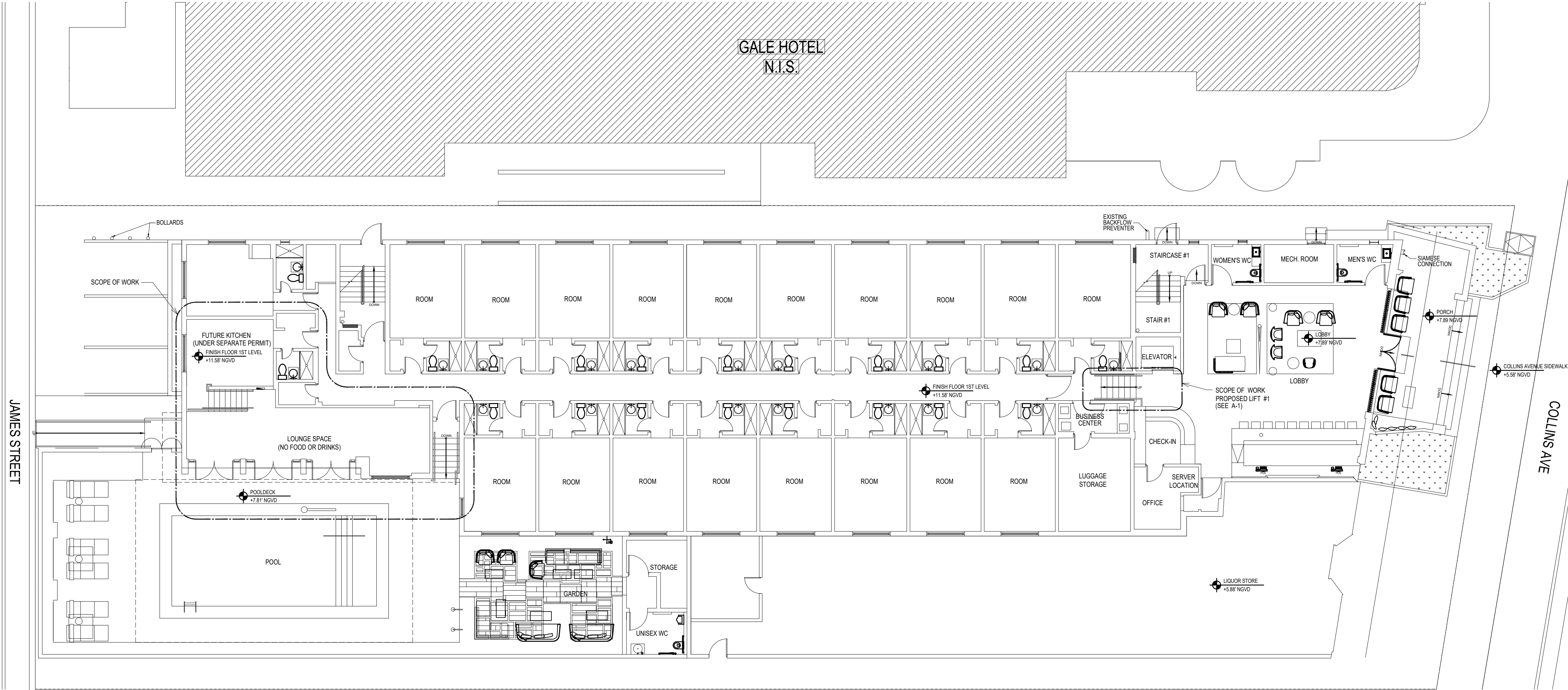


LOCATION PLAN

SCALE: N.T.S.

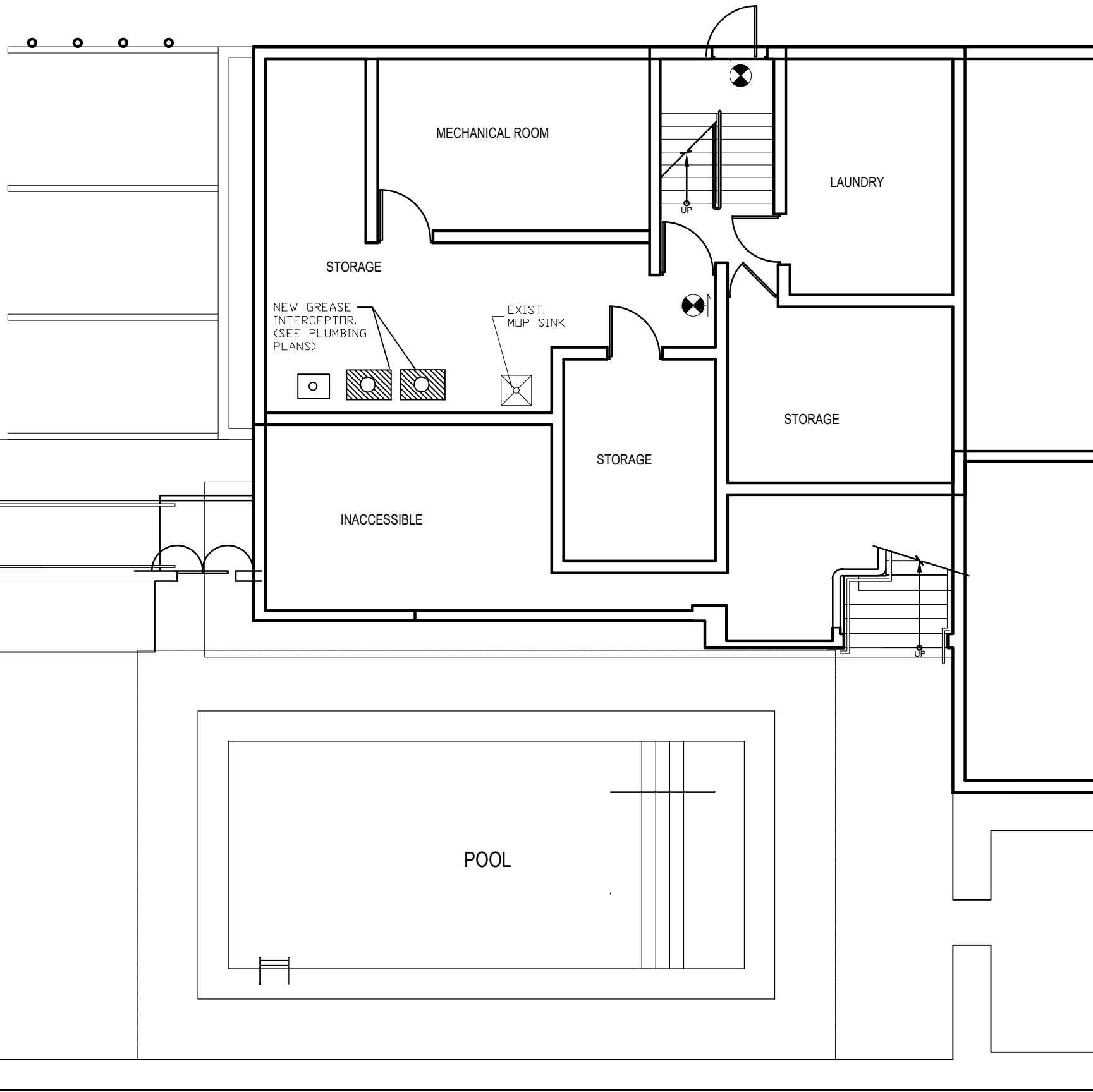
GENERAL NOTES:

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE-EDITION 2017 FOR EXISTING BUILDING AND ALL REGULATORY LOCAL AND GOVERNMENTAL CODES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS FOR THE CONSTRUCTION AND SUBSEQUENT OCCUPANCY OF THE PROJECT.
4. ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE DONE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, RULES AND REGULATIONS HAVING JURISDICTION.
5. CONTRACTOR TO PROVIDE ALL SUPPLEMENTARY MATERIALS REQUIRED TO INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS.
6. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EQUIPMENT AND UTILITIES TO BE REMOVED. REMOVALS SHALL BE COORDINATED WITH THE OWNER AND ALL BUILDING AUTHORITIES HAVING JURISDICTION.
7. CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDING IN THE DRAWINGS.
8. IF ANY CHANGES AND/OR DEVIATIONS ARE MADE TO THESE PLANS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND/OR DEVIATIONS.
9. IF DURING THE COURSE OF CONSTRUCTION ANY DEVIATIONS ARE MADE AT THE FIELD, AGAIN, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND DEVIATIONS.
10. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR DESIGN CONFORMANCE ONLY.
11. SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE ARCHITECT OR ENGINEERS.
12. CONTRACTOR OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING HIS OPERATION AND ANY DAMAGE TO HIS WORK WHILE PROJECT IS UNDER CONSTRUCTION.
13. ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT WHERE THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED IF THESE DRAWINGS OR ANY PART THERE OF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO ARCHITECT FOR HIS FULL COMMISSION.



SITE PLAN

SCALE: 3/32" = 1'



EXISTING PARTIAL BASEMENT PLAN

SCALE: 1/8" = 1'

PROPERTY ADDRESS:

SAN JUAN HOTEL
1680 COLLINS AVE.
MIAMI BEACH, FLORIDA 33139

LEGAL INFO

ALTON BEACH 1ST SUB PB 2-77
LOT 8 & S1/2 LOT 9 BLK 30
LOT SIZE 75,700 X 237
OR 16126-3856 1093 4
COC 26529-4372 08 2008 5

PROJECT INFO:

FLORIDA BUILDING CODE 6th 2017 , EXISTING BUILDING
NEC 2014
FIRE PREVENTION CODE 2015
NFPA 101

CLASSIFICATION OF WORK= MODIFICATION (43.2.2.1.3)/
RENOVATION (43.2.2.2.3)
TYPE OF CONST. II-A
AREA OF ALTERATION = 352.5 S.F.
LEVEL OF ALTERATION = LEVEL 2

SCOPE OF WORK:

- 2 NEW CHAIR LIFTS TO MAKE INTERMEDIATE LEVEL AT HOTEL INCLUDING CABANAS AND POOL DECK ACCESSIBLE
- EXISTING LOUNGE SPACE AT EXISTING HOTEL TO BE CONVERTED INTO NEW CAFETERIA
- NEW EQUIPMENT, COUNTERS, TABLES, PARTITION, BUILT-IN, ETC. AS PER PROPOSED FLOOR PLAN
- NEW LIGHTS AND RECEPTACLES FOR EQUIPMENT AS SHOWN ON ELECTRICAL PLAN
- NEW PLUMBING LINES, SANITARY LINES, GREASE TRAP, ETC. AS SHOWN ON PLUMBING PLANS
- NO MECHANICAL WORK

NOTE:

ALL LIFE SAFETY SYSTEMS INCLUDING FIRE SPRINKLERS, FIRE ALARMS AND SMOKE DETECTORS ARE EXISTING AND SHALL REMAIN ACTIVE DURING RENOVATION. (NFPA 101 4.6.11.1)

OCCUPANCY LOAD:

DINING AREA :
OCCUPANCY: GROUP B (BUSINESS) - DINING
OCCUPANCY LOAD: SITTING AREA - 227/15 S.F.(PER PERSON)
= 16 PER(ALLOWED)

SEATING AREA:

16 ALLOWED
6 PROVIDED

PREPARATION AREA :
OCCUPANCY: GROUP B (BUSINESS) - PREPARATION AREA
OCCUPANCY LOAD: 125.5 SF / 100 = 2 PERS.

KITCHEN AREA(FOOD PREPARATION):

2 ALLOWED
2 PROVIDED

TOTAL OCCUPANTS..... 18 PERS.

NOTE:

SEE SECTION : 303.1.1 SMALL BUILDINGS AND TENANT SPACES.
A BUILDING OR TENANT SPACE USED FOR ASSEMBLY PURPOSES
WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS SHALL BE
CLASSIFIED AS A GROUP B OCCUPANCY.

FOG 2.0 RER-DERM
Construction Inspection

Approval Date:	
Inspector:	
DERM Construction Inspection Required Prior to Plumbing Final for all Municipal projects. Failure to secure DERM Construction Inspection will result in disapproval of Final Inspection by the Municipal Building Official, pursuant to Section 24.42-6, MDC Code.	
To schedule DERM construction inspection for Municipal projects please send an email to FOG@miamidade.gov, 24 hours prior to desired date. Provide DERM plans process M-number, complete address of the site, folio number, and contact person name and phone number.	

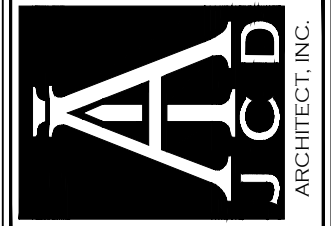
Revisions

06.05.18	1ST. ISSUE

INTERIOR REMODELING

SAN JUAN HOTEL, LLC.
1680 COLLINS AVENUE
MIAMI BEACH, FL. 33139

JCD ARCHITECT, Inc.
JUAN C. DAVID R.A. # 0015344
Design & Development
LEED ACCREDITED PROFESSIONAL



Job No.

Date

Scale SHOWN

Seal

AA-26001560

Sheet No.

A-0

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