

# City of Miami

Victoria Méndez  
City Attorney



Telephone: (305) 416-1800  
Telecopier: (305) 400-5071  
E-MAIL: Law@miamigov.com

July 12, 2022

Board of Rules and Appeals  
11805 S.W. 26<sup>th</sup> Street (Coral Way)  
Miami, FL 33175  
gaspar@miamidade.gov  
kathy.charles@miamidade.gov  
dexter@miamidade.gov

RE: APPEAL REGARDING 1265 SW 22 STREET,  
REVOCATION OF PERMIT NUMBER BD15-009792-001-B001

Dear Sir or Madam;

Please consider the following as the City of Miami Building Official's response to the appeal regarding the revocation of permit number BD15-009792-001-B001 ("Permit").

Delia Hospitality, LLC., Appellant, is requesting review by the Department because the City of Miami ("City") has revoked their Permit and did not attend a foundation inspection request made March 9, 2022. Appellant argues to this Department that the City applied the wrong standard with which to revoke the 2019 issued Permit.

The City properly revoked the Permit. Pursuant to Section 105.4.1.3, Florida Building Code ("FBC"). "Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days." Based on the application acceptance date of July 20, 2015, the governing code for this project is the Florida Building Code, 5th Edition (2014). The building permit was eventually issued on January 17, 2019. Today's FBC, (7th Edition), is already two code cycles beyond the original one under which this permit was issued. As of today's date, three and a half years later, Appellant has yet to complete its foundational work. *Attachment pages 053-073.*

Appellant is required to make good faith efforts to proceed with construction of their project and the City requiring them to also comply with Section 105.4.1.1, FBC does not in any

way raise the bar of what is required by all persons in possession of a permit. Both Sections are used together. Section 105.4.1.3, FBC states, “If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.” *emphasis added*. In this case, there could not be a clearer case of lack of progress. Appellant has barely done any work while exposing the entire neighborhood, including single-family homes to occasional work and the eyesore of vacant construction site. In three and a half years, Appellant has nothing to show but an abuse of the 180-day inspection requirement cycle. *Attachment pages 001-009*.

The project history, as documented with attachments, does not show that construction progress was pursued in a purposeful manner. To the contrary, the contractor scheduled inspections at the end of each applicable 180-day period as set forth in Section, 105.4.1.3, FBC, merely to keep the permit active. In some cases, requested inspections were irrelevant to the actual construction, for example:

- a. A Mechanical-Boiler inspection was scheduled for March 24, 2021; and
- b. A Zoning Final inspection was scheduled for July 21, 2021.

The Permit was renewed on January 8, 2020 and October 22, 2020 when no actions were taken. The two above requests made were not even related to the work in progress but were merely an attempt to use the rules to avoid an expired permit. Furthermore, due to the prolonged exposure of the steel reinforcement as a result of the inactivity of the project we had concerns regarding the corrosion build-up. On September 10, 2021, we received from Jaime H. Jaramillo a “Corrosion Assessment Report.” *Attachment 010 – 018*.

This lack of progress and refusal of Appellant to move forward with any meaningful progress creates an untenable situation and is contemplated as a valid reason to revoke a permit pursuant to the FBC. This is, again, also problematic when the construction activity is dormant, for that is when vandalism or other criminal activity is more likely to occur. Since the Permit was issued the property has received numerous complaints. Which in turn have resulted in 14 Code Enforcement violation cases being opened. The cases range from failure to maintain lot in a safe condition, illegal use of property, graffiti, failure to maintain right of way and failure to secure property. *Attachment pages 039-052*. As such, the current pace of construction creates an unfair burden for our residents.

In conclusion, the City revoked Permit BD15009792001B001 for the project located at 1265 SW 22 ST due to lack of progress pursuant to Section, 105.4.1.1, FBC. Appellant can show no meaningful progress of work under this Permit. Why they have failed to act, whether it is financial constraints or other issues is of no merit and should not be considered by the Department. We, therefore, we respectfully request that our revocation of this Permit be upheld.

Should you require additional information, or have any questions concerning this matter, please do not hesitate to contact the undersigned, Senior Assistant City Attorney Rachel S Glorioso Dooley at (305) 416-1886 or email [rsdooley@miamigov.com](mailto:rsdooley@miamigov.com) or Building Official Luis Torres, III at (305) 416-1101 or email at [ltorresIII@miamigov.com](mailto:ltorresIII@miamigov.com).

Sincerely,

*Rachel S. Glorioso Dooley*  
Senior Assistant City Attorney  
Office of the City Attorney  
Miami, Florida  
444 SW 2 Avenue, Suite 945  
Miami, Florida 33130  
Telephone: (305)416-1886  
Email: [rsdooley@miamigov.com](mailto:rsdooley@miamigov.com)  
Email: [mgriffin@miamigov.com](mailto:mgriffin@miamigov.com)

cc:  
Division Chief, Christopher Green  
Counsel for Appellant

Attachments

**iBuild Miami**

Search by Address, Process Number, Permit Number



Hi Luis



Building

Waiting List

Start Application

Contractor

Manage Application

Manage Permit

Inspections

Admin

Reports

Miscellaneous

Payments

Help

**Permit Inquiry: BD15-009792-001-B001 (1265 SW 22 ST)**

General Info

Documents

Events

Required Inspections/Documents

Fees

Notes (33)

Certificates

**General Information** [View Inquire Plan](#)

Permit Number: **BD15-009792-001-B001**

Permit Type: **BUILDING**

Job Category: **NEW CONSTRUCTION**

Pulled By: **RIVERSIDE\RConstantiny**

Job Address: **1265 SW 22 ST**

Issued Date: **Jan/17/2019**

Folio Number: **01-4139-007-3350**

Expiration Date: **Dec/19/2022**

Status: **Revoked**

Total Cost: **\$19,800,000.00**

Status Reason: **Revoked**

Total SQFT: **171305**

Status Date: **Jun/22/2022**

Permit Work Items:

26 OR MORE LODGING UNITS

**Permit Holder**

Qualifier License: **CGC1516430**

Company Name: **ARIES LINKS, LLC**

First Name: **ANTONIO C**

Last Name: **SANCHEZ**

Email: **arieslinkslc@hotmail.com**

Phone: **(786)718-5470**

**Request History**

Date In	Request Type	Result	Updated By	Status	Status Reason
Jun/22/2022	<a href="#">Revocation</a>	Approved	RIVERSIDEAMarr...	Complete	Request is complete
Oct/22/2020	<a href="#">Extension</a>	Approved	online	Complete	Request is complete
Jan/08/2020	<a href="#">Completion</a>	Approved	RIVERSIDE\laarcila	Complete	Request is complete
Jul/29/2021	<a href="#">Completion</a>	Rejected	RIVERSIDE\ecoula...	Complete	Request is complete
Jun/22/2022	<a href="#">Completion</a>	Approved	RIVERSIDEAMarr...	Complete	Request is complete
Jun/20/2019	<a href="#">Change Contractor</a>	Approved	RIVERSIDE\MHatten	Complete	Request is complete
Aug/24/2021	<a href="#">Change Contractor</a>	Approved	RIVERSIDE\MyrNoel	Complete	Request is complete
Jan/16/2019	Adjust Permit	Adjusted	RIVERSIDE\DFagan	Complete	Request is complete

1

Displaying items 1 - 8 of 8

**Attachment001**

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## Permit Timeline 1265 SW 22 ST

EVENT	DATE	TYPE	RESULT	NOTES
				Scheduled inspections that were canceled are not shown here.
Plans submitted	07-20-2015	N/A	N/A	
Permit issued	01-17-2019	N/A	N/A	<b>Day 0/180</b>
City inspection	07-05-2019	Building setback	NOK	Not approved; does not count for "active progress"
City inspection	07-08-2019	Building- field check*	POK	*Field check does not extend the permit
City inspection	07-10-2019	Building setback	POK	<b>Day 174/180</b>
PERMIT EXTENDED by construction progress	07-10-2019			<b>Day 0/180</b>
City inspection	09-06-2019	Building- field check*	POK	*Field check does not extend the permit
Threshold inspection	12-30-2019			Report #1
Threshold inspection	01-02-2019			Report #2
Threshold inspection	01-03-2019			Report #3
Threshold inspection	01-06-2019			Report #4
PERMIT EXPIRED	01-06-2020			<b>Day 180/180</b> No construction progress
PERMIT REACTIVATED	01-08-2020			<b>Day 0/180</b>
City inspection	03-10-2020	Building- field check*	POK	*Field check does not extend the permit
City inspection	04-07-2020	Building- field check*	POK	*Field check does not extend the permit
City inspection	04-13-2020	Building- grade beam	POK	<b>Day 96/180</b>
PERMIT EXTENDED by construction progress	04-13-2020			<b>Day 0/180</b>
PERMIT EXTENDED by Governor's order	05-11-2020			Extended to <b>12-09-2020</b>
City inspection	06-02-2020	Building- field check*	POK	*Field check does not extend the permit

City inspection	07-07-2020	Mechanical/Boiler-field check*	POK	*Field check does not extend the permit. Inspection result entered as POK by mistake
PERMIT EXTENDED by online request	10-22-2020			<b>Day 0/180</b>
City inspection	10-06-2020	Building- field check*	POK	*Field check does not extend the permit
PERMIT EXTENDED by Governor's order	11-30-2020			Extended to <b>03-09-2021</b>
PERMIT EXTENDED by Governor's order	02-18-2021			Extended to <b>09-10-2021</b>
City inspection	03-24-2021	Mechanical/Boiler-field check*	NOK	*Field check does not extend the permit
City inspection	07-21-2021	Zoning- FINAL	NOK	*Final does not extend the permit
Threshold inspection	08-31-2021			Report #5
Threshold inspection	09-01-2021			Report #6
City inspection	09-10-2021	Building-foundation	POK	<b>Day 180/180</b>
PERMIT EXTENDED by construction progress	09-10-2021			<b>Day 0/180</b>
City inspection	03-09-2022	Building-foundation	NOK	
PERMIT EXPIRED	03-09-2022			<b>Day 180/180</b> No construction progress
<b>PERMIT ABANDONED</b>	<b>03-10-2022</b>			
PERMIT REACTIVATED	06-22-2022			*Internal procedure to revoke
PERMIT REVOKED	06-22-2022			



**City of Miami**  
BUILDING DEPARTMENT

**Inspection History**

Permit Number: BD15-009792-001

Job Address: 1265 SW 22 ST

<b>Division - Inspection Type</b>	<b>Is Finalized</b>	<b>Date</b>	<b>Status</b>	<b>Result</b>	<b>Inspector</b>	<b>Inspection Remark</b>
BUILDING - FOUNDATION	NO	Mar/09/2022	Completed	NOK	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	019 FIELD WALKTHROUGH INSPECTION. I INFORMED THE OWNER AND CONTRACTOR IN SEPT OF 2021, UNDER FBC 105.4.1.1. THAT I WAS NOT GOING TO EXTEND PERMIT ANYMORE. UNLESS I SEE EXTENSIVE PROGRESS ON THE JOBSITE. ALL THAT'S BEEN DONE IN THE LAST 6 MONTHS IS ANOTHER ROW OF 7 NEW FOUNDATION PADS ONLY. IT THIRD TIME THEY DO THAT TO EXTEND THE PERMIT. FURTHERMORE ALL THE WORK IS PERFORMED A COUPLE OF WEEKS BEFORE THE PERMIT IS TO EXPIRES.
		Sep/10/2021	Completed	POK	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	014 INSPECTION APPROVED BY THRESHOLD ENGINEER. JAIME H JARAMILLO P.E. 60792. B & J CONSULTING ENGINEER. D.O.F. INSPECTION REPORT 1 THUR 6, NOTICE OF COMMENCEMENT AND COMPACTION ONLY. ALSO THE THRESHOLD ENGINEER PROVIDED AN ADDITIONAL INSPECTION REPORT FOR THE EXISTING FOUNDATION STEEL THAT HAS BEEN EXPOSED FOR THE LAST 17 MONTHS.
BUILDING - PILES	NO					
BUILDING - GRADE BEAM	NO	Apr/13/2020	Completed	POK	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	014 INSPECTION APPROVED BY THRESHOLD ENGINEER. JAIME H JARAMILLO P.E. 60792. B & J CONSULTING ENGINEER. D.O.F. INSPECTION REPORT 1 THUR 4 ONLY.





**City of Miami**  
BUILDING DEPARTMENT

## Inspection History

Division - Inspection Type	Is Finalized	Date	Status	Result	Inspector	Inspection Remark
		Sep/10/2021	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	NEED TO EMIAL ME (AFPerez@MIAMIGOV.COM) COMPLETION LETTER AND INSPECTION REPORT RELATING TO THE PERMIT FROM YOUR THRESHOLD ENGINEER.
		Oct/19/2020	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	NEED TO EMIAL ME (AFPerez@MIAMIGOV.COM) ALL DOCUMENTS, COMPLETION LETTER AND INSPECTION REPORT RELATING TO THE PERMIT FROM YOUR THRESHOLD ENGINEER.
BUILDING - SLAB REINFORCEMENT	NO	Mar/09/2022	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	011-INSPECTION CANCELLATION BY ANDY
		Mar/08/2022	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	011-INSPECTION CANCELLATION BY ANDY
BUILDING - COLUMN REINFORCEMENT	NO					
BUILDING - TIE DOWN REINF. MASONRY	NO					
BUILDING - INSULATION	NO					
BUILDING - FRAMING/FIRE PENETRATION	NO					
BUILDING - TIE BEAM/BEAM REINFORCEMENT	NO					
BUILDING - STEEL FRAMING	NO					
BUILDING - DRYWALL	NO					
BUILDING - SHEATHING	NO					
BUILDING - METAL LATH	NO					
BUILDING - SETBACK	NO	Jul/10/2019	Completed	POK	Name: Andres Tellez Mateos Mobile Ph: Office Ph: 3054161274	OK South side corners (SW 22nd STREET)
		Jul/05/2019	Completed	NOK	Name: Andres Tellez Mateos	Not ready for set-backs



**City of Miami**  
BUILDING DEPARTMENT

**Inspection History**

Division - Inspection Type	Is Finalized	Date	Status	Result	Inspector	Inspection Remark
					Mobile Ph: Office Ph: 3054161274	
		Jul/20/2021	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	NEED TO EMIAL ME (AFPerez@MIAMIGOV.COM) ALL DOCUMENTS AND INSPECTION REPORT RELATING TO THE PERMIT FROM YOUR PRIVATE PROVIDER.
		Jul/03/2019	Canceled		Name: Andres Tellez Mateos Mobile Ph: Office Ph: 3054161274	not ready
BUILDING - FIELD CHECK BUILDING	NO	Sep/02/2021	Canceled	NOK	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	016 STOP WORK ORDER. FAILURE OF OWNER AND/OR CONTRACTOR TO NOTIFY THE BUILDING DEPT OF THE NEW PRIVATE PROVIDER AND THRESHOLD ENGINEER INSPECTION ON THE JOB SITE. THE PERMIT MUST BE REVISED TO REFLECT BOTH OF THEM. ALSO NEED ENGINEER REPORT FOR THE CONDITION OF THE STEEL ON EXISTING FOOTERS.
		Oct/06/2020	Completed	POK	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: :SAME STATUS AS PREVIOUS INSPECTION. FOUNDATION/PILE-CAP WORK COMPLETED. GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE. NO ON-GOING WORK.
		Jun/02/2020	Completed	POK	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: :SAME STATUS AS PREVIOUS INSPECTION. FOUNDATION/PILE-CAP WORK COMPLETED. GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE. NO ON-GOING WORK.
		Apr/07/2020	Completed	POK	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: :SAME STATUS AS PREVIOUS INSPECTION. FOUNDATION/PILE-CAP WORK COMPLETED.



**City of Miami**  
BUILDING DEPARTMENT

**Inspection History**

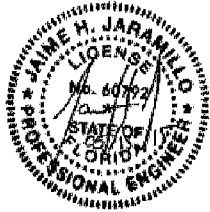
<b>Division - Inspection Type</b>	<b>Is Finalized</b>	<b>Date</b>	<b>Status</b>	<b>Result</b>	<b>Inspector</b>	<b>Inspection Remark</b>
						GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE. NO ON-GOING WORK.
		Mar/10/2020	Completed	POK	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: FOUNDATION/PILE-CAP WORK COMPLETED. GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE. NO ON-GOING WORK.
		Sep/06/2019	Completed	POK	Name: Jose Gonzalez Mobile Ph: 7862517185 Office Ph: 3054161187	09062019: No contact. // Please reschedule. //
		Jul/08/2019	Completed	OK	Name: Jose Gonzalez Mobile Ph: 7862517185 Office Ph: 3054161187	07082019: Vacant lot, with visible on going works for Land preparation. // Currently parked at site a one DEERE large Retro excavator over pneumatic and storage gravel to fill out the ground. // Called Owner of the LLC, but Number was disconnected. // Called Lazaro Milton Contractor at 305-444-8326 and the representative, not recognized that job site. // One person parked inside of site. //
BUILDING - PARKING/ACCESSIBILITY	NO					
BUILDING - FINAL FLOOD CERTIFICATE / FFE	NO					
BUILDING - FINAL AS-BUILT / TOPO SURVEY	NO					
BUILDING - FINAL BUILDING	NO					
ELECTRICAL - FOUNDATION GROUNDING / BONDING	NO					
ELECTRICAL - ROUGH/FIRE PENETRATION	NO					
ELECTRICAL - FINAL ELECTRICAL	NO					



**City of Miami**  
BUILDING DEPARTMENT

### Inspection History

Division - Inspection Type	Is Finalized	Date	Status	Result	Inspector	Inspection Remark
FIRE - GENERATOR TEST	NO					
FIRE - FINAL FIRE	NO					
MECHANICAL AIR - FINAL MECHANICAL	NO					
MECHANICAL BOILER - FIELD CHECK BOILER	NO	Mar/24/2021	Completed	NOK	Name: Carlos Gonzalez Mobile Ph: 7864236989 Office Ph: 3054161179	no construction at this time.
		Jul/07/2020	Completed	OK	Name: Alberto Acosta Mobile Ph: 7863146037 Office Ph:	job site is lock , no accesses
MECHANICAL ELEVATOR - FINAL ELEVATOR	NO					
PLUMBING - FINAL PLUMBING	NO					
PUBLIC WORKS - FINAL PUBLIC WORKS	NO					
ZONING/CE - FINAL ZONING	NO	Jul/21/2021	Completed	NOK	Name: Josseline Castillo Mobile Ph: Office Ph: 3054162009	no construction at time of inspection.



Digitally signed by  
Jaime H Jaramillo  
Date: 2021.09.09  
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City of Miami  
BUILDING DEPARTMENT



**SPECIAL INSPECTOR**

**For Threshold Buildings**

Rev. 12-08-2014

I, JAIME H JARAMILLO have been retained by DELIA HOSPITALITY, LLC, the owner of the property referenced below, to perform Threshold Inspection services pursuant to the Florida Building Code, Section 110.3.7, at the project located at 1265 SW 22nd Street as required by Florida Statute 553.79(7).

I am a registered Architect or Professional Engineer licensed in the State of Florida, and I also possess a Special Inspector license (SI).

Florida PE# 60792 SI# 7025322

Florida RA# \_\_\_\_\_ SI# \_\_\_\_\_

PERMIT APPLICATION/ PROCESS NUMBERS: BD-15-009796-001

The following individual(s) are employed by me or my firm, and my are authorized representatives to perform inspections.\*

- |                             |                         |
|-----------------------------|-------------------------|
| 1. <u>NICOLAS JARAMILLO</u> | 2. <u>WILSON OLARTE</u> |
| 3. <u>JUAN MALHAM</u>       | 4. <u>WOLFGAN RIOS</u>  |

*\* Special Inspector for Threshold Buildings utilizing authorized representatives shall insure that the Authorized Representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include licensure as a Registered Architect or Professional Engineer; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a standard building inspector under Florida Statutes, Chapter 468.*

I (we) will notify the City of Miami of any changes regarding authorized personnel performing inspections.

I (we) understand that a Special Inspector inspection log for each building must be displayed in a convenient location on the site for reference by the City of Miami Building Department Inspector.

Upon completion of the work under each Building Permit, I will submit to the Building Inspector at the time of final inspection the completed inspection logs and a sealed statement indicating that, to the best of my knowledge, belief and professional judgment the project outlined above was built in compliance with the Florida Building Code, and are in substantial compliance with Building Department approved set of plans.

Seal/Signature/Date

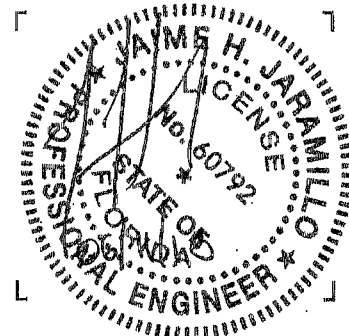
**Architect / Engineer**

Name (print): JAIME H JARAMILLO

Firm: B&J CONSULTING ENGINEERS, INC

Address: 7955 NW 12TH STREET, S-418, DORAL, FL, 33126

Telephone: (786) 703-9243



B & J Consulting Eng. , Inc.  
 7955 NW 12th Street, Suite 418, Doral, FL 33126  
 Ph (786) 703-9245

**REPORT ON THRESHOLD INSPECTION**

Date: 12/30/2019 4:00 PM Report No: 1  
 Project Name: Best Western ViB. Permit No: BD15009792001B001  
 Client: DELIA HOSPITALITY LLC. Project No:  
 Address: 1265 SW 22<sup>nd</sup> Street (Coral Way) City, State: Miami. FL 33145  
 Contractor: Delant Construction Co. Weather: Sunny  
 Special Inspector: Jaime H Jaramillo Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F14.2 @ C43	Ground	J/30	Rebar	PPI
2	F12.2 @ C49	Ground	C-E/4-10	Rebar	PPI
3	F7.0 @ C56	Ground	C-F/8	Rebar	PPI
4	F11.2 @ C48	Ground	0/24	Rebar	PPI
5	F11.2 @ C46/TC10	Ground	M/11	Rebar	PPI
6	F11.2 @ C47	Ground	M/13	Rebar	PPI
7	F8.0 @ C52	Ground	P/11	Rebar	PPI
8	F8.0 @ C50	Ground	P/5	Rebar	PPI
9	F9.2 @ C45	Ground	M/5	Rebar	PPI
10					
11					
12					
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection

<u>Deficiencies or deviations</u>

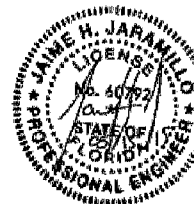
Threshold Inspector



Jaime H. Jaramillo  
 Florida Reg. No. 60792



Wilson Olarte.  
 Field Representative



Digitally signed by  
 Jaime H Jaramillo  
 Date:  
 2021.09.10  
 10:13:36  
 -04'00'

B & J Consulting Eng. , Inc.  
 7955 NW 12th Street, Suite 418, Doral, FL 33126  
 Ph (786) 703-9245

**REPORT ON THRESHOLD INSPECTION**

Date:	1/2/2019 4:00 PM	Report No: 2
Project Name:	Best Western ViB.	Permit No: BD15009792001B001
Client:	DELIA HOSPITALITY LLC.	Project No:
Address:	1265 SW 22 <sup>nd</sup> Street (Coral Way)	City, State: Miami. FI 33145
Contractor:	Delant Construction Co.	Weather: Sunny
Special Inspector:	Jaime H Jaramillo	Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.


Item	Component Inspected	Level	Location	Type of inspection	Result
1	F13.2 @ C42	Ground	J/25	Rebar	PPI
2	F13.2 @ C41	Ground	J/13	Rebar	PPI
3	F13.2 @ C40	Ground	J/7	Rebar	PPI
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					


Letter code used for results

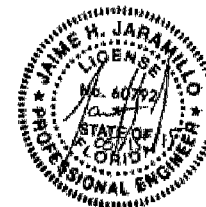
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Deficiencies or deviations

Threshold Inspector

  
 Jaime H. Jaramillo  
 Florida Reg. No. 60792

  
 Wilson Olarte.  
 Field Representative



Digitally signed by  
 Jaime H Jaramillo  
 Date:  
 2021.09.10  
 10:13:16  
 -04'00'

B & J Consulting Eng. , Inc.  
 7955 NW 12th Street, Suite 418, Doral, FL 33126  
 Ph (786) 703-9245

**REPORT ON THRESHOLD INSPECTION**

Date: 1/3/2019 4:00 PM Report No: 3  
 Project Name: Best Western ViB. Permit No: BD15009792001B001  
 Client: DELIA HOSPITALITY LLC. Project No:  
 Address: 1265 SW 22<sup>nd</sup> Street (Coral Way) City, State: Miami. FL 33145  
 Contractor: Delant Construction Co. Weather: Sunny  
 Special Inspector: Jaime H Jaramillo Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F14.2 @ C43	Ground	J/30	Rebar	PPI
2	F12.2 @ C49	Ground	0/31	Rebar	PPI
3	F11.2 @ C46	Ground	M/11	Rebar	PPI
4					
5					
6					
7					
8					
9					
10					
11					
12					
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection

<u>Deficiencies or deviations</u>

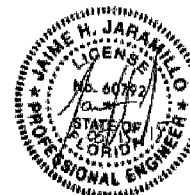
Threshold Inspector



Jaime H. Jaramillo  
 Florida Reg. No. 60792



Wilson Olarte.  
 Field Representative



Digitally signed by  
 Jaime H Jaramillo  
 Date:  
 2021.09.10  
 10:12:48  
 -04'00'



B & J Consulting Eng. , Inc.  
 7955 NW 12th Street, Suite 418, Doral, FL 33126  
 Ph (786) 703-9245

**REPORT ON THRESHOLD INSPECTION**

Date: 1/6/2019 7:00 AM Report No: 4  
 Project Name: Best Western ViB. Permit No: BD15009792001B001  
 Client: DELIA HOSPITALITY LLC. Project No:  
 Address: 1265 SW 22<sup>nd</sup> Street (Coral Way) City, State: Miami. FI 33145  
 Contractor: Delant Construction Co. Weather: Sunny  
 Special Inspector: Jaime H Jaramillo Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F14.2 @ C43	Ground	J/30	Rebar	IGC
2	F12.2 @ C49	Ground	0/31	Rebar	IGC
3	F11.2 @ C48	Ground	0/24	Rebar	IGC
4	F11.2 @ C47	Ground	M/13	Rebar	IGC
5	F9.2 @ C45	Ground	M/5	Rebar	IGC
6	F13.2 @ C42	Ground	J/25	Rebar	IGC
7	F13.2 @ C41	Ground	J/13	Rebar	IGC
8	F13.2 @ C40	Ground	J/7	Rebar	IGC
9					
10					
11					
12					
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection

<u>Deficiencies or deviations</u>

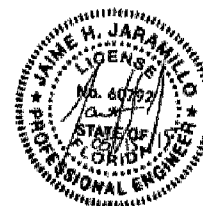
Threshold Inspector



Jaime H. Jaramillo  
 Florida Reg. No. 60792

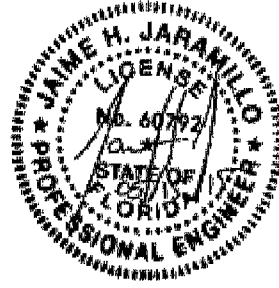


Wilson Olarte.  
 Field Representative



Digitally signed by Jaime H Jaramillo  
 Date: 2021.09.10 10:13:56 -04'00'

B & J Consulting Eng. , Inc.  
 7955 NW 12th Street, Suite 418, Doral, FL 33126  
 Ph (786) 703-9245



Digitally signed  
 by Jaime H  
 Jaramillo  
 Date: 2021.09.09  
 09:55:48 -04'00'

**REPORT ON THRESHOLD INSPECTION**

Date: 8/31/2021 7:00 AM Report No: 5  
 Project Name: The Boulevard Permit No: BD15009792001B001  
 Client: DELIA HOSPITALITY LLC. Project No:  
 Address: 1265 SW 22ND STREET (Coral Way) City, State: Miami, FL 33145  
 Contractor: Aries Link LLC Weather: Sunny  
 Special Inspector: Jaime H Jaramillo Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F11.2 @ C36	Ground	E-G/8-30	Rebar	PPI
2	F10.2 @ C35	Ground	E-G/8-30	Rebar	PPI
3	F10.2 @ C34	Ground	E-G/8-30	Rebar	PPI
4	F10.2 @ C33	Ground	E-G/8-30	Rebar	PPI
5	F11.2 @ C32	Ground	E-G/8-30	Rebar	PPI
6	F10.2 @ C31	Ground	E-G/8-30	Rebar	PPI
7	F7.1 @ C27	Ground	E-G/8-30	Rebar	PPI
8	F6.1 @ C26	Ground	E-G/8-30	Rebar	PPI
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	PPI
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	PPI
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	PPI
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	PPI
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection

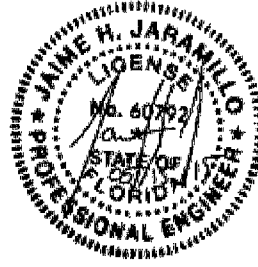
Deficiencies or deviations

Threshold Inspector

Jaime H. Jaramillo  
 Florida Reg. No. 60792

Wilson Olarte.  
 Field Representative

B & J Consulting Eng. , Inc.  
 7955 NW 12th Street, Suite 418, Doral, FL 33126  
 Ph (786) 703-9245



Digitally signed  
 by Jaime H  
 Jaramillo  
 Date: 2021.09.09  
 09:55:18 -04'00'

**REPORT ON THRESHOLD INSPECTION**

Date: 9/1/2021 11:00 AM Report No: 6  
 Project Name: The Boulevard Permit No: BD15009792001B001  
 Client: DELIA HOSPITALITY LLC. Project No:  
 Address: 1265 SW 22ND STREET (Coral Way) City, State: Miami. FL 33145  
 Contractor: Aries Link LLC Weather: Sunny  
 Special Inspector: Jaime H Jaramillo Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.


Item	Component Inspected	Level	Location	Type of inspection	Result
1	F11.2 @ C36	Ground	E-G/8-30	Rebar	IGC
2	F10.2 @ C35	Ground	E-G/8-30	Rebar	IGC
3	F10.2 @ C34	Ground	E-G/8-30	Rebar	IGC
4	F10.2 @ C33	Ground	E-G/8-30	Rebar	IGC
5	F11.2 @ C32	Ground	E-G/8-30	Rebar	IGC
6	F10.2 @ C31	Ground	E-G/8-30	Rebar	IGC
7	F7.1 @ C27	Ground	E-G/8-30	Rebar	IGC
8	F6.1 @ C26	Ground	E-G/8-30	Rebar	IGC
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	IGC
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	IGC
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	IGC
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	IGC
13					


Letter code used for results

**IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection**

<u>Deficiencies or deviations</u>

Threshold Inspector

  
 Jaime H. Jaramillo  
 Florida Reg. No. 60792

  
 Wilson Olarte.  
 Field Representative

**B & J Consulting Eng. , Inc.**  
 7955 NW 12th Street, Suite 418, Doral, FL 33126  
 Ph (786) 703-9245

**REPORT ON THRESHOLD INSPECTION**

<b>Date:</b>	8/31/2021 7:00 AM	<b>Report No:</b>	5
<b>Project Name:</b>	The Boulevard	<b>Permit No:</b>	BD15009792001B001
<b>Client:</b>	DELIA HOSPITALITY LLC.	<b>Project No:</b>	
<b>Address:</b>	1265 SW 22ND STREET (Coral Way)	<b>City, State:</b>	Miami. FI 33145
<b>Contractor:</b>	Aries Link LLC	<b>Weather:</b>	Sunny
<b>Special Inspector:</b>	Jaime H Jaramillo	<b>Florida Reg:</b>	60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F11.2 @ C36	Ground	E-G/8-30	Rebar	PPI
2	F10.2 @ C35	Ground	E-G/8-30	Rebar	PPI
3	F10.2 @ C34	Ground	E-G/8-30	Rebar	PPI
4	F10.2 @ C33	Ground	E-G/8-30	Rebar	PPI
5	F11.2 @ C32	Ground	E-G/8-30	Rebar	PPI
6	F10.2 @ C31	Ground	E-G/8-30	Rebar	PPI
7	F7.1 @ C27	Ground	E-G/8-30	Rebar	PPI
8	F6.1 @ C28	Ground	E-G/8-30	Rebar	PPI
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	PPI
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	PPI
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	PPI
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	PPI
13					

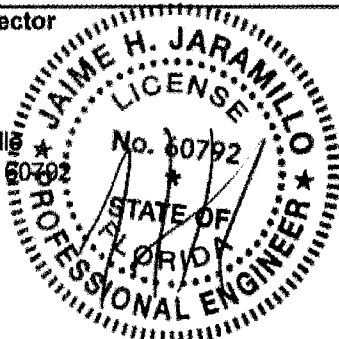
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<b>Deficiencies or deviations</b>

Threshold Inspector

*JH*  
 Jaime H. Jaramillo  
 Florida Reg. No. 60792



*Wilson Olarte*  
 Wilson Olarte  
 Field Representative

**B & J Consulting Eng. , Inc.**  
**7955 NW 12th Street, Suite 418, Doral, FL 33126**  
**Ph (786) 703-9245**

**REPORT ON THRESHOLD INSPECTION**

<b>Date:</b>	9/1/2021 11:00 AM	<b>Report No:</b>	6
<b>Project Name:</b>	The Boulevard	<b>Permit No:</b>	BD15009792001B001
<b>Client:</b>	DELIA HOSPITALITY LLC.	<b>Project No:</b>	
<b>Address:</b>	1265 SW 22ND STREET (Coral Way)	<b>City, State:</b>	Miami, FL 33145
<b>Contractor:</b>	Aries Link LLC	<b>Weather:</b>	Sunny
<b>Special Inspector:</b>	Jaime H Jaramillo	<b>Florida Reg:</b>	60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
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5	F11.2 @ C32	Ground	E-G/8-30	Rebar	IGC
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8	F6.1 @ C26	Ground	E-G/8-30	Rebar	IGC
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	IGC
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	IGC
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	IGC
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	IGC
13					

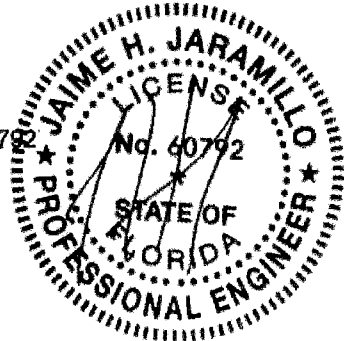
Letter code used for results

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<b>Deficiencies or deviations</b>

**Threshold Inspector**

*JH*  
 Jaime H. Jaramillo  
 Florida Reg. No. 60792



*Wilson Olarte*  
 Wilson Olarte.  
 Field Representative



DOCUMENT VERIFIED

By MH  
Date 8/31/18

City of Miami  
BUILDING DEPARTMENT



Form A.1

# NOTICE TO BUILDING OFFICIAL For the use of Private Provider

Florida Statutes §553.791(4) Rev. 10-01-2014

Project Name / Address: BEST WESTERN VIB 1265 SW 22 ST. MIAMI, FL 33148

Plan number: BD 15-009792-001 Phased Permit?  Yes  No

Project address: 1265 SW 22 ST. MIAMI, FL Parcel tax ID: 01-4139-007-3440  
~~01-4139-007-3350~~

Services to be provided (select one):  Inspections only  Plans Review and Inspections\*

*\*Pursuant to FS Section 553.791(2): If this notice applies to private plan review only, the Building Official has the authority to require, at his or her discretion, that the private provider be used for both services.*

I, VINCENZO AULIMO, the fee owner of the property referenced above, hereby affirm that I have entered into a contract with the Private Provider firm identified below to conduct the services indicated above.

Private Provider Firm: MTCI Private Provider Services

Private Provider (Qualifier for the Firm): Mustafa Cankat

Florida License or Registration number: PE 18632

Address: 97 NE 15<sup>th</sup> Street Homestead, Florida

Telephone: (305) 246-0696 Fax: (305) 242-3716 Email: mtc@mtcinspectors.com

I have elected to use one or more Private Providers to provide building code plans review and/or inspection services for the building or structure that is the subject of the enclosed permit application, as authorized by Section 553.791, Florida Statutes. I understand that the local building official may not review the plans submitted or perform the required building inspections to determine compliance with the applicable codes, except to the extent specified in said law. Instead, plans review and/or required building inspections will be performed by licensed or certified personnel identified in the application. The law requires minimum insurance requirements for such personnel, but I understand that I may require more insurance to protect my interests.

By executing this form, I acknowledge that I have made inquiry regarding the competence of the licensed or certified personnel and the level of their insurance and am satisfied that my interests are adequately protected. I agree to indemnify, defend, and hold harmless the local government, the local building official, and their building code enforcement personnel from any and all claims arising from my use of these licensed or certified personnel to perform building code inspection services with respect to the building or structure that is the subject of the enclosed permit application.

I understand that the Building Official retains authority to review plans, make required inspections, and enforce the applicable codes within his or her charge pursuant to the standards established by Section 553.791, Florida Statutes. If I make any changes to the listed Private Providers, I shall, within one business day after any change, update this Notice to reflect such changes. The building plans review and/or inspection services provided by the Private Provider are limited to compliance with the Florida Building Code and do not include review for compliance with fire safety, land use, environmental or other codes.



DOCUMENT VERIFIED

By 147  
Date 8/31/18

The following attachments are provided as required by Section 553.791, Florida Statutes:

1. Qualification statements and/or resumes of the Private Provider and all duly authorized representatives.
2. Proof of insurance for professional and comprehensive liability in the amount of \$ 1 million per occurrence and \$ 2 million in the aggregate for any project with a construction cost of \$ 5 million or less, and \$ 2 million per occurrence and \$ 4 million in the aggregate for any project with a construction cost of over \$ 5 million, relating to all services performed as a private provider. Said insurance includes tail coverage (Extended Reporting Period) for a minimum of 5 years subsequent to the performance of building code inspection services. For detailed, current requirements refer to FS Section 553.791(16).

(Please notarize using the appropriate section below)

**Individual** By: \_\_\_\_\_ (signature) Print name: \_\_\_\_\_  
 Address: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_ Before me, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_ who executed the foregoing Instrument, and acknowledged before me that same was executed for the purposes therein expressed.  
 Personally known  or Produced Identification  Type of ID produced: \_\_\_\_\_  
 Signature of Notary: \_\_\_\_\_ Print Name \_\_\_\_\_  
 Notary public stamp: \_\_\_\_\_ My commission expires: \_\_\_\_\_

**Corporation** Print Corporation Name: DELA HOSPITALITY LLC  
 By: V. Alaimo (signature) Print name: Vincenzo Alaimo Its: Manager  
 Address: 10726 NW 53 St. Doral FL 33178 Telephone: 305 854 5407  
 STATE OF FL COUNTY OF MIAMI DADA Before me, this 10 day of July, 2018, personally appeared Vincenzo Alaimo, on behalf of the stated corporation, who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.  
 Personally known  or Produced Identification  Type of ID produced: \_\_\_\_\_  
 Signature of Notary: [Signature] Notary Stamp: [Stamp] My Commission Expires Jun 26, 2021 Name Nieves Portillo

**Partnership** Print Partnership Name: \_\_\_\_\_  
 By: \_\_\_\_\_ (signature) Print name: \_\_\_\_\_ Its: \_\_\_\_\_  
 Address: \_\_\_\_\_ Telephone: \_\_\_\_\_  
 STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_ Before me, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, personally appeared \_\_\_\_\_, partner/agent on behalf of the partnership, who executed the foregoing instrument, and acknowledged before me that same was executed for the purposes therein expressed.  
 Personally known  or Produced Identification  Type of ID produced: \_\_\_\_\_  
 Signature of Notary: \_\_\_\_\_ Notary Stamp: \_\_\_\_\_ Print Name \_\_\_\_\_



DOCUMENT VERIFIED

By Hch  
Date 8/31/18

City of Miami  
BUILDING DEPARTMENT



Form B

Private Provider  
PLAN COMPLIANCE AFFIDAVIT

Florida Statutes §553.791(6) Rev. 10-01-2014

Project Name / Address: Best Western/ 1265 SW 22 Street

Plan number: BD15-009792-001 Folio number: 01-4139-007-3350

Revision  Shop Drawing  Master permit number: \_\_\_\_\_

Private Provider Firm: MTCI Private Provider Services Submittal number: BW002.062118

Address: 97 NE 15<sup>th</sup> Street Homestead, Florida

Telephone: (305) 246-0696 Fax: (305) 242-3716 Email: mtc@mtcinspectors.com

I HEREBY CERTIFY that to the best of my knowledge and belief, the plans submitted for the above-referenced project were reviewed according to, and are in compliance with, the Florida Building Code and all local amendments thereto, either by myself or by the affiant identified below, who is duly authorized to perform plans review pursuant to Section 553.791, Florida Statutes, and holds the appropriate license or certificate:

Private Provider: Roop Khirsukhani

Florida License No. PE 42242

*[Handwritten Signature]*  
7/24/18

Seal/Signature/Date

Name of person reviewing the plans (if applicable): Rene Tarafa

Florida License/Registration/Certification numbers: PX 1481

Discipline and Plan Sheets covered by this affidavit: Building-Master: See Page | 2, 3, 4, 5

Signature of reviewer: *[Handwritten Signature]* Date: 7.24.18

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as identification \_\_\_\_\_, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

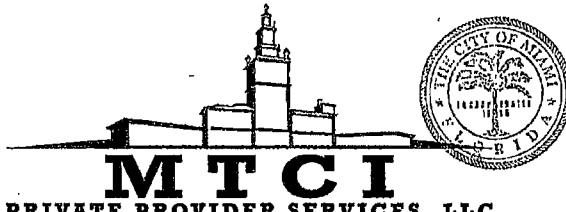
*[Handwritten Signature]* Benjamin Delval *[Handwritten Signature]* Benjamin Delval 7/24/18  
Signature of Notary Print Name Date

Notary Public: NOTARY PUBLIC-STAMP BELOW My Commission Expires: \_\_\_\_\_



BENJAMIN ALAIN DELVAL  
Commission # GG 166683  
Expires December 10, 2021  
Bonded Thru Budget Notary Services





**MTCI**  
**PRIVATE PROVIDER SERVICES, LLC**  
 CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING

DOCUMENT VERIFIED

By [Signature]  
 Date 8/3/18

Plan number: BD15-009792-001

COVER		Best Western	
✓ 1	A-0.1	✓ Rev Δ 3	12-07-2017 ✓
✓ 2	A-0.2	Rev Δ 3	12-07-2017
✓ 3	A-0.3	Rev Δ 3	12-07-2017
✓ 4	A-1.1	Rev Δ 3	12-07-2017
✓ 5	A-2.1	Rev Δ 3	12-07-2017
✓ 6	A-2.2	Rev Δ 3	12-07-2017
✓ 7	A-2.3	Rev Δ 3	12-07-2017
✓ 8	A-2.4	Rev Δ 3	12-07-2017
✓ 9	A-2.4A	Rev Δ 3	12-07-2017
✓ 10	A-2.5	Rev Δ 3	12-07-2017
✓ 11	A-2.6	Rev Δ 3	12-07-2017
✓ 12	A-2.7	Rev Δ 3	12-07-2017
✓ 13	A-2.8	Rev Δ 3	12-07-2017
✓ 14	A-2.9	Rev Δ 3	12-07-2017
✓ 15	A-2.10	Rev Δ 3	12-07-2017
✓ 16	A-2.11	Rev Δ 3	12-07-2017
✓ 17	A-2.12	Rev Δ 3	12-07-2017
✓ 18	A-3.1	Rev Δ 2	09-21-2017
✓ 19	A-3.2	Rev Δ 2	09-21-2017
✓ 20	A-3.3	Rev Δ 3	12-07-2017
✓ 21	A-3.4	Rev Δ 3	12-07-2017
✓ 22	A-3.5	Rev Δ 3	12-07-2017
✓ 23	A-4.1	Rev Δ 3	12-07-2017
✓ 24	A-4.2	Rev Δ 3	12-07-2017
✓ 25	A-4.3	Rev Δ 3	12-07-2017
✓ 26	A-4.4	Rev Δ 3	12-07-2017
✓ 27	A-4.5	Rev Δ 3	12-07-2017
✓ 28	A-4.6	Rev Δ 3	12-07-2017
✓ 29	A-4.7	Rev Δ 3	12-07-2017
✓ 30	A-4.8	Rev Δ 3	12-07-2017

Page | 2

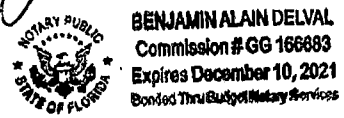
Private Provider: Roop Khirsukhani  
 Florida License No. PE 42242

[Signature]  
 7/24/18

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as Identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

Benjamin Delval Benjamin Delval 7/24/18  
 Signature of Notary Print Name Date  
 Notary Public: NOTARY PUBLIC STAMP BELOW My Commission Expires: \_\_\_\_\_





DOCUMENT VERIFIED

By [Signature]  
Date 8/31/18

Plan number: BD-15-009792-001

✓31	A-4.9	Rev Δ 3	12-07-2017
✓32	A-4.10	Rev Δ 3	12-07-2017
✓33	A-4.11	Rev Δ 3	12-07-2017
✓34	A-4.12	Rev Δ 3	12-07-2017
✓35	A-4.13	Rev Δ 3	12-07-2017
✓36	A-4.14	Rev Δ 3	12-07-2017
✓37	A-4.15	Rev Δ 3	12-07-2017
✓38	A-4.16	Rev Δ 3	12-07-2017
✓39	A-4.17	Rev Δ 3	12-07-2017
✓40	A-4.18	Rev Δ 3	12-07-2017
✓41	A-4.19	Rev Δ 3	12-07-2017
✓42	A-4.20	Rev Δ 3	12-07-2017
✓43	A-4.21	Rev Δ 3	12-07-2017
✓44	A-4.22	Rev Δ 3	12-07-2017
✓45	A-4.23	Rev Δ 3	12-07-2017
✓46	A-4.24	✓ -	05-29-2015 ✓
✓47	A-4.25	✓ -	05-29-2015 ✓
✓48	A-4.26	✓ -	05-29-2015 ✓
✓49	A-4.27	✓ -	05-29-2015 ✓
✓50	A-4.28	✓ -	05-29-2015 ✓
✓51	A-5.1	Rev Δ 3	12-07-2017 ✓
✓52	A-5.1A	Rev Δ 3	12-07-2017
✓53	A-5.2	Rev Δ 3	12-07-2017
✓54	A-5.3	Rev Δ 3	12-07-2017
✓55	A-5.3A	Rev Δ 3	12-07-2017
✓56	A-5.4	Rev Δ 3	12-07-2017
✓57	A-5.5	Rev Δ 3	12-07-2017
✓58	A-5.6	Rev Δ 3	12-07-2017
✓59	A-5.7	Rev Δ 3	12-07-2017
✓60	A-5.8	Rev Δ 3	12-07-2017
✓61	A-5.8A	Rev Δ 3	12-07-2017
✓62	A-5.8B	Rev Δ 3	12-07-2017

Page | 3

Private Provider: Roop Khirsukhani  
Florida License No. PE 42242

[Signature]  
7/24/18

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

Benjamin Delval Notary Public  
Signature of Notary: Benjamin Delval My Commission Expires: 7/24/18  
Notary Public: NOTARY PUBLIC STAMP BELOW



**BENJAMIN ALAIN DELVAL**  
Commission #GG 166683  
Expires December 10, 2021  
Bonded Thru Budget Notary Services



DOCUMENT VERIFIED

By WCH

Date 8/31/18

Plan number: BD15-009792-001

✓63	A-5.8C	Rev Δ 3	12-07-2017
✓64	A-5.9	Rev Δ 3	12-07-2017
✓65	A-6.1	Rev Δ 3	12-07-2017
✓66	A-6.2	Rev Δ 3	12-07-2017
✓67	A-6.3	Rev Δ 3	12-07-2017
✓68	A-6.4	Rev Δ 3	12-07-2017
✓69	A-6.5	Rev Δ 6	04-19-2018 ✓
✓70	A-6.6	Rev Δ 3	12-07-2017
✓71	A-7.1	Rev Δ 3	12-07-2017
✓72	A-7.2	Rev Δ 2	09-21-2017 ✓
✓73	A-7.3	Rev Δ 3	12-07-2017
✓74	A-7.5	Rev Δ 3	12-07-2017
✓75	A-7.6	Rev Δ 2	09-21-2017 ✓
✓76	A-7.7	Rev Δ 3	12-07-2017
✓77	A-7.8	Rev Δ 3	12-07-2017
✓78	A-7.9	Rev Δ 3	12-07-2017
✓79	A-7.10	Rev Δ 3	12-07-2017
✓80	A-7.11	Rev Δ 3	12-07-2017
✓81	A-7.12	Rev Δ 3	12-07-2017
✓82	A-7.13	Rev Δ 3	12-07-2017
✓83	A-7.14	Rev Δ 3	12-07-2017
✓84	A-7.15	Rev Δ 3	12-07-2017
✓85	A-8.1	Rev Δ 3	12-07-2017
✓86	A-8.1A	Rev Δ 3	12-07-2017
✓87	A-8.2	Rev Δ 3	12-07-2017
✓88	A-8.2A	Rev Δ 3	12-07-2017
✓89	A-8.3	Rev Δ 3	12-07-2017
✓90	A-8.3A	Rev Δ 3	12-07-2017
✓91	A-8.3B	✓ -	12-06-2013 ✓
✓92	A-8.3D	Rev Δ 3	12-07-2017 ✓
✓93	A-8.4	✓ Rev Δ 6	04-19-2018 ✓
✓94	A-8.4A	✓ Rev Δ 3	12-07-2017 ✓

Page | 4

Private Provider: Roop Khirsukhani  
 Florida License No. PE 42242

*[Handwritten Signature]*  
 7/24/18

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

*[Handwritten Signature]* *[Handwritten Signature]* *[Handwritten Signature]*  
 Signature of Notary Print Name Date  
 Notary Public: NOTARY PUBLIC STAMP BELOW My Commission Expires: \_\_\_\_\_

**NOTARY PUBLIC**  
**STATE OF FLORIDA**  
**BENJAMIN ALAIN DELVAL**  
 Commission # **GG 166683**  
 Expires **December 10, 2021**  
 Bonded Thru Budget Notary Services



DOCUMENT VERIFIED

By MEH  
Date 8/31/18

Plan number: BD15-009792-001

✓95	A-8.4B	✓Rev Δ 3	12-07-2017 ✓
✓96	A-8.5	✓Rev Δ 3	12-07-2017 ✓
✓97	A-8.6	✓Rev Δ 3	12-07-2017 ✓
✓98	A-8.7	✓Rev Δ 3	12-07-2017 ✓
✓99	A-8.8	✓Rev Δ 3	12-07-2017 ✓
✓100	A-9.1	✓Rev Δ 3	12-07-2017 ✓
✓101	A-9.2	✓Rev Δ 3	12-07-2017 ✓
✓102	LS-01	✓Rev Δ 2	09-21-2017 ✓
✓103	LS-02	✓Rev Δ 3	12-07-2017 ✓
✓104	LS-03	-	05-29-2015 ✓
✓105	LS-04	-	05-29-2015 ✓
✓106	LS-05	✓Rev Δ 2	09-21-2017 ✓
✓107	LS-06	-	05-29-2015 ✓
108			
109			

Page | 5

Private Provider: Roop Khirsukhani  
Florida License No. PE 42242

*[Handwritten Signature]*  
7/24/18

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

*[Handwritten Signature]* *[Handwritten Signature]* *[Handwritten Signature]*  
Signature of Notary \_\_\_\_\_ Notary Name \_\_\_\_\_ Date \_\_\_\_\_  
Notary Public: NOTARY PUBLIC STAMP BELOW My Commission Expires: \_\_\_\_\_



BENJAMIN ALAIN DELVAL  
Commission # GG 166683  
Expires December 10, 2021  
Bonded Thru Budget Notary Services



DOCUMENT VERIFIED

By WV  
Date 8/23/18

Form B  
Private Provider  
PLAN COMPLIANCE AFFIDAVIT

Florida Statutes §553.791(6) Rev. 10-01-2014

Project Name / Address: Best Western/ 1265 SW 22 Street

Plan number: BD15-009792-001 Folio number: 01-4139-007-3350

Revision  Shop Drawing  Master permit number: \_\_\_\_\_

Private Provider Firm: MTCI Private Provider Services Submittal number: BW001.060118

Address: 97 NE 15<sup>th</sup> Street Homestead, Florida

Telephone: (305) 246-0696 Fax: (305) 242-3716 Email: mtc@mtcinspectors.com

I HEREBY CERTIFY that to the best of my knowledge and belief, the structural permit documents submitted for the above-referenced project were reviewed according to, and are in compliance with, the Florida Building Code and all amendments thereto, by Tahir Iqbal, FL. PE#48061 of Pistorino & Alam, Inc. as Peer Reviewer and myself as Private Provider for the assurance of complete structural documents with the provisions of all applicable laws and technical codes. I am duly authorized to perform plans review pursuant to Section 553.791, Florida Statutes, and hold the appropriate license or certificate:

Private Provider: Roop Khirsukhani

Florida License No. PE 42242

*[Handwritten Signature]*  
7/16/18

Seal/Signature/Date

Name of person reviewing the plans (Administrator): Roop Khirsukhani

Florida License/Registration/Certification numbers: PE 42242

Discipline and Plan Sheets covered by this affidavit: Structural-Master See Page 12

Signature of reviewer as administrator *[Handwritten Signature]* Date: 7/16/18

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as identification \_\_\_\_\_, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

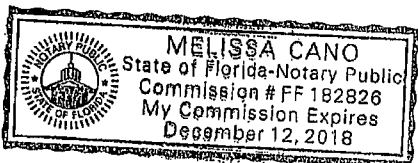
Signature of Notary

*[Handwritten Signature]*  
Melissa Cano  
Print Name

07/16/18  
Date

Notary Public: NOTARY PUBLIC STAMP BELOW

My Commission Expires: \_\_\_\_\_





**MTCI**  
**PRIVATE PROVIDER SERVICES, LLC**  
 CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING

Best Western

Plan number: \_\_\_\_\_

1	S-0.0	Rev Δ 7	05-12-17
2	S-0.1	-	05-29-15
3	S-0.2	Rev Δ 4	08-30-16
4	S-0.3	Rev Δ 3	02-09-16
5	S-0.4	Rev Δ 6	11-14-16
6	S-1.00	Rev Δ 7	05-12-17
7	S-1.01A	-	05-29-15
8	S-1.01B	-	05-29-15
9	S-1.02A	-	05-29-15
10	S-1.02B	-	05-29-15
11	S-1.03A	-	05-29-15
12	S-1.03B	-	05-29-15
13	S-1.04	-	05-29-15
14	S-1.05	-	05-29-15
15	S-1.06	-	05-29-15
16	S-1.07	-	05-29-15
17	S-1.08	-	05-29-15
18	S-2.0	Rev Δ 6	11-14-16
19	S-3.0	Rev Δ 3	02-09-15
20	S-4.0	Rev Δ 6	11-14-16
21	S-4.1	Rev Δ 6	11-14-16
22	S-5.0	-	05-29-15
23	S-5.1	Rev Δ 2	09-30-15
24	S-6.0	-	05-29-15
25	S-6.1	-	05-29-15
26	S-6.2	-	05-29-15
27	S-6.3	-	05-29-15
28			
29			
30			
31			
32			

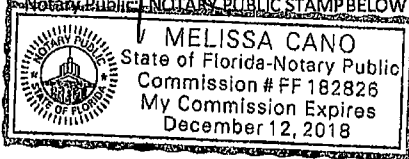
Private Provider: Roop Khirsukhani  
 Florida License No. PE 42242

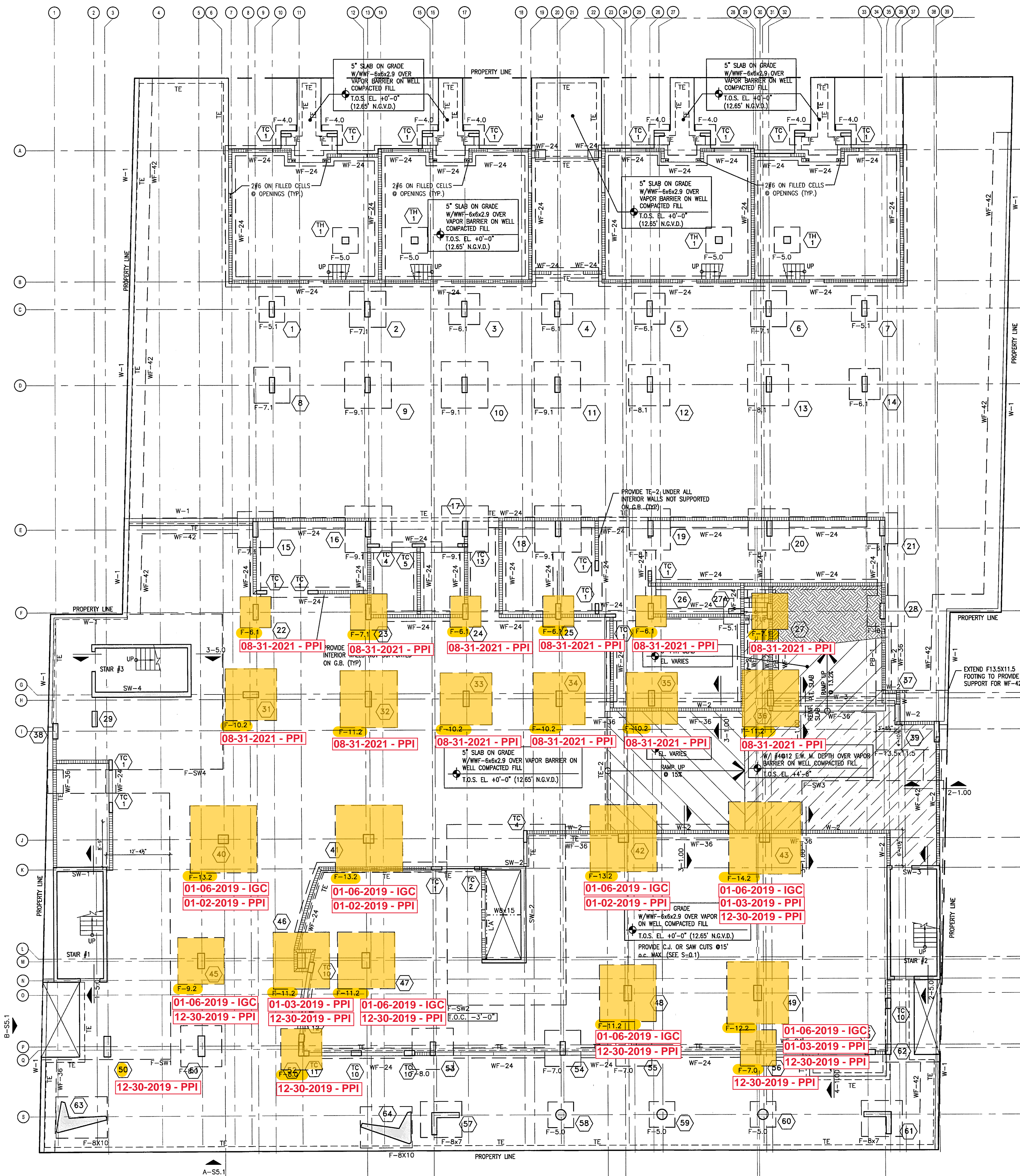
*[Handwritten Signature]*  
 7/16/18

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

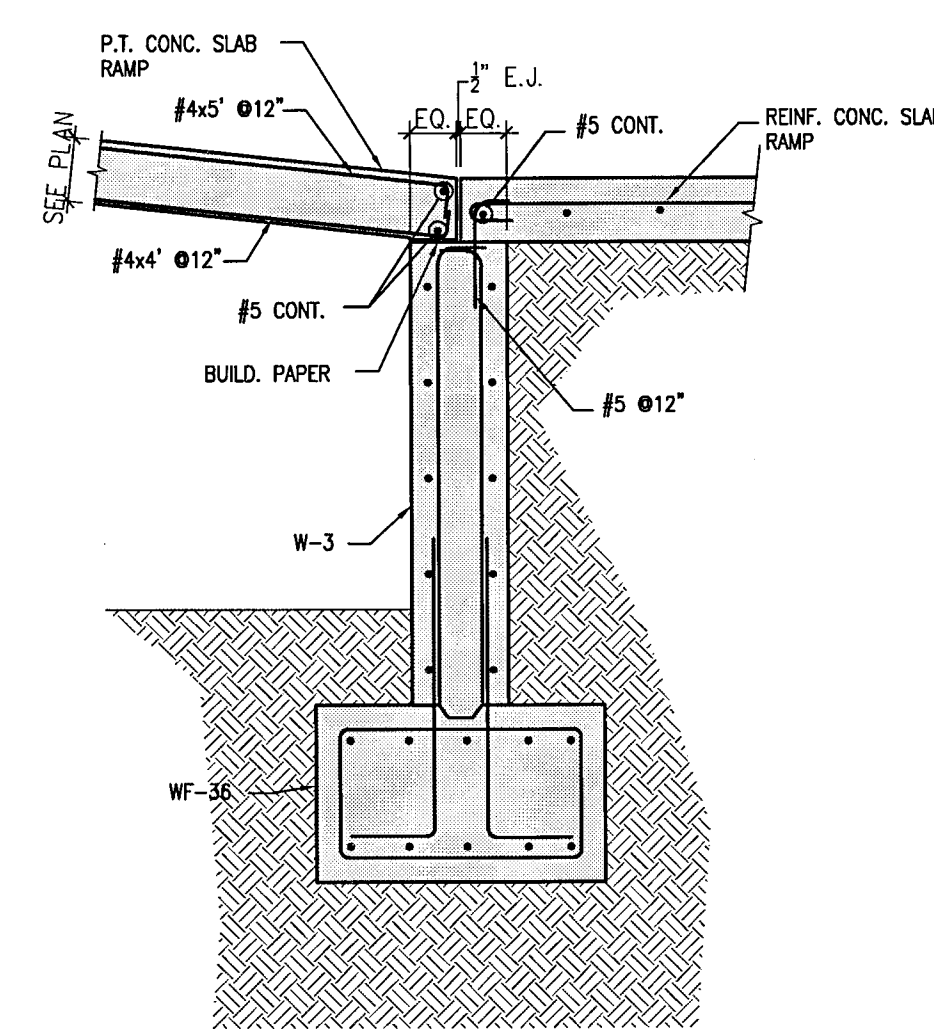
Signature of Notary *[Handwritten Signature]* Print Name Melissa Cano Date 07/16/18  
 Notary Public - NOTARY PUBLIC STAMP BELOW My Commission Expires: \_\_\_\_\_



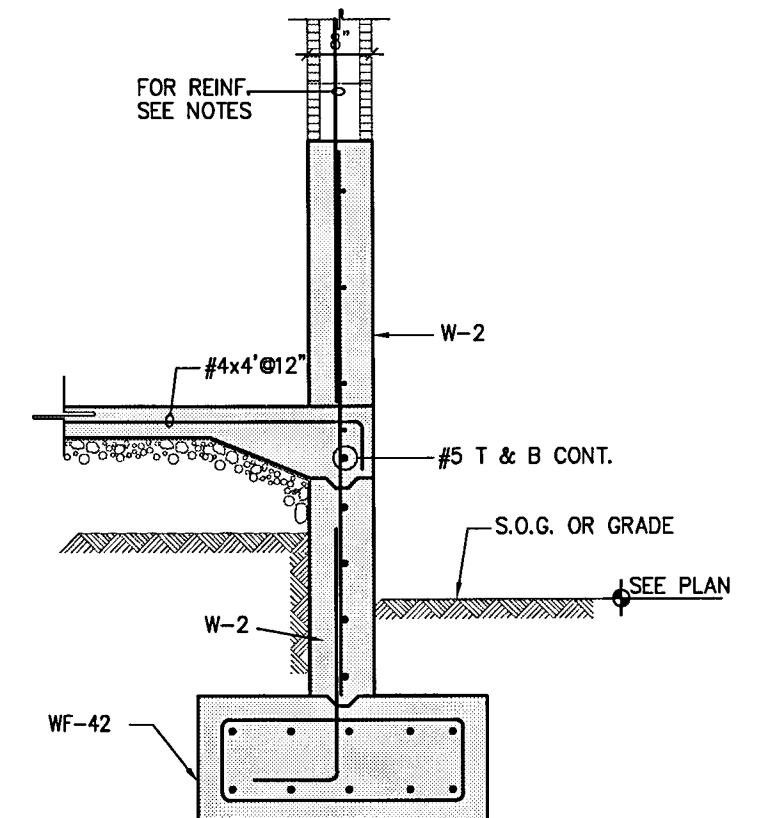


**GROUND LEVEL FRAMING & REINFORCING PLAN**  
SCALE 3/32"=1'-0"

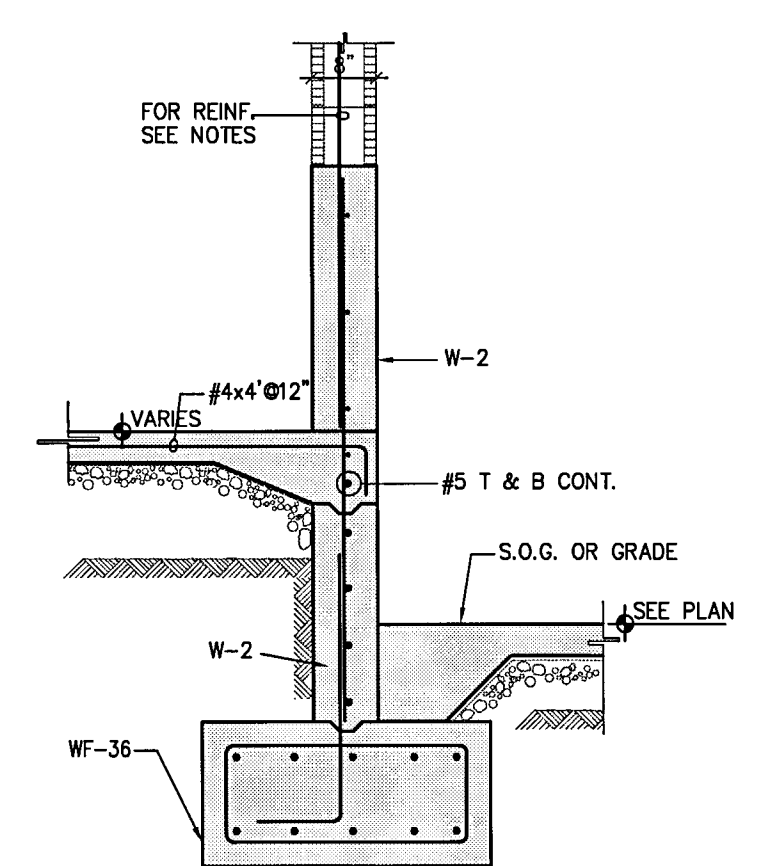
**LEGEND:**  
PPI = PROGRESS OR PARTIAL INSPECTION  
IGC = IN GENERAL CONFORMANCE WITH CONTRACT DOCUMENTS



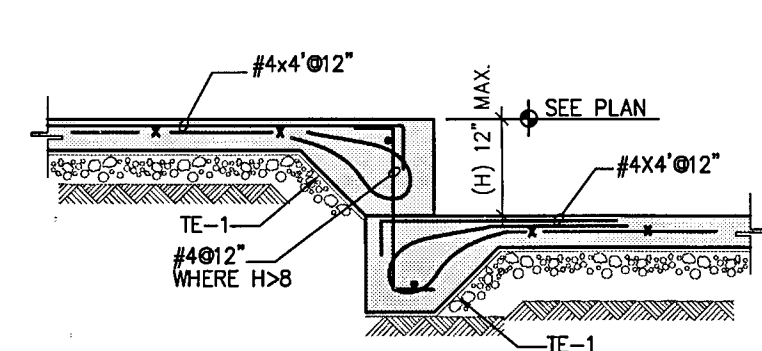
**SECTION 1-1.00**  
SCALE 1/2"=1'-0"



**SECTION 2-1.00**  
SCALE 1/2"=1'-0"



**SECTION 3-1.00**  
SCALE 1/2"=1'-0"



**SECTION 4-1.00**  
SCALE 1/2"=1'-0"

- FLOOR NOTES:**
- 1- ALL EXTERIOR WALLS SHALL BE 8" WIDE C.M.U. REINFORCED AS PER DETAILS & NOTES ON S-0.3 (U.O.N.). SEE GENERAL CONSTRUCTION NOTES ON SHEET S-0.0 FOR ADDITIONAL INFORMATION.
  - 2- SEE ARCH'L DWG'S FOR LOCATION & EXTENT OF MASONRY WALLS.
  - 3- ALL OPENINGS REQUIRED BY OTHER TRADES ARE TO BE COORDINATED W/ ARCH. & MECH. ENGINEERS AND ARE SUBJECT TO STRUCTURAL ENGINEERING APPROVAL.
  - 4- SEE TYPICAL SLAB OPENING DETAIL ON SHEET S0.1
  - 5- G.C. TO PROVIDE ADDITIONAL REINFORCING AS PER TYPICAL DETAILS ON SHEET S0.1
  - 6- SEE ARCH'L FOR DIMENSIONS NOT SHOWN.
  - 7- SEE ARCH'L FOR ALL WATERPROOFING REQUIREMENTS.
  - 8- G.C. IS RESPONSIBLE FOR COORDINATION OF STRUCTURAL PLANS WITH ARCHITECTURAL, M.E.P. OR ANY OTHER PROJECT PLANS / DRAWINGS THAT WOULD IMPACT THE STRUCTURAL LAYOUT AND OR DESIGN. STRUCTURAL ENGINEER IS TO BE NOTIFIED OF DISCREPANCIES (IF ANY) PRIOR TO COMMENCEMENT OF WORK DELINEATED HEREIN.
  - 9- COLUMNS DENOTED W/ (C) INDICATES SHEAR REINF. (SEE SHEET S0.2)
  - 10- ALL SLAB ANCHORS AND PENETRATIONS MUST BE INSTALLED IN SLAB PRIOR TO PLACING CONCRETE.
  - 11- FOR NOMENCLATURE OF TOP AND BOTTOM REBAR AND FOR STANDARD LENGTH SEE SHEET S0.2.
  - 12- ADD #5 E.W. BOTTOM AT EACH COLUMN WITHOUT DROP PANEL AS PER DETAIL ON SHEET S0.2.
  - 13- G.C. PLEASE REFER TO SOILS REPORT FOR ADDITIONAL RECOMMENDATIONS.
  - 14- ELEVATION OF TOP OF CAPS (T.O.C.) IS -2'-0" U.O.N. G.C. VERIFY TOP ELEVATION OF FOUNDATION TO AVOID FOUNDATION EXPOSED ABOVE GRADE, AND PROVIDE CLEARANCE FOR UTILITIES.
  - 15- +0'-0" DATUM ELEVATION IS EQUAL TO 12.65' N.G.V.D. ALL ELEVATIONS ARE DATUM ELEVATIONS
  - 16- PLACE FULL IRON @ TRANSFORMER VOLT AS PER FPL STANDARDS (SM. TO SHEET S0.1).
  - 17- USE 6KSI CONCRETE W/ MAX. W/C 0.4 FOR ALL FOOTINGS U.O.N.
  - 18- PROVIDE CRACK CONTROL JOINTS @ 15' MAX. ON ALL SLABS ON GRADE. SEE S-0.1 & S-0.0
  - 19- PROVIDE TE-2 (SEE S-0.1) FOR ALL INTERIOR WALLS
  - 20- FOUNDATION FOR THE TOWER, PARKING AND TOWN HOMES ARE BEARING ON NATURAL UNDERLIEING WITH 5,000PSF, 6,000PSF, AND 4,000 PSF ALLOWABLE BEARING CAPACITY RESPECTIVELY. SEE INVS REPORT # 15212 DATED JULY 2016.
  - 21- ALL THE FOUNDATIONS (INCLUDING FOOTING, GRADE BEAM, AND OTHERS) MUST BE CONSTRUCTED ENTIRELY WITHIN THE PROPERTY LIMITS.

PERFORMING & ALAN CONSULTING ENGINEERS, INC.  
7171 SW 62 AVENUE, FOURTH FLOOR  
MIAMI, FL 33143

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING  
PEER REVIEWED in accordance with City of Miami requirements for Structural Peer Review, and verified for Code Compliance.

PEER REVIEWED in accordance with City of Miami requirements for Structural Peer Review, and verified for Code Compliance.  
Sign: *J. P. [Signature]*  
Date: 05/13/18

JAIME H. JARAMILEO  
P.E. # 60992  
7855 NW 12TH STREET SUITE 418  
MIAMI, FL 33128  
PH: (786) 703-9245

revision:  
REVISION COMMENTS 05-14-15  
REVISION COMMENTS 05-20-15  
REVISION COMMENTS 05-20-16  
REVISION COMMENTS 05-25-16  
REVISION COMMENTS 05-25-16  
REVISION COMMENTS 05-12-17

project name:  
**PROPOSED BEST WESTERN VIB**  
1265 SW 22nd Street (Coral Way)  
MIAMI, FLORIDA

GROUND LEVEL - FRAMING & REINFORCING PLAN  
E. Frances Architecture PLLC

1155 Brickell Bay Dr. Unit 3211  
Miami, Florida 33131  
Tel: (305) 793-3919

ARCH. LICENSE  
AR 0005645  
AA 2601716

Job no.  
date: 05-29-2015  
scale:  
As Shown  
drawn by:

sheet no.  
**S-1.00**



September 10<sup>th</sup>, 2021

**Mr. Maurice L. Pons**  
Building Official  
**City of Miami Building Department**  
444 SW 2<sup>nd</sup> Ave, 4<sup>th</sup> Floor  
Miami, Florida, 33130

REF: Corrosion assessment for existing column dowels at Best Western ViB  
BD-15-009792001 B001.  
1265 SW 22<sup>nd</sup> Street  
Miami, FL

Dear Mr. Pons.

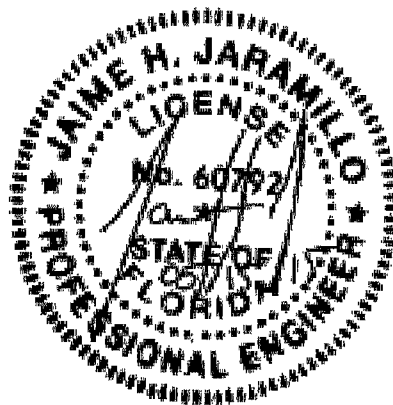
The present letter is to inform that we have reviewed the field measurement of the existing column dowels that have been exposed to corrosion in the project mentioned above (see report by NV5). As of today, based on the report, the existing reinforcing complies with the specified reinforcing for those columns.

The corrosion of the reinforcing would have to be removed before they proceed to form and pour those columns. We recommend that if the rebar would be exposed to corrosion for longer period, those bars be cleaned of corrosion and epoxy coated to protect them from further corrosion. The rebar would have to be evaluated again before the columns are formed and poured.

Please do not hesitate to contact me if you have any comments or concerns.

Sincerely;

Jaime H. Jaramillo P.E.  
B&J Consulting Engineers



Digitally signed  
by Jaime H  
Jaramillo  
Date:  
2021.09.10  
10:15:55 -04'00'





September 10, 2021

Mr. Vincenzo Alaimo  
Delia Hospitality, LLC.  
7925 NW 12<sup>th</sup> Street, Suite 401  
Doral, Florida 33126

Re: Report for Reinforcing Steel Measurement of Ground Floor Columns  
Proposed Best Western VIB  
1265 SW 22<sup>nd</sup> Street  
Miami, Florida  
NV5 Project No. 15212

Dear Mr. Echezarreta:

We are pleased to submit this letter report in fulfillment of our scope of services described in our Proposal No. 21-0827 dated September 9, 2021. Work was accepted by agreement to our Professional Services Agreement. This letter summarizes reinforcing steel diameter measurements collected from the ground floor columns at the project.

#### **PROJECT INFORMATION**

The project address is 1265 SW 22<sup>nd</sup> Street in Miami, Florida. It is bounded by SW 21<sup>st</sup> Terrace to the north, by SW 22<sup>nd</sup> Street to the south, and by single-level commercial developments to the east and west. According to a topographic and boundary survey prepared by Alvarez, Aiguesvives & Associates dated May 28, 2015, site dimensions are approximately 175 feet east-west by 210 feet north-south.

According to a set of architectural plans dated May 29, 2015 prepared by Frances Anillo Toledo, LLC (revision 7 dated 5/12/17), the proposed development will occupy the majority of the site minus setbacks, and will include townhomes, a parking garage, and a 10-level hotel with a 3-level podium. No basement areas are planned for the development and the ground floor slabs are expected to be close to the existing grade.

NV5 performed a geotechnical study for the proposed construction and latest report was titled *Revised Report of Subsurface Exploration and Geotechnical Engineering Study, Proposed Best Western VIB, 1265 SW 22<sup>nd</sup> Street, Miami, Florida, NV5 Project No. 15212, dated July 18, 2016.*

Subsequent to our study, we have been retained to perform construction material testing and observations during the foundation work. The project started construction in 2019 and nine (9) footings were poured in January 2020. NV5 inspected and tested the construction of these foundations. Since then, construction stopped and has recently resumed. We understand the City of Miami has requested the exposed reinforcement from the footings poured in 2020 be evaluated by the EOR.

This report provides observations regarding the quantity of reinforcing steel at each one of the columns poured in 2020 as well as diameter measurements of select bars of these columns.

**SITE OBSERVATIONS AND MEASUREMENTS**

On September 9, 2021, an NV5 inspector visited the site to observe the quantity of reinforcing steel of select columns at the site. These columns correspond to footings identified in the drawings as 40 through 43 and 45 through 49, which were poured in January 2020. During this visit, the inspector also removed any surface corrosion from two (2) bars at depths of 2 and 4 feet from grade prior to measuring the reinforcing steel diameter at these locations. The reinforcing steel bars were selected randomly. Two measurements were collected at each location, for a total of four (4) readings per bar. Photographs of our observations and measurements are included in Appendix A.

The table below provides a summary of all the data collected during our site visit.

FOOTING NO.	QUANTITY & SIZE OF BARS FROM DRAWINGS	FIELD OBSERVATIONS AND MEASUREMENTS			
		QUANTITY OF BARS INSTALLED	READING HEIGHT FROM GROUND (feet)	BAR DIAMETER (inches)	
				1st Reading	2nd Reading
40	10 #8	10	1	0.948	0.950
			3	0.944	0.938
41	10 #8	10	2	0.947	0.963
			4	0.953	0.985
42	10 #8	10	2	0.944	0.941
			4	0.922	0.953
43	10 #8	10	2	0.938	0.952
			4	0.962	0.979
45	12 #8	12	2	0.975	0.964
			4	0.959	0.950
46	12 #8	12	2	0.941	0.953
			4	0.966	0.949
47	12 #7	12	2	0.868	0.839
			4	0.836	0.842
48	12 #7	12	1	0.833	0.832
			3	0.830	0.838
49	12 #8	12	2	0.945	0.976
			4	0.947	0.940

The tests were performed in general accordance with the procedures described above. A criterion for review of the test results was not provided. The structural engineer should review the data presented herein and issue a final determination regarding the structural integrity of the steel and compliance with the project design.

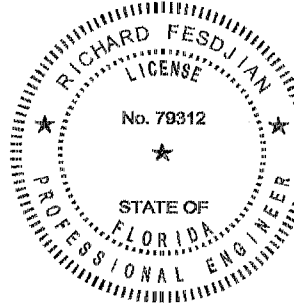
**NV5**

**CLOSURE**

We trust this letter provides the information required at this time. If you have questions about information contained in this report please do not hesitate to contact the writer at 305.901-1921.

Sincerely,  
NV5, Inc.

Richard Fesdjian, P.E.  
Senior Project Manager  
Florida License No. 79312



This document has been digitally signed and sealed by:

Richard Fesdjian richard.fesdjian@nv5.com  
2021.09.10 08:31:05-04'00'

Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies

Attachments: Appendix A – Photographs of Ground Floor Column Reinforcing Steel Measurements

Distribution: Copy to Addressee via E-mail  
Copy to NV5 Project File

F:\DOC\NV5 Reports\15212\_Best Western VIB rebar diameter measurements\_1265 SW 22nd Street Miami\_Alaimo Construction\_09-10-2021.docx

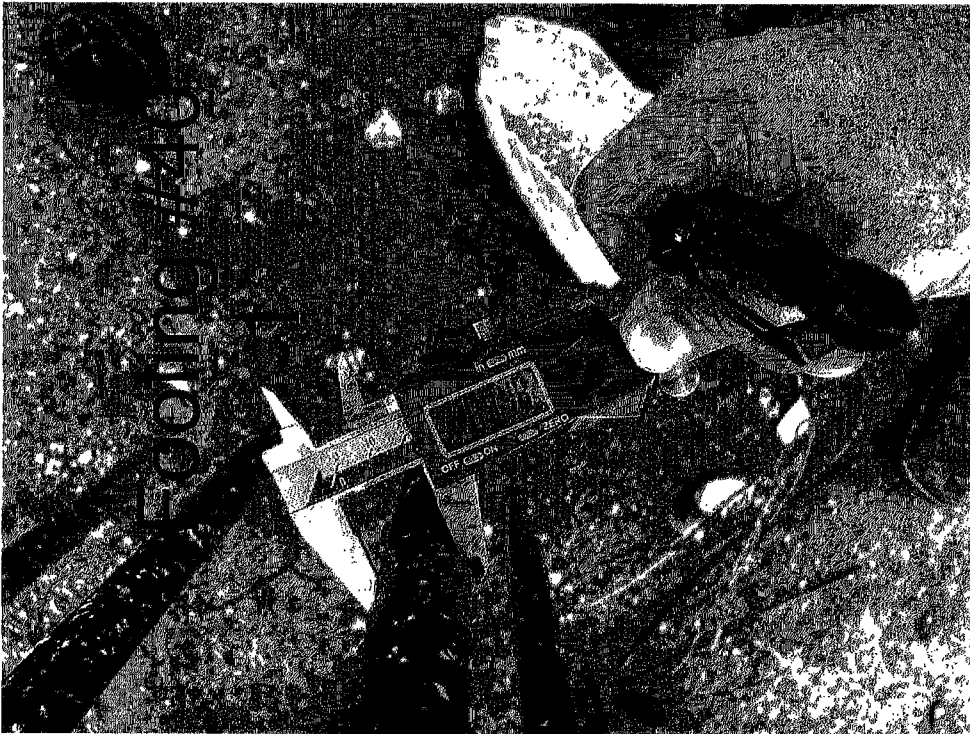
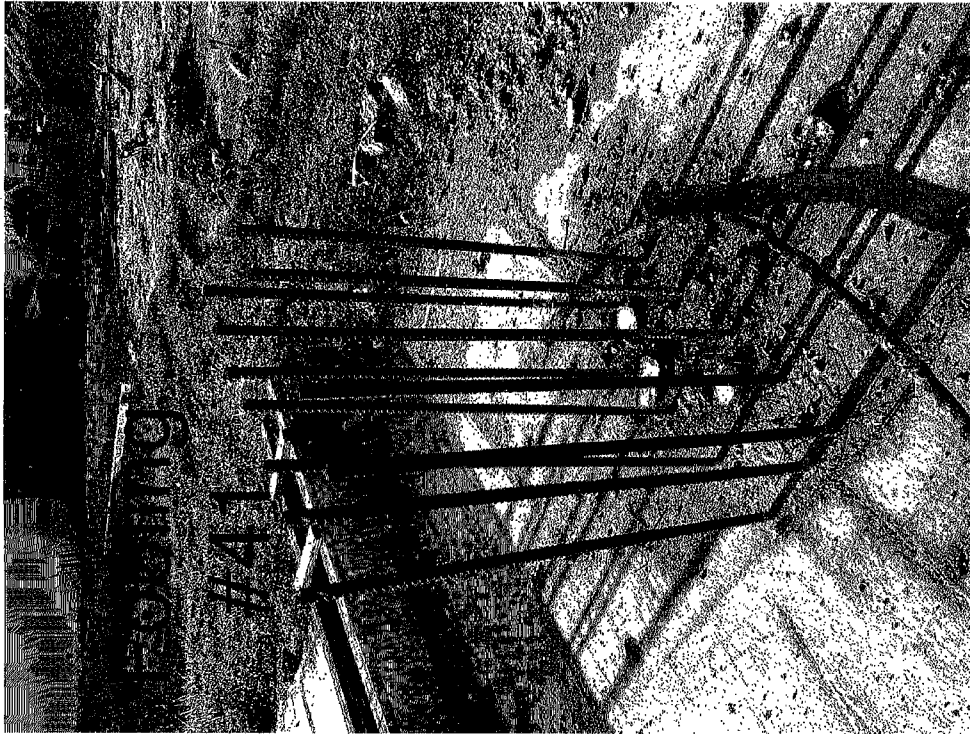
**NV5**

CONSTRUCTION QUALITY ASSURANCE - INFRASTRUCTURE - ENERGY - PROGRAM MANAGEMENT - ENVIRONMENTAL

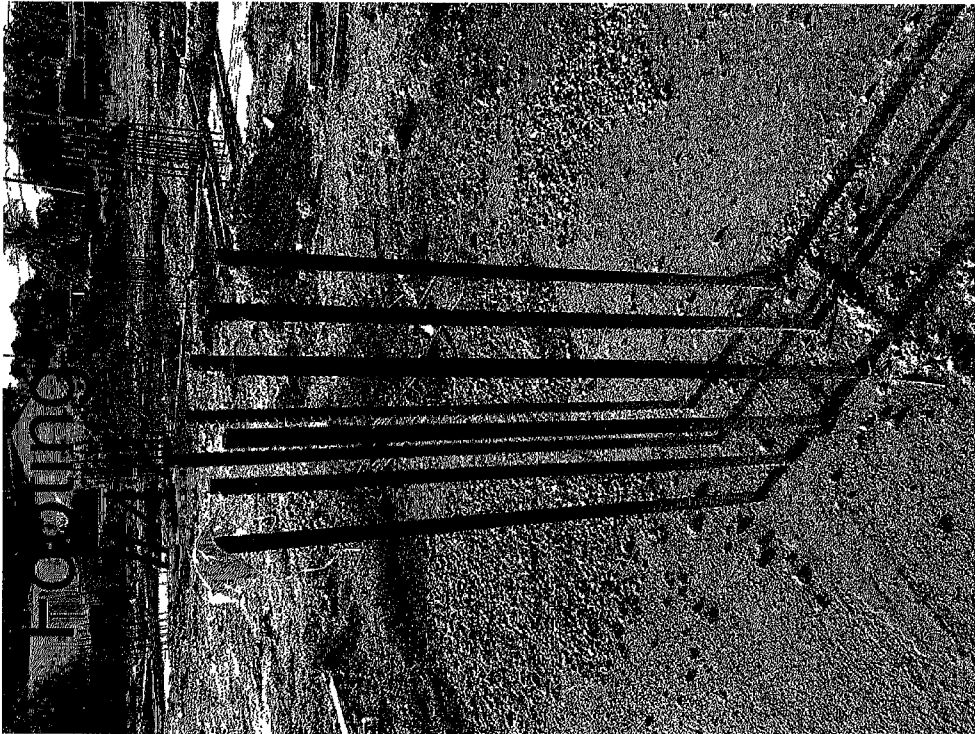
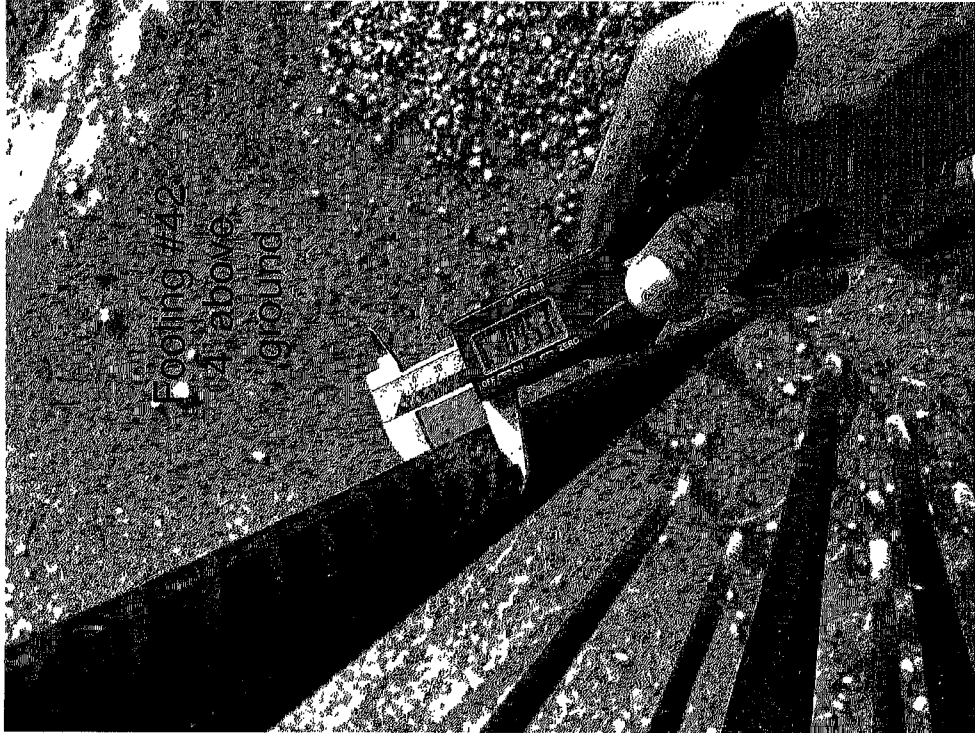
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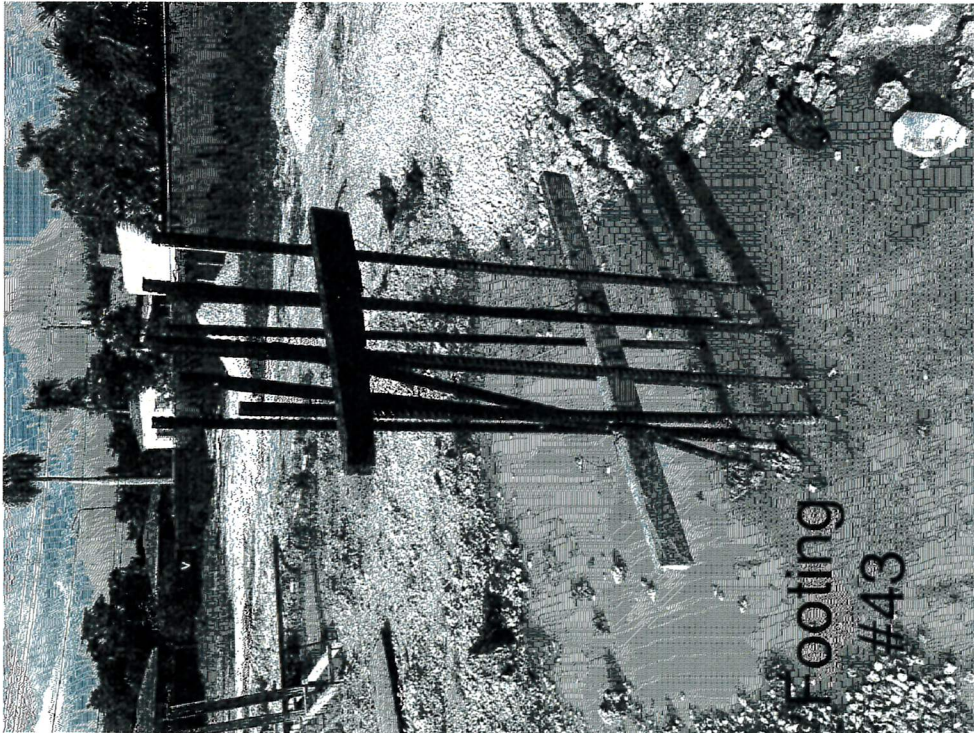
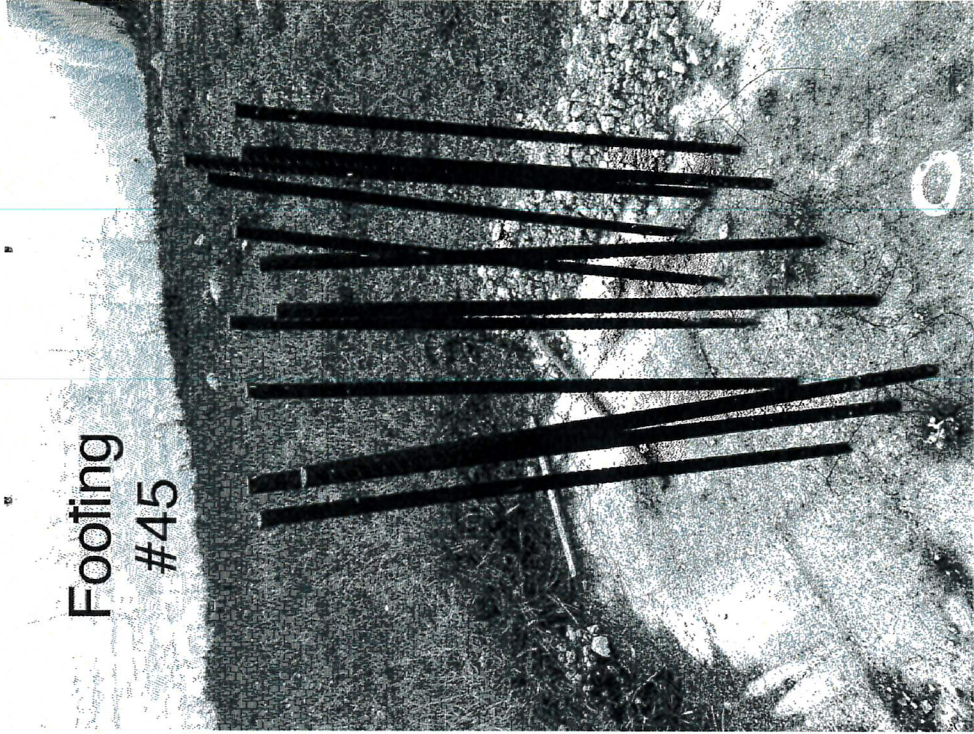
## APPENDIX A

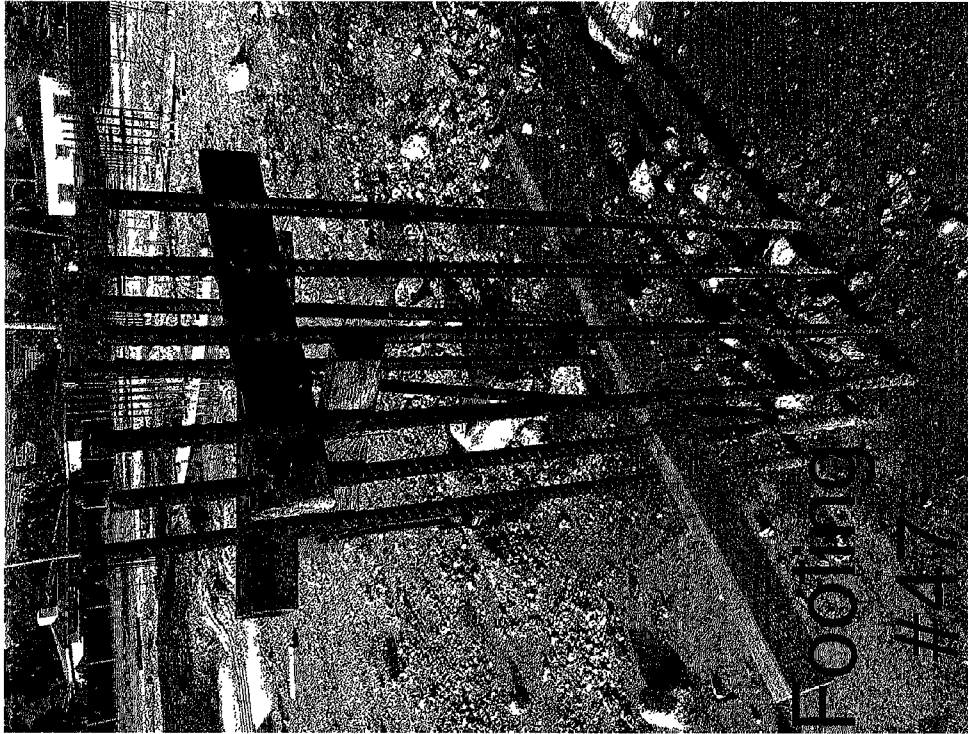
# PHOTOGRAPHS OF GROUND FLOOR COLUMN REINFORCING STEEL MEASUREMENTS



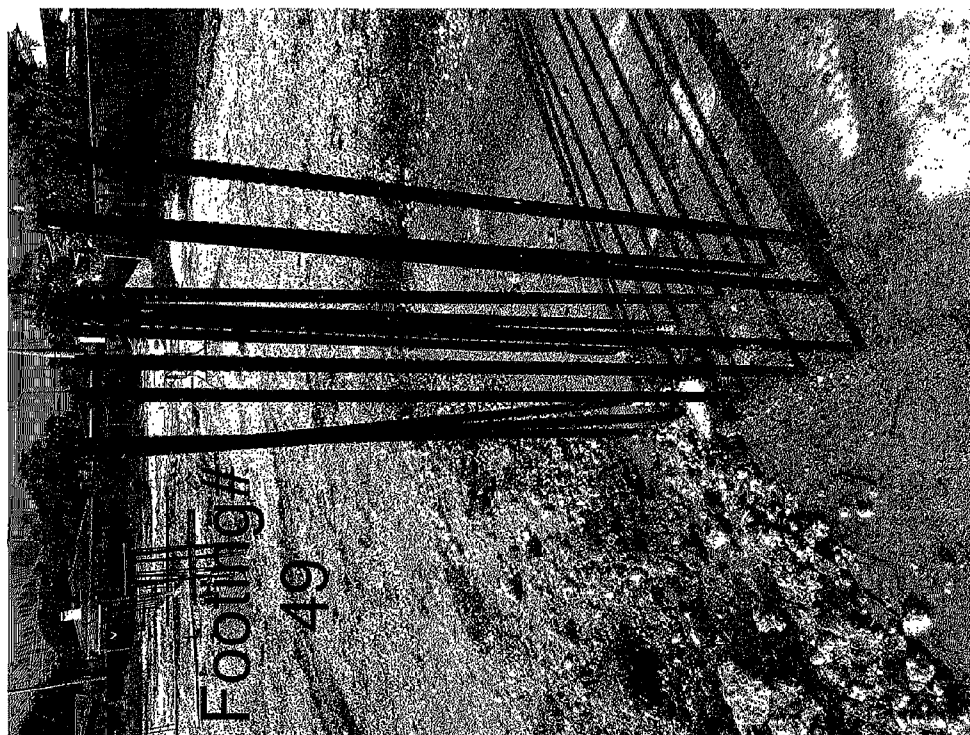
Attachment034











Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page Case Initiation
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

### Property Information

Address: 1265 SW 22 ST  
 Zone: 34  
 Folio: 0141390073350  
 Owner: DELIA HOSPITALITY LLC  
 Owner Address: 1265 SW 22 ST  
 Net ID: LITTLE HAVANA  
 Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?	
CE2019016073	Closed		<input type="button" value="New Case"/> <input type="button" value="Save"/>
CE2019013117	Closed	Property is secured. Violation closed	<input type="button" value="Add Requestor"/>
CE2019012915	Closed		<input type="button" value="Move To Legal Folio"/>
CE2018016271	Closed		
CE2017009695	Closed		
CE2016019858	Closed		
SW2016007175	Closed		
SW2013000062	Closed		
CE2012019180	Closed		
CE2012016011	Closed		
CE2012016010	Closed		
CE2012015634	Closed		
CE2012012670	Closed		

Case Address: 1265 SW 22 ST  
 Description: Fence left open. Failure to secure property  
 Right of Way?   
 Repeat Offence?

311 Tracking:   
 Division: Code Enforcement  
 Process:   
 Source: Employee  
 Request Type: Service Request  
 Complaint Type: Building Maintenance  
 Priority: 1  
 Inspector: Genesis Troutman  
 Received: Aug 19, 2019  
 Service Date:   
 First Inspection: Aug 21, 2019  
 In Compliance:   
 Closed Date: Aug 21, 2019  
 Daily Per Diem:   
 Last Completed Activity: Aug 21, 2019

Refer To:  Submit Query   
 Entered by gtroutman on Aug 19, 2019.  
 Override the Geo Inspector assignment

Violations

Search By: Case Street Number Name Type

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)  
[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page Case Initiation
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

**Property Information**

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

**Case Information**

Case Number	Status	Where on Property?	
CE2019017610	Closed		<input type="button" value="New Case"/>
CE2019016073	Closed		<input type="button" value="Save"/>
CE2019013117	Closed		<input type="button" value="Add Requestor"/>
CE2019012915	Closed	OVER GROWN LOT	<input type="button" value="Move To Legal Folio"/>
CE2018016271	Closed		
CE2017009695	Closed		
CE2016019858	Closed		
SW2016007175	Closed		
SW2013000062	Closed		
CE2012019180	Closed		
CE2012016011	Closed		
CE2012016010	Closed		
CE2012015634	Closed		

Case Address  Right of Way?   
 Description  Repeat Offence?   
 Submit Query

311 Tracking

Division   
 Process   
 Source   
 Request Type

Received  In Compliance   
 Service Date  Closed Date   
 First Inspection  Daily Per Diem   
 Last Completed Activity

Complaint Type   
 Priority   
 Inspector  Refer To    
 Override the Geo Inspector assignment Entered by LPerez on Sep 11, 2019.

**Violations**

- 2180 - Failure to maintain lot in a safe, clean condition; not allowing accumulation of debris, trash or dense growth
- 2266 - Failure to maintain landscape
- 2114 - Removal of required landscape or failure to maintain required landscape.

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)  
[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page Case Initiation
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

### Property Information

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?	
<b>CE2019023949</b>	<b>Closed</b>		<input type="button" value="New Case"/>
CE2019017610	Closed		<input type="button" value="Save"/>
CE2019016073	Closed	↑	<input type="button" value="Add Requestor"/>
CE2019013117	Closed		<input type="button" value="Move To Legal Folio"/>
CE2019012915	Closed		
CE2018016271	Closed		
CE2017009695	Closed		
CE2016019858	Closed		
SW2016007175	Closed		Right of Way? <input type="checkbox"/>
SW2013000062	Closed		Repeat Offence? <input type="checkbox"/>
CE2012019180	Closed		
CE2012016011	Closed	↓	
CE2012016010	Closed	↓	

Case Address   
 Description   
 Submit Query

311 Tracking   
 Division   
 Process   
 Source   
 Request Type   
 Complaint Type   
 Priority   
 Inspector   
 Override the Geo Inspector assignment

Received  In Compliance   
 Service Date  Closed Date   
 First Inspection  Daily Per Diem   
 Last Completed Activity

Refer To    
 Entered by LPerez on Dec 23, 2019.

**Violations**

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)

[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal  | Violations  | Letters  | Hearings  | Lot Clearing  | Comments  | **Current Page**  
 Initiation  | Activities  | Images  | To Do List  | Liens  | Move Case  | Contacts  | **Case Initiation**

### Property Information

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?	
<a href="#">CE2020001789</a>	Closed		<input type="button" value="New Case"/> <input type="button" value="Save"/>
<a href="#">CE2019023949</a>	Closed	21 ter	<input type="button" value="Add Requestor"/>
<a href="#">CE2019017610</a>	Closed	gate broke	<input type="button" value="Move To Legal Folio"/>
<a href="#">CE2019016073</a>	Closed		
<a href="#">CE2019013117</a>	Closed		
<a href="#">CE2019012915</a>	Closed		
<a href="#">CE2018016271</a>	Closed		
<a href="#">CE2017009695</a>	Closed		
<a href="#">CE2016019858</a>	Closed		
<a href="#">SW2016007175</a>	Closed		
<a href="#">SW2013000062</a>	Closed		
<a href="#">CE2012019180</a>	Closed		
<a href="#">CE2012016011</a>	Closed		

Case Address  Right of Way?   
 Description  Repeat Offence?   
 Submit Query

311 Tracking   
 Division   
 Process   
 Source   
 Request Type   
 Complaint Type   
 Priority   
 Inspector

Received  In Compliance   
 Service Date  Closed Date   
 First Inspection  Daily Per Diem   
 Last Completed Activity

Refer To    
 Entered by LPerez on Jan 23, 2020.

Violations

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)

[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page <b>Case Initiation</b>
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

### Property Information

Address: 1265 SW 22 ST  
 Zone: 34  
 Folio: 0141390073350  
 Owner: DELIA HOSPITALITY LLC  
 Owner Address: 1265 SW 22 ST  
 Net ID: LITTLE HAVANA  
 Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?	
CE2020005130	Open		<input type="button" value="New Case"/>
CE2020001789	Closed		<input type="button" value="Save"/>
CE2019023949	Closed		<input type="button" value="Add Requestor"/>
CE2019017610	Closed		<input type="button" value="Move To Legal Folio"/>
CE2019016073	Closed		
CE2019013117	Closed		
CE2019012915	Closed		
CE2018016271	Closed		
CE2017009695	Closed		
CE2016019858	Closed		
SW2016007175	Closed		
SW2013000062	Closed		
CE2012019180	Closed		

no NO PERMIT FOR FENCE ON 21 TE

Case Address: 1265 SW 22 ST  
 Description:   
 Right of Way?   
 Repeat Offence?

Submit Query

311 Tracking:   
 Division: Code Enforcement  
 Process: Code Enforcement NOV  
 Source: Citizen  
 Request Type: Case  
 Complaint Type: Illegal Construction  
 Priority: 1  
 Inspector: Lazaro Perez  
 Override the Geo Inspector assignment

Received: Mar 04, 2020  
 Service Date: Mar 04, 2020  
 First Inspection: Mar 04, 2020  
 In Compliance: Dec 21, 2020  
 Closed Date:   
 Daily Per Diem: 250  
 Last Completed Activity: Jan 20, 2022

Refer To: Submit Query   
 Entered by LPerez on Mar 04, 2020.

Violations:  
 2104 - Work performed without a permit and/or permit not finalized.  
 2284 - Failure to obtain a Temporary Use Permit or Temporary Occupancy Permit.

Search By: Case Street Number Name Type

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST  
1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page <b>Case Initiation</b>
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

### Property Information

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?	
<b>CE2020009593</b>	<b>Closed</b>		<input type="button" value="New Case"/> <input type="button" value="Save"/>
CE2020005130	Open		<input type="button" value="Add Requestor"/>
CE2020001789	Closed		<input type="button" value="Move To Legal Folio"/>
CE2019023949	Closed	Submit Query	
CE2019017610	Closed		
CE2019016073	Closed		
CE2019013117	Closed		
CE2019012915	Closed	Case Address	Right of Way? <input type="checkbox"/>
CE2018016271	Closed	1265 SW 22 ST	Repeat Offence? <input type="checkbox"/>
CE2017009695	Closed	Description	
CE2016019858	Closed	Overgrown lot/ swale , graffiti on fence screen, illegal dumping on property	
SW2016007175	Closed		
SW2013000062	Closed		

311 Tracking

Division

Process

Source

Request Type

Complaint Type

Priority

Inspector

Override the Geo Inspector assignment

Received  In Compliance   
 Service Date  Closed Date   
 First Inspection  Daily Per Diem   
 Last Completed Activity

Refer To

Entered by JoCastillo on May 22, 2020.

**Violations**

2180 - Failure to maintain lot in a safe, clean condition; not allowing accumulation of debris, trash or dense growth  
 4444 - FAILURE TO MAINTAIN PUBLIC RIGHT OF WAY UP TO THE EDGE OF THE PAVEMENT OF ANY PUBLIC STREE  
 2187 - Graffiti on property

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)  
[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal  Violations  Letters  Hearings  Lot Clearing  Comments  **Current Page**  
 Initiation  Activities  Images  To Do List  Liens  Move Case  Contacts  **Case Initiation**

### Property Information

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?
<a href="#">CE2020020998</a>	Closed	
CE2020009593	Closed	
CE2020005130	Open	
CE2020001789	Closed	
CE2019023949	Closed	
CE2019017610	Closed	
CE2019016073	Closed	
CE2019013117	Closed	
CE2019012915	Closed	
CE2018016271	Closed	
CE2017009695	Closed	
CE2016019858	Closed	
SW2016007175	Closed	

Submit Query

**Case Address**   Right of Way?  
**Description**   Repeat Offence?

311 Tracking   
 Division   
 Process   
 Source   
 Request Type   
 Complaint Type   
 Priority   
 Inspector   Override the Geo Inspector assignment  
 Received  In Compliance   
 Service Date  Closed Date   
 First Inspection  Daily Per Diem   
 Last Completed Activity

Refer To    
 Entered by JoCastillo on Nov 23, 2020.

**Violations**  
 2180 - Failure to maintain lot in a safe, clean condition; not allowing accumulation of debris, trash or dense growth  
 2171 - Failure to maintain exterior of commercial or residential property

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)

[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)



Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page <b>Case Initiation</b>
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

**Property Information**

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

**Case Information**

Case Number	Status	Where on Property?	
<b>CE2021004021</b>	<b>Open</b>		<input type="button" value="New Case"/> <input type="button" value="Save"/>
CE2020020996	Closed		<input type="button" value="Add Requestor"/>
CE2020009593	Closed		<input type="button" value="Move To Legal Folio"/>
CE2020005130	Open	Submit Query	
CE2020001789	Closed		
CE2019023949	Closed		
CE2019017610	Closed		
CE2019016073	Closed	Case Address	Right of Way? <input type="checkbox"/>
CE2019013117	Closed	1265 SW 22 ST	Repeat Offence? <input checked="" type="checkbox"/>
CE2019012915	Closed	Description	
CE2018016271	Closed	fence mesh fallen on sidewalk, overgrown lot	
CE2017009695	Closed		
CE2016019858	Closed		

311 Tracking

Division

Process

Source

Request Type

Complaint Type

Priority

Inspector

Override the Geo Inspector assignment

Received  In Compliance

Service Date  Closed Date

First Inspection  Daily Per Diem

Last Completed Activity

Refer To

Entered by JoCastillo on Mar 01, 2021.

**Violations**

- 2180 - Failure to maintain lot in a safe, clean condition; not allowing accumulation of debris, trash or dense growth
- 2171 - Failure to maintain exterior of commercial or residential property
- 2187 - Graffiti on property

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)

[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page Case Initiation
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

**Property Information**

Address: 1265 SW 22 ST  
 Zone: 34  
 Folio: 0141390073350  
 Owner: DELIA HOSPITALITY LLC  
 Owner Address: 1265 SW 22 ST  
 Net ID: LITTLE HAVANA  
 Registered  Lot Registered

**Case Information**

Case Number	Status	Where on Property?	
CE2021012931	Closed		<input type="button" value="New Case"/> <input type="button" value="Save"/>
CE2021004021	Open		<input type="button" value="Add Requestor"/>
CE2020020996	Closed		<input type="button" value="Move To Legal Folio"/>
CE2020009593	Closed		
CE2020005130	Open		
CE2020001789	Closed		
CE2019023949	Closed		
CE2019017610	Closed		
CE2019016073	Closed		
CE2019013117	Closed		
CE2019012915	Closed		
CE2018016271	Closed		
CE2017009695	Closed		

Submit Query

Case Address: 1265 SW 22 ST  
 Description: Is there trash on the lot?: NO  
 Swale is Overgrown (Y/N)?: No  
 Overgrown complaint is for Right of Way (Y/N)?: No  
 Right of Way?   
 Repeat Offence?

311 Tracking: 21-10282872  
 Division: Code Enforcement  
 Process:   
 Source: 311 system   
 Request Type: Service Request   
 Complaint Type: Overgrown Lot  
 Priority: 1   
 Inspector: Josseline Castillo   
 Override the Geo Inspector assignment

Received: Jul 02, 2021  
 Service Date:   
 First Inspection: Jul 06, 2021  
 In Compliance:   
 Closed Date: Jul 06, 2021  
 Daily Per Diem:   
 Last Completed Activity: Jul 06, 2021

Refer To: Submit Query

Entered by 311CSR on Jul 02, 2021.

Violations

Search By: Case Street Number Name Type

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)  
[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page Case Initiation
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

### Property Information

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?	
<b>CE2021017118</b>	<b>Closed</b>		<input type="button" value="New Case"/> <input type="button" value="Save"/>
CE2021012931	Closed	On site.	<input type="button" value="Add Requestor"/>
CE2021004021	Open		<input type="button" value="Move To Legal Folio"/>
CE2020020996	Closed		
CE2020009593	Closed		
CE2020005130	Open		
CE2020001789	Closed		
CE2019023949	Closed		Case Address <input type="text" value="1265 SW 22 ST"/>
CE2019017610	Closed		Right of Way? <input type="checkbox"/>
CE2019016073	Closed		Repeat Offence? <input type="checkbox"/>
CE2019013117	Closed		Description <input type="text" value="Commercial vehicles parked on the property."/>
CE2019012915	Closed		
CE2018016271	Closed		

311 Tracking

Division

Process

Source

Request Type

Complaint Type

Priority

Inspector

Override the Geo Inspector assignment

Received  In Compliance

Service Date  Closed Date

First Inspection  Daily Per Diem

Last Completed Activity

Refer To

Entered by RCesar on Aug 25, 2021.

Violations

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)  
[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page Case Initiation
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

**Property Information**

Address: 1265 SW 22 ST  
 Zone: 34  
 Folio: 0141390073350  
 Owner: DELIA HOSPITALITY LLC  
 Owner Address: 1265 SW 22 ST  
 Net ID: LITTLE HAVANA  
 Registered  Lot Registered

**Case Information**

Case Number	Status	Where on Property?	
CE2021017368	Closed		<input type="button" value="New Case"/> <input type="button" value="Save"/>
CE2021017118	Closed	After-Hours detail	<input type="button" value="Add Requestor"/>
CE2021012931	Closed		<input type="button" value="Move To Legal Folio"/>
CE2021004021	Open		
CE2020020996	Closed		
CE2020009593	Closed		
CE2020005130	Open		
CE2020001789	Closed		
CE2019023949	Closed		
CE2019017610	Closed		
CE2019016073	Closed		
CE2019013117	Closed		
CE2019012915	Closed		

Case Address: 1265 SW 22 ST  
 Description: Hotline complaint for construction/commercial vehicle entering through residential street  
 Right of Way?   
 Repeat Offence?

311 Tracking:   
 Division: Code Enforcement  
 Process: Code Enforcement Ticket  
 Source: Citizen  
 Request Type: Case  
 Complaint Type: Saturday inspection  
 Priority: 1  
 Inspector: Jason Mignott  
 Received: Aug 28, 2021  
 Service Date: Aug 28, 2021  
 First Inspection: Aug 28, 2021  
 In Compliance: Sep 15, 2021  
 Closed Date: Sep 15, 2021  
 Daily Per Diem:   
 Last Completed Activity: Sep 01, 2021  
 Refer To: Submit Query   
 Entered by JaMignott on Aug 28, 2021.  
 Override the Geo Inspector assignment

Violations: 2281 - Failure to protect a tree during construction, demolition, or development.

Search By: Case Street Number Name Type

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)  
[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal <input type="checkbox"/>	Violations <input type="checkbox"/>	Letters <input type="checkbox"/>	Hearings <input type="checkbox"/>	Lot Clearing <input type="checkbox"/>	Comments <input type="checkbox"/>	Current Page <b>Case Initiation</b>
Initiation <input type="checkbox"/>	Activities <input type="checkbox"/>	Images <input type="checkbox"/>	To Do List <input type="checkbox"/>	Liens <input type="checkbox"/>	Move Case <input type="checkbox"/>	

### Property Information

Address: 1265 SW 22 ST      Owner: DELIA HOSPITALITY LLC  
 Zone: 34      Owner Address: 1265 SW 22 ST  
 Folio: 0141390073350      Net ID: LITTLE HAVANA  
 Registered       Lot Registered

### Case Information

Case Number	Status	Where on Property?	
CE2021017515	Closed		<input type="button" value="New Case"/> <input type="button" value="Save"/>
CE2021017368	Closed		<input type="button" value="Add Requestor"/>
CE2021017118	Closed		<input type="button" value="Move To Legal Folio"/>
CE2021012931	Closed	Submit Query	
CE2021004021	Open		
CE2020020996	Closed		
CE2020009593	Closed		
CE2020005130	Open		
CE2020001789	Closed		Right of Way? <input type="checkbox"/>
CE2019023949	Closed		Repeat Offence? <input type="checkbox"/>
CE2019017610	Closed		
CE2019016073	Closed		
CE2019013117	Closed		

Case Address: 1265 SW 22 ST  
 Description: Construction work before allowed time.

311 Tracking:

Division: Code Enforcement  
 Process: Code Enforcement Ticket  
 Source: Employee  
 Request Type: Case

Complaint Type: Noise Violation  
 Priority: 1  
 Inspector: Josseline Castillo  
 Override the Geo Inspector assignment

Received: Aug 31, 2021      In Compliance: Oct 29, 2021  
 Service Date: Aug 31, 2021      Closed Date: Nov 04, 2021  
 First Inspection: Aug 31, 2021      Daily Per Diem:   
 Last Completed Activity: Nov 04, 2021

Refer To: Submit Query        
 Entered by JoCastillo on Aug 31, 2021.

Violations: 1605 - Operating construction equipment at unauthorized time and/or creating a noise disturbance and/or exceeding decibel

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)

[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal  Violations  Letters   
 Initiation  Activities  Images

Hearings  Lot Clearing   
 To Do List  Liens

Comments   
 Move Case  Contacts

Current Page  
Case Initiation

### Property Information

Address  Owner   
 Zone  Owner Address   
 Folio  Net ID

Registered  Lot Registered

### Case Information

Case Number	Status	Where on Property?
CE2021022678	Closed	
CE2021017515	Closed	
CE2021017368	Closed	
CE2021017118	Closed	
CE2021012931	Closed	
CE2021004021	Open	
CE2020020996	Closed	
CE2020009593	Closed	
CE2020005130	Open	
CE2020001789	Closed	
CE2019023949	Closed	
CE2019017610	Closed	
CE2019016073	Closed	

Submit Query

Case Address:  Right of Way?   
 Description:  Repeat Offence?

311 Tracking

Division:   
 Process:   
 Source:   
 Request Type:

Complaint Type:   
 Priority:   
 Inspector:

Received:  In Compliance:   
 Service Date:  Closed Date:   
 First Inspection:  Daily Per Diem:   
 Last Completed Activity:

Refer To:  Refer

Override the Geo Inspector assignment

Entered by JoCastillo on Nov 01, 2021.

### Violations

- 2180 - Failure to maintain lot in a safe, clean condition; not allowing accumulation of debris, trash or dense growth
- 2187 - Graffiti on property

Search By:

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



[1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST](#)  
[1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST](#)

Portal  | Violations  | Letters  | Hearings  | Lot Clearing  | Comments  | **Current Page**  
 Initiation  | Activities  | Images  | To Do List  | Liens  | Move Case  | Contacts  | **Case Initiation**

### Property Information

Address: 1265 SW 22 ST | Owner: DELIA HOSPITALITY LLC  
 Zone: 34 | Owner Address: 1265 SW 22 ST  
 Folio: 0141390073350 | Net ID: LITTLE HAVANA  
 Registered  | Lot Registered

### Case Information

Case Number	Status	Where on Property?
CE2019013117	Closed	
CE2019012915	Closed	
CE2018016271	Closed	
CE2017009695	Closed	
CE2016019858	Closed	
SW2016007175	Closed	
SW2013000062	Closed	
CE2012019180	Closed	
CE2012016011	Closed	
CE2012016010	Closed	
CE2012015634	Closed	
CE2012012670	Closed	
CE2011010510	Closed	

|

**Case Address:** 1265 SW 22 ST | **Right of Way?**   
**Description:** What is causing the noise?: construction work  
 Please provide noise violation location: Vacant lot (1265 SW 22ND ST)  
 What time did the noise violation occur?: 6:00 AM  
**Repeat Offence?**

**311 Tracking:** 19-10251174  
**Division:** Code Enforcement  
**Process:**   
**Source:** 311 system  
**Request Type:** Service Request  
**Complaint Type:** Noise Violation  
**Priority:** 1  
**Inspector:** Lazaro Perez  
 Override the Geo Inspector assignment

**Received:** Jul 08, 2019 | **In Compliance:**   
**Service Date:**  | **Closed Date:** Jul 10, 2019  
**First Inspection:** Jul 10, 2019 | **Daily Per Diem:**   
**Last Completed Activity:** Jul 10, 2019

**Refer To:** Submit Query |   
 Entered by 311CSR on Jul 08, 2019.

**Violations**

Search By: Case Street Number Name Type

Number Equal to:

Street Name Is exactly:

Street type (AC, AV, AVR, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, PL, PLZ, RD, ST, STRD, TER, TRL, WAY, WY) Is exactly:



1265, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST  
1265, 22, ST, 1265 SW 22 ST, , 1265 SW 22 ST



# OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2015 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST



**Attachment053**







# OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2016 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST



**Attachment054**



# OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2017 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST



Attachment055



# OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2018 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST



**Attachment056**



# OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2019 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST



Attachment057



# OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2020 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST



**Attachment058**



# OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2021 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST



**Attachment059**



2022/07/12 08:46

Attachment060



2022/07/12 08:46

Attachment061





2022/07/12 08:46

Attachment062



2022/07/12 08:51

Attachment063



2022/07/12 08:51

Attachment064



2022/07/12 08:50

Attachment065



2022/07/12 08:46

Attachment066



2022/07/12 08:46

Attachment067



2022/07/12 08:47

Attachment068



2022/07/12 08:50

Attachment069





2022/07/12 08:48

Attachment070



2022/07/12 08:47

Attachment071



2022/07/12 08:47

Attachment072



2022/07/12 08:46

Attachment073