR COLUMN COVER DETAIL

SCALE: 3" = 1'-0"

5



1 HR. WALL - UL U499

SCALE: 1-1/2" = 1'-0"

3

NOT USED

SCALE: 3/4" = 1'-0"

1

OFFERLE-LERNER AIA ARCHITECTS & PLANNERS

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SUB-CONSULTANT			
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13977-79-81 SW 140 STREET
MIAMI, FLORIDA 33186

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AS-BUILT DRAWING	<input type="checkbox"/>
SHEET SCALE	-

DRAWING TITLE
ENLARGED TOILET PLAN/
TOILET ELEVATIONS
& DETAILS

DRAWING NO.
A6-2

ISSUED FOR PERMIT

**OFFERLE-LERNER AIA
ARCHITECTS
& PLANNERS**

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SHEET SCALE -

DRAWING TITLE

SITE PLAN

DRAWING NO.
1
SP-1

ISSUED FOR PERMIT

