



**VICINITY MAP**

RED ROAD BUSSINESS CENTER CONDO, UNIT A3, UNDIV  
 1775 / 45465, INT IN COMMON ELEMENTS OFF REC  
 188664916, OR 192763408 08 2000 I F/A/U 3020240320030

# REMODELING TO AREDA CONSTRUCTION OFFICE

5735-5737 N.W. 151TH STREET  
 MIAMI LAKES, FLORIDA, 33014

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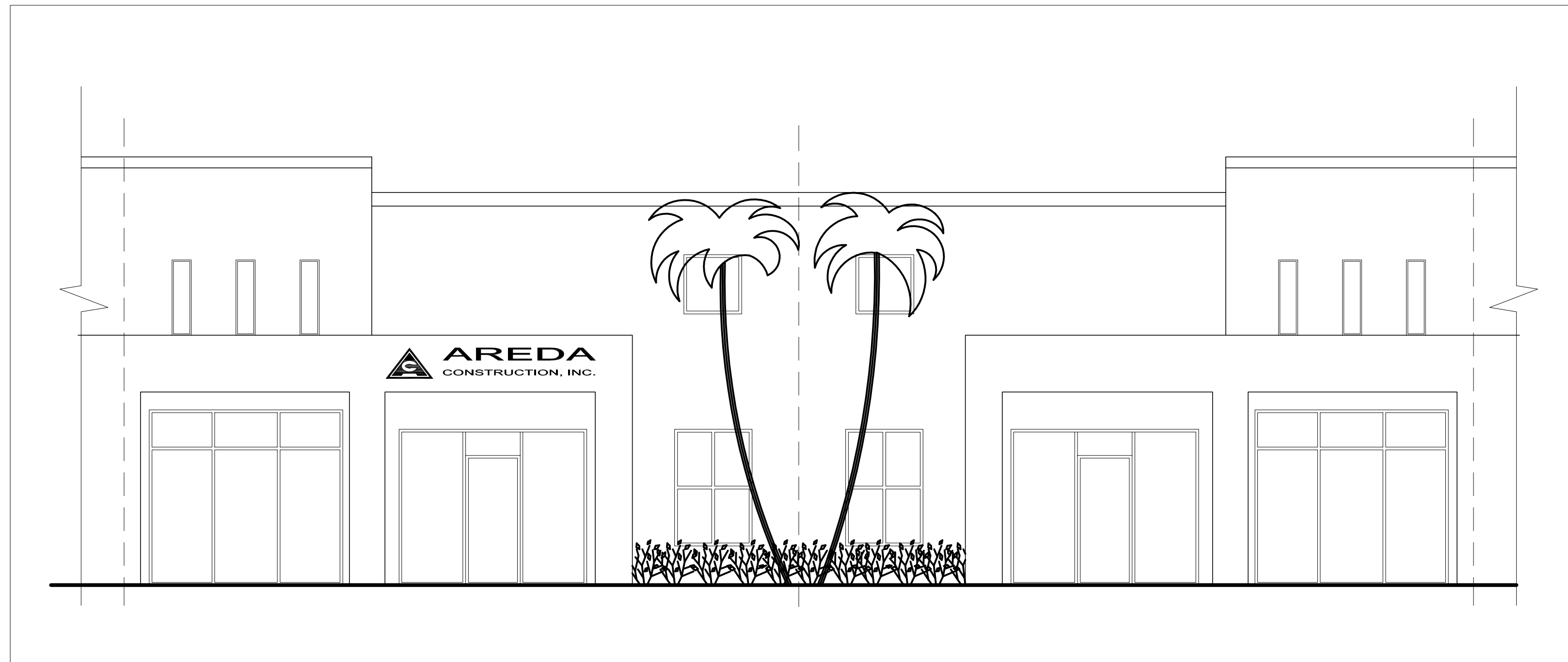
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**DEMOLITION :**

1. REMOVE ONE OF EXISTING STAIR, AS NOTED ON DEMOLITION PLAN
2. CUT AND REMOVE EXISTING WALLS, AS NOTED ON DEMOLITION PLAN.
3. ALL PLUMBING PIPES TO BE CUT AND CAPPED AS REQUIRED FOR TOILET ROOM REMODELING.
4. ALL ELECTRIC WIRE AFFECTED FOR THIS MODIFICATION TO BE CAPPED FOR THE RENOVATION.

**SPECIAL DEMOLITION NOTE:**

G.C. TO VERIFY FIELD CONDITIONS PRIOR TO DEMOLITION AND REQUEST FROM ARCHITECT IF DEEMED NECESSARY ANY CONDITIONS THEY ENCOUNTER WHILE PREPARATION PRIOR TO DEMOLITION.

**CONSTRUCTION SCOPE OF WORK:**

1. TWO SEPARATED BUSINESS UNITS TO BE REMODELING AND CONVERTED IN ONE COMBINED OFFICE UNIT.

**CONSTRUCTION CLASSIFICATION:**

THE CONSTRUCTION CLASSIFICATION OF THE SUBJECT PROPERTY IS TYPE-IIB AS PER FBC 2014, 601

**CLASSIFICATION OF WORK:**

THE CLASSIFICATION OF WORK PROPOSED IS LEVEL-3 AS PER F.B.C. 2014, 5TH EDITION, EXISTING BUILDING, 505 ALL WORK TO BE PERFORMED UNDER FLORIDA BLDG. CODE 2014, FLORIDA FIRE PREVENTION CODE 2012 NFPA 101 LIFE SAFETY CODE, 2015 EDITION

**ABBREVIATIONS:**

@	AT	INT.	INTERIOR
A.C.T.	ACOUSTICAL CEILING TILE	L.	LENGTH
A.F.C.	ABOVE FINISHED CEILING	MANUF.	MANUFACTURER
A.F.F.	ABOVE FINISHED FLOOR	MAX.	MAXIMUM
A.H.U.	AIR HANDLER UNIT	MECH.	MECHANICAL
AL., ALUM.	ALUMINUM	MEZZ.	MEZZANINE
BOT.	BOTTOM	MIN.	MINIMUM
C.B.S./CMU	CONC. BLOCK SYSTEM	MISC.	MISCELLANEOUS
CEIL., CLG.	CEILING	M.O.	MASONRY OPENING
CL.	CENTER LINE	MTL.	METAL
CLO.	CLOSET	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	NO.	NUMBER
COL.	COLUMN	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	O.D.	OUTSIDE DIAMETER
CORR.	CORRIDOR	PERM.	PERMANENT
CTR.	CENTER	PLMB.	PLUMBING
D.	DEPTH	PNL.	PANEL
DBL.	DOUBLE	PRTN.	PARTITION
DET., DTL.	DETAIL	PNT.	PAINT
DIA.	DIAMETER	P.S.F.	POUNDS SQUARE FOOT
DIM.	DIMENSION	R.	RADIUS
DN.	DOWN	R.C.P.	REFLECTED CEILING PLAN
EL.	ELEVATOR	RD.	ROOF DRAIN
ELEC.	ELECTRICAL	RECP.	RECEPTACLE
EQ.	EQUAL	REF.	REFRIGERATOR
EQUIP.	EQUIPMENT	R.O.	ROUGH OPENING
EXH.	EXHAUST	REQD.	REQUIRED
EXIST.	EXISTING	RM.	ROOM
EXP.	EXPOSED	S.S.	STAINLESS STEEL
EXT.	EXTENSION	S.C.	SOLID CORE
F.D.	FIRE DEPARTMENT	SECT.	SECTION
F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
FIN.	FINISH	SPEC.	SPECIFICATIONS
F.F.	FINISH FLOOR	SPKLR.	SPRINKLER
F.F.E.	FINISH FLOOR ELEVATION	SQ.	SQUARE FOOT
FL., FLR.	FLOOR	STD.	STANDARD
FT.	FOOT	STL.	STEEL
FIX.	FIXTURE	STRUC.	STRUCTURAL
FTG.	FOOTING	TEL.	TELEPHONE
GA.	GAUGE	TH.	THICK
GALV.	GALVANIZED	T.O.	TOP OF
G.C., GC.	GENERAL CONTRACTOR	T.O.B.	TOP OF BEAM
GPM.	GYPSUM	T.O.S.	TOP OF SLAB
G.W.B.	GYPSUM WALL BOARD	TYP.	TYPICAL
HDWRE.	HARDWARE	U.L.	UNDERWRITERS LABORATORY
H.M.	HOLLOW METAL	VERT.	VERTICAL
HOR.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
H.P.	HIGH POINT	W.	WIDTH
HR.	HOUR	W/	WITH
H.R.	HAND RAIL	W.C.	WATER CLOSET
HW.	HOT WATER	WD.	WOOD
I.D.	INSIDE DIAMETER	W.P.	WATER PROOF
IN.	INCH		
INFO.	INFORMATION		
INSUL.	INSULATION		

PROJECT: AREDA CONSTRUCTION OFFICES UPGRADE

5735-5737 NW 151th STREET  
 MIAMI LAKES, FL. 33014

**REVISIONS**

#	DATE	DESCRIPTION
1b	03/18/16	BY OWNER

PROJECT NUMBER:  
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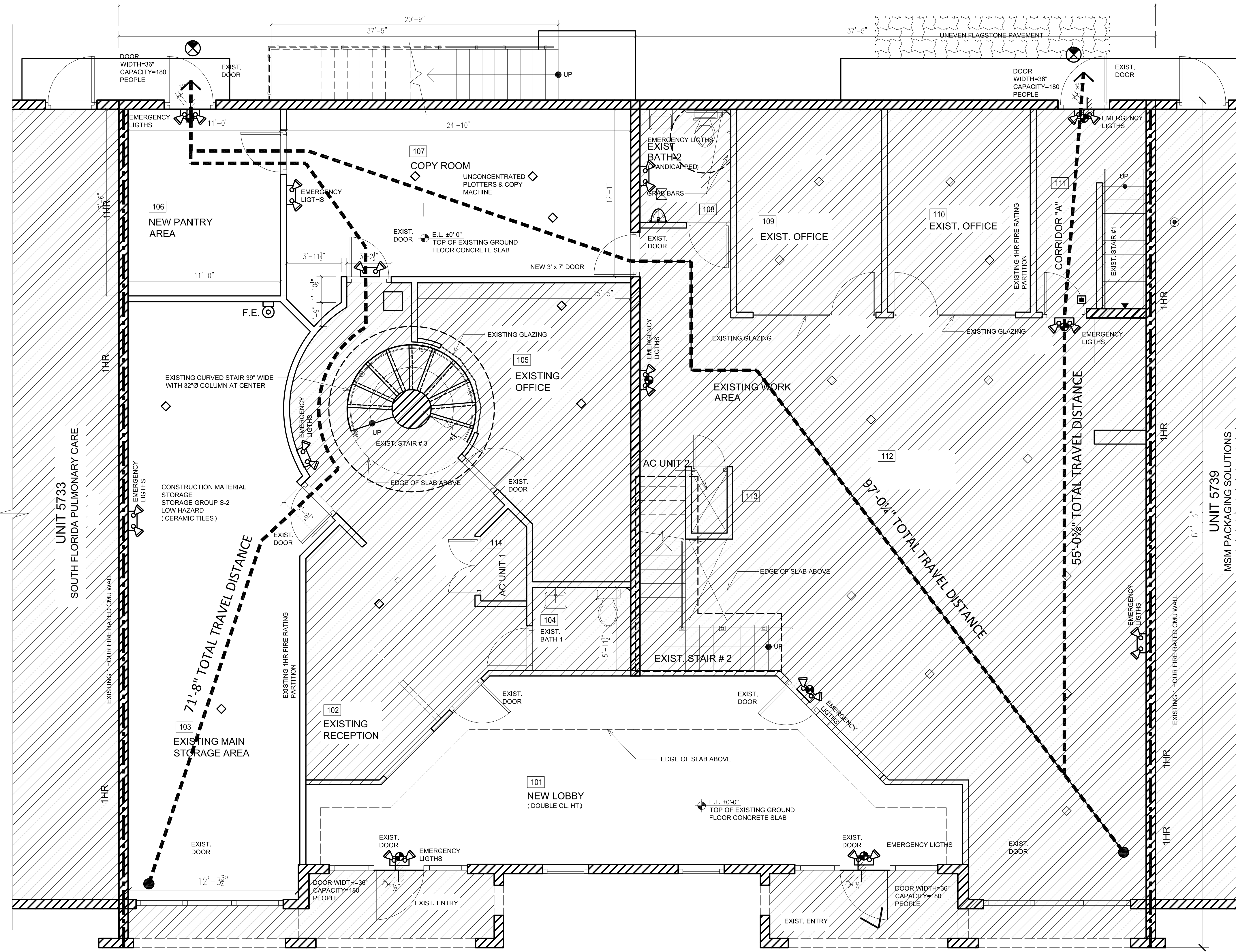
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 CHECKED BY:  
 ISSUE DATE: 03-18-16

**COVER SHEET**

**A.0**

**ADOLFO D. LOPEZ AIA**  
 ARCHITECT - FLORIDA  
 15388 S.W. 113 TERRACE, MIAMI, FL. 33196. TEL. (305) 382-6325

ADOLFO D. LOPEZ AIA  
 Lic. # AR0010988



- LEGEND:**
- OFFICE
  - EXIT
  - 45 MIN RATED DOOR AND FRAME LABELED "C"
  - 1 HOUR FIRE RATED SEPARATION
  - TOTAL TRAVEL DISTANCE TO EXIT
  - COMMON PATH OF TRAVEL
  - FIRE EXTINGUISHER
  - FIRE SPRINKLER
  - EMERGENCY LIGHTS
  - EMERGENCY LIGHTS W/ FIRE EXIT SIGNAL
  - LIGHT POSITION

**LIFE SAFETY CALCULATIONS**  
**APPLICABLE CODES**

- A) FLORIDA BUILDING CODE 2014 EDITION WITH CURRENTS AMENDMENTS
- B) NFPA 101-2012 EDITION LIFE SAFETY CODE
- C) FLORIDA FIRE PREVENTION CODE -2014 EDITION

**BUILDING CONSTRUCTION TYPE**

TYPE II - BUILDINGS SPRINKLERED  
**UNITS COMBINED AREA**  
 PROPOSED FIRST FLOOR (4 471.77 SQFT)  
 PROPOSED SECOND FLOOR (3 732.00 SQFT)  
 TOTAL PROPOSED AREA (8 203.77 SQFT)  
 BUILDING OCCUPANCY (BUSINESS)  
 EXISTING OCCUPANCY (BUSINESS)  
 BUSINESS B - SECTION 304  
 STORAGE S-1 - SECTION 311  
 STORAGE S-2 - SECTION 311 (NON COMBUSTIBLE MATERIALS)

**OCCUPANCY CALCULATIONS**

OCCUPANCY LOADS BASED ON FBC TABLE 1004.1.2 TO BE AS FOLLOWS  
**BUSINESS**  
 1 OCCUPANT PER 100 GROSS SQUARE FEET OF AREA  
**STORAGE**  
 1 OCCUPANT PER 300 GROSS SQUARE FEET OF AREA  
 INCIDENTAL ACCESSORY OCCUPANCIES 1 PER 100 GROSS  
 MAXIMUM OCCUPANT LOAD ALLOWABLE:  
 B-29 5-29

**FIRE RESISTANCE RATING REQUIREMENTS**

BUILDING ELEMENTS PER FBC TABLE 601 TO BE AS FOLLOWS  
 1 HR EXTERIOR BEARING WALLS  
 1 HR STRUCTURAL FRAME  
 1 HR CEILING / FLOOR SEPARATION  
 1 HR CEILING / ROOF ASSEMBLY

**OCCUPANCY SEPARATION**

OCCUPANCY SEPARATION REQUIREMENTS PER FBC TABLE 508.4 (FULLY SPRINKLERED BUILDING)  
 OCCUPANCY SEPARATION RATING  
 STORAGE / BUSINESS 1 HOUR  
 CORRIDORS 0 HOURS (FBC. TABLE 101.7.1)

**CORRIDORS SEPARATION**

PER FBC TABLE 1018.1 CORRIDOR FIRE-RESISTANCE RATING FOR BUSINESS OCCUPANCY LOAD GREATER THAN 30

**SHAFT ENCLOSURES**

PER F.B.C. 713.4 SHAFT ENCLOSURES ON A BUILDING WITH LESS THAN FOUR STORIES TO BE MIN. 1-HOUR FIRE RESISTANCE.

**EXIT ENCLOSURES**

PER F.B.C. 1009.3.1 EXIT ENCLOSURES ON A BUILDING WITH LESS THAN FOUR STORIES TO BE A MIN. 1-HOUR FIRE RESISTANCE.

**EXIT PASSAGEWAYS**

PER F.B.C. 1023.3 EXIT PASSAGEWAY SHALL HAVE WALLS FLOORS AND CEILING OF NOT LESS 1-HOUR FIRE RESISTANCE RATING.

**MEANS OF EGRESS REQUIREMENTS**

TRAVEL DISTANCE PER OCCUPANCY IS BASED UPON NFPA 101 TABLE A.7.6 (FULLY SPRINKLERED BUILDING) TO BE AS FOLLOWS

OCCUPANCY	COMMON PATH	DEAD END	TRAVEL DISTANCE
BUSINESS	100	50	BUSINESS 300
STORAGE	100	20	STORAGE 400

STORAGE HAVE BEEN CONSIDERED LOW AND ORDINARY HAZARD

CAPACITY OF MEANS OF EGRESS IS BASED UPON FBC TABLE 1005.1 TO BE AS FOLLOWS

- MEANS OF EGRESS BY HORIZONTAL TRAVEL: 0.2" PER PERSON =
- MEANS OF EGRESS BY STAIRWAYS 0.3" PER PERSON =

**FIRE EXTINGUISHER CALCULATIONS**

(NFPA 10, TABLE 6.2.1.1)

- LIGHT CLASS "A" HAZARD OCCUPANCIES (BUSINESS AND ITS ACCESSORY STORAGE) MUST HAVE ONE FIRE EXTINGUISHER FOR EVERY 3,000 S.F.
- MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER MUST BE 75 FEET FROM EACH OTHER

**MINIMUM NUMBER OF FIRE EXTINGUISHER REQUIRED**

1ST FLOOR	LIGHT CLASS "A" HAZARD	AREA % 3,000 SF = NO. FIRE EXTINGUISHER
		4 472 % 3,000 SF = 1.49
2ND FLOOR	LIGHT CLASS "A" HAZARD	AREA % 3,000 SF = NO. FIRE EXTINGUISHER
		3 732 % 3,000 SF = 1.24

4 DOORWAY EXITS 36" WIDE, PROVIDE TOTAL 144" WIDE EGRESS WIDTH/PERSON SERVED WITH EXISTING SPRINKLER SYSTEM= 144/0.2 (LEVEL FACTOR) PROVIDE OPENING FOR 720 PEOPLE

**ADOLFO D. LOPEZ, AIA**  
 ARCHITECT - FLORIDA  
 15395 S.W. 113 TERRACE, MIAMI, FL 33196, TEL. (305) 382-6325

**ADOLFO D. LOPEZ, AIA**  
 LIC. # AR0019933

**PROJECT:** AREDA CONSTRUCTION OFFICES UPGRADE  
 5735-5737 NW 151th STREET  
 MIAMI LAKES, FL. 33014

**REVISIONS**

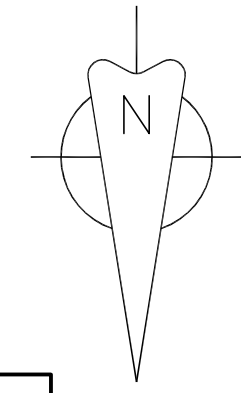
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**ADL031816**

**DRAWN BY:**  
**CHECKED BY:**  
**ISSUE DATE:** 03-18-16

**A.10**

**FIRST FLOOR LIFE SAFETY PLAN**  
 SCALE 1/4"=1'

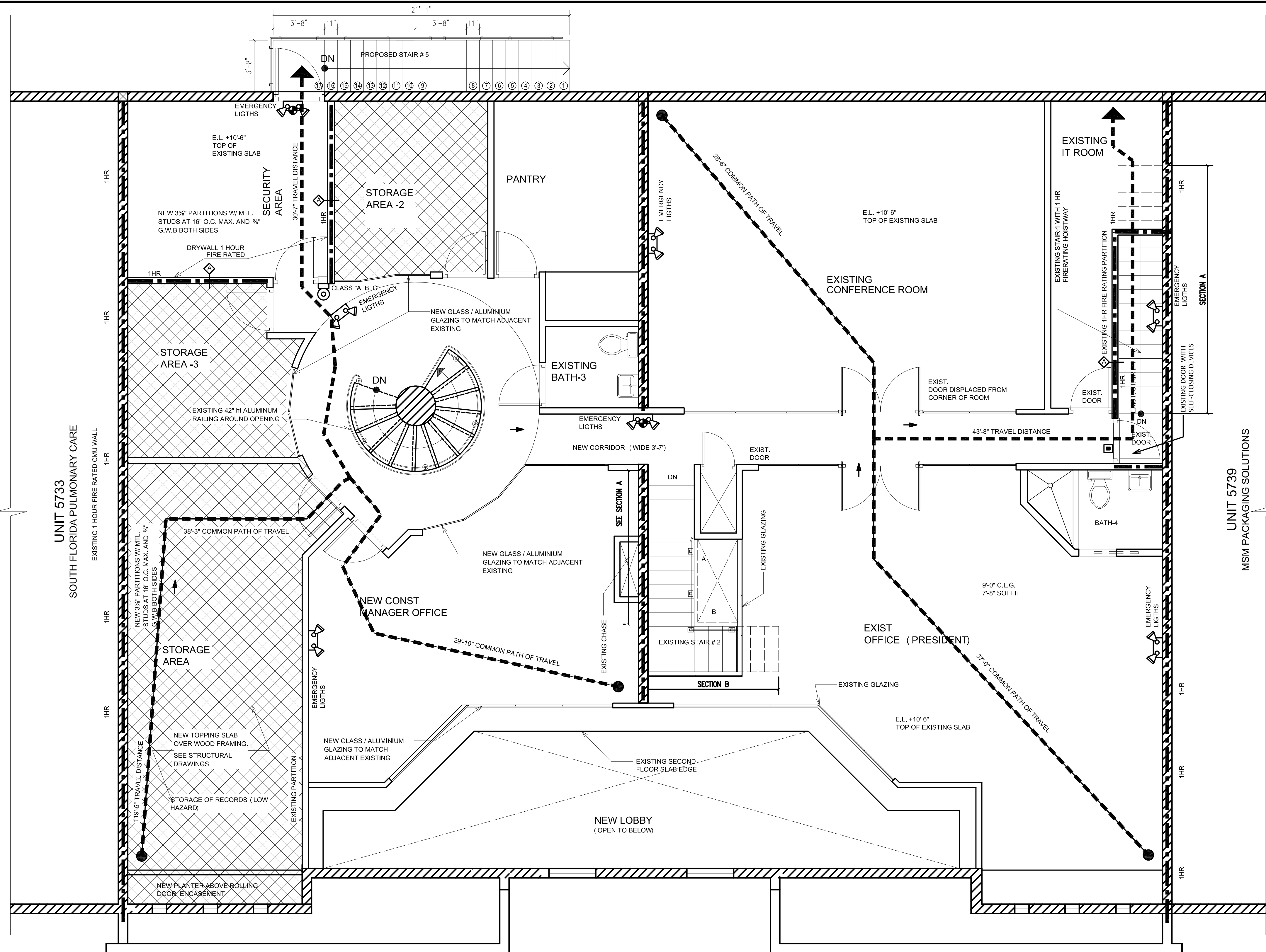


**1ST AREA CALCULATIONS**

1ST AREA CALCULATIONS	GROSS SQ. FOOTAGE
STORAGE S-2	505.12
OFFICE (BUSINESS)	1 738.18
COMMON AREAS	2 228.47
<b>TOTAL AREA</b>	<b>4 471.77</b>

**FIRST FLOOR OCCUPANCY LOADS**

USER DESCRIPTION	FBC 2014 AREA (sqft)	TABLE 1004.1.2 FT/PERSON	OCCUPANT MAX PROBABLE
OFFICE (BUSINESS) (B)	1 738.88	100	18
STORAGE S-2	505.12	300	2
<b>TOTAL</b>	<b>2 244.00</b>		<b>28</b>



**LEGEND:**

- STORAGE
- EXIT SIGNAL
- 45 MIN RATED DOOR AND FRAME LABELED "C"
- 1 HOUR FIRE RATED SEPARATION
- TRAVEL DISTANCE TO EXIT
- COMMON PATH OF TRAVEL
- FIRE EXTINGUISHER
- FIRE SPRINKLER
- EMERGENCY LIGHTS
- EMERGENCY LIGHTS W/ FIRE
- EXIT SIGNAL
- LIGHT POSITION

**OCCUPANCY CALCULATIONS**

OCCUPANCY LOADS BASED ON FBC TABLE 1004.1.2 TO BE AS FOLLOWS

**BUSINESS**

1 OCCUPANT PER 100 GROSS SQUARE FEET OF AREA

**STORAGE**

1 OCCUPANT PER 300 GROSS SQUARE FEET OF AREA

INCIDENTAL ACCESSORY OCCUPANCIES 1 PER 100 GROSS

MAXIMUM OCCUPANT LOAD ALLOWABLE:

B-29 5-29

**FIRE RESISTANCE RATING REQUIREMENTS**

BUILDING ELEMENTS PER FBC TABLE 601.2 TO BE AS FOLLOWS

1 HR EXTERIOR BEARING WALLS

1 HR STRUCTURAL FRAME

1 HR CEILING / FLOOR SEPARATION

1 HR CEILING / ROOF ASSEMBLY

**OCCUPANCY SEPARATION**

OCCUPANCY SEPARATION REQUIREMENTS PER FBC TABLE 508.4 (FULLY SPRINKLERED BUILDING)

OCCUPANCY SEPARATION RATING

STORAGE / BUSINESS 1 HOUR

CORRIDORS 0 HOURS (FBC TABLE 101.7.1)

**CORRIDORS SEPARATION**

PER FBC TABLE 1018.1 CORRIDOR FIRE-RESISTANCE RATING FOR BUSINESS OCCUPANCY LOAD GREATER THAN 30

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PER F.B.C. 713.4 SHAFT ENCLOSURES ON A BUILDING WITH LESS THAN FOUR STORIES TO BE MIN. 1-HOUR FIRE RESISTANCE.

**EXIT ENCLOSURES**

PER F.B.C. 1009.3.1 EXIT ENCLOSURES ON A BUILDING WITH LESS THAN FOUR STORIES TO BE A MIN. 1-HOUR FIRE RESISTANCE.

**EXIT PASSAGEWAYS**

PER F.B.C. 1023.3 EXIT PASSAGEWAY SHALL HAVE WALLS FLOORS AND CEILING OF NOT LESS 1-HOUR FIRE RESISTANCE RATING.

**MEANS OF EGRESS REQUIREMENTS**

TRAVEL DISTANCE PER OCCUPANCY IS BASED UPON NFPA 101 TABLE A.7.6 (FULLY SPRINKLERED BUILDING) TO BE AS FOLLOWS

OCCUPANCY COMMON PATH DEAD END TRAVEL DISTANCE

BUSINESS 100 50 BUSINESS 300

STORAGE 100 20 STORAGE 400

STORAGE HAVE BEEN CONSIDERED LOW AND ORDINARY HAZARD

CAPACITY OF MEANS OF EGRESS IS BASED UPON FBC TABLE 1005.1 TO BE AS FOLLOWS

MEANS OF EGRESS BY HORIZONTAL TRAVEL: 0.2" PER PERSON =

MEANS OF EGRESS BY STAIRWAYS 0.3" PER PERSON =

**FIRE EXTINGUISHER CALCULATIONS**

(NFPA 10, TABLE 6.2.1.1)

LIGHT CLASS "A" HAZARD OCCUPANCIES (BUSINESS AND ITS ACCESSORY STORAGE) MUST HAVE ONE FIRE EXTINGUISHER FOR EVERY 3,000 S.F.

MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER MUST BE 75 FEET FROM EACH OTHER

SECOND FLOOR OCCUPANCY LOADS			
USER DESCRIPTION	AREA (sqft)	FT/PERSON	OCCUPANT MAX PROBABLE
OFFICE (BUSINESS) (B)	2 841.00	100	29
STORAGE S-2	891	300	3
TOTAL	3 732.00		31

FIRST FLOOR OCCUPANCY LOADS			
USER DESCRIPTION	AREA (sqft)	FT/PERSON	OCCUPANT MAX PROBABLE
OFFICE (BUSINESS) (B)	1 738.88	100	18
STORAGE S-2	505.12	300	2
TOTAL	2 244.00		28

**TOTA OCCUPANT LOAD**

FIRST AND SECOND FLOOR (BOTH UNITS COMBINED) = 59 PERSONS

PROBABLY OCCUPANT MAX

4 DOORWAY EXITS 36" WIDE, PROVIDE TOTAL 144" WIDE EGRESS WIDTH/PERSON SERVED WITH EXISTING SPRINKLER SYSTEM = 144/0.2 (LEVEL FACTOR) PROVIDE OPENING FOR 720 PEOPLE

OCCUPANCY "S-2" WITH EXISTING SPRINKLER SYSTEM MAX. ALLOWABLE TRAVEL DISTANCE TO EXIT= 400 FEET

MAX. TRAVEL DISTANCE TO EXIT PROVIDED= 82'-0"

**COMMON PATH OF TRAVEL**

OCCUPANCY "S-2" WITH SPRINKLER SYSTEM MAX. ALLOWABLE COMMON PATH OF TRAVEL DISTANCE= NO LIMITED

MAX. COMMON PATH OF TRAVEL DISTANCE PROVIDED= 30'-0"

**CORRIDORS**

CORRIDORS OF BUSINESS OCCUPANCIES ARE NOT REQUIRED TO BE FIRE RATED SINCE THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED SUPERVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13, (STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEM CHAPTER 9.3.3.1 NFPA 101:2012)

**LIFE SAFETY NOTE**

ALL FINISH MATERIALS ON ROOMS AND ENCLOSED SPACES SHALL BE MINIMUM CLASS - B, FLAME SPREAD FOR EXIT ENCLOSURES, CORRIDORS AND EXIT PASSAGEWAY ALL INTERIOR FINISHES SHALL BE CLASS - A, FOR FIRE PROTECTION DEVICES. SMOKE HEAT DETECTORS FIRE ALARM AND OTHER REFER TO ELECTRICAL AND FIRE PROTECTION DRAWINGS.

**NOTE:**

FBC SECTION 1008.1.1

MINIMUM DOOR OPENING REQUIRED - 32, WIDE FBC 2014 SECTION 1008.1.1

MINIMUM DOOR OPENING PROVIDED= 36, WIDE

MINIMUM STAIR WIDTH REQUIRED= 36, WIDE FBC 2014 SECTION 1009.4

MINIMUM STAIR WIDTH PROVIDED= 36, WIDE

FBC SECTION 1017.3

MINIMUM AISLES REQUIRED= 36, WIDE

MINIMUM STAIR WIDTH REQUIRED= 44, WIDE

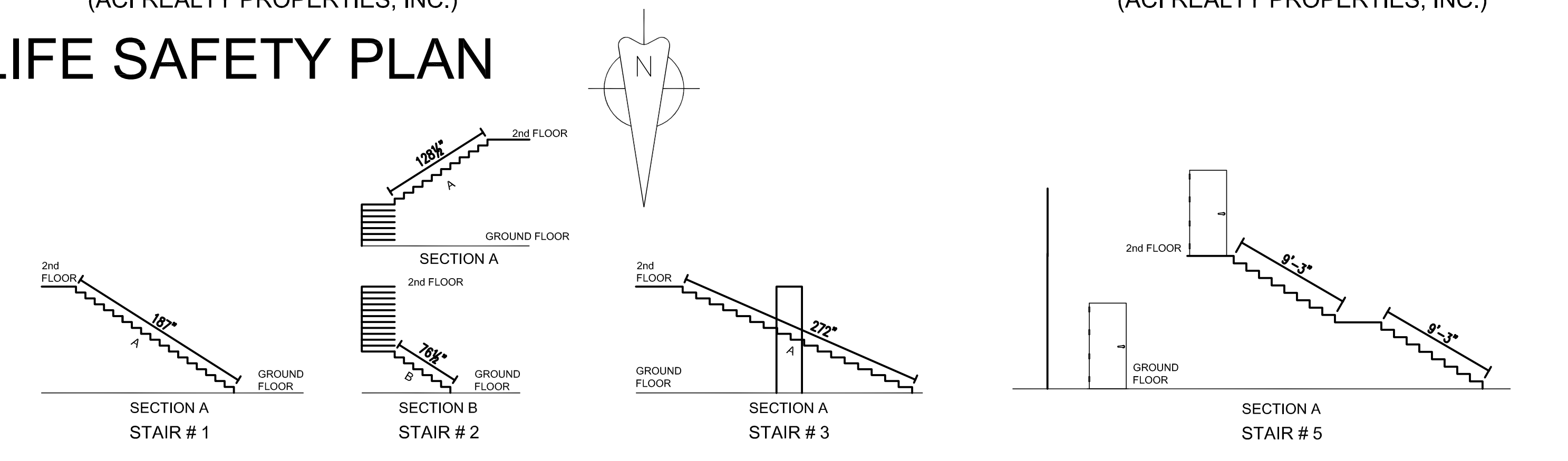
**CODE SUMMARY**

PER TABLE 503-ALLOWABLE HEIGHT AND BUILDINGS AREA

BUILDING TYPE OF CONSTRUCTION IS TYPE IIA

**SECOND FLOOR LIFE SAFETY PLAN**  
SCALE 1/4"=1'

2ND AREA CALCULATIONS	GROSS SQ. FOOTAGE
STORAGE S-2	891.35
OFFICE (BUSINESS)	2840.65
TOTAL AREA	3 732.00



**ADOLF D. LOPEZ, AIA**  
ARCHITECT - FLORIDA  
15395 S.W. 113 TERRACE, MIAMI, FL 33196, TEL: (305) 382-6325

ADOLF D. LOPEZ, AIA  
LIC. # AR0019030

PROJECT: **AREDA CONSTRUCTION OFFICES UPGRADE**  
5735-5737 NW 151st STREET  
MIAMI LAKES, FL. 33014

**REVISIONS**

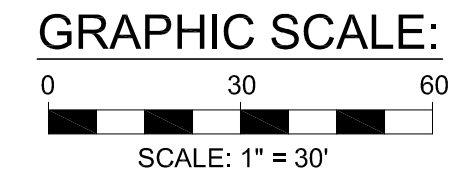
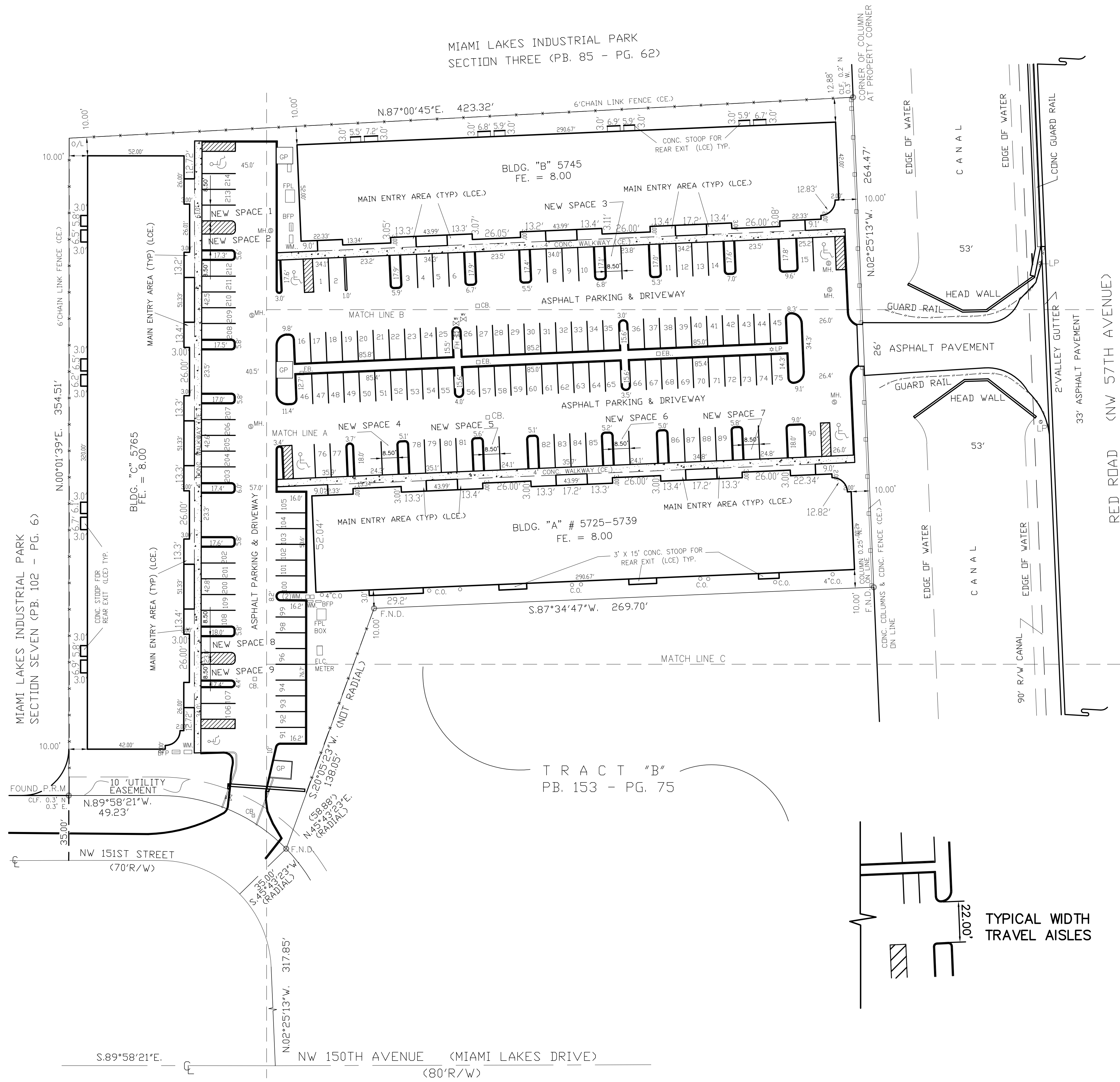
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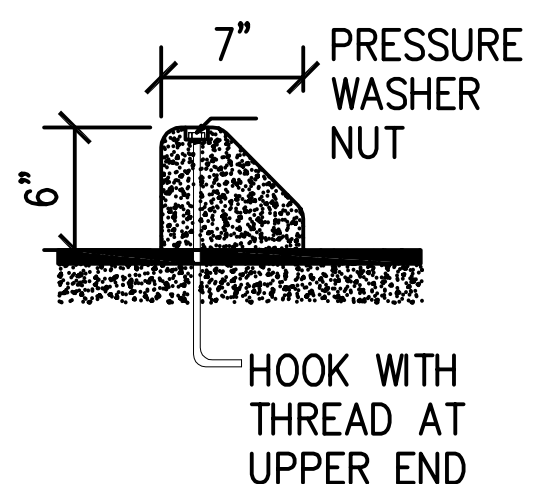
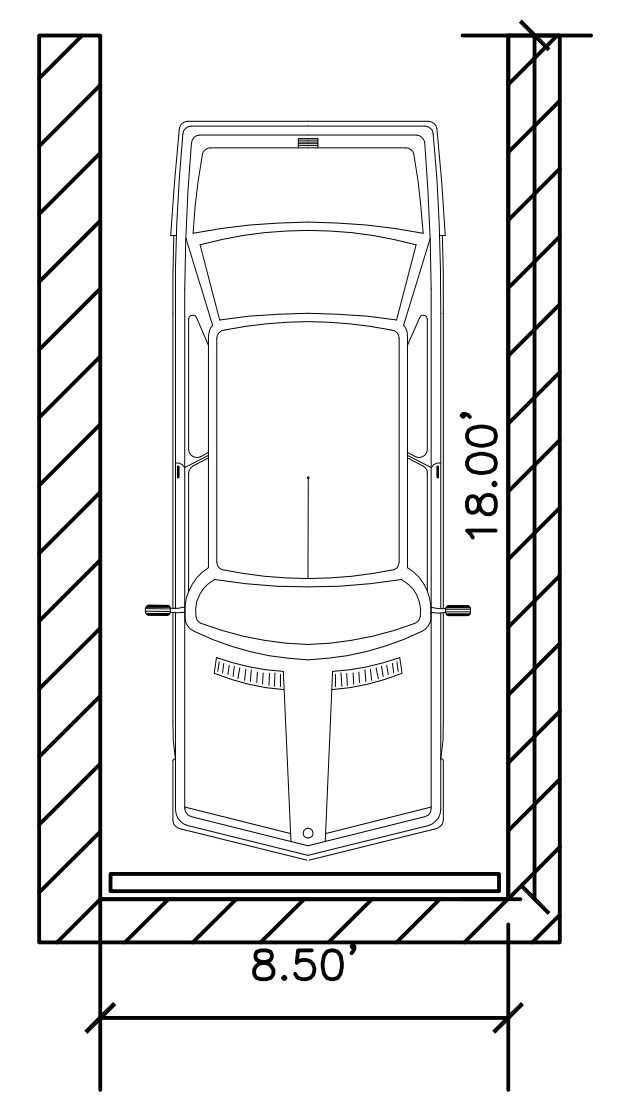
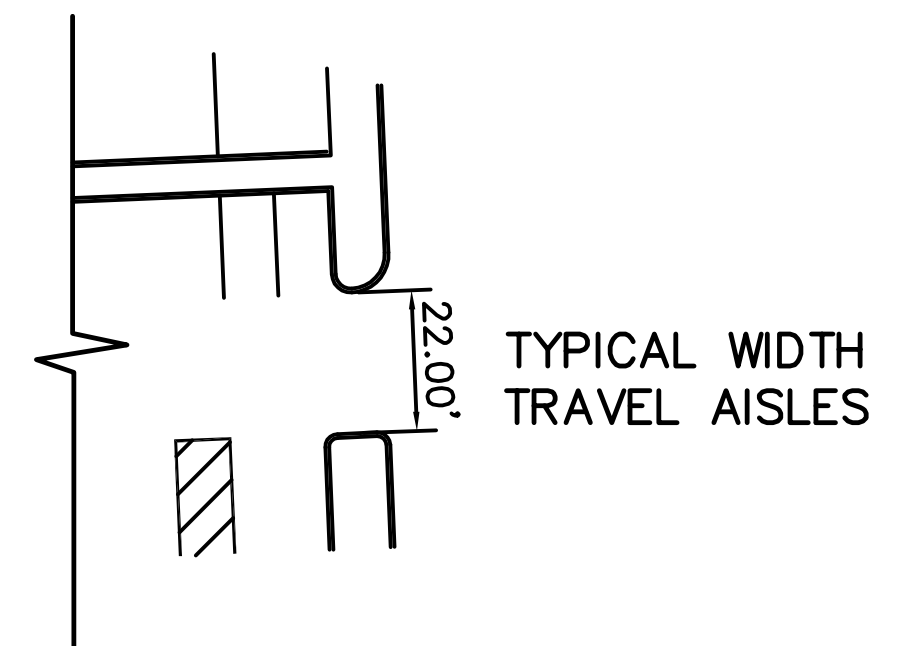
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**A.11**

MIAMI LAKES INDUSTRIAL PARK  
SECTION THREE (PB. 85 - PG. 62)



EXISTING PARKING SPACES 123  
PROPOSED PARKING SPACES 9  
EXISTING HANDICAP SPACES 6  
PROPOSED HANDICAP SPACES N/A



CONCRETE CURB STOP SECTION

**ADOLF D. LOPEZ, AIA**  
ARCHITECT - FLORIDA  
15388 S.W. 113 TERRACE, MIAMI, FL. 33196. TEL. (800) 382.6325

ADOLF D. LOPEZ, AIA  
LIC # 14016059

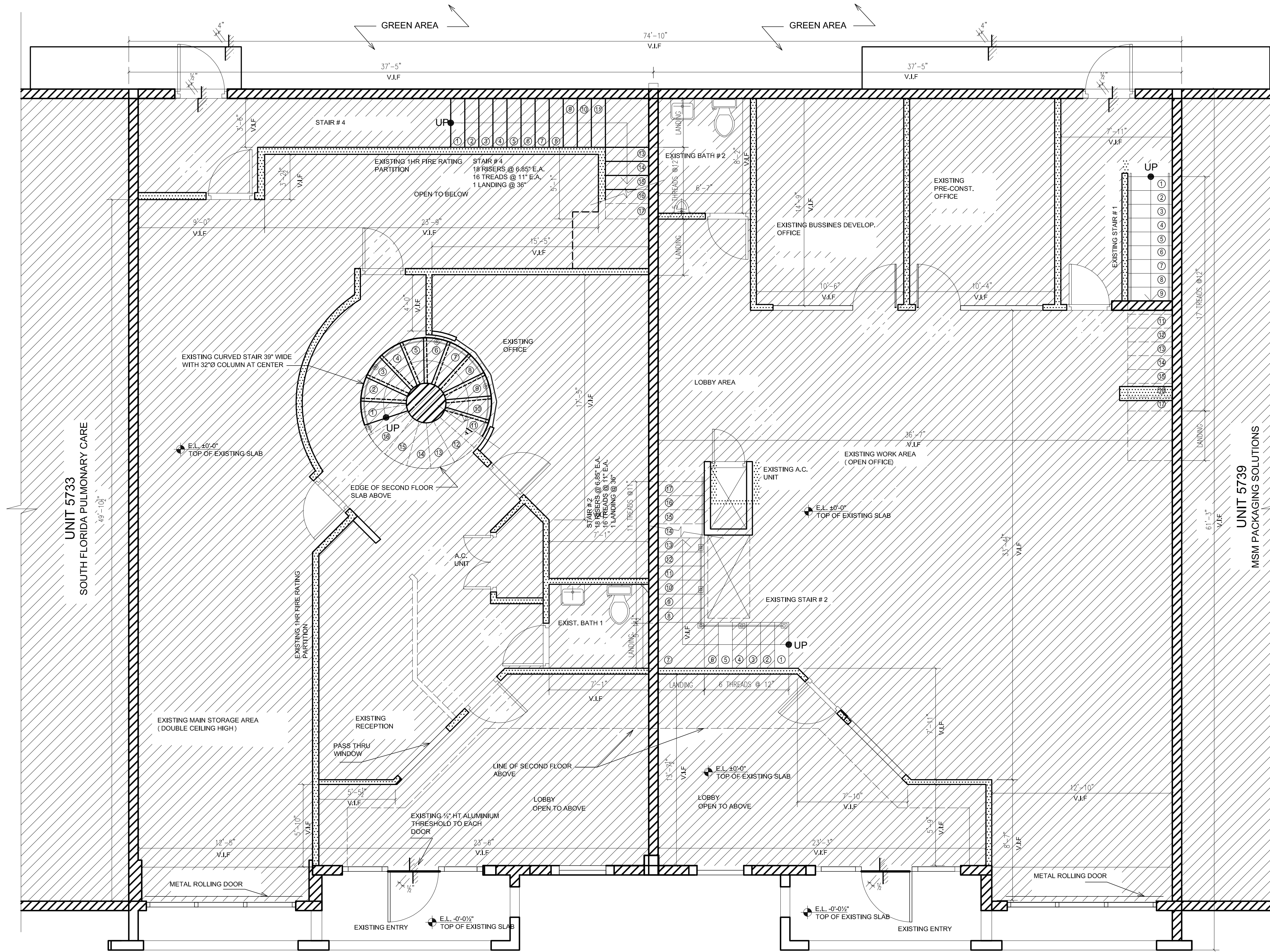
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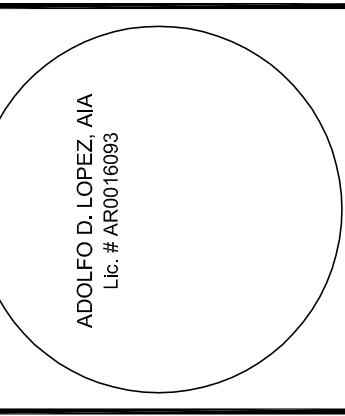
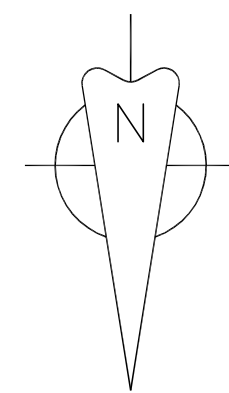
**A.2**



UNIT 5735  
(ACI REALTY PROPERTIES, INC.)

UNIT 5737  
(ACI REALTY PROPERTIES, INC.)

EXISTING GROUND FLOOR PLAN  
SCALE 1/4"=1'

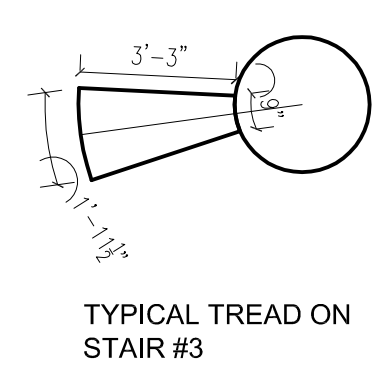
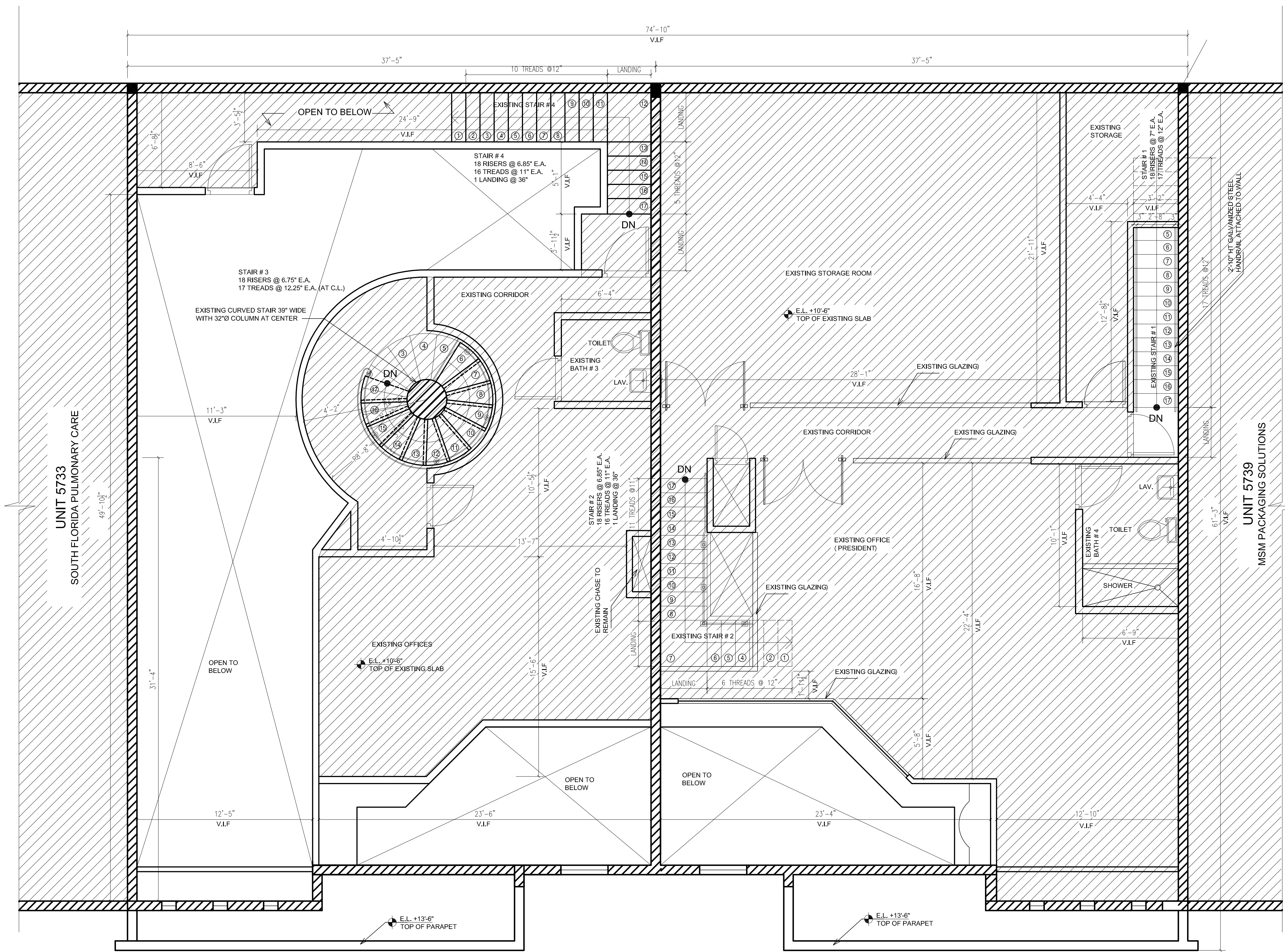


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UNIT 5733  
SOUTH FLORIDA PULMONARY CARE

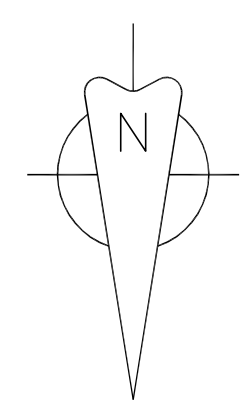
UNIT 5735  
(ACI REALTY PROPERTIES, INC.)

UNIT 5737  
(ACI REALTY PROPERTIES, INC.)

UNIT 5739  
MSM PACKAGING SOLUTIONS

# EXISTING SECOND FLOOR PLAN

SCALE 1/4"=1'

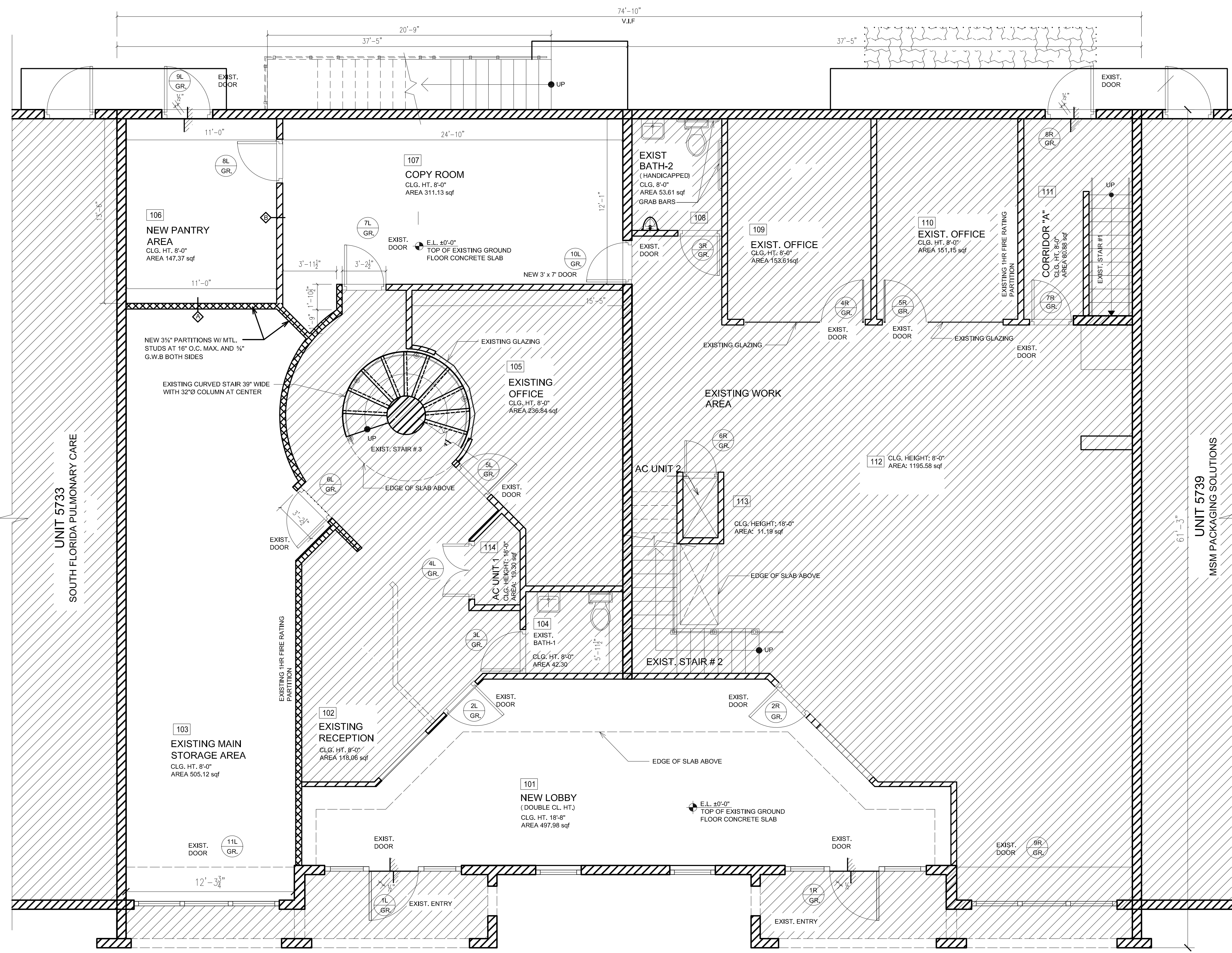


PROJECT: **AREDA CONSTRUCTION OFFICES UPGRADE**  
**5735-5737 NW 151st STREET**  
MIAMI LAKES, FL. 33014

#	DATE	DESCRIPTION
1B	03/18/16	BY OWNER

PROJECT NUMBER:  
**ADL031816**

DRAWN BY:  
CHECKED BY:  
ISSUE DATE: 03-18-16



**LEGEND**

- EXISTING SLAB AREA OR SPACE TO REMAIN (NO WORK)
- EXISTING PARTITION OF CMU WALL
- NEW 3/4" METAL STUDS AT 16" O/C WITH 1/4" G.W.B. BOTH SIDES (TYPE "X") VHR FIRE RATED PARTITION.
- NEW 3/4" METAL STUDS AT 16" O/C WITH 1/4" G.W.B. BOTH SIDES PARTITION.

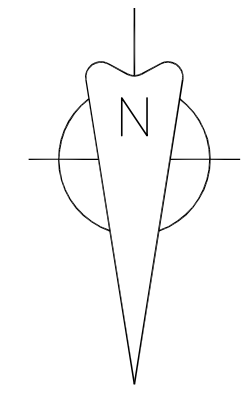
UNIT 5733  
SOUTH FLORIDA PULMONARY CARE

UNIT 5739  
MSM PACKAGING SOLUTIONS

**UNIT 5735**  
(ACI REALTY PROPERTIES, INC.)

**UNIT 5737**  
(ACI REALTY PROPERTIES, INC.)

**PROPOSED GROUND FLOOR PLAN**  
(COMBINED UNITS)  
SCALE 1/4"=1'



**ADOLFO D. LOPEZ, AIA**  
Architect - FLORIDA  
15395 S.W. 113 TERRACE, MIAMI, FL 33196, TEL. (305) 382-6325

ADOLFO D. LOPEZ, AIA  
LIC. # AR0019033

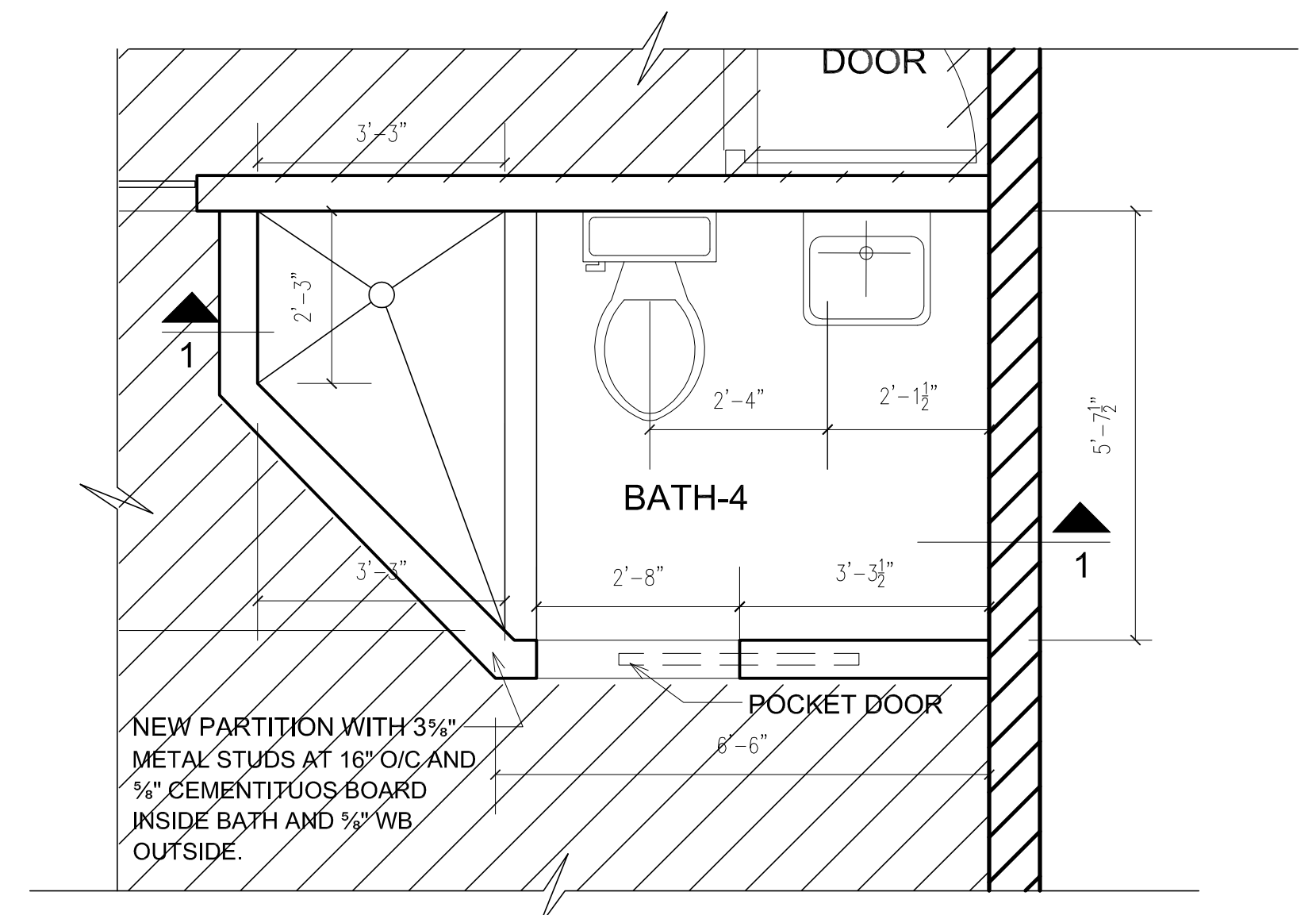
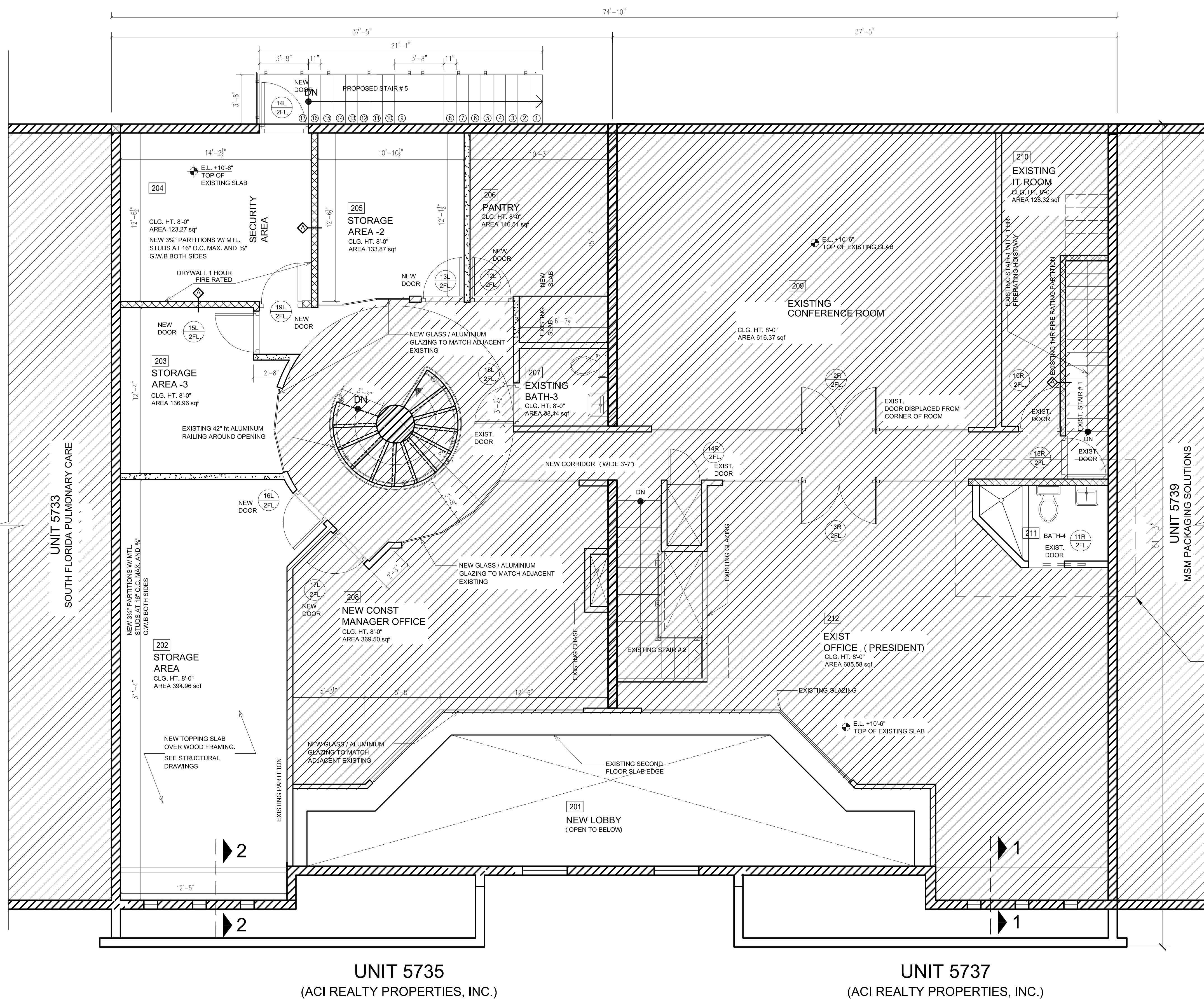
**PROJECT:** AREDA CONSTRUCTION OFFICES UPGRADE  
**5735-5737 NW 151th STREET**  
MIAMI LAKES, FL. 33014

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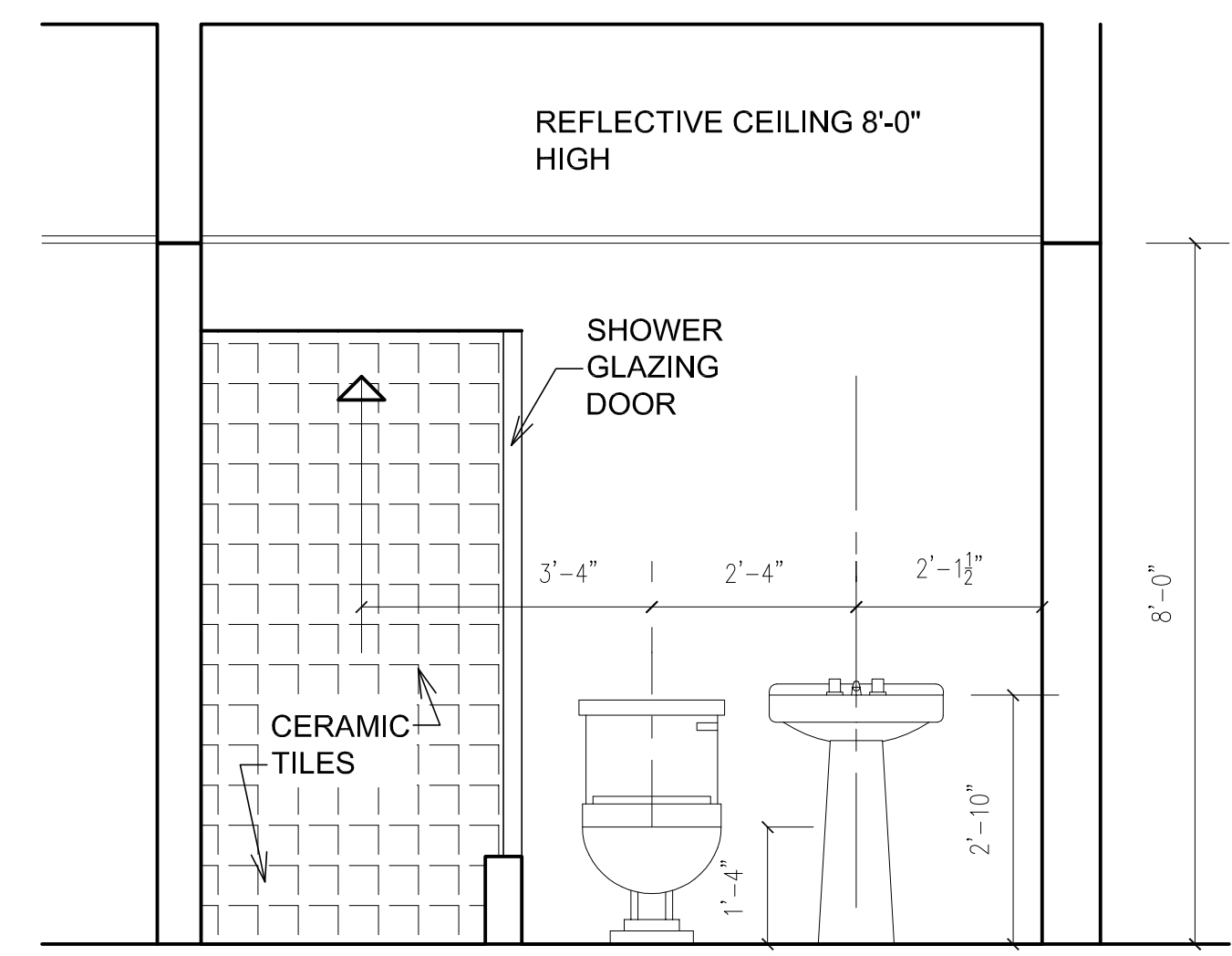
PROJECT NUMBER:  
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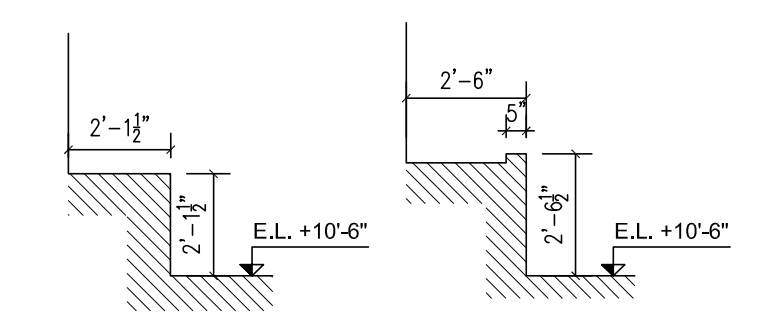
**A.7**



ENLARGED FLOOR PLAN BATH-4



ELEVATION BATH - 4  
SCALE 1/2"=1'



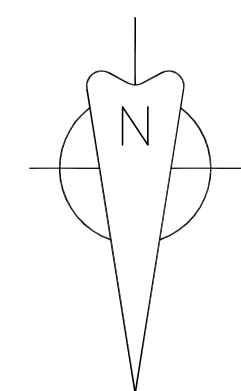
SECTION 1-1  
SCALE 1/4"=1'  
INTERNAL PARAPET  
(ROLLING DOOR BELOW)

SECTION 2-2  
SCALE 1/4"=1'  
INTERNAL PARAPET  
(ROLLING DOOR BELOW)

LEGEND

- EXISTING SLAB AREA OR SPACE TO REMAIN (NO WORK)
- EXISTING PARTITION OF CMU WALL
- NEW 3/4" METAL STUDS AT 16" O/C WITH 3/4" G.W.B. BOTH SIDES (TYPE "X") VHR FIRE RATED PARTITION.
- NEW 3/4" METAL STUDS AT 16" O/C WITH 3/4" G.W.B. BOTH SIDES PARTITION.
- NEW DRYWALL ON UPGRADE AREAS

PROPOSED SECOND FLOOR PLAN  
(COMBINED UNITS)  
SCALE 1/4"=1'



UNIT 5735  
(ACI REALTY PROPERTIES, INC.)

UNIT 5737  
(ACI REALTY PROPERTIES, INC.)

ADOLFO D. LOPEZ, AIA  
ARCHITECT - FLORIDA  
15395 S.W. 113 TERRACE, MIAMI, FL 33196, TEL. (305) 382-6325

ADOLFO D. LOPEZ, AIA  
LIC. # AR0019033

PROJECT: AREDA CONSTRUCTION OFFICES UPGRADE  
5735-5737 NW 151th STREET  
MIAMI LAKES, FL. 33014

REVISIONS		
#	DATE	DESCRIPTION
1b	03/18/16	BY OWNER

PROJECT NUMBER:  
**ADL031816**

DRAWN BY:  
CHECKED BY:  
ISSUE DATE: 03-18-16

**A.8**