

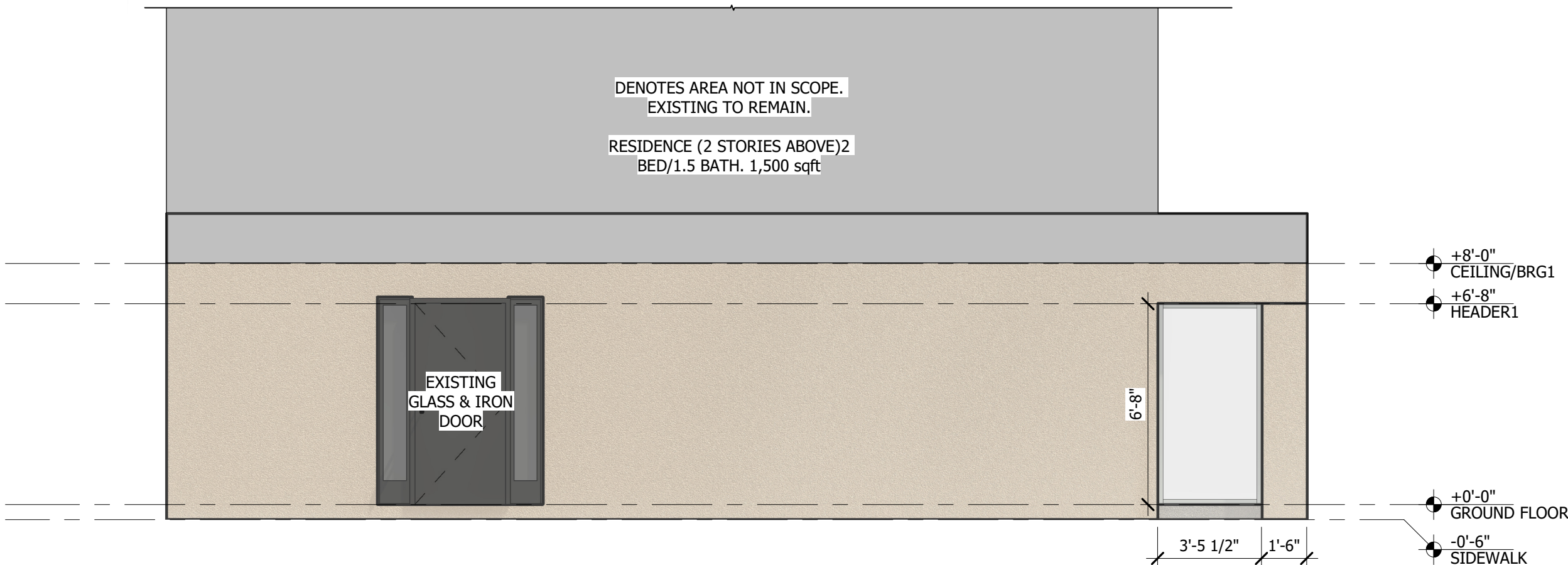
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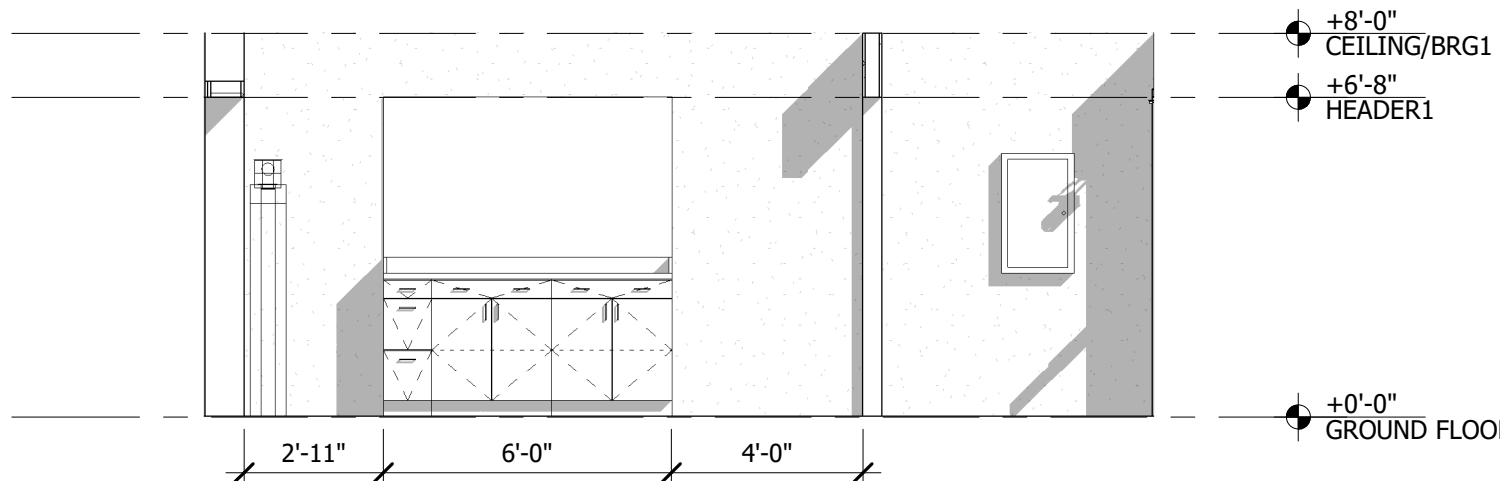
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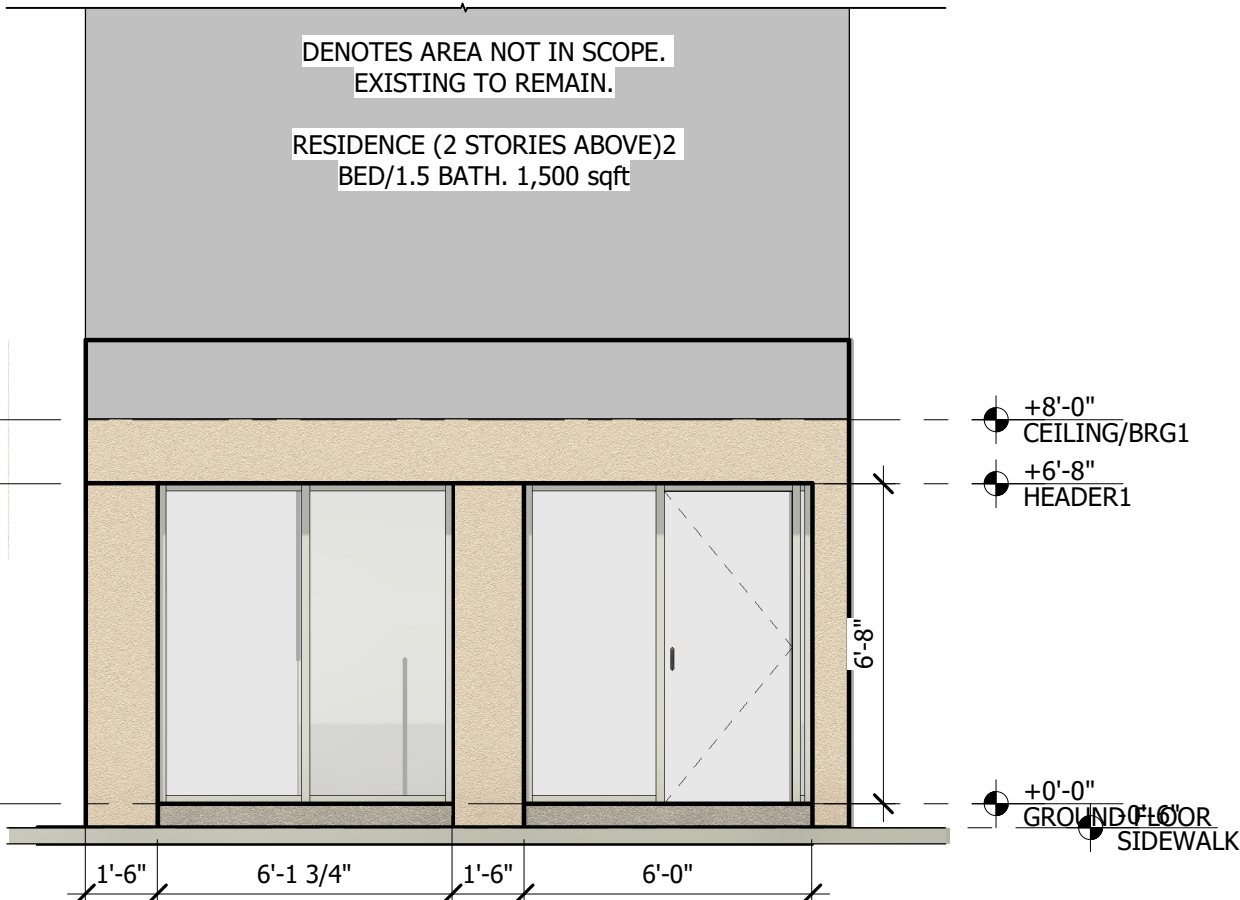
E2 ELEVATION - EAST FACADE

SCALE: 1/4" = 1'-0"



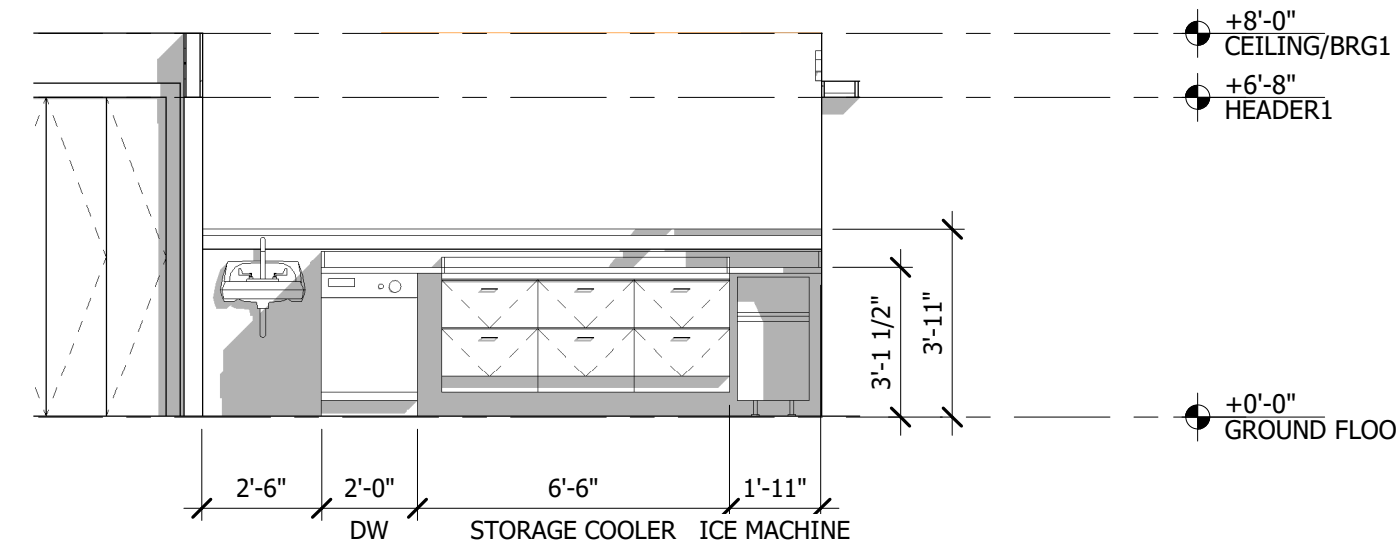
4 ELEVATION AT BACK WALL

SCALE: 1/4" = 1'-0"



E1 ELEVATION - NORTH FACADE

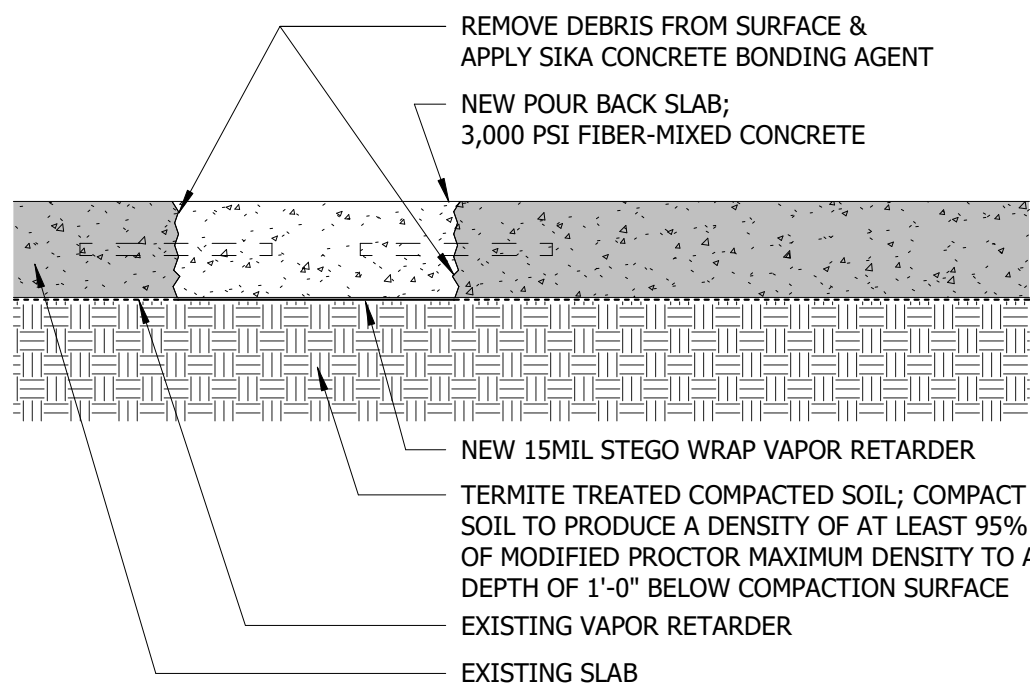
SCALE: 1/4" = 1'-0"



1 ELEVATION AT BAR

SCALE: 1/4" = 1'-0"

NOTE: FOR TRENCHES WIDER THAN 18", INSTALL 10" #4 DOWELS AT 48" OC, DRILL & EPOXY 4" MIN. INTO EXISTING SLAB.

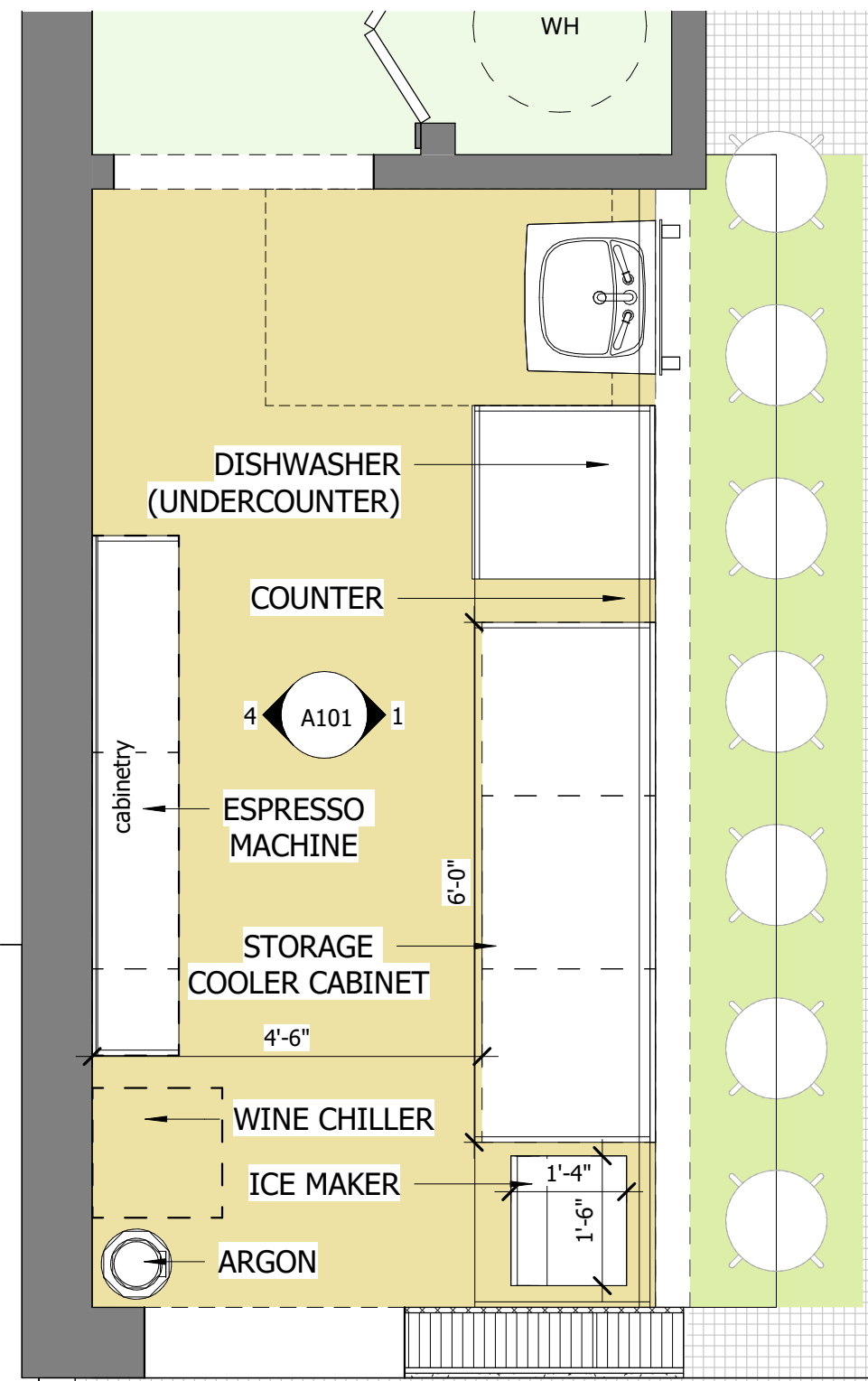


SLAB REPAIR DETAIL

SCALE: NOT TO SCALE

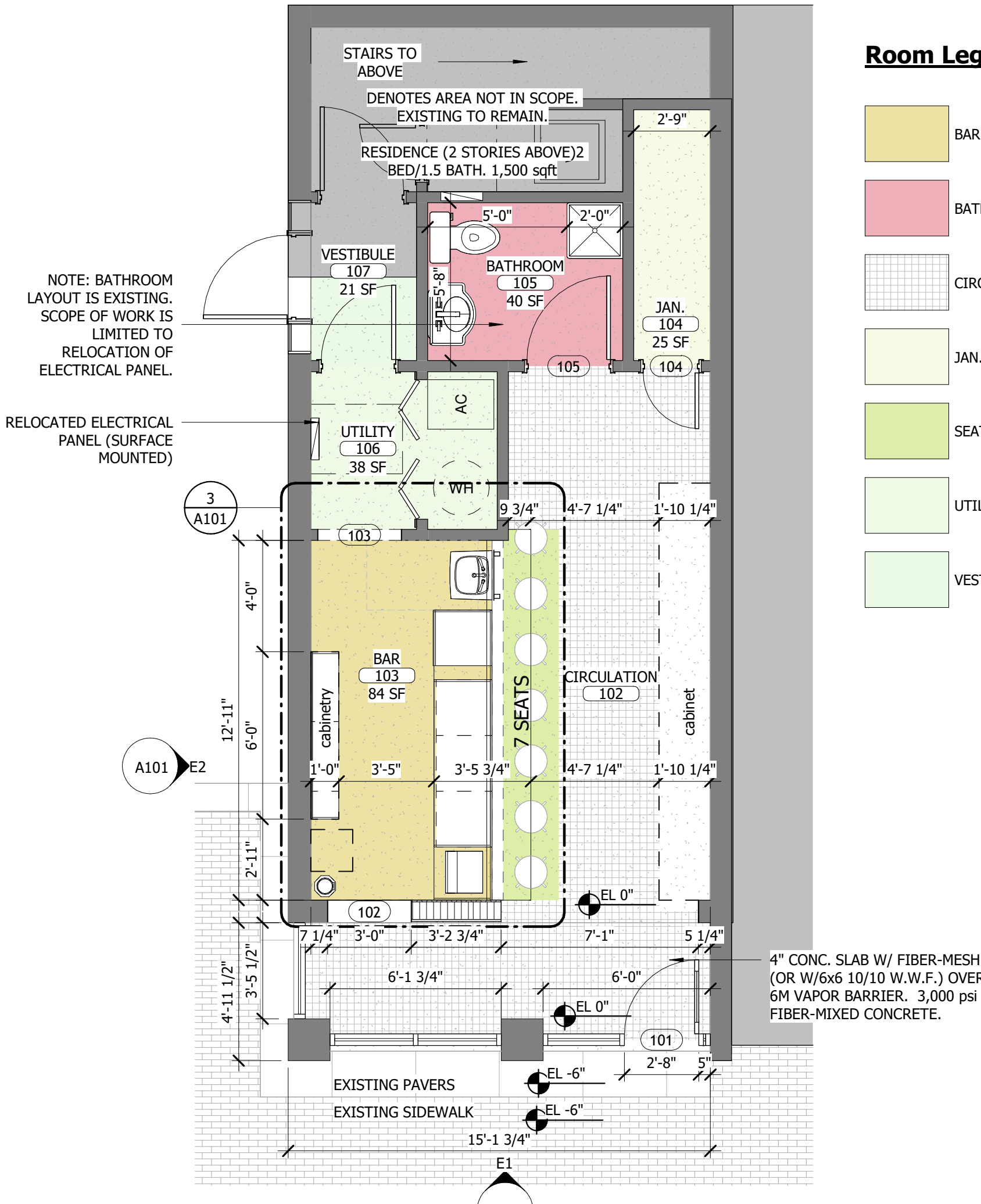
Room Legend

- BAR
- BATHROOM
- CIRCULATION
- JAN.
- SEATING
- UTILITY
- VESTIBULE



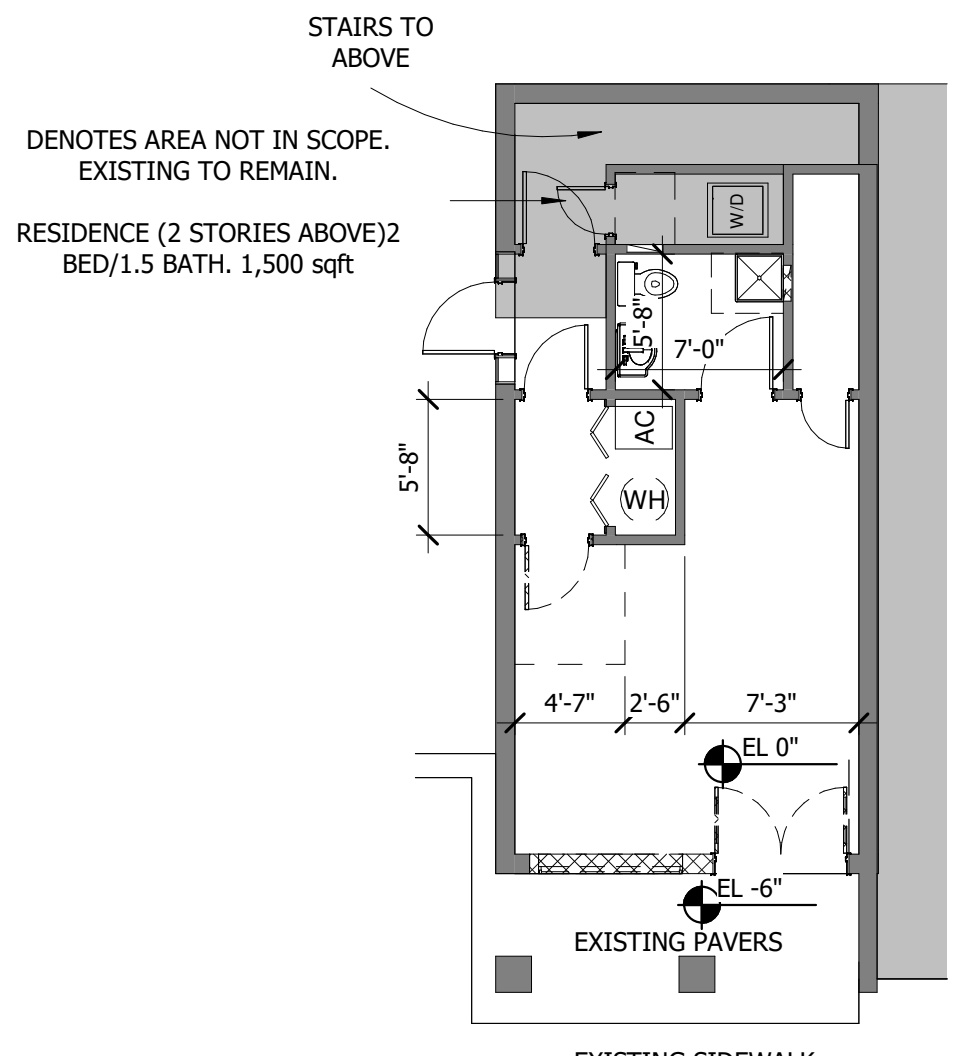
3 ENLARGED PLAN - BAR

SCALE: 1/2" = 1'-0"



2 FLOOR PLAN - 1ST FLOOR

SCALE: 1/4" = 1'-0"



5 DEMO PLAN - 1ST FLOOR

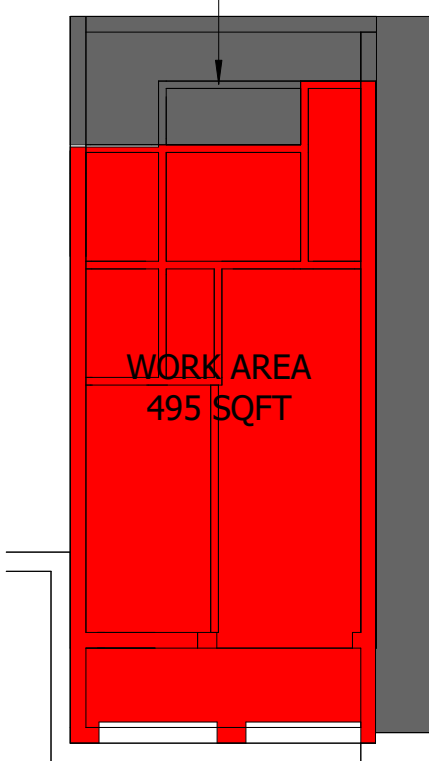
SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

#	NOTE	REV
1	DEMOLITION WORK IS TO BE DONE IN ADHERENCE TO THE LANDLORD'S REQUIREMENTS FOR TIME AND DURATION OF HEAVY NOISE. CONTRACTOR TO COORDINATE WITH FACILITY ABOUT HOURS OF WORK, AND USE OF OCCUPIED SPACE.	
2	SOME MINOR DEMOLITION IS NECESSARY FOR NEW CONSTRUCTION THAT IS NOT NOTED IN THIS PLAN.	
3	REMOVAL PROCEDURES OF THE EXISTING FINISH CAN VARY DEPENDING ON THE CONDITION OF THE EXISTING SUBSTRATE. NOTIFY ARCHITECT & OWNER IF THERE IS ANY DETRIMENTAL CONDITION SEEN BEYOND THE SCOPE OF WORK.	
4	CONTRACTOR TO PROTECT IN PLACE EXISTING UTILITIES OR REPAIR AS NEEDED FOR NEW CONSTRUCTION.	
5	CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING TENANT FIRE RATED WALLS OR FIREPROOFING AS NECESSARY.	
6	ITEMS IDENTIFIED FOR RE-USE ARE TO BE CAREFULLY REMOVED AND STORED AS DIRECTED BY THE LANDLORD. CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH AN INVENTORY OF THESE ITEMS.	
7	CAREFULLY REMOVE ALL DOORS, FRAMES & HARDWARE, DENOTED AS "(R)", FOR POTENTIAL RE-USE. DOORS ARE TO BE STAGED IN AREA CLEAN & FREE OF CONSTRUCTION DEBRIS. RETAIN ALL UNUSED DOORS, FRAMES & HARDWARE PER LANDLORD'S DISCRETION.	
8	CONFIRM WIDTH & HEIGHT OF DOORS AND HARDWARE; ALERT ARCHITECT OF ANY DISCREPANCIES.	
9	IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING BUILDING AREAS AND FINISHES FROM DAMAGE & SHALL, AT CONTRACTOR'S EXPENSE, RESTORE TO ORIGINAL CONDITION ANY AREAS OR FINISHES DAMAGED BY THE WORK.	
10	ELECTRICAL OUTLETS & SWITCHES THAT OCCUR IN WALLS TO BE REMOVED SHALL HAVE THE WIRING PULLED BACK TO THE J-BOX OR PANEL.	
11	PATCH & REPAIR WALLS WHICH ARE TO REMAIN WHEN ADJACENT PERPENDICULAR WALLS ARE REMOVED.	
12	PATCH & REPAIR EXISTING WALLS TO REMAIN WHEN MILLWORK IS REMOVED.	
13	WHERE NEW FLOORING IS SCHEDULED, REMOVE EXISTING FLOOR FINISH AND PREPARE SURFACE FOR INSTALLATION OF NEW FLOORING, UNO. COORDINATE WITH FLOOR FINISH PLANS.	
14	CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. DIMENSIONS SHOWN ON DEMOLITION DRAWINGS ARE APPROXIMATE.	
15	REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.	
16	AT ALL TIMES, THE CONTRACTOR SHALL KEEP ALL REQUIRED EGRESS EXIT PATHS UNOBSTRUCTED, ILLUMINATED AND PROTECTED FROM CONSTRUCTION ACTIVITY.	
17	PROVIDE TEMPORARY PLASTIC DUST BARRIER HUNG FROM CEILING AS SHOWN. TAPE ALL SEAMS AND EDGES. REMOVE AT END OF PROJECT.	
18	ALL HANGERS, STRAPS & OTHER ACCESSORY OBJECTS CONNECTED TO ITEMS BEING REMOVED SHALL BE REMOVED AS WELL.	
19	ERECT TEMPORARY BARRIERS, CLOSURES, PARTITIONS AND CAPS ON DUCTWORK AND SEAL TIGHT TO PREVENT THE SPREAD OF DUST AND DEBRIS FROM THE AREA TO ADJACENT OR NEARBY AREAS THAT REMAIN OCCUPIED AND OPERATIONAL.	
20	SPRINKLER HEADS, SMOKE AND FIRE DETECTION EQUIPMENT MUST BE SHIELDED TO AVOID FALSE ALARMS. COORDINATE WITH FIRE PROTECTION CONTRACTOR.	
21	CONTRACTOR SHALL REMOVE ALL WIRING, CABLE AND CONDUIT NOT IN USE IN AREAS OF WORK FROM WITHIN WALLS AND ABOVE CEILING. COORDINATE WITH BUILDING MANAGER.	
22	ON REMAINING WALLS ADJACENT TO THOSE BEING DEMOLISHED, EXISTING BASE SHALL BE REMOVED BACK TO NEAREST INSIDE CORNER AND WALLS SHALL BE REPAIRED SO AS TO CREATE A SMOOTH SURFACE READY TO RECEIVE NEW BASE.	
23	CONTRACTOR TO CONSTRUCT OR PROVIDE PROTECTION BARRIERS AS NEEDED FOR SAFETY AND TO CONTAIN DUST DUE TO DEMOLITION. CONTRACTOR SHALL TAKE CAREFUL MEASURES TO CONTAIN THE SPREAD OF DUST AND FUMES OUT OF THE WORK AREA THROUGH OPENINGS, DUCTWORK ETC.	
24	SEAL ALL GRILLES AND DIFFUSERS AGAINST DUST PRIOR TO BEGINNING CONSTRUCTION. REMOVE ALL SEALS AFTER WORK IS COMPLETE. VERIFY DUCTS ARE FREE OF MOLD AND DEBRIS PRIOR TO OCCUPANCY. GENERAL CONTRACTOR SHALL PERFORM NECESSARY CORRECTIVE MEASURES TO ABATE ANY DEFICIENCIES.	
25	TRENCH FOR NEW PLUMBING TO BE COORDINATED BY GENERAL CONTRACTOR BASED ON EXISTING CONDITIONS.	

DENOTES AREA NOT IN SCOPE. EXISTING TO REMAIN.

RESIDENCE (2 STORIES ABOVE)2 BED/1.5 BATH. 1,500 sqft



KEY PLAN

SCALE: NOT TO SCALE

PLAN LEGEND

N.I.C. DENOTES AREA NOT IN CONTRACT. ITEMS IN THIS AREA HAVE NOT BEEN VERIFIED. EXISTING TO REMAIN.

WALL PHASING

Respective to the views phase, walls are depicted as shown:

- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- NEW WALL (WOOD)
- NEW WALL (BLOCK)

DOOR TAG LEGEND

- DOOR TYPE
- DOOR SUB-TYPE
- WIDTH (INCHES)
- HEIGHT (INCHES)

COMMERCIAL REMODEL

898 E. WASHINGTON ST
ORLANDO, FL

FEBLES-GONZALEZ

Submissions

#	DATE	DESCRIPTION	DRAWN BY
1	YYYY MM/DD	INITIAL SUBMISSION	

DATE:
2025 July,02

SCALE:
AS SHOWN

JOB NUMBER:
24112

I agree to the terms defined by the placement of my signature on this document.

ALEJANDRO J. MUNOZ
AR 102135

This form has been electronically signed and sealed on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

STUDIO
ARCHITECTURE

407.476.7782

Plans@StudioAM-US.com

A101

FLOOR PLAN - NEW

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