

## **UNITED WAY OF THE BIG BEND**

**Issue:** Vertical accessibility to the second floor of an office building.

**Analysis:** The applicant is requesting a waiver from providing vertical accessibility to the second floor of a 7,896 square foot office building undergoing a \$20,000 alteration. Estimates of \$105,576 and \$95,076 were submitted for installation of an elevator. Plans for the alteration indicate there are no services or facilities on the second floor that are not duplicated on the first.

### **Project Progress:**

The project is in plan review.

### **Items to be Waived:**

Vertical accessibility to the second floor, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

**Waiver Criteria:** There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS  
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

**1. Name and address of project for which the waiver is requested.**

Name: United Way of the Big Bend

Address: 307 East 7th Avenue; Tallahassee, Florida 32303

**2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:**

Applicant's Name: Mad Dog Design & Construction Company, Inc.

Applicant's Address: 1203 Miccosukee Road; Tallahassee, FL 32308

Applicant's Telephone: (850) 878-8272 FAX: (850) 878-6038

Applicant's E-mail Address: Curtis@maddogweb.com

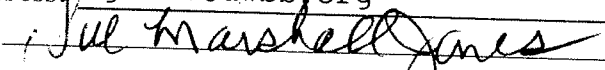
Relationship to Owner: General Contractor FL# CGC 018607

Owner's Name: United Way of the Big Bend

Owner's Address: 307 East 7th Avenue; Tallahassee, FL 32303

Owner's Telephone: (850) 414-0844 FAX (850) 414-0852

Owner's E-mail Address: sjones@uwbb.org

Signature of Owner: 

Contact Person: Sue Marshall-Jones

Contact Person's Telephone: (850) 414-0844 E-mail Address: sjones@uwbb.org

This application is available in alternate formats upon request.  
Form No. 2001-01

**3. Please check one of the following:**

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

**4. Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

Two story office building for nonprofit organization.

7,896 sq ft

**5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):**

Approximately \$20,000

**6. Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design  Under Construction\*

In Plan Review  Completed\*

\* Briefly explain why the request has now been referred to the Commission.

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7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

**Issue**

1: \_\_\_\_\_  
\_\_\_\_\_

**Issue**

2: \_\_\_\_\_  
\_\_\_\_\_

**Issue**

3: \_\_\_\_\_  
\_\_\_\_\_

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. Please see attached estimate from Otis Elevator

b. Please see attached estimate from ThyssenKrupp Elevator

c. \_\_\_\_\_

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

The addition of an elevator to this project would increase the cost about 3 times the cost of the renovations currently planned.

John Nation  
Signature

John Nation  
Printed Name

Phone number 850-893-1130

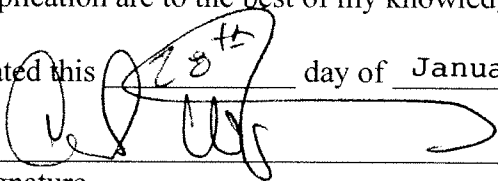
(SEAL)

JOHN NATION

**CERTIFICATION OF APPLICANT:**

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 28<sup>th</sup> day of January, 20 09

  
\_\_\_\_\_  
Signature

Curtis Whigham

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

**REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.**

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

According to the June 6, 2000 memorandum from Kathy Butler, Assistant General Counsel DCA, the Federal disproportionate cost exception may not be applied to Florida specific vertical accessibility requirements incorporated in §553.509

The renovation of the second floor at the United Way of the Big Bend is considered an alteration to an area containing a primary function, and internal vertical accessibility per §553.509 is required to the lower level based on Ms. Butler's memorandum.

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

[ ] Yes      [x] No Cost of Construction \_\_\_\_\_

**Comments/Recommendation** No further guidance or interpretation has been rendered by DCA, or the Florida Building Commission, to rescind or amend Ms. Butler's June 6, 2000 interpretation. Nor has any other agency of the State or judicial officer provided any guiding language to provide more latitude to building inspection divisions regarding vertical accessibility requirements in accordance with §553.509.

Therefore, a vertical accessibility waiver may only be granted by the Florida Building Commission.

Jurisdiction City of Tallahassee

Building Official or Designee [Signature]

Signature Robert S. Tredik

Printed Name BU230

Certification Number \_\_\_\_\_

Telephone/FAX 850-891-7071 891-7099

Address: P.O. Box B-28 - City Hall

300 S. Adams St. Tallahassee, FL 32301

**Mad Dog Design Construction Company, Inc.**  
 1203 Miccosukee Road, Tallahassee, FL 32308  
 850.878.8272 Office 850.878.6038 Facsimile

**Report:** Otis Elevator Addition  
**Date:** Friday, March 06, 2009

**Project:** United Way  
**Project No.:** 08107

Material & Labor	QTY	UOM	\$/Unit	Total
<b>Elevator</b>				
Demolition	1	LS	\$ 8,000.00	\$ 8,000.00
Foundation	70	Sf	\$ 5.00	\$ 350.00
Dampproofing pit	1	Ea	\$ 500.00	\$ 500.00
CMU	1620	Ea	\$ 8.00	\$ 12,960.00
Rebar	1	LS	\$ 500.00	\$ 500.00
Cell fill	22	CY	\$ 185.00	\$ 3,996.00
Hoist beam	1	Ea	\$ 1,250.00	\$ 1,250.00
Roof repair	1	LS	\$ 2,500.00	\$ 2,500.00
Exterior finish	1215	Sf	\$ 7.00	\$ 8,505.00
Paint	1	LS	\$ 500.00	\$ 500.00
Elevator - 2 stop	1	LS	\$ 50,000.00	\$ 50,000.00
Electrical	1	LS	\$ 8,500.00	\$ 8,500.00
Exhaust	1	LS	\$ 1,500.00	\$ 1,500.00
Fire Alarm, phone, etc	1	LS	\$ 1,250.00	\$ 1,250.00
<b>Equipment Room</b>				
Renovate existing space	81	SF	\$ 65.00	\$ 5,265.00
<b>TOTAL COST:</b>				<b>\$ 105,576.00</b>



**Otis Elevator Company**  
6631 Executive Park Court Ste 206  
Jacksonville, FL 32216  
Office (904) 296-6847 ext.16  
Mobile (904) 219-6856  
Fax (904) 296-9483  
E-fax (860) 353-2480  
Ryan.starling@otis.com



**Otis**

A United Technologies Company

March 5, 2009

Mr. Curtis Whigham  
Mad Dog Construction  
1203 Miccosukee Road  
Tallahassee, FL 32308  
Phone (850) 878-8272  
Fax (850) 878-6038

**RE: United Way of Tallahassee**  
**Leon County, FL**

We are pleased to submit a budget price to furnish and install one (1) Otis LVM2500 holeless hydraulic passenger elevator for the sum of:

***Fifty Thousand and no/100 Dollars ( \$50,000.00 )***

Please take note of the following Attachments, which are a part of this proposal:

- Attachment "A": Scope of Work
- Attachment "B": Clarifications / General Exclusions / Terms & Conditions
- Attachment "C": Preparatory Work by Others

Due to rapidly changing market costs, this proposal is good for only 30 days and anticipates that all material shall be shipped prior to July 2009 and the installation completed prior to December 30, 2009. If your award date will be more than 30 days, or the above dates are not in accordance with your proposed schedule, we reserve the right to review and re-quote this project prior to accepting an award.

Our quotation is based on all work being performed during regular working hours of the elevator trade. The current lead-time for this equipment is 12 weeks from receipt of a fully executed contract, signed approvals, and 35% down payment. Total installation time will be approximately 2 ½ weeks per elevator based on you providing a dried-in and clean hoistway and machine room with three-phase power available to our controller upon commencement of our work. If permanent power is not available, you will need to provide a portable generator at no cost to Otis. Temporary cars for construction use must be run on permanent three phase power. Add another week for coordination with other trades and scheduling final inspection.

We appreciate the opportunity of providing this proposal and look forward to the possibility of being a member of your project team. Should you have any questions do not hesitate to contact me at the above address.

Sincerely,

Ryan Starling

## SCOPE OF WORK

<b>Elevator Designation</b>	Passenger
<b>Otis Model</b>	Otis LVM series holeless elevator system Hydraulic: LVM2500L
<b>Capacity and Speed</b>	2500lbs @ 100 feet per minute
<b>Rise</b>	14' 0"
<b>Number Of Stops And Openings</b>	Two (2): Two (2) front openings only.
<b>Clear Hoistway</b>	8' 4" wide x 5' 9" deep
<b>Clear Car Inside Dimensions</b>	6' 8" wide x 4' 3" deep
<b>Clear Overhead</b>	12' 8"
<b>Clear Pit Depth</b>	4' 5"
<b>Machine Room Location</b>	Directly adjacent to [0 feet remote from] hoistway at lowest floor landing
<b>Operation</b>	Simplex microprocessor control
<b>Power Supply</b>	480 Volts, 3 Phase AC, 60 Hertz
<b>Motor Horsepower</b>	20 HP
<b>Cab Enclosure</b>	<p>Otis Series 1 Passenger with plastic laminate panels on side and rear walls. Full Satin stainless front return, header and satin stainless cab door. Aluminum threshold. 7' 0" high cab doors. 8' 0" high cab. 7' 4 1/2" height under ceiling.</p> <p>Otis DH-154 (1-1/2") round tubular handrail provided on the sides and rear of the car enclosure with satin stainless steel finish.</p> <p>Otis DC-22 ceiling: suspended aluminum frame with lay-in panels, fluorescent lighting.</p>
<b>Stainless Steel</b>	In lieu of ASTM A167, Type 302 or 304 stainless steel, we are providing our standard Otis satin FULL finish stainless steel. Finish, hardness, and durability are equal to or exceeds the above. We will provide samples as necessary.
<b>Cab Flooring</b>	Furnished and installed by others
<b>Hoistway Entrances</b>	3' 6" wide x 7' 0" high. Center-opening door. Satin Stainless finish. Extruded aluminum sills.
<b>Signals</b>	Otis Standard line illuminated car operating panel with digital position indicator, Otis Classic line hall fixtures with stainless steel faceplates and push buttons. In-car directional lantern with gong and floor passing signals.

**Constant Features**

LAMBDA® infrared door reversal device  
Firefighters' Service Phase I and Phase II  
Handicapped and Braille markings (Optional in Canada)  
Otis Solid State Soft Starter  
Emergency Car Lighting

**Additional Features**

Access at top landing with zoning  
Certificate Frame  
Emergency return unit  
Key switches in addition to hall buttons  
Pressure Switch  
Remote Elevator Monitoring (REM®)  
Otis ADA hands free phone.  
Designed for Seismic Zone 1 requirements  
One (1) set of protective cab wall pads with "S" hooks

**Code**

Complies to applicable local, state and national codes.

Complies with ANSI A17.1, Florida local code and A.D.A.

**Warranty**

Twelve (12) months after acceptance of elevator by owner.

The elevator contractor's acceptance is conditional on the understanding that their warranty covers defective material and workmanship. The guarantee period shall not extend longer than one (1) year from the date of completion or acceptance thereof by beneficial use, whichever is earlier, of each elevator. The guarantee excludes ordinary wear and tear or improper use, vandalism, abuse, misuse, or neglect or any other causes beyond the control of the elevator contractor and this express warranty is in lieu of all other warranties, express or implied, including any warranty of merchantability or fitness for a particular purpose. This express warranty is in lieu of all other warranties, expressed or implied, including any warranty or merchantability or fitness for a particular purpose.

**Maintenance**

Twelve (12) months after acceptance of elevator by owner including emergency callback service during normal working hours.

## ATTACHMENT "B"

### GENERAL CLARIFICATION'S

1. Our proposal is based on providing our "holeless" elevator system whereas no well hole drilling will be required.
2. Please pay particular attention to the following items that are work by others, as outlined in "Attachment "D":
  - a. Cab finished flooring
  - b. Pit ladder
  - c. Overhead hoist beam
  - d. Grouting of elevator hoistway door sills
  - e. Barricades
  - f. Cutting and patching
  - g. Pre-start power requirements
3. If we are requested to operate the elevator for other trades or perform labor outside of the scope of this work, it shall be performed in accordance with our normal hourly labor rates which are currently \$140 per man hour, regular working hours only, plus expenses.
4. You shall be responsible for providing suitable on-site storage, approximately 20' x 25' per elevator adjacent to the hoistway on the main access level for the building. We require suitable tractor trailer access to the building for unloading of material and/or rollable access for equipment into the building. If you are not ready to accept delivery of the material on the date the machine room is to be ready, you shall give us sufficient notice of a local point where you will accept delivery, and be responsible for all monthly storage fees. An extra charge will be assessed for any double handling or re-transportation of elevator material required by the general contractor/owner or agent thereof.
5. Hoistway, pit, overhead, and machine room to suit our standard space requirements. Car platform and clear car inside dimensions to be our standard sizes for the capacities specified.
6. It is the responsibility of the General Contractor to provide adequate on-site parking for Otis employees. No additional parking money has been included in this proposal.
7. All current inspection fees are included for a final inspection. Should re-inspection be required because of work that is not our responsibility, you will be responsible for the cost of re-inspection and remobilization for Otis personnel.
8. Full time on-site supervision is not included. All of our installation teams report to and are under the direct supervision of our Construction Superintendent. Each team includes an experienced "mechanic in charge" and when more than one team is working on a single project, one mechanic is designated as the foreman. These teams are trained and equipped to work independently and with general supervision only.
9. Our quotation is based upon others providing adequate rail bracket fastenings at the clear hoistway line, an OSHA required hoisting beam for a 5000lb net live load in the overhead with proper code clearance of minimum of 12'-8" to the bottom of the beam.
10. Should you desire to use an elevator for construction purposes, there will be a charge of \$1500 to cover the cost of our field labor and the QEI to perform the additional test required by the State of Florida, a \$150 monthly charge payable to the QEI for a construction permit, a monthly charge of \$1000 for interim maintenance service, and a final clean-up charge based on the condition of the equipment invoiced at our standard billing rates. You will also be

responsible for furnishing and maintaining the interior protection and providing an operator on the car during temporary use.

## GENERAL TERMS AND CONDITIONS

1. This proposal is submitted with the understanding that any contract resulting therefrom will be subject to review and mutual acceptance of all terms and conditions contained therein. It is conditioned on neither party being liable to the other for any loss, damage or delay due to any cause beyond either party's reasonable control, including but not limited to acts of government, strikes, lockouts, other labor disputes, fire, explosion, theft, weather damage, flood, earthquake, riot, civil commotion, war, mischief or act of God. Under no circumstances shall either party be liable for special, indirect, or consequential damages in contract, tort, including negligence, warranty or otherwise, notwithstanding any indemnity provision to the contrary. Notwithstanding any provision in any contract document to the contrary, our acceptance is conditioned on being allowed additional time for the performance of the Work due to delays beyond our reasonable control.
2. Subcontractor agrees to submit to Non-Binding Arbitration by the American Arbitration Association but does not waive its rights to pursue other remedies available at law and equity.
3. If payment and performance bonds are requested of us, please **add** (\$6.00 per \$1000) of resulting contract amount.
4. We agree to provide evidence of insurance coverage but cannot name others as additional insured or waive our rights of subrogation. All insurance coverage afforded you or others shall terminate upon final acceptance of the work.
  - a) In lieu of naming others as Additional Insured, Otis will provide Owners and Contractors Protective Insurance (OCP) at no additional cost to you.
  - b) If the project is covered by an Owner/Contractor Controlled Insurance Program (OCIP/CCIP), Otis agrees to participate provided it is at **NO COST** to Otis and subject to its review and acceptance of the proposed program. Any obligation of Otis to name others as Additional Insured shall be for off-site operations only.
5. Our proposal is based the following payment terms:
  - a. Monthly progress payments shall include the value of work performed and materials stored on or off site and **a payment of 35%** of the contract price is required prior to placement of factory orders to cover costs associated with submittals, contract engineering, permits, fees, bonds, and raw material procurement.
  - b. Final payment shall be due thirty (30) days after final acceptance of the elevator installation.
  - c. We must be paid ninety percent (95%) of the final contract price before turnover of the elevator equipment.
  - d. Retainage shall not exceed 10%, and shall be reduced to 5% upon 50% completion of our work.
  - e. Our payments shall be contingent on Owner payment to you only to the extent of moneys withheld by the Owner for some deficiency on our part.
  - f. Any payment not made when due shall be subject to interest at the rate of one and one-half percent (1.5%) per month or the maximum permitted by law, whichever is less, plus reasonable attorney's fees and collection costs.
  - g. We agree to provide lien waivers on Otis' Standard Forms with respect to work or material for which we have been paid for in full.
6. We will not perform any additional work until such time we receive a properly approved change order for an agreed upon price.

7. Our ability to maintain scheduled job progress is conditioned upon us being allowed additional time for delays beyond our control as well as the timely furnishing to us of completed and code compliant hoistway(s) and machine room(s), necessary approvals and power of proper characteristics, all for our uninterrupted use.
8. Vandalism or theft of Otis equipment from the jobsite is the responsibility of the General Contractor who shall be responsible for full reimbursement.
9. Otis will not accept back charges for clean-up or participate in composite clean-up crews. We will keep our work area broom swept.

## ATTACHMENT "D"

### PREPARATORY WORK BY OTHERS

#### (Holeless Elevators)

The following items must be performed or furnished at no cost to Otis Elevator Company ("Otis") by the Owner or General Contractor or their agents in accordance with governing codes. The price and installation schedule of Otis Elevator Company is based on these job-site conditions existing at the beginning and during installation of the elevator equipment.

All work to be performed per the latest revision of the applicable national code: ASME A17.1 (U.S.):

1. Furnish adequate rail-bracket supports, bracket spacing as required by governing code, from pit floor to top of hoistway.
2. Furnish a dry pit reinforced to sustain vertical forces on car rails and impact loads on cylinder head(s) and buffer(s). Hoistway, pit and machine room dry and clean.
3. Furnish hoistway walls designed and constructed in accordance with the required fire rating (including those places where elevator-fixture boxes and rail-bracket fastenings penetrate the hoistway walls). The hoistway walls are to include adequate fastening to hoistway entrance assemblies. One front-entrance wall, at the main landing, is not to be constructed until after all elevator material is located in the hoistway. Remaining front entrance walls are not to be constructed until after door frames and sills are in place. If front walls are poured concrete bearing walls, rough openings are to be provided to accept entrance frames and filled in after frames are set. Rough opening size per Otis layouts.
4. Provide plumb vertical surfaces for entrance-sill supports, one above the other, and square with the hoistway. Finished floor and grout, if required, between door frames to sill line. A horizontal support is to be provided 1 foot (305 mm) above the clear opening at the top landing to support the door frame assembly.
5. To meet the date upon which the elevator is to be turned over, the elevator wall must be installed or rough openings must be filled in at an agreed upon date.
6. Provide any cutting, including cutouts to accommodate machine-room piping, hall-signal fixtures, patching, and painting of walls, floors, or partitions together with finish painting of entrance doors and frames, if required.
7. Provide sufficient on-site refuse containers for the proper disposal of elevator packaging material. Should sufficient refuse containers not be provided, disposal of packaging material shall become the responsibility of the owner. Otis will only be responsible for clean-up of our own work area. **Under no circumstances will we participate in the cost for a composite clean-up crew.**
8. Provide suitable on-site storage area for all elevator equipment, with roll-able access to the elevator hoistway at ground level. A suitable storage area is defined as follows:

- a. Dry and enclosed under a dried in building structure.
- b. Provide roll-able access to the elevator hoistway at the ground level.
- c. Is within 100 ft. of the hoistway.
- d. Is larger than 25 x 20 ft.

Any warranties provided by Otis for elevator equipment are null and void if equipment is stored in a manner that does not comply with item a. of the above storage definitions.

9. Provide a properly framed and enclosed legal hoistway in accordance with all applicable codes. Specifically, provide a hoistway that complies with the following:
  - a. Dry
  - b. Plumb within +1 inch and -0 inches
  - c. Roof in place.
  - d. Inserts, inbeds or rail fastening installed
  - e. Safety beam in place positioned side to side as shown on Otis layout.
  - f. Otis/OSHA compliant barricades in place.
  - g. Ready for uninterrupted use by Otis.
10. Provide all electrical power for light, tools, hoists, welding, etc., during erection, to be available at an agreed upon date.
11. Provide guarding and protection of the hoistway during construction.
12. Install a fixed vertical iron ladder to pit as required by governing code and located per Otis layouts or as coordinated with Otis personnel.
13. Provide and Install a safety beam capable of withstanding a maximum net live load of 5000 lb. (2268 kg). Otis requires 2" clear above the beam. Beam must be removed before car is placed in operation if it infringes on required clearance.
14. Provide a suitable machine room with access and ventilation in accordance with all applicable codes and regulations. The machine room is to be maintained at a temperature between 45°F (7°C) and 90°F (32°C) to be measured 6 feet (1830 mm) above the floor and 1 foot (305 mm) out from any part of the car controllers, drives, and motors. Areas near the heat exhausts of the controllers, drives, and motors may be excepted from this requirement. Relative humidity is not to exceed 95% non-condensing. Local codes may require tighter temperature ranges. Please check with your local code authority for the exact requirements in your area.
15. Provide smoke detectors, located as required, with wiring from the sensing devices to the controller(s) designated by Otis.
  - a. For each group of elevators, provide a normally closed contact representing the smoke detector at the designated return landing.
  - b. For each group of elevators, provide a normally closed contact representing all smoke detectors located in lobbies, hoistways, or machine rooms, but **not** the smoke detector at the designated return landing (see above) or the smoke detectors as described in i. & ii. below.
    - ii. If a smoke detector is located in the hoistway at or below the lower of the two recall landings, it shall be wired to activate the same normally closed contact as the smoke detector located in the lobby at the lower of the two recall landings.
    - iii. If machine rooms are located at the designated return landing, the smoke detectors located therein shall be wired to activate the same normally closed contact as the smoke detector at the designated landing.

- c. (i) For a single unit or for a group of elevators having one common machine room and one common hoistway, provide one additional normally closed contact representing all machine room and hoistway smoke detectors.
  - (ii) If the group contains more than one hoistway and hoistway smoke detectors are installed, or if the group has more than one machine room, provide one normally closed contact for each elevator. The contact is to represent the smoke detector in the machine room for that particular elevator, and any smoke detectors in the hoistway containing that particular elevator.
16. If sprinklers are installed in the hoistway, machine room, or machinery spaces, a means to automatically disconnect the main line power supply of the affected elevator prior to the application of water. Smoke detectors shall not be used to activate sprinklers in hoistways, machine rooms, or machinery spaces or to disconnect the main line power supply.
  17. All 125 volt, 15 or 20 ampere single phase receptacles installed in pits, machinery spaces and dumbwaiter-car tops shall be of ground-fault circuit-interrupter type. All 125 volt, 15 or 20 ampere single-phase receptacles installed in machine rooms shall have ground-fault circuit-interrupter protection [NEC 620-85]. A dedicated single phase receptacle supplying a permanently installed pit sump pump shall not require GFCI protection.
  18. Furnish three (3) phase, electrical-feeder system with a separate equipment grounding conductor terminating in the machine room. Size of the feeders and grounding conductor to suit elevator power characteristics. A fused disconnect switch or circuit breaker capable of being locked in the open position, for each elevator per the National Electrical Code (ANSI/NFPA 70) with feeder or branch wiring to controller [NEC 620-51]. Where practical, disconnects shall be located adjacent to the door of the machine room enclosure. A separate 120 volt AC, 15 ampere single phase branch circuit and SPST fused disconnect switch or circuit breaker, arranged to be locked in the open position, to supply the car lights, receptacles, auxiliary lighting power source and ventilation on each car in compliance with the National Electrical Code. Branch circuit wiring to each controller [NEC 620-53]. Suitable light and convenience outlets in machine room with light switches located within 18" (456 mm) of lock jamb side of machine room door and a convenience outlet and light fixture in pit with switch located adjacent to the access door [NEC 620-23]. Electric power for light, tools, hoist, etc.; during installation as well as electric current for starting, testing and adjusting the elevator.
  19. Provide two (2) dedicated analog telephone lines to each machine room.
  20. Provide a telephone instrument or means within the car for communicating or signaling to an accessible location outside the hoistway or central exchange system or approved emergency service, unless stated elsewhere in the specifications. System to be designed to ADAAG requirements.
  21. [Optional: For elevators having a battery-powered Emergency Return Unit (ERU).] Provide the disconnecting means required by the National Electrical Code with an auxiliary contact and wiring to the controller. The auxiliary contact is to be positively open when the main disconnecting means is open. The auxiliary contact shall cause the ERU power source to be disconnected from its load when the disconnecting means is in the open position. Size of main contacts to suit elevator power characteristics. Heat sensors, when used to automatically disconnect the mainline power supply prior to the application of water from sprinklers, shall be provided with a normally closed contact with wiring from the sensing device to a controller designated by Otis. The normally closed contact shall be closed when the heat sensor is not activated and shall be open when the heat sensor is activated.

You agree to indemnify and save Otis harmless against any and all liability and costs arising out of your failure to carry out any of the foregoing requirements.



To meet the date upon which the elevator are to be turned over, the permanent three (3) phase feeder system and protective devices must be installed and power available prior to the start of elevator installation at an agreed upon date.

**Mad Dog Design Construction Company, Inc.**  
**1203 Miccosukee Road, Tallahassee, FL 32308**  
**850.878.8272 Office 850.878.6038 Facsimile**

**Report:** ThyssenKrupp Elevator Addition  
**Date:** Friday, March 06, 2009

**Project:** United Way  
**Project No.:** 08107

<b>Material &amp; Labor</b>	<b>QTY</b>	<b>UOM</b>	<b>\$/Unit</b>	<b>Total</b>
<b>Elevator</b>				
Demolition	1	LS	\$ 8,000.00	\$ 8,000.00
Foundation	70	Sf	\$ 5.00	\$ 350.00
Dampproofing pit	1	Ea	\$ 500.00	\$ 500.00
CMU	1620	Ea	\$ 8.00	\$ 12,960.00
Rebar	1	LS	\$ 500.00	\$ 500.00
Cell fill	22	CY	\$ 185.00	\$ 3,996.00
Hoist beam	1	Ea	\$ 1,250.00	\$ 1,250.00
Roof repair	1	LS	\$ 2,500.00	\$ 2,500.00
Exterior finish	1215	Sf	\$ 7.00	\$ 8,505.00
Paint	1	LS	\$ 500.00	\$ 500.00
Elevator - 2 stop	1	LS	\$ 39,500.00	\$ 39,500.00
Electrical	1	LS	\$ 8,500.00	\$ 8,500.00
Exhaust	1	LS	\$ 1,500.00	\$ 1,500.00
Fire Alarm, phone, etc	1	LS	\$ 1,250.00	\$ 1,250.00
<b>Equipment Room</b>				
Renovate existing space	81	SF	\$ 65.00	\$ 5,265.00
<b>TOTAL COST:</b>				<b>\$ 95,076.00</b>

# ThyssenKrupp Elevator



March 4, 2009

Mad Dog Construction  
1203 Miccosukee Road  
Tallahassee, FL 32308

Regarding: United Way Big Bend

Dear Curtis:


ThyssenKrupp Elevator Corp. is pleased to quote the sum of \$39,500 for the complete installation of (1) one 2100# hole less hydraulic passenger elevator system. The following quote has been based on plans, and the list of clarifications listed below.

## CLARIFICATIONS

1. Hoistway size clear inside to be 7'4" wide X 6'0" deep, a 4'0" deep pit, with a minimum of 12'0" clear overhead space is required.
2. Elevator equipment room is to be adjacent to the hoistway at the 1-floor.
3. All taxes, permits, sill angles, pit ladder, and applicable fees are included in this quote.
4. Elevator schedule
  - a. Capacity is to be 2100# with a speed of 100 fpm in the up direction
  - b. Travel distance as been estimated to be 13'4" with 2 landing in line.
  - c. Jack system has been quoted with a twin post hole less system
  - d. Cab finishes are to be TKLP flat plastic laminate on the side and rear walls, with one bar stainless steel handrail on the back wall, standard drop ceiling with fluorescent lighting, cab and lobby doors are to be stainless steel #4
  - e. 12 months manufacture warranty with 3 months preventive maintenance.
  - f. Micro light door protection
  - g. ADA phone,
5. No well drilling will need to be performed on this system. A hole less jack system will be utilized.
6. The attached price is valid for thirty (30) days from the date of this letter.
7. Three phase power will be required prior to the beginning of installation of the elevator.
8. Monthly progress payments shall include the value of work performed and materials stored on or off site.
9. A schedule will be agreed by both parties before becoming effective.
10. ThyssenKrupp Elevator proposal is based on providing a hoisting beam rated for at least 5000#. If beam infringes in the overhead clearance it can be removed after the elevator has been installed.
11. Please see attached "our standard work not included sheet"

Thank you for the opportunity to quote this project. If you should have any questions please do not hesitate to call me at 850-576-0161.

Sincerely,

  
Matt Ellinger

Branch Manager



# ThyssenKrupp Elevator



ThyssenKrupp

Fax

To *Curtis*

Company Name *May Day*

Fax Number *878-6038*

Number of Pages *2*

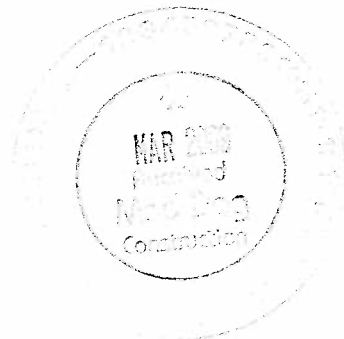
From *Matt Effinger*

Date *3-3-2009*

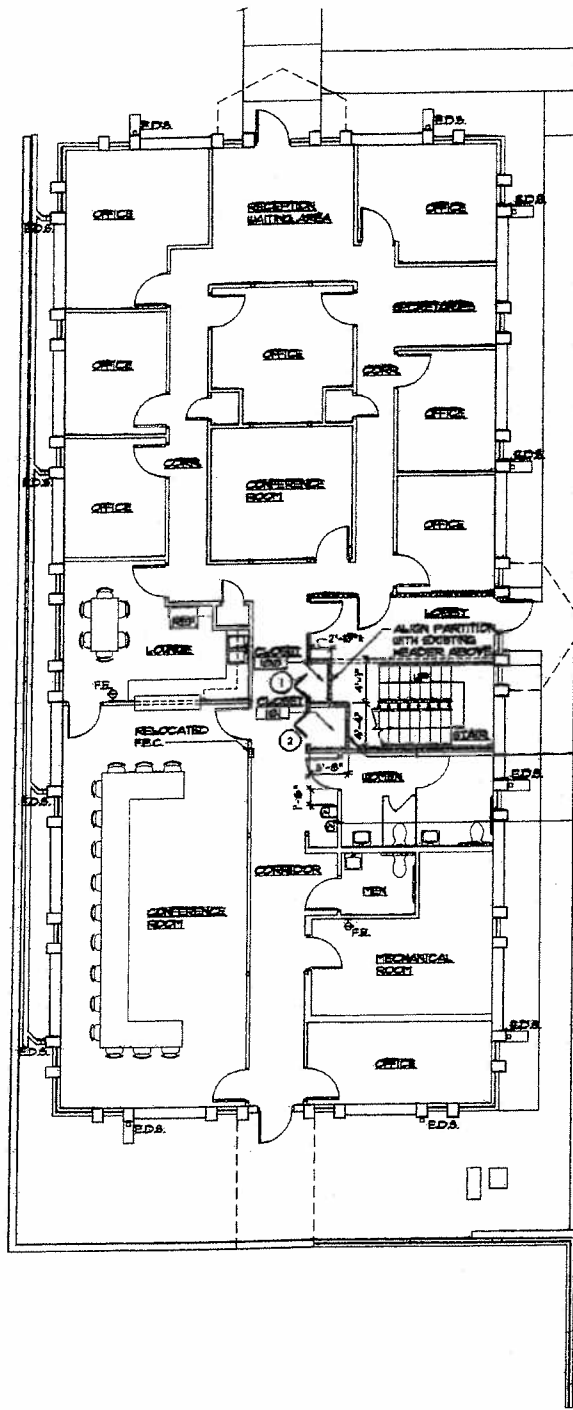
RE: *United Way Big Bend*

IF YOU SHOULD HAVE ANY QUESTION PLEASE CALL ME AT  
850-576-0161

ThyssenKrupp Elevator Corporation  
850 Blountstown Hwy  
Tallahassee, FL 32304  
Telephone: 850-576-0161  
Fax: 850-576-5073  
E-mail: [mailbox.name]  
@thyssenkruppelevator.com  
Internet: www.thyssenkruppelevator.com



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SEE SECTION 2-A122/11 ON JOB NO. 01

INSTALL WALL MOUNTED HI-LO HC ACCESSIBLE DRINKING FOUNTAIN EQUAL TO HISS CORP. MODEL 193. CONNECT TO EXISTING WATER AND SEWER.

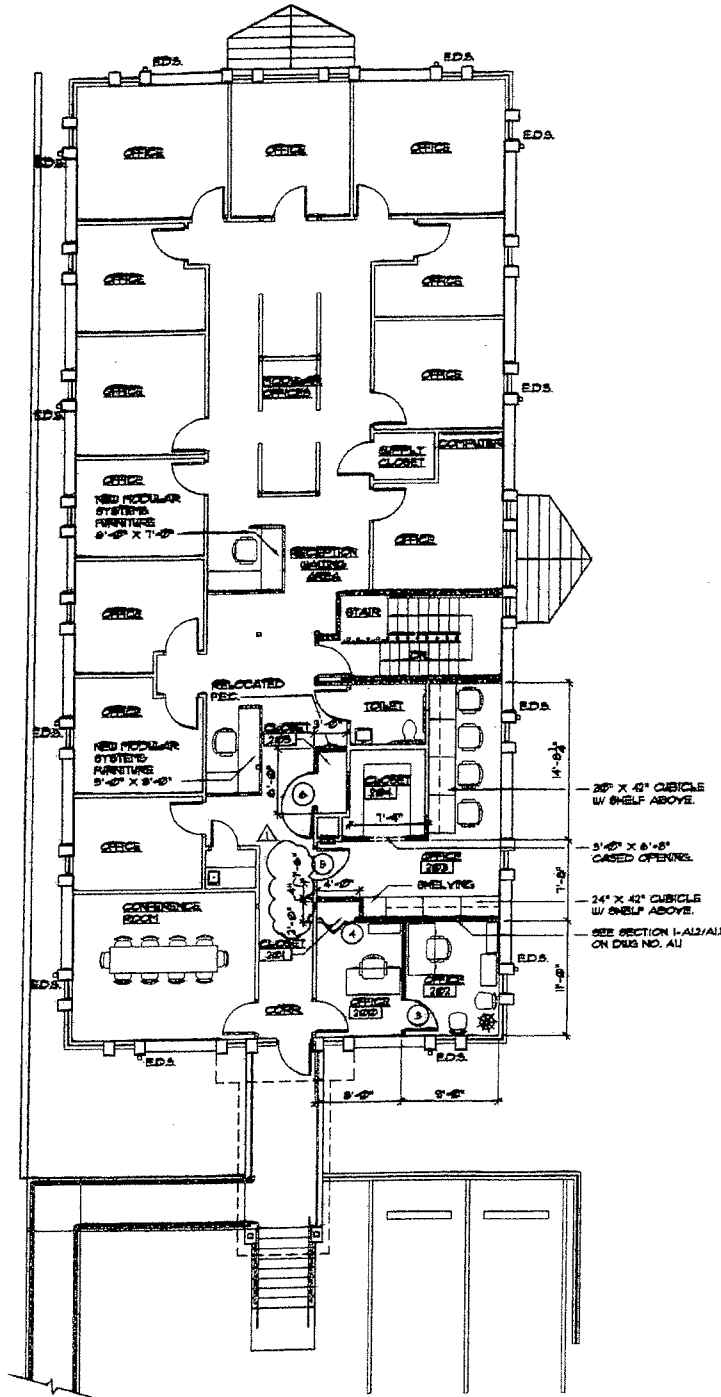
**RENOVATED GROUND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



## GENERAL NOTES

1. THE EXISTING PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR CONDITIONS. IF THE CONTRACTOR IS UNABLE TO INTERPRET THE CONTRACT CLARIFICATION IN WRITING TO THE ARCHITECT, IF THE CONTRACTOR PROCEEDS SHALL BE HELD RESPONSIBLE FOR ALL DEFICIENCIES ASSOCIATED THERE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXIT WAYS CLEAR. CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADE AND DIRECTION.
3. CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS, SIGNS, AND OTHER WARNINGS AGAINST HAZARDS, AS WELL AS PROPAGATING SAFETY PRECAUTIONS AND BARRICADES FOR PEDESTRIANS AT CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SECURE THE CONTRACTOR SHALL SUBMIT A COMPLETELY DETAILED CONSTRUCTION.
5. CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY OWNER AND CONSTRUCTION MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, PARKING AND DELIVERY SHALL BE LIMITED.
6. ALL REMOVED ITEMS, EQUIPMENT, AND FIXTURES NOT TO BE REINSTALLED, REUSE, OR AT OWNER'S DIRECTION FOR DISPOSAL BY THE CONTRACTOR, OR BEFORE DISPOSAL OF ANY MATERIAL DURING DEMOLITION.
7. CONTRACTOR MAY UTILIZE AVAILABLE ELECTRICAL POWER AND WATER UTILITIES.
8. ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS.
9. INSTALL WORK IN ACCORDANCE WITH THE CODES LISTED ON THE COVER BY OCCUR BETWEEN CODES AND BETWEEN THE CONSTRUCTION DOCUMENTS AND GOVERN.
10. CONTRACTOR SHALL MAINTAIN A CLEAN WORK FRONTIER AT ALL TIMES AND CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND MATERIALS, FINISHES, ETC.) TO THEIR ORIGINAL CONDITION. SURFACES SHALL
11. ALL INTERIOR DIMENSIONS ARE TO FACE OF GYPSUM WALLBOARD.



## ROOM FINISH S

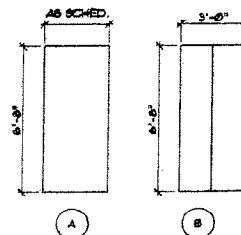
SPACE NO.	TITLE	FLOOR	BASE	WAINSCOT		WA MAT'L
				MAT'L	HT.	
100	CLOSET	CPT	VINYL	-	-	EX. GUB /
101	CLOSET	CPT	VINYL	-	-	EX. GUB /
200	OFFICE	EX. CPT	EX. VINYL	-	-	EX. GUB /
201	CLOSET	EX. CPT	EX. VINYL	-	-	EX. GUB /
202	OFFICE	EX. CPT	EX. VINYL	-	-	EX. GUB /
203	OFFICE	EX. CPT	EX. VINYL	-	-	EX. GUB /
204	CLOSET	CPT	VINYL	-	-	EX. GUB /
205	CLOSET	CPT	VINYL	-	-	EX. GUB /

## DOOR SCHED

NO.	SIZE	TYPE	MAT'L	FRAME		
				ELEV	MAT'L	DET.
1	FR 1'-6" x 6'-8" x 1-3/4"	B	WD	A	HM	2
2	FR 1'-6" x 6'-8" x 1-3/4"	B	WD	A	HM	2
3	3'-0" x 6'-8" x 1-3/4"	A	WD	A	HM	1
4	FR 1'-6" x 6'-8" x 1-3/4"	B	WD	A	HM	2
5	3'-0" x 6'-8" x 1-3/4"	A	WD	A	HM	1
6	3'-0" x 6'-8" x 1-3/4"	A	WD	A <td HM	1	
T						

## DOOR SCHEDULE NOTES

1. ALL DOORS, FRAMES AND HARDWARE SHALL MATCH EXISTING. COORDINATE WITH OWNER FOR THE DOOR HARDWARE FUNCTION REQUIRED.
2. BI-FOLD DOOR
3. DOOR REQUIRED TO HAVE 180° SWING.



DOOR TYPE

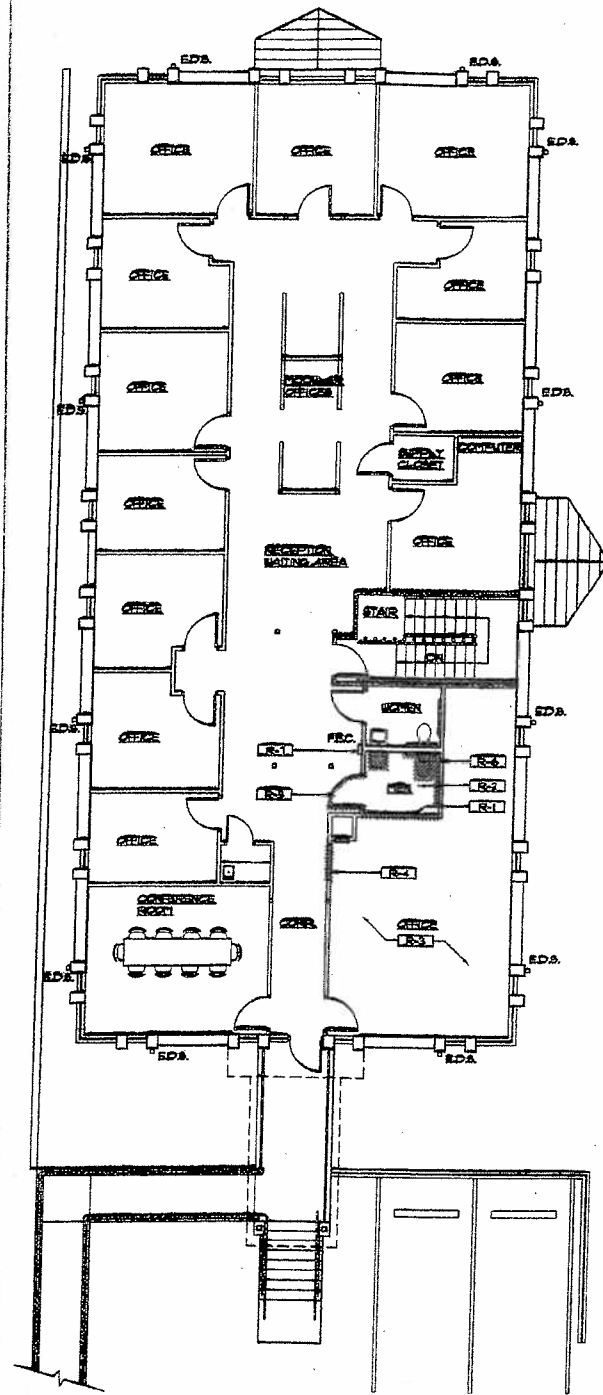
## RENOVATED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



## PARTITION LEGEND

- EXISTING CONSTRUCTION TO BE RETAIN
- EXISTING ONE HOUR FIRE RATED CONSTRUCTION
- 3/8" MTL STUDS @ 24" O.C. BY 1" ACoustical BATT INSULATION & 1/2" GUB EA. SIDE, EXTEND PARTITION / GUB TO 4" ABOVE CEILING BRACE PARTITION TO STRUCTURE ABOVE.
- INTERIOR ONE HOUR FIRE RATED GUB PARTITION: 3/8" MTL STUDS @ 24" O.C. W/ 1/2" FIRE RATED GUB EA. SIDE & 1/2" GUB ATTENUATION BATT. U.L. DESIGN NO. 1465, EXTEND



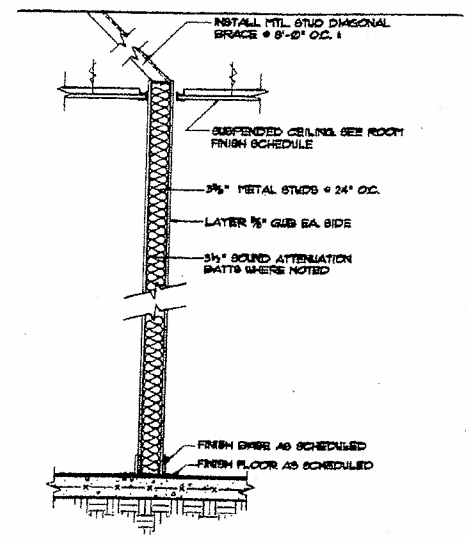
**DEMOLITION SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL DEM**

1. DEMOLISH PARTITIONS INDICATED ON (C) WALL MOUNTED DEVICES WHICH ARE TO BE RENOVATED.
2. PROTECT EXISTING CONSTRUCTION SOH RENOVATION PROCESS. EJECT DUST BY TO BE RENOVATED.
3. MAINTAIN ELECTRICAL, COMMUNICATION PORTIONS OF THE EXISTING BUILDING TO BE RENOVATED.
4. REMOVE FROM SITE DEBRIS, RUBBISH / DEMOLITION OPERATIONS.
5. ISOLATE SUPPLY AND RETURN DUCTWORK PRIOR TO DEMOLITION ACTIVITIES.

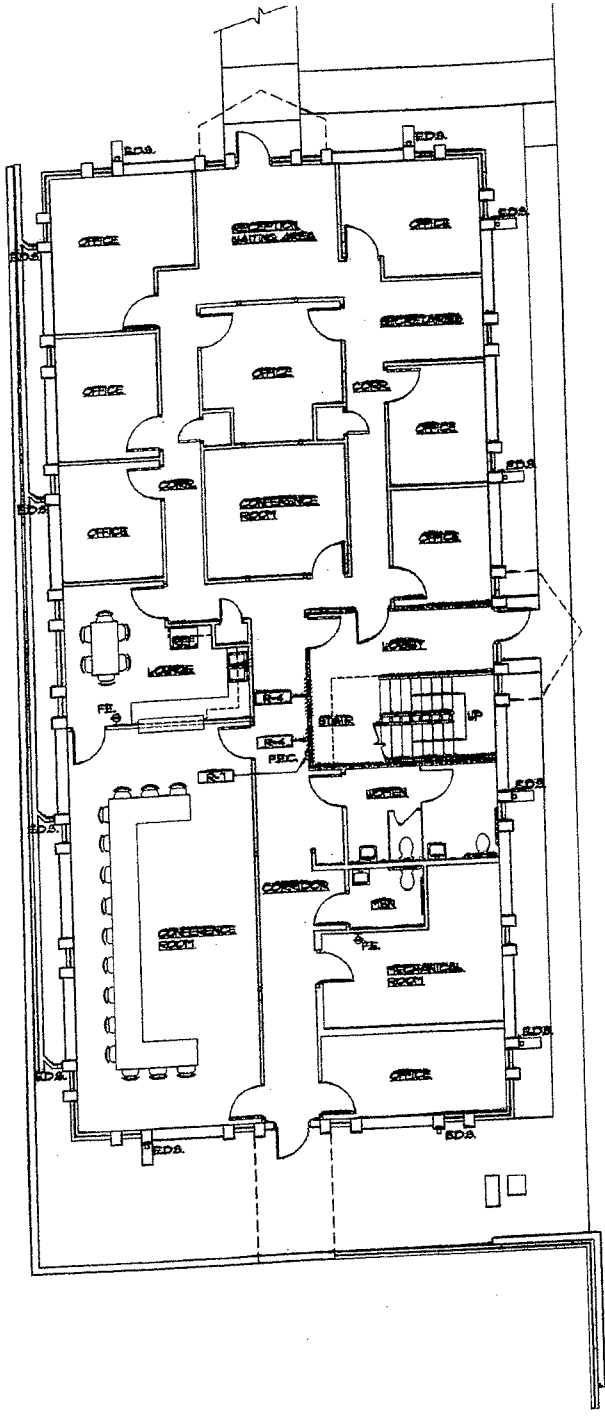
**DEMOLITION NC**

- R-1 REMOVE EXISTING PARTITION TO L.I. REMAINING WALL, FLOOR AND CEILING OR NEW ADJACENT SURFACES AS SCHEDULED.
- R-2 REMOVE EXISTING CEILING, FLOOR & FLOOR TO RECEIVE NEW FLOOR FINISH CEILING AS SCHEDULED.
- R-3 REMOVE EXISTING SUSPENDED ACC AREA TO BE RENOVATED AND REAR CEILING SYSTEM AS SCHEDULED.
- R-4 REMOVE PORTION OF EXISTING PART NEW DOOR & FRAME AS SCHEDULED. PARTITION TO MATCH EXISTING ADJ.
- R-5 REMOVE EXISTING DOOR AND FRAME CONSTRUCTION TO MATCH EXISTING. DOOR AND FRAME CAN BE REINSTA
- R-6 REMOVE EXISTING PLUMBING FIXTURE TOILET ACCESSORIES, CAP WATER & BELOW FLOOR.
- R-7 REMOVE EXISTING REC AND REINSTA



**WALL SECTION**  
SCALE: 3/4" = 1'-0"

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# DEMOLITION GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



## PARTITION LEGEND

- EXISTING CONSTRUCTION TO BE RETAIN
- - - - - EXISTING ONE HOUR FIRE RATED CONSTRUCTION
- ..... EXISTING CONSTRUCTION TO BE REMOVED