

ESI CONSULTING ENGINEERS, INC.

Issue: Vertical accessibility to a second floor office.

Analysis: The applicant is requesting a waiver from providing vertical accessibility to a 1,235 square foot second floor office that is being added above a 1,706 square foot storage facility on the first floor. The project will cost \$60,000 for one storage bay in a facility offering storage bays for use by the general public. Estimates of \$21,890 and \$22,982 were submitted as the cost of a lift.

Project Progress:

The project is in plan review.

Items to be Waived:

Vertical accessibility to the second floor, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

Waiver Criteria: There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: Remodeled Offices for ESI Consulting Engineers Inc. (Process No. D2007-02787)
Address: 1301 NW 98 CT, Unit 14
Miami, Fl 33172

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: Jorge Porro, PE
Applicant's Address: 2520 N.W. 97Th. AV. Suite 230
Doral, Fl 33172
Applicant's Telephone: (305) 418-9177 **FAX:** (305) 418-9178
Applicant's E-mail Address: jorge@esiconsult.com

Relationship to Owner: The applicant is the soon to be owner who will alter the facility.
Owner's Name: Jorge Porro, PE
Owner's Address: Same as Applicant's
Owner's Telephone: Same as Applicant's **FAX:** Same as Applicant's
Owner's E-mail Address: Same as Applicant's
Signature of Owner: JORGE PORRO
Contact Person: Jorge Porro, PE
Contact Person's Telephone: (305) 418-9177 **E-mail Address:** jorge@esiconsult.com

This application is available in alternate formats upon request.
Form No. 2001-01

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

The project is one bay (bay 14) in a warehouse-office building that will be used for ESI Consulting Engineers, Inc. The building is presently under construction and the proposed alterations of bay 14 consists of converting some of the warehouse space in the first floor into office space and expanding the office spaces in the second floor. The alterations will be performed after the building obtains the certificate of occupancy from City of Doral and the bay is turned to ESI Consulting Engineers. ESI proposed facilities are: 1706 sq ft in the 1st floor that will be used for Office (Occupancy Group B), 1235sq ft in the first floor that will be used for light storage (Occupancy Group S-1) and 1768 sq ft in the 2nd floor that will be used as office(Occupancy Group B).

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):

The estimated cost of construction is \$60,000.00

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

For waiver of vertical accessibility to the 2nd floor FS 553.509 . The bay will be a two story bay (less than 3 stories) with less than three thousand sq ft per floor therefore exception of FBC section 11-4.1.6(1)(k)(i) apply to the project. In addition, the cost of installing a lift will be approximately \$25,000.00 which will exceed the 20% of the total cost of construction which is estimated to be \$60,000.00. Per FBC section 11-4.1.6(2), the cost of installing a lift will be disproportionate in reference with the cost of the project. To mitigate the lack of vertical accessibility to all levels, the 2nd floor of the offices will be used as work areas only and all

public and common used areas are contained within the 1st floor. The 1st floor will also have office work areas. In addition, ESI Consulting Engineers will install the wheelchair lift if the need arises in the future. A platform on the second floor is being built as part of the proposed alteration in the event that a wheelchair lift is required in the future.

7 **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: FS 553.509 Vertical accessibility to all levels

Issue

2: _____

Issue

3: _____

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

Substantial financial costs will be incurred by the owner if the waiver is denied.

ESI Consulting Engineers, Inc is purchasing this new office headquarters, which is a substantial expense for the company. ESI Consulting Engineers is planning to do the renovation just to adapt the space for the regular day to day operation. The total cost of construction is estimated to be \$60,000.00

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

ESI Consulting Engineers, Inc investigated the cost of installing the wheelchairlift. It is estimated that the cost will be \$25,000.00. Cost that will be disproportionated with the cost of alteration.

9. **Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates.** For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

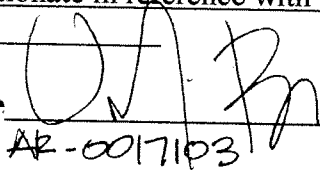
a. Please refer to attached proposal from ThyssenKrupp totaling \$22,982.00. To this cost, one has to add the cost associated with electrical and second floor structural platform.

b. Please refer to attached proposal from Florida Lifts totaling \$23,340.00. To this cost, one has to add the cost associated with electrical and second floor structural platform.

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

The bay will be a two story bay (less than 3 stories) with less than three thousand sq ft per floor, therefore, FBC exception of section 11-4.1.6(1)(k)(i) apply to the project. In addition, the cost of installing a lift would be a minimum of \$25,000.00 which will exceed the 20% of the total cost of construction of \$60,000.00. Per FBC section 11-4.1.6(2), the cost of installing a lift will be disproportionate in reference with the cost of the project.

Signature



AR-0017103

Printed Name

Victor J. Bruce

Phone number (305) 310-5030

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 21st day of May, 2007

Signature Jorge Porro

Jorge Porro, PE
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.


- a. FS 553.509 , FBC section 4.1.6(1)(k)(iii)
- b. _____
- c. _____

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction: New Construction of building valued at \$2,108,080.

Comments/Recommendation: This application is been referred to the Commission because the applicant feels there is a hardship in meeting the vertical accessibility requirements. Our position is that the exemption afforded by FBC Section 11-4.1.6(1)(k)(i) is a Federal exemption and does not apply due to the Florida specific section as outlined in FBC section 4.1.6(1)(k)(iii); therefore, vertical accessibility applies. Our department has not been presented with a detailed construction estimate or with a detailed cost estimate of the installation of a wheelchair lift to justify the disproportionate claim.

Jurisdiction City of Doral

Building Official or Designee 
Signature

Sergio T. Ascunce
Printed Name

BU1212
Certification Number

305-593-6700 / 305-470-6850
Telephone/FAX

Address: 8300 NW 53rd Street, Suite 200, Doral, FL 33166

FloridaLifts

• f l o r i d a l i f t s . c o m •
A State Certified MBE Company

9737 NW 41st Street
Box 173
Miami, FL 33178
Phone: 305-757-6667
Fax: 305-757-6776
Phone: (Monroe Cty) 872-4802

May 23, 2007

George Porro
ESI Consulting

Re: Wheelchair Lift

Florida Lifts proposes to furnish and install one vertical platform lift, **Model HCDE-156(indoor model)** manufactured by National Wheel-O-Vator with the following components/specifications:

Capacity: 750 lbs.
Travel: not to exceed 13 feet
Pit: 3"
Speed: 20 fpm
Platform: 37" x 51" platform with non-skid surface
Steel frame and panels
2 Stop lift – Gate hinges to be determined
6'8" lower landing gate, 42" upper landing gate
Application is straight through on/off
Roped Hydraulic
Ivory powder coat finish

Work by others: 115V 20 amp power to housing side of lift, disconnect (fusible/lockable/throw arm) signage at disconnect to main power, 24 hour/5 candlefoot lighting & 24 hour bulb emergency lighting, hoistway/lift area, concrete support

Price: \$21,890 (includes material, shipping, taxes, installation, permitting/inspections)

Options: If they lift is not pitted 3", an auto-gate opener is required, please add \$1450
Acrylic panels rather than steel, please add \$800

Terms: 50% deposit, 40% material delivery/installation, 10% upon inspection

Submitted _____ Jennifer Kearney

Approved: _____ Date: _____

Print Name: _____

Quote valid for 90 days. Fax approved document to 305-757-6776 to initiate order. As of this date, lead time is 7 weeks for production of this lift. Shipping takes approx. 1 week. Installation takes 2 days.



PROPOSAL PL-EZE-168

SUBMITTED TO: *Jorge Porro*
ESI Consulting Engineers
2520 NW 97th Avenue, suite 230
Doral, Florida 33172
PH# 305-418-9177
Fax# 305-418-9178
Email: Jorge@esiconsult.com

PREPARED BY: Jim Jeschonek

Project Address: New Office Location

DATE: May 21, 2007

SCOPE: This proposal is intended to cover the complete furnishing of one (1) PL-EZE-168, manufactured by ThyssenKrupp Access (TKA) and installed by TKA –South Florida Solution Center. All work shall be performed in a workmanlike manner and shall include all work and material in accordance with the following as specified herein:

Product Data and standard equipment:

MODEL NAME: PL-EZE-168
TOTAL TRAVEL: 13'0" – to be confirmed at final site visit by TKA
CAPACITY/SPEED: 15 fpm
Rated Load: 750 lbs.
Pit Requirement: 3" Maximum Depth, to avoid ramping
Platform Size: 36"W x 48"D
Finish: Powder Coated Ivory
Drive System: Hydraulic
Configuration: Enter Exit Same Side
Stops: Two (2)
Power Supply: 115 volt, single phase, 20 amp service in a lockable, fused disconnect box.
Attendant call button (if required)

Guard Panel 42" High with grab rail.
Non-Skid surface on platform floor.
Aluminium Fram with Bronze tinted Acrylic Panels
Emergency Lowering Device
Upper Gate and Lower Landing Door

TKA South Florida Solution Center



ThyssenKrupp

2

Added Options:

- **3 Year maintenance contract - \$1700**

POWER: To be supplied by others: **115 volt, single phase, 20 amp service in a lockable, fused disconnect box.**

Attendant call button (if required) (Location to be determined by lift installer and electrician).

ACCEPTANCE OF INSTALLATION: Delivery and installation of the PI-EZE-168 is by TKA South Florida Solution Center. All other work, including but not limited to the hoistway construction, pit requirement, and power supply to the unit is not the responsibility of TKA South Florida Solution Center (Building permit or approval from local building authority is by owner).

WARRANTY: We warrant that for a period of two (1) years the product will be free of defects in material and workmanship under normal use and regular maintenance in accordance with the User's Manual provided. We will not, under this warranty, reimburse you for the cost of the work done by others; nor shall we be responsible for equipment to which revisions, additions or alterations have been made by others. This warranty is in lieu of any other liability for defects. **WE MAKE NO WARRANTY OF MERCHANTABILITY AND NO WARRANTIES WHICH EXTEND BEYOND THE DESCRIPTION IN THIS CONTRACT, NOR ARE THERE ANY OTHER WARRANTIES, EXPRESS OR IMPLIED, BY OPERATION OR LAW OR OTHERWISE.** Like any piece of fine machinery, this equipment should be periodically inspected, lubricated and adjusted by competent personnel. Manufacturer suggests a minimum of a semi annual review of equipment. This warranty is not intended to supplant normal maintenance service. All Warranty work is only performed during normal working hours

TERMS:

Deposit required at point of sale	\$ 1,000.00
Due at delivery.	
To be paid, in full, upon delivery of equipment to job site	\$ 19,682.00
Final balance due upon substantial completion of installation	\$ 2,300.00
Total:	\$ 22,982.00

TERMS Accepted in Duplicate:

Purchaser – Signature – Title

BY: _____

DATE: _____

Concrete Pad and Electrical work will be done by others. Concrete Pad and Electrical and Hoistway will be done by others. All lifts that have a travel distance greater than 12'0" may require a local or state variance. This is something the owner and or architect must apply for, this is not the responsibility of ThyssenKrupp Access of South Florida

TKA South Florida Solution Center



ThyssenKrupp

3

PRICE: We propose to furnish and install the equipment for (New Office Location) the net sum of **TWENTY TWO THOUSAND NINE HUNDRED AND EIGHTY TWO DOLLARS AND ZERO CENTS (\$22,982.00)**
PRICE INCLUDES FREIGHT, TAX, LABOR MATERIAL, ENGINEERED DRAWINGS

ACCEPTANCE OF PROPOSAL: The contract price, terms, specifications and conditions are satisfactory and are hereby accepted. ThyssenKrupp Access – South Florida Solution Center is authorized to proceed with provision of the equipment specified. I understand this order is subject to cancellation charges under the following schedule: 10% if cancelled prior to engineering work, 30% after engineering is complete, 70% if in production, and 100% if production is completed. All orders are subject to credit approval.

Equipment cannot be manufactured until the final drawings have been approved and signed by the purchaser. Installation cannot commence until permanent electricity has been provided and all hoistway doors with lockable hardware have been installed.

We reserve the right to discontinue our work at any time until payments have been made as agreed and we have assurance satisfactory to us that the subsequent payments will be made as they become due. A monthly service charge of 1 ½ % will be due on all amounts not paid within 30 days. You also agree to pay, in addition to any defaulted amount plus service charges, all attorneys fees, collection costs, or court costs in connection therewith.

This proposal is submitted for acceptance within **Sixty (30)** days from the date submitted by us. Once executed, the pricing is valid for **Twelve (12)** months from date of signature. If site is not available for installation before this time, ThyssenKrupp Access reserves the right to adjust pricing in accordance with Consumer Price Index (CPI).

This proposal, when signed and accepted by the Purchaser and approved by an officer of Access of Kansas City shall constitute exclusively and entirely the contract between parties, and all prior representations or agreements, whether written or verbal, not incorporated herein, are superseded. No changes in or additions to this agreement will be recognized unless made in writing and properly executed by both parties.

Accepted in Duplicate:

Respectfully Submitted,
ThyssenKrupp Access
South Florida Solution Center

BY: _____
Purchaser – Signature – Title

BY: *Jim Jeschonek* _____
Sales Executive

Purchaser – Printed / Date

Sales Executive – Printed/ Date

New offices for:



Consulting Engineers

International Corporate Park
Building D, Unit 14
NW 98th Court
Doral, Florida

Architect:
A & I associates, Inc.
Structural Engineer:
Juan Fernandez-Barquin

MEP Engineers:
Igor Gonzalez, PE
William Abarca, PE

February 26, 2007

Reviewed by: **CBO**
Sergio Trascunco, CBO
(Signature)

associates,
inc.

VEKAL, INC.
2700 NW 97th Ave
Doral, Florida 33126
Tel: 305-851-0000
Fax: 305-851-0000
www.vekal.com

ES&I
Engineering & Science, Inc.
International Corporate
Park
Building D, Unit 14
NW 98th Court
Doral, Florida

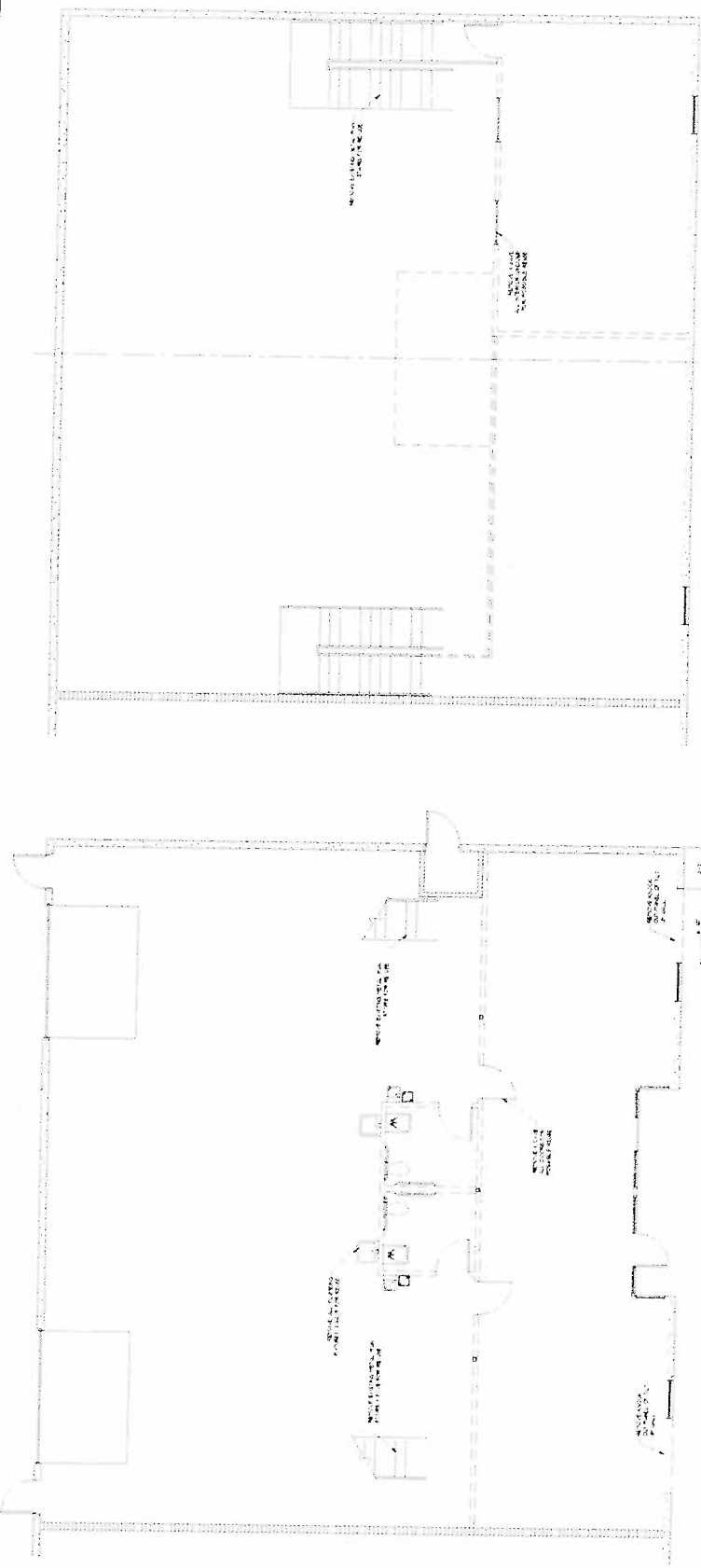
DATE: 02/26/07
DRAWN BY: CBO
CHECKED BY: CBO
COVER

ABBREVIATIONS

AC	ACCESS
AD	ADDITIONAL
AG	AGENCY
AL	ALUMINUM
AN	ANNEX
AO	ARCHITECT
AP	APPLICABLE
AR	ARCHITECTURAL
AS	ASSEMBLY
AT	ATTACHED
AV	AUTOMATIC
AW	AIRWAY
AX	AXIS
BA	BATH
BB	BUILDING
BC	BENCH
BD	BED
BE	BELIEF
BF	BEST
BG	BUILDING
BH	BATH
BI	BUILDING
BJ	BUILDING
BK	BUILDING
BL	BUILDING
BM	BUILDING
BN	BUILDING
BO	BUILDING
BP	BUILDING
BQ	BUILDING
BR	BUILDING
BS	BUILDING
BT	BUILDING
BV	BUILDING
BW	BUILDING
BX	BUILDING
BY	BUILDING
BZ	BUILDING
CA	CANOPY
CB	CANOPY
CC	CANOPY
CD	CANOPY
CE	CANOPY
CF	CANOPY
CG	CANOPY
CH	CHANGING
CI	CLOSET
CJ	CLOSET
CK	CLOSET
CL	CLOSET
CM	CLOSET
CN	CLOSET
CO	CLOSET
CP	CLOSET
CQ	CLOSET
CR	CLOSET
CS	CLOSET
CT	CLOSET
CU	CLOSET
CV	CLOSET
CW	CLOSET
CX	CLOSET
CY	CLOSET
CZ	CLOSET
DA	DANCE
DB	DANCE
DC	DANCE
DD	DANCE
DE	DANCE
DF	DANCE
DG	DANCE
DH	DANCE
DI	DANCE
DJ	DANCE
DK	DANCE
DL	DANCE
DM	DANCE
DN	DANCE
DO	DANCE
DP	DANCE
DQ	DANCE
DR	DANCE
DS	DANCE
DT	DANCE
DU	DANCE
DV	DANCE
DW	DANCE
DX	DANCE
DY	DANCE
DZ	DANCE
EA	ELECTRICAL
EB	ELECTRICAL
EC	ELECTRICAL
ED	ELECTRICAL
EE	ELECTRICAL
EF	ELECTRICAL
EG	ELECTRICAL
EH	ELECTRICAL
EI	ELECTRICAL
EJ	ELECTRICAL
EK	ELECTRICAL
EL	ELECTRICAL
EM	ELECTRICAL
EN	ELECTRICAL
EO	ELECTRICAL
EP	ELECTRICAL
EQ	ELECTRICAL
ER	ELECTRICAL
ES	ELECTRICAL
ET	ELECTRICAL
EU	ELECTRICAL
EV	ELECTRICAL
EW	ELECTRICAL
EX	ELECTRICAL
EY	ELECTRICAL
EZ	ELECTRICAL
FA	FLOOR
FB	FLOOR
FC	FLOOR
FD	FLOOR
FE	FLOOR
FF	FLOOR
FG	FLOOR
FH	FLOOR
FI	FLOOR
FJ	FLOOR
FK	FLOOR
FL	FLOOR
FM	FLOOR
FN	FLOOR
FO	FLOOR
FP	FLOOR
FQ	FLOOR
FR	FLOOR
FS	FLOOR
FT	FLOOR
FU	FLOOR
FV	FLOOR
FW	FLOOR
FX	FLOOR
FY	FLOOR
FZ	FLOOR
GA	GENERAL
GB	GENERAL
GC	GENERAL
GD	GENERAL
GE	GENERAL
GF	GENERAL
GG	GENERAL
GH	GENERAL
GI	GENERAL
GJ	GENERAL
GK	GENERAL
GL	GENERAL
GM	GENERAL
GN	GENERAL
GO	GENERAL
GP	GENERAL
GQ	GENERAL
GR	GENERAL
GS	GENERAL
GT	GENERAL
GU	GENERAL
GV	GENERAL
GW	GENERAL
GX	GENERAL
GY	GENERAL
GZ	GENERAL
HA	HALL
HB	HALL
HC	HALL
HD	HALL
HE	HALL
HF	HALL
HG	HALL
HH	HALL
HI	HALL
HJ	HALL
HK	HALL
HL	HALL
HM	HALL
HN	HALL
HO	HALL
HP	HALL
HQ	HALL
HR	HALL
HS	HALL
HT	HALL
HU	HALL
HV	HALL
HW	HALL
HX	HALL
HY	HALL
HZ	HALL
IA	INTERIOR
IB	INTERIOR
IC	INTERIOR
ID	INTERIOR
IE	INTERIOR
IF	INTERIOR
IG	INTERIOR
IH	INTERIOR
II	INTERIOR
IJ	INTERIOR
IK	INTERIOR
IL	INTERIOR
IM	INTERIOR
IN	INTERIOR
IO	INTERIOR
IP	INTERIOR
IQ	INTERIOR
IR	INTERIOR
IS	INTERIOR
IT	INTERIOR
IU	INTERIOR
IV	INTERIOR
IW	INTERIOR
IX	INTERIOR
IY	INTERIOR
IZ	INTERIOR
JA	JOB
JB	JOB
JC	JOB
JD	JOB
JE	JOB
JF	JOB
JG	JOB
JH	JOB
JI	JOB
JJ	JOB
JK	JOB
JL	JOB
JM	JOB
JN	JOB
JO	JOB
JP	JOB
JQ	JOB
JR	JOB
JS	JOB
JT	JOB
JU	JOB
JV	JOB
JW	JOB
JX	JOB
JY	JOB
JZ	JOB
KA	KITCHEN
KB	KITCHEN
KC	KITCHEN
KD	KITCHEN
KE	KITCHEN
KF	KITCHEN
KG	KITCHEN
KH	KITCHEN
KI	KITCHEN
KJ	KITCHEN
KK	KITCHEN
KL	KITCHEN
KM	KITCHEN
KN	KITCHEN
KO	KITCHEN
KP	KITCHEN
KQ	KITCHEN
KR	KITCHEN
KS	KITCHEN
KT	KITCHEN
KU	KITCHEN
KV	KITCHEN
KW	KITCHEN
KX	KITCHEN
KY	KITCHEN
KZ	KITCHEN
LA	LABORATORY
LB	LABORATORY
LC	LABORATORY
LD	LABORATORY
LE	LABORATORY
LF	LABORATORY
LG	LABORATORY
LH	LABORATORY
LI	LABORATORY
LJ	LABORATORY
LK	LABORATORY
LL	LABORATORY
LM	LABORATORY
LN	LABORATORY
LO	LABORATORY
LP	LABORATORY
LQ	LABORATORY
LR	LABORATORY
LS	LABORATORY
LT	LABORATORY
LU	LABORATORY
LV	LABORATORY
LW	LABORATORY
LX	LABORATORY
LY	LABORATORY
LZ	LABORATORY
MA	MATERIAL
MB	MATERIAL
MC	MATERIAL
MD	MATERIAL
ME	MATERIAL
MF	MATERIAL
MG	MATERIAL
MH	MATERIAL
MI	MATERIAL
MJ	MATERIAL
MK	MATERIAL
ML	MATERIAL
MM	MATERIAL
MN	MATERIAL
MO	MATERIAL
MP	MATERIAL
MQ	MATERIAL
MR	MATERIAL
MS	MATERIAL
MT	MATERIAL
MU	MATERIAL
MV	MATERIAL
MW	MATERIAL
MX	MATERIAL
MY	MATERIAL
MZ	MATERIAL
NA	NORTH
NB	NORTH
NC	NORTH
ND	NORTH
NE	NORTH
NF	NORTH
NG	NORTH
NH	NORTH
NI	NORTH
NJ	NORTH
NK	NORTH
NL	NORTH
NM	NORTH
NN	NORTH
NO	NORTH
NP	NORTH
NQ	NORTH
NR	NORTH
NS	NORTH
NT	NORTH
NU	NORTH
NV	NORTH
NW	NORTH
NX	NORTH
NY	NORTH
NZ	NORTH
OA	OFFICE
OB	OFFICE
OC	OFFICE
OD	OFFICE
OE	OFFICE
OF	OFFICE
OG	OFFICE
OH	OFFICE
OI	OFFICE
OJ	OFFICE
OK	OFFICE
OL	OFFICE
OM	OFFICE
ON	OFFICE
OO	OFFICE
OP	OFFICE
OQ	OFFICE
OR	OFFICE
OS	OFFICE
OT	OFFICE
OU	OFFICE
OV	OFFICE
OW	OFFICE
OX	OFFICE
OY	OFFICE
OZ	OFFICE
PA	PARKING
PB	PARKING
PC	PARKING
PD	PARKING
PE	PARKING
PF	PARKING
PG	PARKING
PH	PARKING
PI	PARKING
PJ	PARKING
PK	PARKING
PL	PARKING
PM	PARKING
PN	PARKING
PO	PARKING
PP	PARKING
PQ	PARKING
PR	PARKING
PS	PARKING
PT	PARKING
PU	PARKING
PV	PARKING
PW	PARKING
PX	PARKING
PY	PARKING
PZ	PARKING
QA	QUEEN
QB	QUEEN
QC	QUEEN
QD	QUEEN
QE	QUEEN
QF	QUEEN
QG	QUEEN
QH	QUEEN
QI	QUEEN
QJ	QUEEN
QK	QUEEN
QL	QUEEN
QM	QUEEN
QN	QUEEN
QO	QUEEN
QP	QUEEN
QQ	QUEEN
QR	QUEEN
QS	QUEEN
QT	QUEEN
QU	QUEEN
QV	QUEEN
QW	QUEEN
QX	QUEEN
QY	QUEEN
QZ	QUEEN
RA	REAR
RB	REAR
RC	REAR
RD	REAR
RE	REAR
RF	REAR
RG	REAR
RH	REAR
RI	REAR
RJ	REAR
RK	REAR
RL	REAR
RM	REAR
RN	REAR
RO	REAR
RP	REAR
RQ	REAR
RR	REAR
RS	REAR
RT	REAR
RU	REAR
RV	REAR
RW	REAR
RX	REAR
RY	REAR
RZ	REAR
SA	SANITARY
SB	SANITARY
SC	SANITARY
SD	SANITARY
SE	SANITARY
SF	SANITARY
SG	SANITARY
SH	SANITARY
SI	SANITARY
SJ	SANITARY
SK	SANITARY
SL	SANITARY
SM	SANITARY
SN	SANITARY
SO	SANITARY
SP	SANITARY
SQ	SANITARY
SR	SANITARY
SS	SANITARY
ST	SANITARY
SU	SANITARY
SV	SANITARY
SW	SANITARY
SX	SANITARY
SY	SANITARY
SZ	SANITARY
TA	TENNIS
TB	TENNIS
TC	TENNIS
TD	TENNIS
TE	TENNIS
TF	TENNIS
TG	TENNIS
TH	TENNIS
TI	TENNIS
TJ	TENNIS
TK	TENNIS
TL	TENNIS
TM	TENNIS
TN	TENNIS
TO	TENNIS
TP	TENNIS
TQ	TENNIS
TR	TENNIS
TS	TENNIS
TT	TENNIS
TU	TENNIS
TV	TENNIS
TW	TENNIS
TX	TENNIS
TY	TENNIS
TZ	TENNIS
UA	UTILITY
UB	UTILITY
UC	UTILITY
UD	UTILITY
UE	UTILITY
UF	UTILITY
UG	UTILITY
UH	UTILITY
UI	UTILITY
UJ	UTILITY
UK	UTILITY
UL	UTILITY
UM	UTILITY
UN	UTILITY
UO	UTILITY
UP	UTILITY
UQ	UTILITY
UR	UTILITY
US	UTILITY
UT	UTILITY
UU	UTILITY
UV	UTILITY
UW	UTILITY
UX	UTILITY
UY	UTILITY
UZ	UTILITY
VA	VARIABLE
VB	VARIABLE
VC	VARIABLE
VD	VARIABLE
VE	VARIABLE
VF	VARIABLE
VG	VARIABLE
VH	VARIABLE
VI	VARIABLE
VJ	VARIABLE
VK	VARIABLE
VL	VARIABLE
VM	VARIABLE
VN	VARIABLE
VO	VARIABLE
VP	VARIABLE
VQ	VARIABLE
VR	VARIABLE
VS	VARIABLE
VT	VARIABLE
VU	VARIABLE
VV	VARIABLE
VW	VARIABLE
VX	VARIABLE
VY	VARIABLE
VZ	VARIABLE
WA	WALKWAY
WB	WALKWAY
WC	WALKWAY
WD	WALKWAY
WE	WALKWAY
WF	WALKWAY
WG	WALKWAY
WH	WALKWAY
WI	WALKWAY
WJ	WALKWAY
WK	WALKWAY
WL	WALKWAY
WM	WALKWAY
WN	WALKWAY
WO	WALKWAY
WP	WALKWAY
WQ	WALKWAY
WR	WALKWAY
WS	WALKWAY
WT	WALKWAY
WU	WALKWAY
WV	WALKWAY
WW	WALKWAY
WX	WALKWAY
WY	WALKWAY
WZ	WALKWAY
XA	EXTERIOR
XB	EXTERIOR
XC	EXTERIOR
XD	EXTERIOR
XE	EXTERIOR
XF	EXTERIOR
XG	EXTERIOR
XH	EXTERIOR
XI	EXTERIOR
XJ	EXTERIOR
XK	EXTERIOR
XL	EXTERIOR
XM	EXTERIOR
XN	EXTERIOR
XO	EXTERIOR
XP	EXTERIOR
XQ	EXTERIOR
XR	EXTERIOR
XS	EXTERIOR
XT	EXTERIOR
XU	EXTERIOR
XV	EXTERIOR
XW	EXTERIOR
XX	EXTERIOR
XY	EXTERIOR
XZ	EXTERIOR
YA	YARD
YB	YARD
YC	YARD
YD	YARD
YE	YARD
YF	YARD
YG	YARD
YH	YARD
YI	YARD
YJ	YARD
YK	YARD
YL	YARD
YM	YARD
YN	YARD
YO	YARD
YP	YARD
YQ	YARD
YR	YARD
YS	YARD
YT	YARD
YU	YARD
YV	YARD
YW	YARD
YX	YARD
YY	YARD
YZ	YARD
ZA	ZOO
ZB	ZOO
ZC	ZOO
ZD	ZOO
ZE	ZOO
ZF	ZOO
ZG	ZOO
ZH	ZOO
ZI	ZOO
ZJ	ZOO
ZK	ZOO
ZL	ZOO
ZM	ZOO
ZN	ZOO
ZO	ZOO
ZP	ZOO
ZQ	ZOO
ZR	ZOO
ZS	ZOO
ZT	ZOO
ZU	ZOO
ZV	ZOO
ZW	ZOO
ZX	ZOO
ZY	ZOO
ZZ	ZOO

INDEX OF DRAWINGS

101	GENERAL EGRESS APPROPRIATE FLOOR PLAN
102	GENERAL EGRESS APPROPRIATE FLOOR PLAN
103	GENERAL EGRESS APPROPRIATE FLOOR PLAN
104	GENERAL EGRESS APPROPRIATE FLOOR PLAN
105	GENERAL EGRESS APPROPRIATE FLOOR PLAN
106	GENERAL EGRESS APPROPRIATE FLOOR PLAN
107	GENERAL EGRESS APPROPRIATE FLOOR PLAN
108	GENERAL EGRESS APPROPRIATE FLOOR PLAN
109	GENERAL EGRESS APPROPRIATE FLOOR PLAN
110	GENERAL EGRESS APPROPRIATE FLOOR PLAN
111	GENERAL EGRESS APPROPRIATE FLOOR PLAN
112	GENERAL EGRESS APPROPRIATE FLOOR PLAN
113	GENERAL EGRESS APPROPRIATE FLOOR PLAN
114	GENERAL EGRESS APPROPRIATE FLOOR PLAN
1	



○ FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

○ SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

(Symbol)	EXISTING STRUCTURE
(Symbol)	NEW STRUCTURE
(Symbol)	DEMOLITION
(Symbol)	MECHANICAL ROOM
(Symbol)	STAIRS

DEMOLITION NOTES

1. REMOVE ALL EXISTING STRUCTURE AND DEMOLISH AS SHOWN ON THIS PLAN.
2. REMOVE ALL EXISTING MECHANICAL ROOMS AND DEMOLISH AS SHOWN ON THIS PLAN.
3. REMOVE ALL EXISTING STAIRS AND DEMOLISH AS SHOWN ON THIS PLAN.
4. REMOVE ALL EXISTING WALLS AND DEMOLISH AS SHOWN ON THIS PLAN.
5. REMOVE ALL EXISTING FLOORS AND DEMOLISH AS SHOWN ON THIS PLAN.
6. REMOVE ALL EXISTING ROOFING AND DEMOLISH AS SHOWN ON THIS PLAN.
7. REMOVE ALL EXISTING UTILITIES AND DEMOLISH AS SHOWN ON THIS PLAN.
8. REMOVE ALL EXISTING PAINT AND DEMOLISH AS SHOWN ON THIS PLAN.
9. REMOVE ALL EXISTING GLASS AND DEMOLISH AS SHOWN ON THIS PLAN.
10. REMOVE ALL EXISTING METALS AND DEMOLISH AS SHOWN ON THIS PLAN.

1. REMOVE ALL EXISTING STRUCTURE AND DEMOLISH AS SHOWN ON THIS PLAN.
2. REMOVE ALL EXISTING MECHANICAL ROOMS AND DEMOLISH AS SHOWN ON THIS PLAN.
3. REMOVE ALL EXISTING STAIRS AND DEMOLISH AS SHOWN ON THIS PLAN.
4. REMOVE ALL EXISTING WALLS AND DEMOLISH AS SHOWN ON THIS PLAN.
5. REMOVE ALL EXISTING FLOORS AND DEMOLISH AS SHOWN ON THIS PLAN.
6. REMOVE ALL EXISTING ROOFING AND DEMOLISH AS SHOWN ON THIS PLAN.
7. REMOVE ALL EXISTING UTILITIES AND DEMOLISH AS SHOWN ON THIS PLAN.
8. REMOVE ALL EXISTING PAINT AND DEMOLISH AS SHOWN ON THIS PLAN.
9. REMOVE ALL EXISTING GLASS AND DEMOLISH AS SHOWN ON THIS PLAN.
10. REMOVE ALL EXISTING METALS AND DEMOLISH AS SHOWN ON THIS PLAN.

Sergio T. Asuncion, CBO
 5/21/17

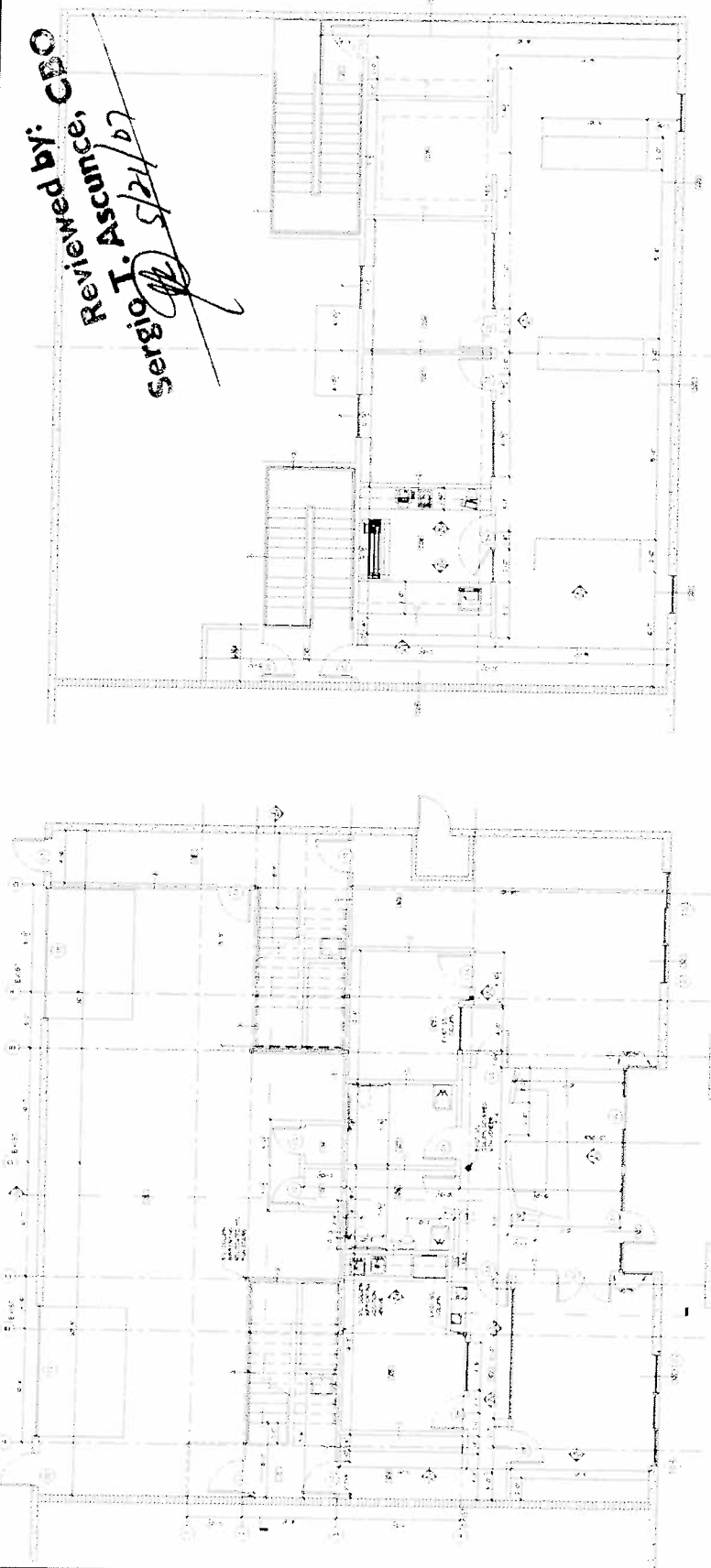
associates, inc.

1000 L STREET
 SUITE 100
 WASHINGTON, DC 20004
 TEL: 202-462-1000
 FAX: 202-462-1001
 WWW.ASSOCIATESINC.COM

CSO
 Construction Services Organization
 1000 B. W. 14
 W. 14th Court
 DOR, MD

DATE: 5/21/17
 DRAWN: [Name]
 CHECKED: [Name]
 DEMOLITION PLAN

Reviewed by: CEO
 Sergio T. Asuncion, CEO
 5/24/07



associates, inc.
 1000 LINDEN BLVD
 SUITE 100
 HOUSTON, TEXAS 77060
 TEL: 713.865.1000
 FAX: 713.865.1001
 WWW.ASSOCIATESINC.COM

ES&O
 Engineering & Surveying
 1000 LINDEN BLVD SUITE 100
 HOUSTON, TEXAS 77060
 TEL: 713.865.1000
 FAX: 713.865.1001
 WWW.ES&OINC.COM

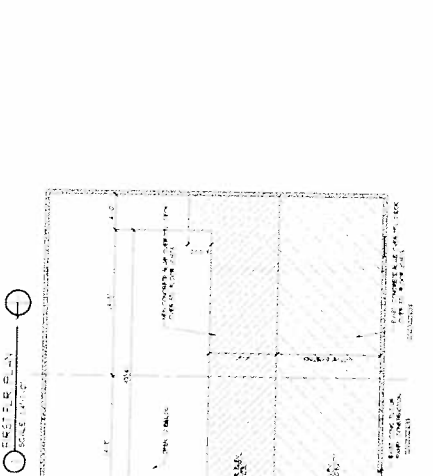
Project: [Blank]
 Date: [Blank]
 Scale: [Blank]
 Drawing: [Blank]

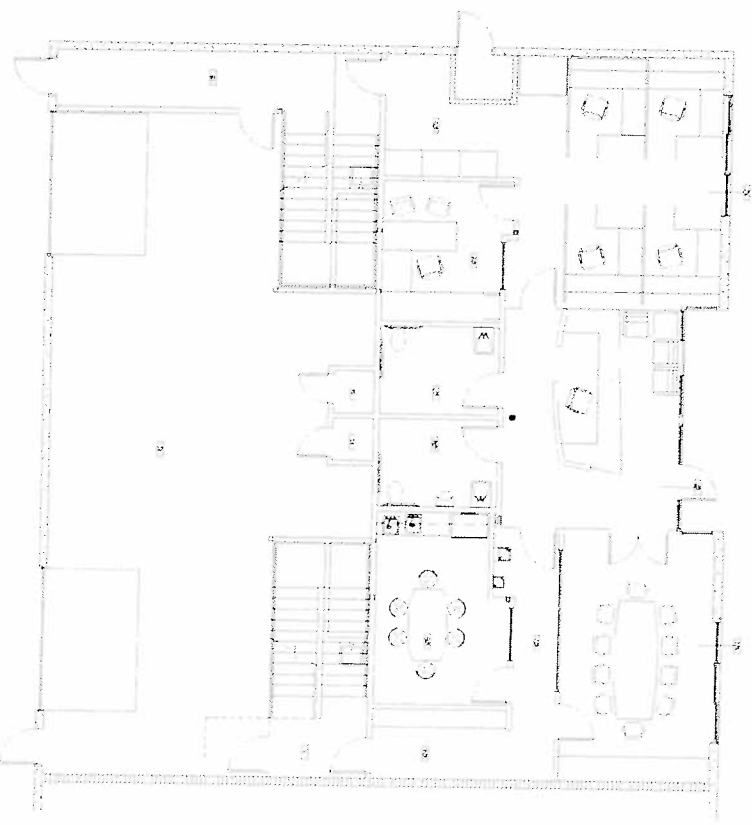
CONSTRUCTION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

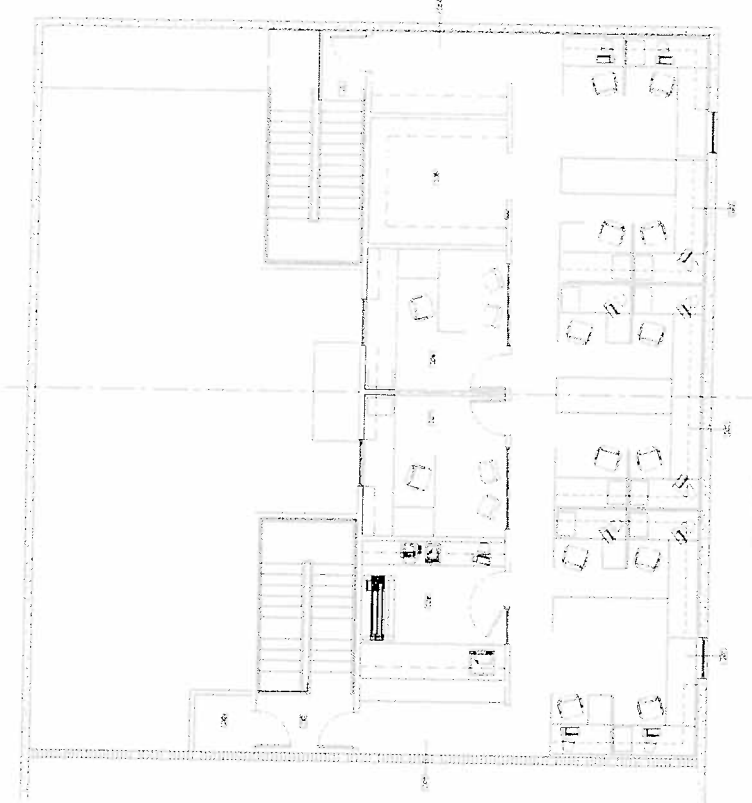
LEGEND

[Symbol]	DOOR
[Symbol]	WINDOW
[Symbol]	STAIR
[Symbol]	ELEVATOR
[Symbol]	MECHANICAL
[Symbol]	ELECTRICAL
[Symbol]	PLUMBING
[Symbol]	PAINT
[Symbol]	FINISH
[Symbol]	LANDSCAPE
[Symbol]	EXTERIOR
[Symbol]	INTERIOR
[Symbol]	MECHANICAL
[Symbol]	ELECTRICAL
[Symbol]	PLUMBING
[Symbol]	PAINT
[Symbol]	FINISH
[Symbol]	LANDSCAPE
[Symbol]	EXTERIOR
[Symbol]	INTERIOR





○ SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



○ SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

- ROOM NAMES
- 101 OFFICE
 - 102 OFFICE
 - 103 OFFICE
 - 104 OFFICE
 - 105 OFFICE
 - 106 OFFICE
 - 107 OFFICE
 - 108 OFFICE
 - 109 OFFICE
 - 110 OFFICE
 - 111 OFFICE
 - 112 OFFICE
 - 113 OFFICE
 - 114 OFFICE
 - 115 OFFICE
 - 116 OFFICE
 - 117 OFFICE
 - 118 OFFICE
 - 119 OFFICE
 - 120 OFFICE
 - 121 OFFICE
 - 122 OFFICE
 - 123 OFFICE
 - 124 OFFICE
 - 125 OFFICE
 - 126 OFFICE
 - 127 OFFICE
 - 128 OFFICE
 - 129 OFFICE
 - 130 OFFICE
 - 131 OFFICE
 - 132 OFFICE
 - 133 OFFICE
 - 134 OFFICE
 - 135 OFFICE
 - 136 OFFICE
 - 137 OFFICE
 - 138 OFFICE
 - 139 OFFICE
 - 140 OFFICE
 - 141 OFFICE
 - 142 OFFICE
 - 143 OFFICE
 - 144 OFFICE
 - 145 OFFICE
 - 146 OFFICE
 - 147 OFFICE
 - 148 OFFICE
 - 149 OFFICE
 - 150 OFFICE
 - 151 OFFICE
 - 152 OFFICE
 - 153 OFFICE
 - 154 OFFICE
 - 155 OFFICE
 - 156 OFFICE
 - 157 OFFICE
 - 158 OFFICE
 - 159 OFFICE
 - 160 OFFICE
 - 161 OFFICE
 - 162 OFFICE
 - 163 OFFICE
 - 164 OFFICE
 - 165 OFFICE
 - 166 OFFICE
 - 167 OFFICE
 - 168 OFFICE
 - 169 OFFICE
 - 170 OFFICE
 - 171 OFFICE
 - 172 OFFICE
 - 173 OFFICE
 - 174 OFFICE
 - 175 OFFICE
 - 176 OFFICE
 - 177 OFFICE
 - 178 OFFICE
 - 179 OFFICE
 - 180 OFFICE
 - 181 OFFICE
 - 182 OFFICE
 - 183 OFFICE
 - 184 OFFICE
 - 185 OFFICE
 - 186 OFFICE
 - 187 OFFICE
 - 188 OFFICE
 - 189 OFFICE
 - 190 OFFICE
 - 191 OFFICE
 - 192 OFFICE
 - 193 OFFICE
 - 194 OFFICE
 - 195 OFFICE
 - 196 OFFICE
 - 197 OFFICE
 - 198 OFFICE
 - 199 OFFICE
 - 200 OFFICE

Reviewed by:
Sergio J. Ascunce, CBO
(Signature) 5/21/07

associates,
 inc.

10001 WOOD
 10001 WOOD
 2700 W 27th Street
 Suite 200
 New York, NY 10001
 Tel: 212 310 6000
 Fax: 212 310 6001
 Website: www.associatesinc.com



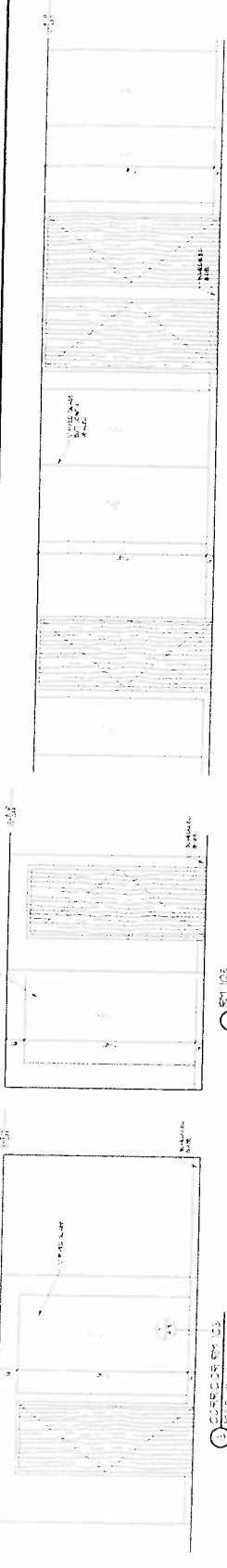
ESD
 Environmental Systems Design
 Inc.
 10001 WOOD
 10001 WOOD
 2700 W 27th Street
 Suite 200
 New York, NY 10001
 Tel: 212 310 6000
 Fax: 212 310 6001
 Website: www.esdinc.com

10001 WOOD
 10001 WOOD
 2700 W 27th Street
 Suite 200
 New York, NY 10001
 Tel: 212 310 6000
 Fax: 212 310 6001
 Website: www.esdinc.com

10001 WOOD
 10001 WOOD
 2700 W 27th Street
 Suite 200
 New York, NY 10001
 Tel: 212 310 6000
 Fax: 212 310 6001
 Website: www.esdinc.com



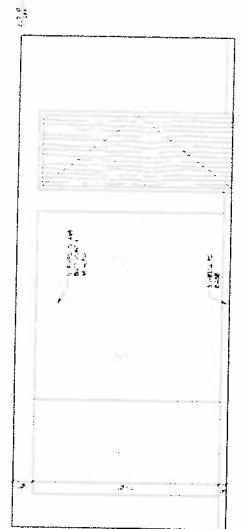
Reviewed by:
Sergio T. Ascunce, CBO
(Signature)



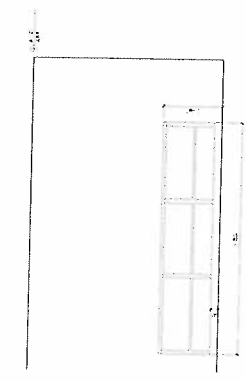
1 OFFICE ELEVATOR
 SCALE 1/8" = 1'-0"

2 OFFICE ELEVATOR
 SCALE 1/8" = 1'-0"

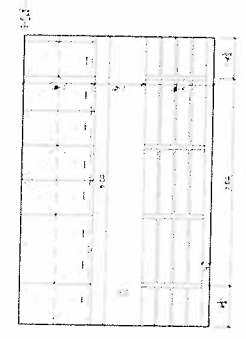
3 OFFICE ELEVATOR
 SCALE 1/8" = 1'-0"



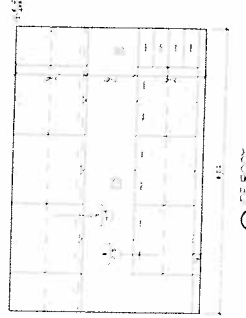
4 CONFERENCE ROOM
 SCALE 1/8" = 1'-0"



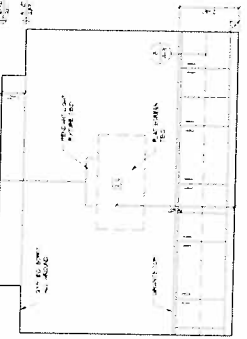
5 OFFICE
 SCALE 1/8" = 1'-0"



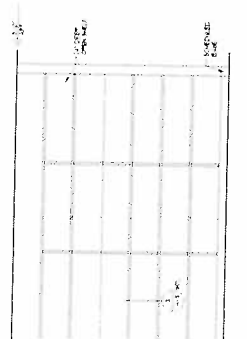
6 LOBBY
 SCALE 1/8" = 1'-0"



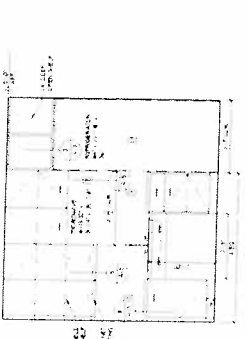
7 LOBBY
 SCALE 1/8" = 1'-0"



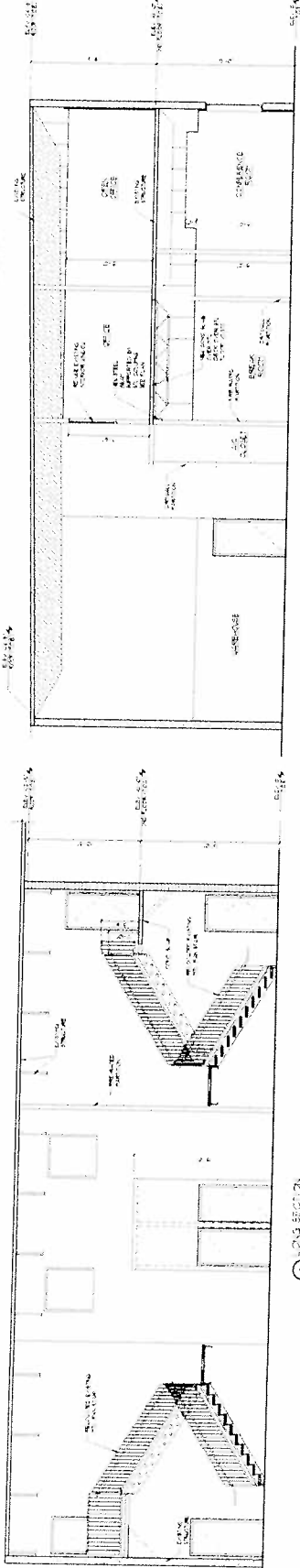
8 CONFERENCE ROOM
 SCALE 1/8" = 1'-0"



9 LOBBY
 SCALE 1/8" = 1'-0"



10 LOBBY
 SCALE 1/8" = 1'-0"



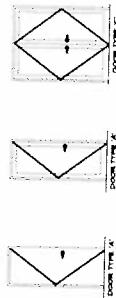
11 CROSS SECTION
 SCALE 1/8" = 1'-0"

12 CROSS SECTION
 SCALE 1/8" = 1'-0"

Reviewed by:
Sergio T. Ascunce, CBO
(Signature) 5/24/07

DOOR SCHEDULE		NO.	DESCRIPTION	QTY	UNIT	MARKING
1	DOOR	1	DOOR	1	EA	
2	DOOR	1	DOOR	1	EA	
3	DOOR	1	DOOR	1	EA	
4	DOOR	1	DOOR	1	EA	
5	DOOR	1	DOOR	1	EA	
6	DOOR	1	DOOR	1	EA	
7	DOOR	1	DOOR	1	EA	
8	DOOR	1	DOOR	1	EA	
9	DOOR	1	DOOR	1	EA	
10	DOOR	1	DOOR	1	EA	
11	DOOR	1	DOOR	1	EA	
12	DOOR	1	DOOR	1	EA	
13	DOOR	1	DOOR	1	EA	
14	DOOR	1	DOOR	1	EA	
15	DOOR	1	DOOR	1	EA	
16	DOOR	1	DOOR	1	EA	
17	DOOR	1	DOOR	1	EA	
18	DOOR	1	DOOR	1	EA	
19	DOOR	1	DOOR	1	EA	
20	DOOR	1	DOOR	1	EA	
21	DOOR	1	DOOR	1	EA	
22	DOOR	1	DOOR	1	EA	
23	DOOR	1	DOOR	1	EA	
24	DOOR	1	DOOR	1	EA	
25	DOOR	1	DOOR	1	EA	
26	DOOR	1	DOOR	1	EA	
27	DOOR	1	DOOR	1	EA	
28	DOOR	1	DOOR	1	EA	
29	DOOR	1	DOOR	1	EA	
30	DOOR	1	DOOR	1	EA	
31	DOOR	1	DOOR	1	EA	
32	DOOR	1	DOOR	1	EA	
33	DOOR	1	DOOR	1	EA	
34	DOOR	1	DOOR	1	EA	
35	DOOR	1	DOOR	1	EA	
36	DOOR	1	DOOR	1	EA	
37	DOOR	1	DOOR	1	EA	
38	DOOR	1	DOOR	1	EA	
39	DOOR	1	DOOR	1	EA	
40	DOOR	1	DOOR	1	EA	
41	DOOR	1	DOOR	1	EA	
42	DOOR	1	DOOR	1	EA	
43	DOOR	1	DOOR	1	EA	
44	DOOR	1	DOOR	1	EA	
45	DOOR	1	DOOR	1	EA	
46	DOOR	1	DOOR	1	EA	
47	DOOR	1	DOOR	1	EA	
48	DOOR	1	DOOR	1	EA	
49	DOOR	1	DOOR	1	EA	
50	DOOR	1	DOOR	1	EA	

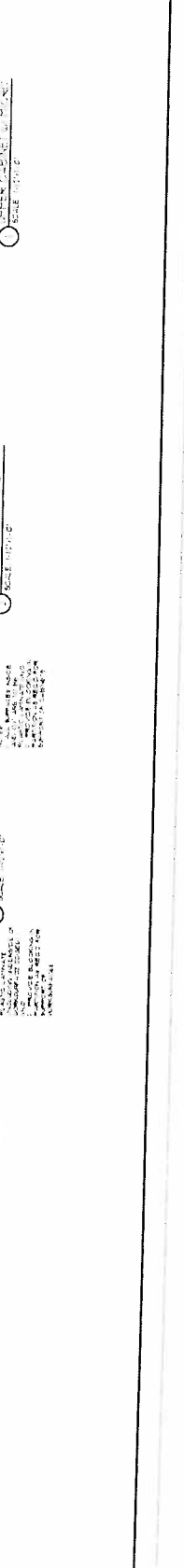
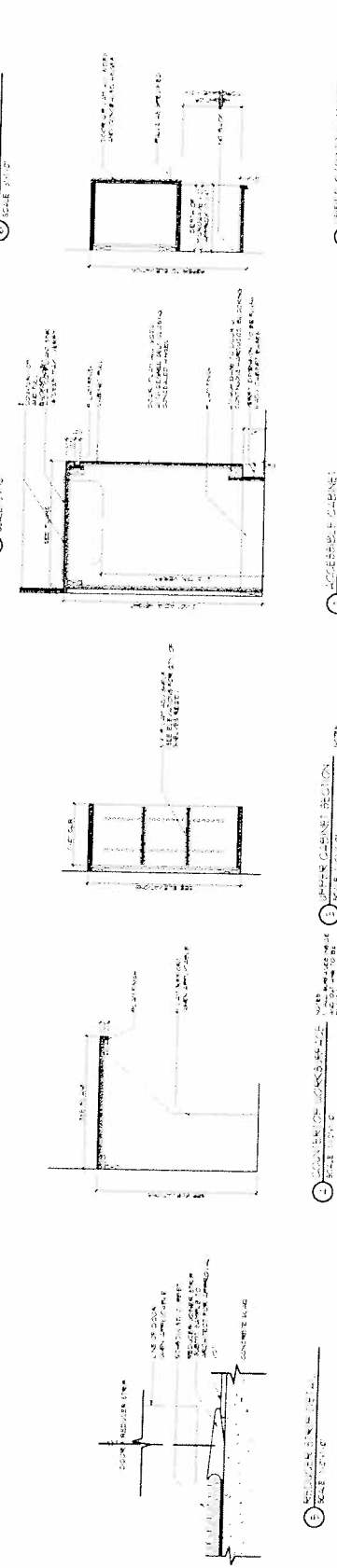
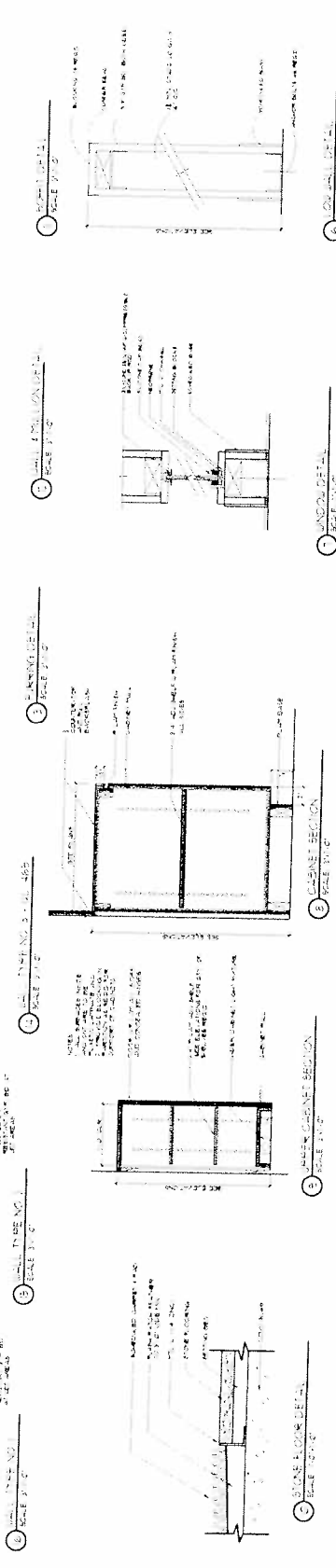
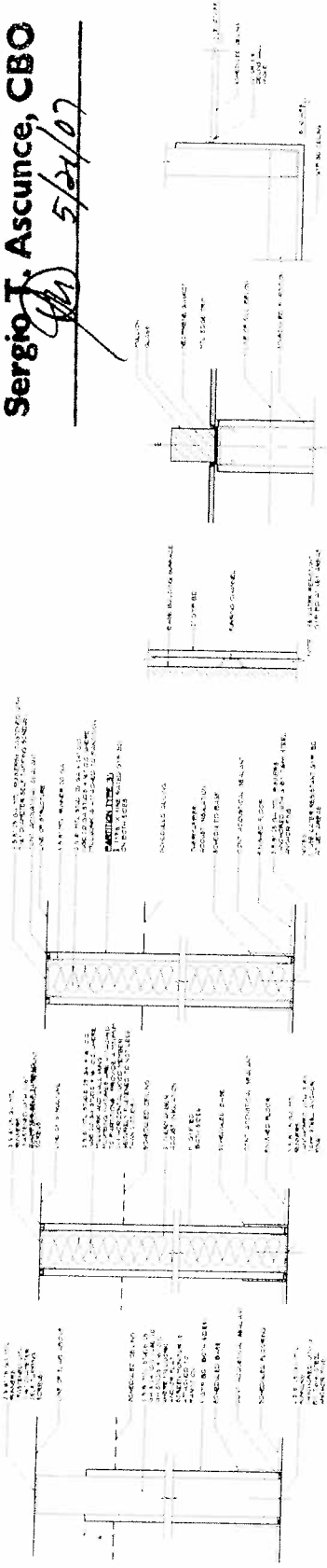
DOOR TYPES



DOOR SCHEDULE NOTES:
 1. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 2. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 3. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 4. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 5. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 6. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 7. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 8. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 9. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 10. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 11. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 12. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 13. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 14. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 15. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 16. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 17. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 18. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 19. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 20. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 21. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 22. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 23. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 24. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 25. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 26. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 27. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 28. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 29. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 30. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 31. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 32. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 33. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 34. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 35. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 36. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 37. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 38. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 39. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 40. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 41. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 42. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 43. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 44. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 45. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 46. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 47. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 48. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 49. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.
 50. ALL DOORS TO BE FINISHED WITH THE FINISH OF THE ROOM.

NO.	DESCRIPTION	QTY	UNIT	MARKING
1	DOOR	1	EA	
2	DOOR	1	EA	
3	DOOR	1	EA	
4	DOOR	1	EA	
5	DOOR	1	EA	
6	DOOR	1	EA	
7	DOOR	1	EA	
8	DOOR	1	EA	
9	DOOR	1	EA	
10	DOOR	1	EA	
11	DOOR	1	EA	
12	DOOR	1	EA	
13	DOOR	1	EA	
14	DOOR	1	EA	
15	DOOR	1	EA	
16	DOOR	1	EA	
17	DOOR	1	EA	
18	DOOR	1	EA	
19	DOOR	1	EA	
20	DOOR	1	EA	
21	DOOR	1	EA	
22	DOOR	1	EA	
23	DOOR	1	EA	
24	DOOR	1	EA	
25	DOOR	1	EA	
26	DOOR	1	EA	
27	DOOR	1	EA	
28	DOOR	1	EA	
29	DOOR	1	EA	
30	DOOR	1	EA	
31	DOOR	1	EA	
32	DOOR	1	EA	
33	DOOR	1	EA	
34	DOOR	1	EA	
35	DOOR	1	EA	
36	DOOR	1	EA	
37	DOOR	1	EA	
38	DOOR	1	EA	
39	DOOR	1	EA	
40	DOOR	1	EA	
41	DOOR	1	EA	
42	DOOR	1	EA	
43	DOOR	1	EA	
44	DOOR	1	EA	
45	DOOR	1	EA	
46	DOOR	1	EA	
47	DOOR	1	EA	
48	DOOR	1	EA	
49	DOOR	1	EA	
50	DOOR	1	EA	

Reviewed by:
Sergio J. Ascunce, CBO
(Signature) 5/24/07



associates, inc.
 ARCHITECTS
 2700 West Street
 Suite 200
 Los Angeles, CA 90057
 Tel: 310.441.4400
 Fax: 310.441.4401
 www.associatesinc.com

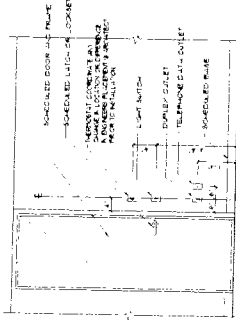
ES&S
 Environmental Science & Services
 10000 Wilshire Blvd
 Suite 1000
 Los Angeles, CA 90024
 Tel: 310.274.2200
 Fax: 310.274.2201
 www.esands.com

Project No. 07-001
 Drawing No. 07-001-01
 Date: 5/24/07

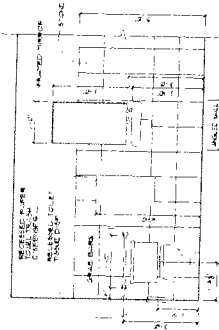
Details

A-9

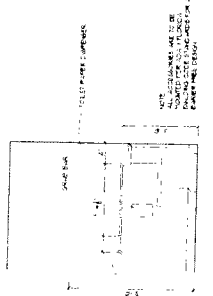
Reviewed by:
Sergio Ascunce, CBO
(Signature) 5/21/07



2 TYPICAL HEIGHTS
 SCALE 1/4" = 1'-0"



3 BATHROOM ELEVATION
 SCALE 1/4" = 1'-0"



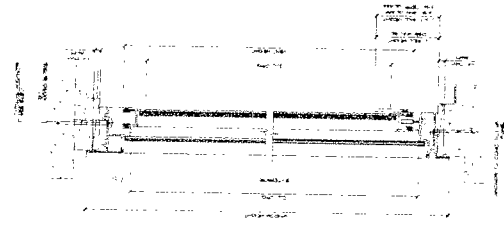
4 BATHROOM ELEVATION
 SCALE 1/4" = 1'-0"

TYPICAL FRAME-OUT OPTION FOR EXTERIOR DOORS AND WINDOWS

- 1 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 2 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 3 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 4 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 5 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 6 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 7 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 8 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 9 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL
- 10 USE FRAME-OUT OPTION FOR EXTERIOR DOORS ATTACHED TO SOLID FILL

- NOTES
- 1 CHECK LOCAL BUILDING CODES FOR FRAME
 - 2 CHECK LOCAL INTERIOR EXTERIOR DOOR FRAME

5 HORIZONTAL ROLLER
 SCALE 1/4" = 1'-0"



New offices for:



Consulting Engineers

International Corporate Park
Building D, Unit 14
NW 98th Court
Doral, Florida

Architect:
A & I associates, Inc.

Structural Engineer:
Juan Fernandez-Barquin

MEP Engineers:
Igor Gonzalez, PE
William Abarca, PE

February 26, 2007

associates,
inc.

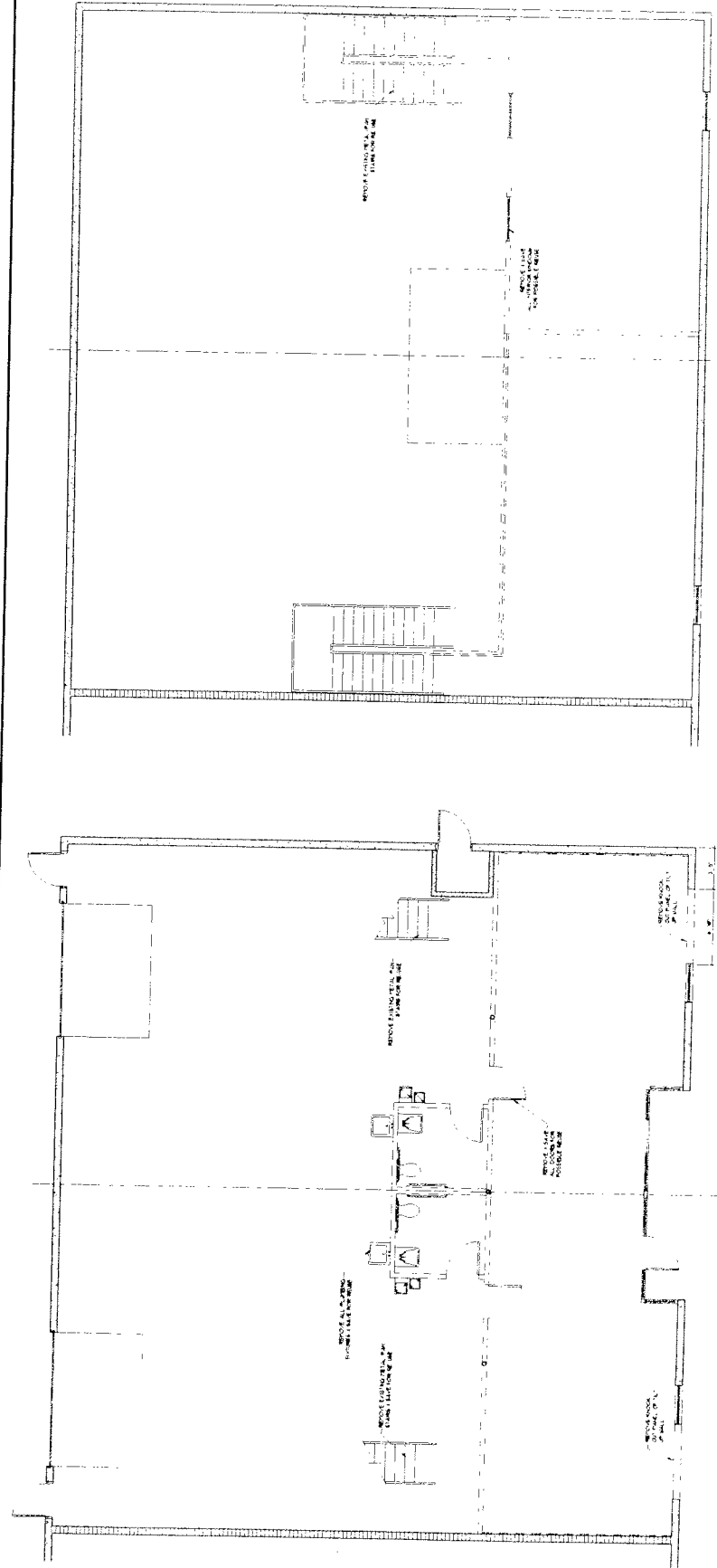
18001 E. Beach
Suite 100
Doral, FL 33126
Tel: 305-851-1000
Fax: 305-851-1001
www.aiaa.com



International Corporate
Building D, Unit 14
NW 98th Court
Doral, Florida

DATE
DRAWN
CHECKED
COVER

REV. NO.
A-1



LEGEND

- BOUNDARY WALL
- EXISTING WALL
- WALL TO BE DEMOLISHED

DEMOLITION NOTES

1. ALL WORK SHALL BE ACCORDING TO THE RECORD DRAWINGS FOR THIS BUILDING.
2. ALL WORK SHALL BE ACCORDING TO THE RECORD DRAWINGS FOR THIS BUILDING.
3. ALL WORK SHALL BE ACCORDING TO THE RECORD DRAWINGS FOR THIS BUILDING.
4. ALL WORK SHALL BE ACCORDING TO THE RECORD DRAWINGS FOR THIS BUILDING.
5. ALL WORK SHALL BE ACCORDING TO THE RECORD DRAWINGS FOR THIS BUILDING.

① FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

② SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

associates, inc.

100 WEST 14TH STREET
NEW YORK, NY 10011-4209
TEL: 212 512 2000
FAX: 212 512 2001
WWW.ASSOCIATESINC.COM

PROJECT: DEMOLITION
DATE: 10/20/01
DRAWN BY: [Name]



CSO
Construction Services
100 WEST 14TH STREET
NEW YORK, NY 10011-4209
TEL: 212 512 2000
FAX: 212 512 2001
WWW.CSO-CORP.COM

Demolition plan

SECOND FLOOR
SCALE: 1/4" = 1'-0"

CEILING NOTES

- 1. ALL CEILING SHALL BE SUSPENDED FROM STRUCTURAL STEEL OR CONCRETE SLAB.
- 2. ALL CEILING SHALL BE 2' X 4' GRID WITH 15' X 15' PANELS.
- 3. ALL CEILING SHALL BE 15' X 15' PANELS.
- 4. ALL CEILING SHALL BE 15' X 15' PANELS.
- 5. ALL CEILING SHALL BE 15' X 15' PANELS.
- 6. ALL CEILING SHALL BE 15' X 15' PANELS.
- 7. ALL CEILING SHALL BE 15' X 15' PANELS.
- 8. ALL CEILING SHALL BE 15' X 15' PANELS.
- 9. ALL CEILING SHALL BE 15' X 15' PANELS.
- 10. ALL CEILING SHALL BE 15' X 15' PANELS.

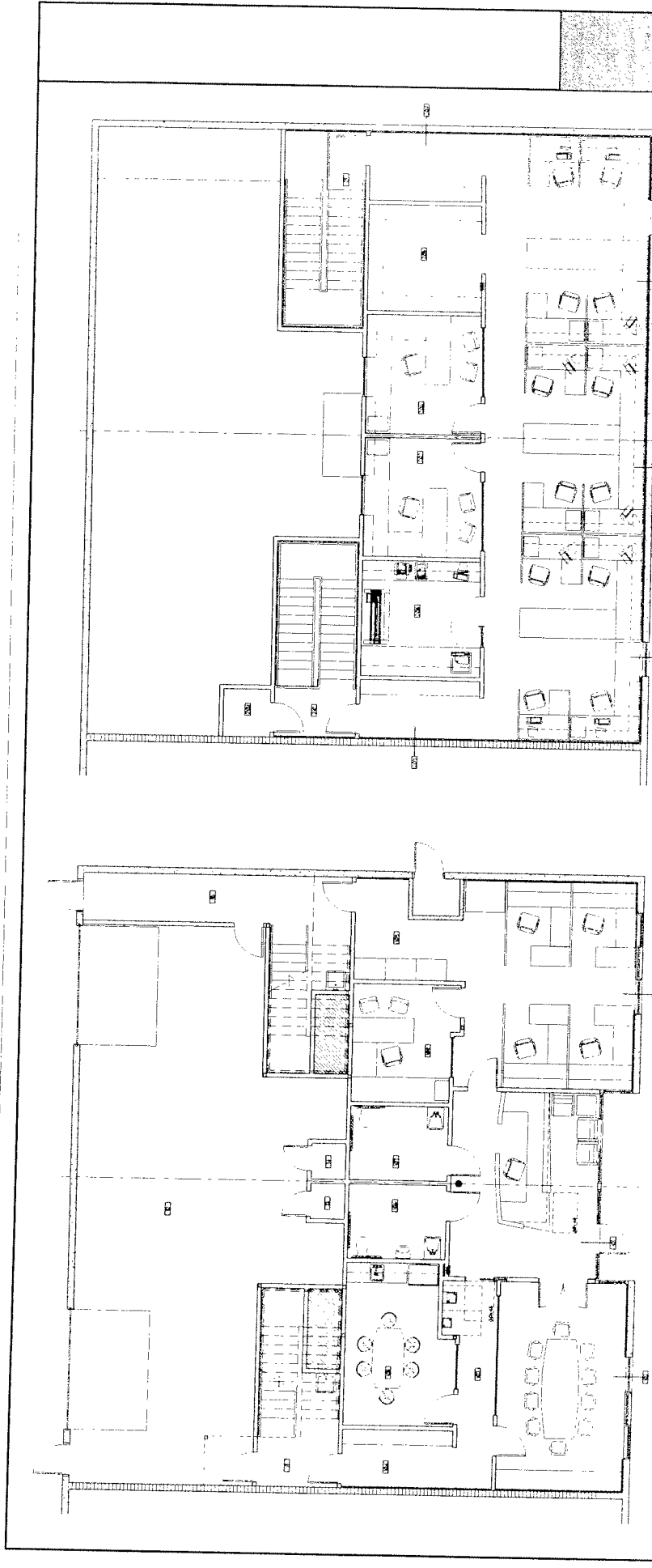
FIRST FLOOR
SCALE: 1/4" = 1'-0"

CEILING SYMBOLS & LEGEND

- 1. 15' X 15' PANELS
- 2. 15' X 15' PANELS
- 3. 15' X 15' PANELS
- 4. 15' X 15' PANELS
- 5. 15' X 15' PANELS
- 6. 15' X 15' PANELS
- 7. 15' X 15' PANELS
- 8. 15' X 15' PANELS
- 9. 15' X 15' PANELS
- 10. 15' X 15' PANELS

ROOF NOTES

- 1. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 2. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 3. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 4. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 5. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 6. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 7. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 8. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 9. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.
- 10. ALL ROOF SHALL BE 2" POLYSTYRENE INSULATION OVER 1" Gypsum Board.



○ FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"

○ SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

- ROOM NUMBER**
- 101. RECEPTION
 - 102. CONFERENCE ROOM
 - 103. OFFICE
 - 104. OFFICE
 - 105. OFFICE
 - 106. OFFICE
 - 107. OFFICE
 - 108. OFFICE
 - 109. OFFICE
 - 110. OFFICE
 - 111. OFFICE
 - 112. OFFICE
 - 113. OFFICE
 - 114. OFFICE
 - 115. OFFICE
 - 116. OFFICE
 - 117. OFFICE
 - 118. OFFICE
 - 119. OFFICE
 - 120. OFFICE
 - 121. OFFICE
 - 122. OFFICE
 - 123. OFFICE
 - 124. OFFICE
 - 125. OFFICE
 - 126. OFFICE
 - 127. OFFICE
 - 128. OFFICE
 - 129. OFFICE
 - 130. OFFICE
 - 131. OFFICE
 - 132. OFFICE
 - 133. OFFICE
 - 134. OFFICE
 - 135. OFFICE
 - 136. OFFICE
 - 137. OFFICE
 - 138. OFFICE
 - 139. OFFICE
 - 140. OFFICE
 - 141. OFFICE
 - 142. OFFICE
 - 143. OFFICE
 - 144. OFFICE
 - 145. OFFICE
 - 146. OFFICE
 - 147. OFFICE
 - 148. OFFICE
 - 149. OFFICE
 - 150. OFFICE
 - 151. OFFICE
 - 152. OFFICE
 - 153. OFFICE
 - 154. OFFICE
 - 155. OFFICE
 - 156. OFFICE
 - 157. OFFICE
 - 158. OFFICE
 - 159. OFFICE
 - 160. OFFICE
 - 161. OFFICE
 - 162. OFFICE
 - 163. OFFICE
 - 164. OFFICE
 - 165. OFFICE
 - 166. OFFICE
 - 167. OFFICE
 - 168. OFFICE
 - 169. OFFICE
 - 170. OFFICE
 - 171. OFFICE
 - 172. OFFICE
 - 173. OFFICE
 - 174. OFFICE
 - 175. OFFICE
 - 176. OFFICE
 - 177. OFFICE
 - 178. OFFICE
 - 179. OFFICE
 - 180. OFFICE
 - 181. OFFICE
 - 182. OFFICE
 - 183. OFFICE
 - 184. OFFICE
 - 185. OFFICE
 - 186. OFFICE
 - 187. OFFICE
 - 188. OFFICE
 - 189. OFFICE
 - 190. OFFICE
 - 191. OFFICE
 - 192. OFFICE
 - 193. OFFICE
 - 194. OFFICE
 - 195. OFFICE
 - 196. OFFICE
 - 197. OFFICE
 - 198. OFFICE
 - 199. OFFICE
 - 200. OFFICE

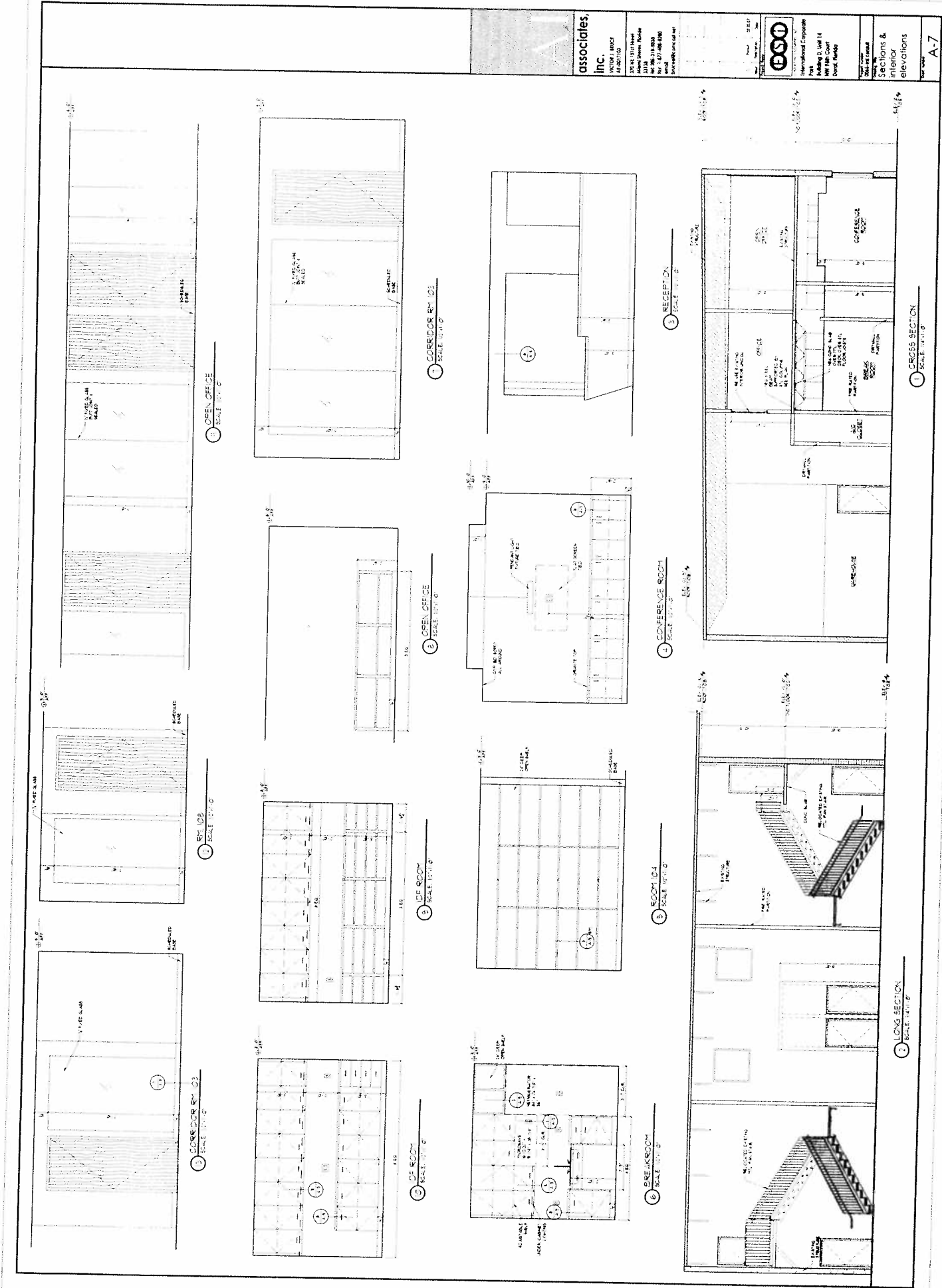
ASSOCIATES, INC.
 1000 PINE STREET
 SUITE 1000
 NEW YORK, NY 10022
 TEL: 212 692 1000
 FAX: 212 692 1001
 WWW.ASSOCIATESINC.COM

CSO
 INTERNATIONAL CORPORATION
 1000 PINE STREET
 SUITE 1000
 NEW YORK, NY 10022
 TEL: 212 692 1000
 FAX: 212 692 1001
 WWW.CSO.COM

DATE: 10/10/00
 DRAWN BY: J. J. J.
 CHECKED BY: J. J. J.
 APPROVED BY: J. J. J.

PROJECT: 1000 PINE STREET
 SHEET: 1000 PINE STREET
 TITLE: FURNITURE PLAN

A-6



associates, inc.

PROJECT ARCHITECT
 11111
 11111
 11111
 11111
 11111
 11111



International Corporate
 Building 3, Unit 14
 400 W. 1st Street
 Des Moines, IA 50319

Sections &
 Interior
 Elevations

