

Victoria Méndez City Attorney



Telephone: (305) 416-1800 Telecopier: (305) 400-5071 E-MAIL: Law@miamigov.com

July 12, 2022

Board of Rules and Appeals 11805 S.W. 26<sup>th</sup> Street (Coral Way) Miami, FL 33175 gaspar@miamidade.gov kathy.charles@miamidade.gov dexter@miamidade.gov

RE: APPEAL REGARDING 1265 SW 22 STREET,

REVOCATION OF PERMIT NUMBER BD15-009792-001-B001

Dear Sir or Madam;

Please consider the following as the City of Miami Building Official's response to the appeal regarding the revocation of permit number BD15-009792-001-B001 ("Permit").

Delia Hospitality, LLC., Appellant, is requesting review by the Department because the City of Miami ("City") has revoked their Permit and did not attend a foundation inspection request made March 9, 2022. Appellant argues to this Department that the City applied the wrong standard with which to revoke the 2019 issued Permit.

The City properly revoked the Permit. Pursuant to Section 105.4.1.3, Florida Building Code ("FBC"). "Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days." Based on the application acceptance date of July 20, 2015, the governing code for this project is the Florida Building Code, 5th Edition (2014). The building permit was eventually issued on January 17, 2019. Today's FBC, (7th Edition), is already two code cycles beyond the original one under which this permit was issued. As of today's date, three and a half years later, Appellant has yet to complete its foundational work. *Attachment pages* 053-073.

Appellant is required to make good faith efforts to proceed with construction of their project and the City requiring them to also comply with Section 105.4.1.1, FBC does not in any

way raise the bar of what is required by all persons in possession of a permit. Both Sections are used together. Section 105.4.1.3, FBC states, "If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work." *emphasis added*. In this case, there could not be a clearer case of lack of progress. Appellant has barely done any work while exposing the entire neighborhood, including single-family homes to occasional work and the eyesore of vacant construction site. In three and a half years, Appellant has nothing to show but an abuse of the 180-day inspection requirement cycle. *Attachment pages 001-009*.

The project history, as documented with attachments, does not show that construction progress was pursued in a purposeful manner. To the contrary, the contractor scheduled inspections at the end of each applicable 180-day period as set forth in Section, 105.4.1.3, FBC, merely to keep the permit active. In some cases, requested inspections were irrelevant to the actual construction, for example:

- a. A Mechanical-Boiler inspection was scheduled for March 24, 2021; and
- b. A Zoning Final inspection was scheduled for July 21, 2021.

The Permit was renewed on January 8, 2020 and October 22, 2020 when no actions were taken. The two above requests made were not even related to the work in progress but were merely an attempt to use the rules to avoid an expired permit. Furthermore, due to the prolonged exposure of the steel reinforcement as a result of the inactivity of the project we had concerns regarding the corrosion build-up. On September 10, 2021, we received from Jaime H. Jaramillo a "Corrosion Assessment Report." *Attachment* 010 - 018.

This lack of progress and refusal of Appellant to move forward with any meaningful progress creates an untenable situation and is contemplated as a valid reason to revoke a permit pursuant to the FBC. This is, again, also problematic when the construction activity is dormant, for that is when vandalism or other criminal activity is more likely to occur. Since the Permit was issued the property has received numerous complaints. Which in turn have resulted in 14 Code Enforcement violation cases being opened. The cases range from failure to maintain lot in a safe condition, illegal use of property, graffiti, failure to maintain right of way and failure to secure property. *Attachment pages 039-052*. As such, the current pace of construction creates an unfair burden for our residents.

In conclusion, the City revoked Permit BD15009792001B001 for the project located at 1265 SW 22 ST due to lack of progress pursuant to Section, 105.4.1.1, FBC. Appellant can show no meaningful progress of work under this Permit. Why they have failed to act, whether it is financial constraints or other issues is of no merit and should not be considered by the Department. We, therefore, we respectfully request that our revocation of this Permit be upheld.

Should you require additional information, or have any questions concerning this matter, please do not hesitate to contact the undersigned, Senior Assistant City Attorney Rachel S Glorioso Dooley at (305) 416-1886 or email <a href="mailto:rsdooley@miamigov.com">rsdooley@miamigov.com</a> or Building Official Luis Torres, III at (305) 416-1101 or email at <a href="mailto:ltorresIII@miamigov.com">ltorresIII@miamigov.com</a>.

#### Sincerely,

Rachel S. Glorioso Dooley Senior Assistant City Attorney Office of the City Attorney Miami, Florida 444 SW 2 Avenue, Suite 945 Miami, Florida 33130

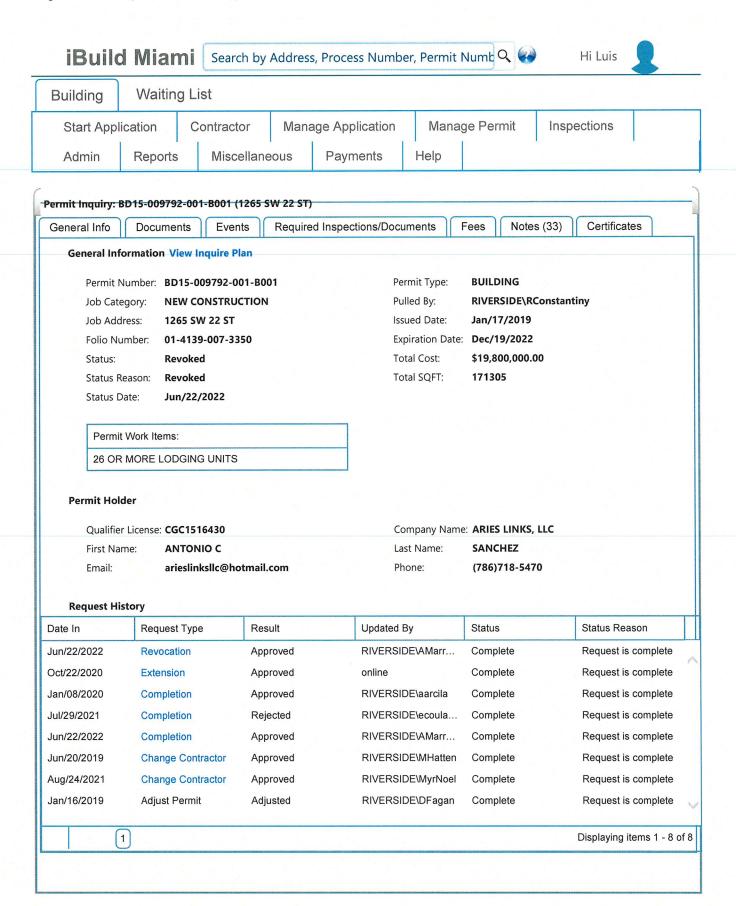
Telephone: (305)416-1886

Email: <a href="mailto:rsdooley@miamigov.com">rsdooley@miamigov.com</a>
Email: <a href="mailto:mgriffin@miamigov.com">mgriffin@miamigov.com</a>

cc:

Division Chief, Christopher Green Counsel for Appellant

Attachments



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# Permit Timeline 1265 SW 22 ST

EVENT	DATE	TYPE	RESULT	NOTES
			Schedule	ed inspections that were
				are not shown here.
Plans submitted	07-20-2015	N/A	N/A	
Permit issued	01-17-2019	N/A	N/A	Day 0/180
City inspection	07-05-2019	Building setback	NOK	Not approved; does not count for "active progress"
City inspection	07-08-2019	Building- field check*	РОК	*Field check does not extend the permit
City inspection	07-10-2019	Building setback	РОК	Day 174/180
PERMIT EXTENDED by construction progress	07-10-2019			Day 0/180
City inspection	09-06-2019	Building- field check*	РОК	*Field check does not extend the permit
Threshold inspection	12-30-2019			Report #1
Threshold inspection	01-02-2019			Report #2
Threshold inspection	01-03-2019			Report #3
Threshold inspection	01-06-2019			Report #4
PERMIT EXPIRED	01-06-2020			Day 180/180 No construction progress
PERMIT REACTIVATED	01-08-2020			Day 0/180
City inspection	03-10-2020	Building- field check*	POK	*Field check does not extend the permit
City inspection	04-07-2020	Building- field check*	РОК	*Field check does not extend the permit
City inspection	04-13-2020	Building- grade beam	РОК	Day 96/180
PERMIT EXTENDED by construction progress	04-13-2020			Day 0/180
PERMIT EXTENDED by Governor's order	05-11-2020			Extended to <b>12-09-2020</b>
City inspection	06-02-2020	Building- field check*	POK	*Field check does not extend the permit

City inspection	07-07-2020	Mechanical/Boiler- field check*	POK	*Field check does not extend the permit. Inspection result entered as POK by mistake
PERMIT EXTENDED by online request	10-22-2020			Day 0/180
City inspection	10-06-2020	Building- field check*	POK	*Field check does not extend the permit
PERMIT EXTENDED by Governor's order	11-30-2020			Extended to <b>03-09-2021</b>
PERMIT EXTENDED by Governor's order	02-18-2021			Extended to <b>09-10-2021</b>
City inspection	03-24-2021	Mechanical/Boiler- field check*	NOK	*Field check does not extend the permit
City inspection	07-21-2021	Zoning- FINAL	NOK	*Final does not extend the permit
Threshold inspection	08-31-2021			Report #5
Threshold inspection	09-01-2021			Report #6
City inspection	09-10-2021	Building- foundation	POK	Day 180/180
PERMIT EXTENDED by construction progress	09-10-2021			Day 0/180
City inspection	03-09-2022	Building- foundation	NOK	
PERMIT EXPIRED	03-09-2022			Day 180/180 No construction progress
PERMIT ABANDONED	03-10-2022			
PERMIT REACTIVATED	06-22-2022			*Internal procedure to revoke
PERMIT REVOKED	06-22-2022			
				4



Permit Number: BD15-009792-001

Job Address: 1265 SW 22 ST

Division - Inspection Type	Is Finalized	Date	Status	Result	Inspector	Inspection Remark
BUILDING - FOUNDATION	NO	Mar/09/2022	Completed	NOK	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	019 FIELD WALKTHROUGH INSPECTION. I INFORMED THE OWNER AND CONTRACTOR IN SEPT OF 2021, UNDER FBC 105.4.1.1. THAT I WAS NOT GOING TO EXTEND PERMIT ANYMORE. UNLESS I SEE EXTENSIVE PROGRESS ON THE JOBSITE. ALL THAT'S BEEN DONE IN THE LAST 6 MONTHS IS ANTHER ROW OF 7 NEW FOUNDATION PADS ONLY. IT THIRD TIME THEY DO THAT TO EXTEND THE PERMIT. FURTHERMORE ALL THE WORK IS PERFORMED A COUPLE OF WEEKS BEFORE THE PERMIT
		Sep/10/2021	Completed	POK	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	IS TO EXPIRES.  014 INSPECTION APPROVED BY THRESHOLD ENGINEER. JAIME H JARAMILLO P.E. 60792. B & J CONSULTING ENGINEER. D.O.F. INSPECTION REPORT 1 THUR 6, NOTICE OF COMMENCEMENT AND COMPACTION ONLY. ALSO THE THRESHOLD ENGINEER PROVIDED AN ADDITIONAL INSPECTION REPORT FOR THE EXISTING FOUNDATION STEEL THAT HAS BEEN EXPOSED FOR THE LAST 17 MONTHS.
BUILDING - PILES	NO					
BUILDING - GRADE BEAM	NO	Apr/13/2020	Completed	РОК	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	014 INSPECTION APPROVED BY THRESHOLD ENGINEER. JAIME H JARAMILLO P.E. 60792. B & J CONSULTING ENGINEER. D.O.F. INSPECTION REPORT 1 THUR 4 ONLY.



Division -	Is	Date	Status	Result	Inspector	Inspection Remark
Inspection Type	Finalized					
		Sep/10/2021	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	NEED TO EMIAL ME (AFPEREZ@MIAMIGOV.COM) COMPLETION LETTER AND INSPECTION REPORT RELATING TO THE PERMIT FROM YOUR THRESHOLD ENGINEER.
		Oct/19/2020	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	NEED TO EMIAL ME (AFPEREZ@MIAMIGOV.COM) ALL DOCUMENTS, COMPLETION LETTER AND INSPECTION REPORT RELATING TO THE PERMIT FROM YOUR THRESHOLD ENGINEER.
BUILDING - SLAB REINFORCEMENT	NO	Mar/09/2022	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	011-INSPECTION CANCELLATION BY ANDY
		Mar/08/2022	Canceled		Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	011-INSPECTION CANCELLATION BY ANDY
BUILDING - COLUMN REINFORCEMENT	NO					
BUILDING - TIE DOWN REINF. MASONRY	NO					
BUILDING - INSULATION	NO					
BUILDING - FRAMING/FIRE PENETRATION	NO					
BUILDING - TIE BEAM/BEAM REINFORCEMENT	NO					
BUILDING - STEEL FRAMING	NO					
BUILDING - DRYWALL	NO					
BUILDING - SHEATHING	NO					
BUILDING - METAL LATH	NO					
BUILDING - SETBACK	NO	Jul/10/2019	Completed	POK	Name: Andres Tellez Mateos Mobile Ph: Office Ph: 3054161274	OK South side corners (SW 22nd STREET)
		Jul/05/2019	Completed	NOK	Name: Andres Tellez Mateos	Not ready for set-backs



Division -	Is	Date	Status	Result	Inspector	Inspection Remark
Inspection Type	Finalized				Ad J. H. Bloom	
					Mobile Ph:	
		7 1/20/2024	C	-	Office Ph: 3054161274 Name: Andre Perez	NEED TO EMIAL ME
		Jul/20/2021	Canceled		Mobile Ph: 7865124210 Office Ph:	(AFPEREZ@MIAMIGOV.COM) ALL DOCUMENTS AND INSPECTION REPORT RELATING TO THE PERMIT FROM YOUR PRIVATE
			ļ			PROVIDER.
		Jul/03/2019	Canceled		Name: Andres Tellez Mateos Mobile Ph: Office Ph: 3054161274	not ready
BUILDING - FIELD CHECK BUILDING	NO	Sep/02/2021	Canceled	NOK	Name: Andre Perez Mobile Ph: 7865124210 Office Ph:	016 STOP WORK ORDER. FAILURE OF OWNER AND/OR CONTRACTOR TO NOTIFY THE BUILDING DEPT OF THE NEW PRIVATE PROVIDER AND THRESHOLD ENGINEER INSPECTION ON THE JOB
						SITY. THE PERMIT-MUST BE REVISED TO REFLECT BOTH OF THEM. ALSO NEED ENGINEER REPORT FOR THE CONDITION OF THE STEEL ON EXISTING FOOTERS.
		Oct/06/2020	Completed	РОК	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: :SAME STATUS AS PREVIOUS INSPECTION. FOUNDATION/PILE-CAP WORK COMPLETED. GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE NO ON-GOING WORK.
		Jun/02/2020	Completed	POK	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: :SAME STATUS AS PREVIOUS INSPECTION. FOUNDATION/PILE-CAP WORK COMPLETED. GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE NO ON-GOING WORK.
		Apr/07/2020	Completed	POK	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: :SAME STATUS AS PREVIOUS INSPECTION. FOUNDATION/PILE-CAP WORK COMPLETED.



Division -	Is	Date	Status	Result	Inspector	Inspection Remark
Inspection Type	Finalized					GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE. NO ON-GOING WORK.
		Mar/10/2020	Completed	РОК	Name: Cedric Mar Mobile Ph: 7862517179 Office Ph:	CURRENT STATUS: FOUNDATION/PILE-CAP WORK COMPLETED. GRADING/ESCAVATION WORK COMPLETED. GC NOT ON SITE. NO ON-GOING WORK.
		Sep/06/2019	Completed	POK	Name: Jose Gonzalez Mobile Ph: 7862517185 Office Ph: 3054161187	09062019: No contact. // Please reschedule. //
		Jul/08/2019	Completed	ок	Name: Jose Gonzalez Mobile Ph: 7862517185 Office Ph: 3054161187	07082019: Vacant lot, with visible on going works for Land preparation. // Currently parked at site a one DEERE large Retro excavator over pneumatic and storage gravel to fill out the ground. // Called Owner of the LLC, but Number was disconnected. // Called
						Lazaro Milton Contractor at 305-444-8326 and the representative, not recognized that job site. // One person parked inside of site. //
BUILDING - PARKING/ACCESSIBILITY	NO					
BUILDING - FINAL FLOOD CERTIFICATE / FFE	NO					
BUILDING - FINAL AS-BUILT / TOPO SURVEY	NO			·		
BUILDING - FINAL BUILDING	NO					
ELECTRICAL - FOUNDATION GROUNDING / BONDING	NO					
ELECTRICAL - ROUGH/FIRE PENETRATION	NO					
ELECTRICAL - FINAL ELECTRICAL	NO					



Division -	Is	Date	Status	Result	Inspector	Inspection Remark
<b>Inspection Type</b>	Finalized					
FIRE - GENERATOR TEST	NO					
FIRE - FINAL FIRE						
MECHANICAL AIR - FINAL MECHANICAL	NO					
MECHANICAL BOILER - FIELD CHECK BOILER	NO	Mar/24/2021	Completed	NOK	Name: Carlos Gonzalez Mobile Ph: 7864236989 Office Ph: 3054161179	no construction at this time.
	:	Jul/07/2020	Completed	OK	Name: Alberto Acosta Mobile Ph: 7863146037 Office Ph:	job site is lock , no accesses
MECHANICAL ELEVATOR - FINAL ELEVATOR	NO					
PLUMBING - FINAL PLUMBING	NO					
PUBLIC WORKS - FINAL PUBLIC WORKS	NO					
ZONING/CE - FINAL ZONING	NO	Jul/21/2021	Completed	NOK	Name: Josseline Castillo Mobile Ph: Office Ph: 3054162009	no construction at time of inspection.



# Digitally signed by Jaime H Jaramillo Date: 2021.09.09

15:18:19 -04'00'



### **SPECIAL INSPECTOR**

For Threshold Buildings	Rev. 12-08-2014
the property referenced below, to per Building Code, Section 110.3.7, at the required by Florida Statute 553.79(7). I am a registered Architect or Profess possess a Special Inspector license (SI).	pen retained by DELIA HOSPITALITY, LLC the owner of form Threshold Inspection services pursuant to the Florida project located at 1265 SW 22nd Street as conal Engineer licensed in the State of Florida, and I also
	7025322
Florida RA# SI	¥
PERMIT APPLICATION/ PROCESS NUMBER	RS: <b>BD-15-009796-001</b>
The following individual(s) are employe to perform inspections.*	d by me or my firm, and my are authorized representatives
1. NICOLAS JARAMILLO	2. WILSON OLARTE
3. JUAN MALHAM	4. WOLFGAN RIOS
Representative is qualified by education or The qualifications shall include licensure as a engineering education program in civil or s	tilizing authorized representatives shall insure that the Authorized licensure to perform the duties assigned by the Special Inspector. Registered Architect or Professional Engineer; graduation from an cructural engineering; graduation from an architectural education CEES Fundamentals Examination; or registration as a standard apter 468.
I (we) will notify the City of Miami of any cha	anges regarding authorized personnel performing inspections.
I (we) understand that a Special Inspector i location on the site for reference by the City	nspection log for each building must be displayed in a convenient of Miami Building Department Inspector.
final inspection the completed inspection knowledge, belief and professional judgment	illding Permit, I will submit to the Building Inspector at the time of logs and a sealed statement indicating that, to the best of my ent the project outlined above was built in compliance with the compliance with Building Department approved set of plans.
	Seal/Signature/Date
Architect / Engineer  Name (print): JAIME H JARAMILLO  Firm: B&J CONSULTING ENG  7955 NW 12TH STREET, S-41  Address: (786) 703-9243	

#### REPORT ON THRESHOLD INSPECTION

Date:

12/30/2019 4:00 PM

Report No: 1

**Project Name:** 

Best Western ViB.

Permit No: BD15009792001B001

Client:

DELIA HOSPITALITY LLC.

**Project No:** 

Address:

1265 SW 22<sup>nd</sup> Street (Coral Way)

City, State: Miami. Fl 33145

Contractor:

**Delant Construction Co.** 

Weather: Sunny

Special Inspector:

Jaime H Jaramillo

Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F14.2 @ C43	Ground	J/30	Rebar	PPI
2	F12.2 @ C49	Ground	C-E/4-10	Rebar	PPI
3	F7.0 @ C56	Ground	C-F/8	Rebar	PPI
4	F11.2 @ C48	Ground	0/24	Rebar	PPI
5	F11.2 @ C46/TC10	Ground	M/11	Rebar	PPI
6	F11.2 @ C47	Ground	M/13	Rebar	PPI
7	F8.0 @ C52	Ground	P/11	Rebar	PPI
8	F8.0 @ C50	Ground	P/5	Rebar	PPI
9	F9.2 @ C45	Ground	M/5	Rebar	n PPI
10					
11					
12					
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or

**Partial Inspection** 

Deficiencies or deviations		

Threshold Inspector

Jaime H. Jaramillo Florida Reg. No. 60792

Wilson Olarte. Field Representative

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Digitally signed by Jaime H Jaramillo Date: 2021.09.10 10:13:36 -04'00'

#### REPORT ON THRESHOLD INSPECTION

Date:

1/2/2019 4:00 PM

Report No: 2

**Project Name:** 

Best Western ViB.

Permit No: BD15009792001B001

Client:

**DELIA HOSPITALITY LLC.** 

**Project No:** 

Address:

1265 SW 22<sup>nd</sup> Street (Coral Way)

City, State: Miami. FI 33145

Contractor:

**Delant Construction Co.** 

Weather: Sunny

Special Inspector:

Jaime H Jaramillo

Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F13.2 @ C42	Ground	J/25	Rebar	PPI
2	F13.2 @ C41	Ground	J/13	Rebar	PPI
3	F13.2 @ C40	Ground	J/7	Rebar	PPI
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Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection

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<u>Def</u>	ciencies or deviations					
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Threshold Inspector

Jaime H. Jaramillo Florida Reg. No. 60792 Wilson Olarte. Field Representative

Walnut W

Digitally signed by Jaime H Jaramillo Date: 2021.09.10 10:13:16

-04'00'

#### REPORT ON THRESHOLD INSPECTION

Date:

1/3/2019 4:00 PM

Report No: 3

**Project Name:** 

Best Western ViB.

Permit No: BD15009792001B001

Client:

DELIA HOSPITALITY LLC.

Project No:

Address:

1265 SW 22<sup>nd</sup> Street (Coral Way)

City, State: Miami. Fl 33145

Contractor:

**Delant Construction Co.** 

Weather: Sunny

Special Inspector: J

Jaime H Jaramillo

Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F14.2 @ C43	Ground	J/30	Rebar	PPI
2	F12.2 @ C49	Ground	0/31	Rebar	PPI
3	F11.2 @ C46	Ground	M/11	Rebar	PPI
4				:	
5					
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13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Impraction

Partial inspection		
Deficiencies or deviations		

Threshold Inspector

Jaime H. Jaramillo Florida Reg. No. 60792 Wilson Olarte. Field Representative

LeCreeliu

Digitally signed by Jaime H Jaramillo Date: 2021.09.10 10:12:48 -04'00'

#### REPORT ON THRESHOLD INSPECTION

Date:

1/6/2019 7:00 AM

Report No: 4

**Project Name:** 

Best Western ViB.

Permit No: BD15009792001B001

Client:

**DELIA HOSPITALITY LLC.** 

**Project No:** 

Address:

1265 SW 22<sup>nd</sup> Street (Coral Way)

City, State: Miami. FI 33145

Contractor:

**Delant Construction Co.** 

Weather: Sunny

Special Inspector: Jaime H Jaramillo Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F14.2 @ C43	Ground	J/30	Rebar	IGC
2	F12.2 @ C49	Ground	0/31	Rebar	IGC
3	F11.2 @ C48	Ground	0/24	Rebar	IGC
4	F11.2 @ C47	Ground	M/13	Rebar	IGC
5	F9.2 @ C45	Ground	M/5	Rebar	IGC
6	F13.2 @ C42	Ground	J/25	Rebar	IGC
7	F13.2 @ C41	Ground	J/13	Rebar	IGC
8	F13.2 @ C40	Ground	J/7	Rebar	IGC
9					
10					
11					
12			·		
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection

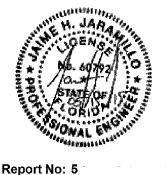
ratual inspection
<u>Deficiencies or deviations</u>

Threshold Inspector

Jaime H. Jaramillo Florida Reg. No. 60792 Wilson Olarte. Field Representative

he Committed

Digitally signed by Jaime H Jaramillo Date: 2021.09.10 10:13:56 -04'00'



Digitally signed by Jaime H **Jaramillo** 

Date: 2021.09.09 09:55:48 -04'00'

#### REPORT ON THRESHOLD INSPECTION

Date:

8/31/2021 7:00 AM

**Project Name:** 

The Boulevard

Client:

**DELIA HOSPITALITY LLC.** 

Address: Contractor: 1265 SW 22ND STREET (Coral Way)

Special Inspector: Jaime H Jaramillo

**Aries Link LLC** 

Permit No: BD15009792001B001

Project No:

City, State: Miami. Fl 33145

Weather: Sunny Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F11.2 @ C36	Ground	E-G/8-30	Rebar	PPI
2	F10.2 @ C35	Ground	E-G/8-30	Rebar	PPI
3	F10.2 @ C34	Ground	E-G/8-30	Rebar	PPI
4	F10.2 @ C33	Ground	E-G/8-30	Rebar	PPI
5	F11.2 @ C32	Ground	E-G/8-30	Rebar	PPI
6	F10.2 @ C31	Ground	E-G/8-30	Rebar	PPI
7	F7.1 @ C27	Ground	E-G/8-30	Rebar	PPI
8	F6.1 @ C26	Ground	E-G/8-30	Rebar	PPI
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	PPI
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	PPI
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	PPI
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	PPI
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or **Partial Inspection** 

<u>Deficiencies or deviations</u>		

Threshold Inspector

Jaime H. Jaramillo Florida Reg. No. 60792 Wilson Olarte. Field Representative

Permit No: BD15009792001B001

Digitally signed by Jaime H **Jaramillo** 

Date: 2021.09.09 09:55:18 -04'00'

#### REPORT ON THRESHOLD INSPECTION

Date:

9/1/2021 11:00 AM

**Project Name:** 

The Boulevard

Client:

DELIA HOSPITALITY LLC.

Address:

Contractor:

**Aries Link LLC** 

Special Inspector: Jaime H Jaramillo

1265 SW 22ND STREET (Coral Way)

Florida Reg: 60792

Report No: 6

Project No:

City, State: Miami. Fl 33145

Weather: Sunny

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

Item	Component Inspected	Level	Location	Type of inspection	Result
1	F11.2 @ C36	Ground	E-G/8-30	Rebar	IGC
2	F10.2 @ C35	Ground	E-G/8-30	Rebar	IGC
3	F10.2 @ C34	Ground	E-G/8-30	Rebar	IGC
4	F10.2 @ C33	Ground	E-G/8-30	Rebar	IGC
5	F11.2 @ C32	Ground	E-G/8-30	Rebar	IGC
6	F10.2 @ C31	Ground	E-G/8-30	Rebar	IGC
7	F7.1 @ C27	Ground	E-G/8-30	Rebar	IGC
8	F6.1 @ C26	Ground	E-G/8-30	Rebar	IGC
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	IGC
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	IGC
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	IGC
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	IGC
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or Partial Inspection

<u>Deficiencies or deviations</u>		

Threshold Inspector

Jaime H. Jaramillo Florida Reg. No. 60792 Wilson Olarte. Field Representative

#### REPORT ON THRESHOLD INSPECTION

Date:

8/31/2021 7:00 AM

**Project Name:** 

The Boulevard

Report No: 5

Permit No: BD15009792001B001

Client:

**DELIA HOSPITALITY LLC.** 

Project No:

Address:

1265 SW 22ND STREET (Coral Way)

City, State: Miami. Fl 33145

Contractor:

**Aries Link LLC** 

Weather: Sunny

Special Inspector:

Jaime H Jaramillo

Florida Reg: 60792

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

ltem	Component Inspected	Level	Location	Type of inspection	Result
1	F11.2 @ C36	Ground	E-G/8-30	Rebar	PPI
2	F10.2 @ C35	Ground	E-G/8-30	Rebar	PPI
3	F10.2 @ C34	Ground	E-G/8-30	Rebar	PPI
4	F10.2 @ C33	Ground	E-G/8-30	Rebar	PPI
5	F11.2 @ C32	Ground	E-G/8-30	Rebar	PPI
6	F10.2 @ C31	Ground	E-G/8-30	Rebar	PPI
7	F7.1 @ C27	Ground	E-G/8-30	Rebar	PPI
8	F6.1 @ C26	Ground	E-G/8-30	Rebar	PPI
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	PPI
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	PPI
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	PPI
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	PPI
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or **Partial Inspection** 

Deficiencies or deviation			
	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	#1**	

Threshold Inspector

Jaime H. Jaramille

Florida Reg. No. 60702

she Oracli W

Wilson Olarte. Field Representative

#### REPORT ON THRESHOLD INSPECTION

Date:

9/1/2021 11:00 AM

**Project Name:** 

The Boulevard

Report No: 6

Client:

Permit No: BD15009792001B001

**DELIA HOSPITALITY LLC.** 

**Project No:** 

Address:

1265 SW 22ND STREET (Coral Way)

City, State: Miami. Fl 33145

Contractor: Special Inspector: **Aries Link LLC** 

Weather: Sunny Florida Reg: 60792

Jaime H Jaramillo

In accordance with your request and authorization, we visited the job site to continue monitoring the construction progress of the structural components. The following items were observed.

ltem	Component Inspected	Level	Location	Type of inspection	Result
1	F11.2 @ C36	Ground	E-G/8-30	Rebar	IGC
2	F10.2 @ C35	Ground	E-G/8-30	Rebar	IGC
3	F10.2 @ C34	Ground	E-G/8-30	Rebar	IGC
4	F10.2 @ C33	Ground	E-G/8-30	Rebar	IGC
5	F11.2 @ C32	Ground	E-G/8-30	Rebar	IGC
6	F10.2 @ C31	Ground	E-G/8-30	Rebar	IGC
7	F7.1 @ C27	Ground	E-G/8-30	Rebar	IGC
8	F6.1 @ C26	Ground	E-G/8-30	Rebar	IGC
9	F6.1 @ C25	Ground	E-G/8-30	Rebar	IGC
10	F6.1 @ C24	Ground	E-G/8-30	Rebar	IGC
11	F7.1 @ C23	Ground	E-G/8-30	Rebar	IGC
12	F6.1 @ C22	Ground	E-G/8-30	Rebar	IGC
13					

Letter code used for results

IGC = In General Conformance with Contract Documents. NIC = Not In Compliance with the Contract Documents. PRR = Pending Required Repair. PRC = Pending Required Correction. PPI = Progress or **Partial Inspection** 

Deficiencies or deviations

Threshold Inspector

Florida Reg. No. 607

Wilson Olarte. Field Representative

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Form A.1

# NOTICE TO BUILDING OFFICIAL For the use of Private Provider

Florida Statutes §553.791(4)

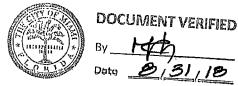
Rev. 10-01-2014

Project Name / Address: BEST COESTORN VIB. 1265 Sw 22 St. MINMI. FC 33145
Plan number: BD 15 - 009792-001 Phased Permit? □ Yes *No
Project address: 1265 Sw 2251, HIAMI, PL Parcel tax ID: 01-4139-007-3350
Services to be provided (select one):   Inspections only Plans Review and Inspections*
*Pursuant to FS Section 553.791(2): If this notice applies to private plan review only, the Building Official has the authority to require, at his or her discretion, that the private provider be used for <u>both</u> services.
I, VINCENZOROIMO, the fee owner of the property referenced above, hereby affirm that I have entered into a contract with the Private Provider firm identified below to conduct the services indicated above.
Private Provider Firm: MTCI Private Provider Services
Private Provider (Qualifier for the Firm): Mustafa Cankat
Florida License or Registration number: PE 18632
Address: 97 NE 15th Street Homestead, Florida
Telephone: (305) 246-0696 Fax: (305) 242-3716 Email: mtc@mtcinspectors.com

I have elected to use one or more Private Providers to provide building code plans review and/or inspection services for the building or structure that is the subject of the enclosed permit application, as authorized by Section 553.791, Florida Statutes. I understand that the local building official may not review the plans submitted or perform the required building inspections to determine compliance with the applicable codes, except to the extent specified in said law. Instead, plans review and/or required building inspections will be performed by licensed or certified personnel identified in the application. The law requires minimum insurance requirements for such personnel, but I understand that I may require more insurance to protect my interests.

By executing this form, I acknowledge that I have made inquiry regarding the competence of the licensed or certified personnel and the level of their insurance and am satisfied that my interests are adequately protected. I agree to indemnify, defend, and hold harmless the local government, the local building official, and their building code enforcement personnel from any and all claims arising from my use of these licensed or certified personnel to perform building code inspection services with respect to the building or structure that is the subject of the enclosed permit application.

I understand that the Building Official retains authority to review plans, make required inspections, and enforce the applicable codes within his or her charge pursuant to the standards established by Section 553.791, Florida Statutes. If I make any changes to the listed Private Providers, I shall, within one business day after any change, update this Notice to reflect such changes. The building plans review and/or inspection services provided by the Private Provider are limited to compliance with the Florida Building Code and do not include review for compliance with fire safety, land use, environmental or other codes.



The following attachments are provided as required by Section 553.791, Florida Statutes:

- 1. Qualification statements and/or resumes of the Private Provider and all duly authorized representatives.
- 2. Proof of insurance for professional and comprehensive liability in the amount of \$ 1 million per occurrence and \$ 2 million in the aggregate for any project with a construction cost of \$ 5 million or less, and \$ 2 million per occurrence and \$ 4 million in the aggregate for any project with a construction cost of over \$ 5 million, relating to all services performed as a private provider. Said insurance includes tail coverage (Extended Reporting Period) for a minimum of 5 years subsequent to the performance of building code inspection services. For detailed, current requirements refer to FS Section 553.791(16).

(Please notarize using the appropriate section below)

Individual By:		(signature)	Print name:	
Address:			Telephone:	,
STATE OFCO	UNTY OF	Before me, this	_day of, 20	personally appeared
executed for the purpose	<del></del>	e foregoing instrur	nent, and acknowledged	before me that same was
Personally known □ o	r Produced Identificatio	n □ Tỳpe of lD p	roduced:	
Signature of Notary:		Print N	ame	
Notary public stamp:			My commission expire	s:
By: WAS Address: 10726 L STATE OF FL CO	(signature)  Niami Daba  UNTY OF Before me, the control of the con	Print name: VINO DE LA COMPANIO DEL COMPANIO DEL COMPANIO DE LA COMPANIO DE LA COMPANIO DE LA COMPANIO DEL COMPANIO DEL COMPANIO DEL COMPANIO DE LA COMPANIO DEL COMPANIO	ion, who executed the	Its: MANUGER  25 65 45 457  3. personally appeared foregoing instrument, and
Partnership Print F	artnership Name:			-
		-		
Address:			Telephone:	
STATE OFCO	UNTY OF Before me, th	nisday of	, 20	personally appeared
acknowledged before me	, partner/agent on that same was execute	behalf of the parts ed for the purposes	nership, who executed th therein expressed.	e foregoing instrument, and
Personally known 🗆 o	Produced Identification	n □ Type of ID p	roduced:	
Signature of Notary:		Notary Stamp:	Print Nan	ne

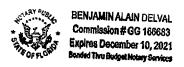




Form B

# **Private Provider**

PLAN COMPLIANCE AFFIDAVIT	Florida Statutes §553.791(6) Rev. 10-01-2014
Project Name / Address: Best Western/ 1265 SW 22 Str	eet
Plan number: <u>BD15 - 009792 - 00\/</u>	o number: <u>01-4139-007-3350</u>
Revision 🗆 ^ Shop Drawing 🗆 Master permit number:	
Private Provider Firm: MTCI Private Provider Services	_Submittal number: <u>BW002.062118</u>
Address: 97 NE 15 <sup>th</sup> Street Homestead, Florida	
Telephone: <u>(305) 246-0696</u> Fax: <u>(305) 242-3716</u>	Email: mtc@mtcinspectors.com
I HEREBY CERTIFY that to the best of my knowledge an referenced project were reviewed according to, and are and all local amendments thereto, either by myself or authorized to perform plans review pursuant to Section appropriate license or certificate:	in compliance with, the Florida Building Code by the affiant identified below, who is duly
Private Provider: <u>Roop Khirsukhani</u>	7
Florida License No. PE 42242	1/24/18h
	L J
•	Seal/Signature/Date
Name of person reviewing the plans (if applicable) Florida License/Registration/Certification numbers Discipline and Plan Sheets covered by this affidavit	s: <u>PX 1481</u>
Signature of reviewer:	Date: 7.24.12
SWORN AND SUBSCRIBED before me byRoop Khirsukhar	i , being personally known to me ( ) or
having produced as identification	, and who being fully sworn and cautioned,
states that the foregoing is true and correct to the best of his/he	
Senfanin Delval Benjamin Signatur of Notary Print Name	Deligate 7/24/17
Notary Public: NOTARY PUBLIC STAMP BELOW	My Commission Expires:



My Commission Expires: \_



PRIVATE PROVIDER SERVICES, LLC

CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING

Plan number: <u>BD15 - 009792 - 00</u>

	COVER	Best Western /	
1/1	A-0.1.7	Rev Δ 3	12-07-2017
12	A-0.2	Rev $\Delta$ 3	12-07-2017
W 3	A-0.3	Rev Δ 3	12-07-2017
1/4	A-1.1	Rev $\Delta$ 3	12-07-2017
1/5	A-2.1	Rev $\Delta$ 3	12-07-2017
K 6		Rev Δ 3	12-07-2017
E 7	/A-2.3	Rev Δ 3	12-07-2017
1/8	A-2.4	Rev Δ 3	12-07-2017
9	- A-2.4A	Rev $\Delta$ 3	12-07-2017
110	A-2.5	Rev Δ 3	12-07-2017
11	A-2.6	Rev $\Delta$ 3	12-07-2017
1 12	A-2.7	Rev $\Delta$ 3	12-07-2017
Y 13	A-2.8	' Rev Δ 3	12-07-2017
14	- A-2.9	Rev Δ 3	12-07-2017
<b>1</b> 5.	A-2.10	Rev $\Delta$ 3	12-07-2017
	A-2.11	Rev Δ 3	12-07-2017
	- A-2.12	Rev $\Delta$ 3	12-07-2017
	∕A-3.1	Rev Δ 2	09-21-2017
19	A-3.2 ′	Rev Δ 2	09-21-2017
20	-A-3.3	Rev Δ 3	12-07-2017
1/31	A-3.4	Rev Δ 3	12-07-2017
V 22	A-3.5	Rev $\Delta$ 3	12-07-2017
1/23	- A-4.1	Rev Δ 3	12-07-2017
1/24	A-4.2	Rev Δ 3	12-07-2017
25	A-4.3	Rev Δ 3	12-07-2017
26	Á-4.4	Rev $\Delta$ 3	12-07-2017
127	∕A-4.5	Rev $\Delta$ 3	12-07-2017
138	A-4.6	Rev $\Delta$ 3	12-07-2017
<b>V</b> 29	/ A-4.7	Rev $\Delta$ 3	12-07-2017
V30	A-4.8	. Rev Δ 3	12-07-2017

Private Provider: Roop Khirsukhani Florida License No. PE 42242

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**DOCUMENT VERIFIED** 

Page | 2

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani , being personally known to me ( ) or having produced as identification, and who/ being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

ulfic: NOTARY PUBLIC STAMP BELOW

on Expires:

BENJAMIN ALAIN DELVAL Commission#GG 166683 Expires December 10, 2021 Bonded Thru Budget Metay Services



**DOCUMENT VERIFIED** 

Date 8/31/18

Page | 3

PRIVATE PROVIDER SERVICES, LLC CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING

Plan number: 87-6-009792-001

√31 A-4.9	Rev Δ 3	12-07-2017
32 A-4.10	Rev Δ 3	12-07-2017
⊬33 A-4.11	Rev ∆ 3	12-07-2017
× 34 A-4.12	Rev $\Delta$ 3	12-07-2017
¥35 A-4.13	Rev Δ 3	12-07-2017
√36 A-4.14	Rev $\Delta$ 3	12-07-2017
✓37 A-4.15	. Rev ∆ 3	12-07-2017
√38 A-4.16	Rev ∆ 3	12-07-2017
₩39 A-4.17	Rev ∆ 3	12-07-2017
V 40 A-4.18	Rev ∆ 3	12-07-2017
✓ 41 A-4.19	Rev ∆ 3	12-07-2017
. M42 A-4.20	Rev ∆ 3	12-07-2017
43 A-4.21	Rev ∆ 3	12-07-2017
44 A-4.22	Rev ∆ 3	12-07-2017
1∕45 A-4.23	Rev ∆ 3	12-07-2017
√46 A-4.24		05-29-2015
47 A-4.25	/ -	05-29-2015
48 A-4.26	. / -	05-29-2015
√49 A-4.27		05-29-2015
✓50 A-4.28		05-29-2015
₩51 A-5.1	Rev Δ 3	12-07-2017
√52 A-5.1A	Rev $\Delta$ 3	12-07-2017
▶58 A-5.2	Rev ∆ 3	12-07-2017
✓54 A-5.3	Rev ∆ 3	12-07-2017
55 A-5.3A	Rev $\Delta$ 3	12-07-2017
56 A-5.4	Rev ∆ 3	12-07-2017
57 A-5.5	Rev $\Delta$ 3	12-07-2017
58 A-5.6	Rev $\Delta$ 3	12-07-2017
√59 A-5.7	Rev $\Delta$ 3	12-07-2017
60 A-5.8	Rev Δ 3	12-07-2017
<b>1∕61</b> A-5.8A	Rev Δ 3	12-07-2017
√62 A-5.8B	Rev $\Delta$ 3	12-07-2017

Private Provider: Roop Khirsukhani Florida License No. PE 42242

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Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani being personally known to me () or having produced as identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of bis/her knowledge and belief.

Notary Public: NOTARY PUBLIC STAMP BELOW

My Commission Expires:

eha (7/2)



BENJAMIN ALAIN DELVAL Commission # GG 166692 Expires Desember 10, 2924 Boaded Thru Budget Notely Services





DOCUMENT VERIFIEI

By MAN

Date 8/31/18

Page | 4

# PRIVATE PROVIDER SERVICES, LLC

CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING

Plan number: <u>BD15 - 009792 - 001</u>

63 A-5.8C	Rev Δ 3	12-07-2017
64 /A-5.9	Rev Δ 3	12-07-2017
65/ A-6.1	Rev ∆ 3	12-07-2017
66 A-6.2	Rev ∆ 3	12-07-2017
67 A-6.3	Rev ∆ 3	12-07-2017
68 A-6.4	Rev ∆ 3	12-07-2017
69 A-6.5	Frev ∆ 6	04-19-2018
7ø A-6.6	Rev ∆ 3	12-07-2017
71 A-7.1	Rev ∆ 3	12-07-2017
72/ 'A-7-2-	Rev Δ.2	09-21-2017
73 A-7.3	Rev $\Delta$ 3	12-07-2017
74 A-7.5.	Rev Δ 3	12-07-2017
75-A-7.6	Bev-∆ 2	09-21-2017
76 A-7.7	Rev Δ 3	12-07-2017
77 ' A-7.8	Rev Δ 3	12-07-2017
78 A-7.9	Rev $\Delta$ 3	12-07-2017
79 A-7.10	Rev $\Delta$ 3	12-07-2017
80 A-7.11	Rev Δ 3	12-07-2017
81_A-7.12	Rev $\Delta$ 3	12-07-2017
82 A-7.13	Rev $\Delta$ 3	12-07-2017
83 A-7.14	Rev $\Delta$ 3	12-07-2017
84 A-7.15	Rev $\Delta$ 3	12-07-2017
85 A-8.1	Rev $\Delta$ 3	12-07-2017
86 A-8.1A	Rev $\Delta$ 3	12-07-2017
87 A-8.2	Rev $\Delta$ 3	12-07-2017
88 A-8.2A	Rev $\Delta$ 3	12-07-2017
§9 A-8.3	Rev $\Delta$ 3	12-07-2017
90 A-8.3A	Rev $\Delta$ 3	12-07-2017
91/ A-8.3B		12-06-2013
92 A-8.3D	Rev Δ 3	12-07-2017
93 A-8.4	√ Bev Δ 6	04-19-2018
94 A-8.4A	Rev Δ 3	12-07-2017

Private Provider: Roop Khirsukhani Florida License No. PE 42242 1 Color for

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me () or having produced as identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

Signature of Notary

My Commission Expires:

ate 7/24/1



BENJAMIN ALAIN DELVAL Commission # GG 166683 Expires December 10, 2021 Bonded Thru Budget Notary Services



DOCUMENT VERIFIED Date

Page | 5

PRIVATE PROVIDER SERVICES, LLC

CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING

Plan number: **PD15-009792-001** 

<b>√</b> 95	A-8.4B	Prev Δ 3	12-07-2017
v96,	A-8.5	✓Rev Δ 3	12-07-2017
V97	A-8.6	✓Rev Δ 3	12-07-2017
<b>1</b> 98/	A-8.7	Rev Δ 3	12-07-2017
, <b>v</b> 99/	A-8.8	✓ Rev Δ 3	12-07-2017
100	A-9.1	Rev Δ 3	12-07-2017
v101	A-9.2	√Rev Δ 3	12-07-2017
<b>√</b> 102	LS-01	Æev Δ 2	09-21-2017
103	LS-02	✓Rev Δ 3	12-07-2017
104	LS-03		05-29-2015
105.	LS-04	k	05-29-2015
106	LS-05	Prev ∆ 2	09-21-2017
107	LS-06	-	05-29-2015
108			
109			·

Private Provider: Roop Khirsukhani Florida License No. PE 42242

Seal/Signature/Date

SWORN AND SUBSCRIBED before me by Roop Khirsukhani, being personally known to me ( ) or having produced as identification, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief.

Notary Public: NOTARY PUBLIC STAMP BELOW

My Commission Expires:

Form B

# Private Provider PLAN COMPLIANCE AFFIDAVIT

Date 8 123 18

Florida Statutes §553.791(6) Rev. 10-01-2014 Project Name / Address: <u>Best Western/ 1265 SW 22 Street</u> Plan number: <u>BD15-609192-001</u> Folio number: <u>01-4139-007-3350</u> Revision Shop Drawing 🗌 Master permit number: Private Provider Firm: MTCI Private Provider Services Submittal number: BW001.060118 Address: 97 NE 15<sup>th</sup> Street Homestead, Florida Telephone: (305) 246-0696 Fax: (305) 242-3716 Email: mtc@mtcinspectors.com I HEREBY CERTIFY that to the best of my knowledge and belief, the structural permit documents submitted for the above-referenced project were reviewed according to, and are in compliance with, the Florida Building Code and all amendments thereto, by Tahir Iqbal, FL. PE#48061 of Pistorino & Alam, Inc. as Peer Reviewer and myself as Private Provider for the assurance of complete structural documents with the provisions of all applicable laws and technical codes. I am duly authorized to perform plans review pursuant to Section 553.791, Florida Statutes, and hold the appropriate license or certificate: Private Provider: Roop Khirsukhani Florida License No. PE 42242 Seal/Signature/Date Name of person reviewing the plans (Administrator): Roop Khirsukhani Florida License/Registration/Certification numbers: PE 42242 Discipline and Plan Sheets covered by this affidavit; Structural-Master See Page 2 Signature of reviewer as administrator SWORN AND SUBSCRIBED before me by \_\_\_\_\_Roop Khirsukhani being personally known to me ( ) or having produced as identification\_ \_, and who being fully sworn and cautioned, states that the foregoing is true and correct to the best of his/her knowledge and belief. Signature of Notary Notary Public: NOTARY PUBLIC STAMP BELOW My Commission Expires:

MELISSA CANO
State of Florida-Notary Public
Commission # FF 182826
My Commission Expires
December 12, 2018

Page **1** of **1** 



CONSTRUCTION PLANS REVIEW, INSPECTIONS & CONSULTING

#### **Best Western**

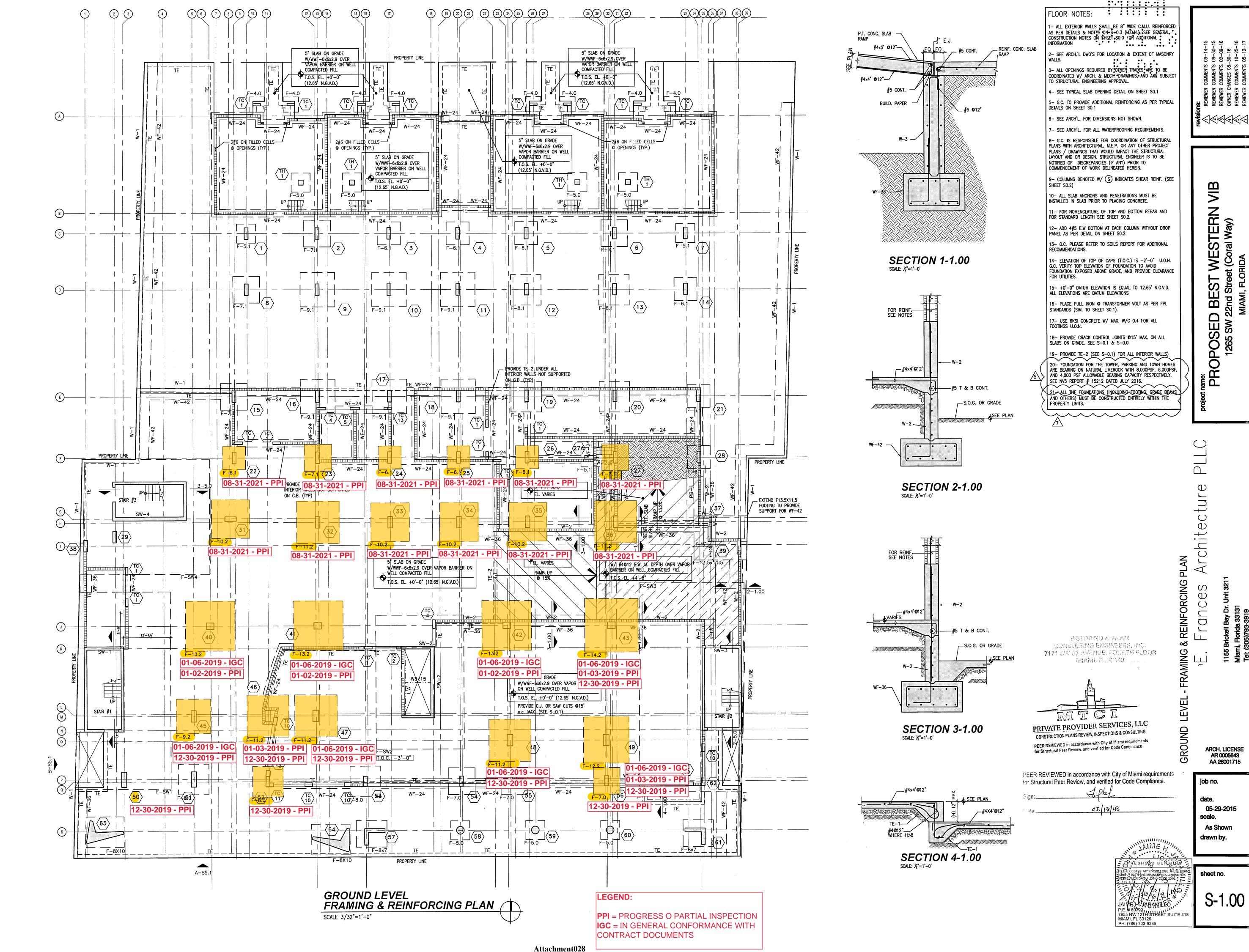
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1	S-0.0	Rev Δ 7	05-12-17	
2	S-0.1	<del>-</del>	05-29-15	
3	S-0.2	Rev Δ 4	08-30-16	
4	S-0.3	Rev ∆ 3	02-09-16	
5	S-0.4	Rev Δ 6	11-14-16	
6	S-1.00	Rev ∆ 7	05-12-17	
. 7	S-1.01A	-	05-29-15	
8	S-1.01B	-	05-29-15	
9	S-1.02A	-	05-29-15	
10	S-1.02B	-	05-29-15	
11	S-1.03A	-	05-29-15	
12	S-1.03B	-	05-29-15	
13	S-1.04	-	05-29-15	
14	S-1.05		05-29-15	
15	S-1.06	-	05-29-15	
16	S-1.07	-	05-29-15	
17	S-1.08		05-29-15	
18	S-2.0	Rev Δ 6	11-14-16	
19	S-3.0	Rev Δ3	02-09-15	
20	S-4.0	Rev Δ 6	سر 11-14-16	
21	S-4.1	Rev ∆ 6	11-14-16	
22	S-5.0	-	05-29-15	
23	S-5.1	Rev Δ 2	09-30-15	
24	S-6.0	-	05-29-15	
25	S-6.1	-	05-29-15	
26	S-6.2	-	05-29-15	
27	S-6.3	-	05-29-15	
28				
29		,		
30				
31				

Private Provider: Roop Khirsukhani Florida License No. PE 42242 Mojewhor 7/16/18

Seal/Signature/Date
SWORN AND SUBSCRIBED before me by Roop Khirsukhani being personally known to me ( ) or having produced as identification, and who being fully sworn and authored, states that the foregoing is true and correct to the best of his/her knowledge and belief.

Signature of Notary Public STAMPBELOW My Commission Expires:

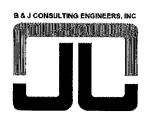
V MELISSA CANO
State of Florida-Notary Public
Commission #FF 182826
My Commission Expires
December 12, 2018



ARCH. LICENSE AR 0005643 AA 26001715

05-29-2015

S-1.00



September 10th, 2021

Mr. Maurice L. Pons **Building Official City of Miami Building Department** 444 SW 2nd Ave, 4th Floor Miami, Florida, 33130

REF:

Corrosion assessment for existing column dowels at Best Western ViB

BD-15-009792001 B001. 1265 SW 22<sup>nd</sup> Street

Miami, FL

Dear Mr. Pons.

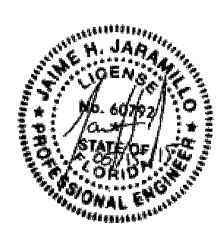
The present letter is to inform that we have reviewed the field measurement of the existing column dowels that have been exposed to corrosion in the project mentioned above (see report by NV5). As of today, based on the report, the existing reinforcing complies with the specified reinforcing for those columns.

The corrosion of the reinforcing would have to be removed before they proceed to form and pour those columns. We recommend that if the rebar would be exposed to corrosion for longer period, those bars be cleaned of corrosion and epoxy coated to protect them from further corrosion. The rebar would have to be evaluated again before the columns are formed and poured.

Please do not hesitate to contact me if you have any comments or concerns.

Sincerely;

Jaime H. Jaramillo P.E. **B&J** Consulting Engineers



Digitally signed by Jaime H **Jaramillo** Date: 2021.09.10

10:15:55 -04'00'

September 10, 2021

Mr. Vincenzo Alaimo
Delia Hospitality, LLC.
7925 NW 12<sup>th</sup> Street, Suite 401
Doral, Florida 33126

Re:

Report for Reinforcing Steel Measurement of Ground Floor Columns

Proposed Best Western VIB 1265 SW 22nd Street Miami, Florida NV5 Project No. 15212

Dear Mr. Echezarreta:

We are pleased to submit this letter report in fulfillment of our scope of services described in our Proposal No. 21-0827 dated September 9, 2021. Work was accepted by agreement to our Professional Services Agreement. This letter summarizes reinforcing steel diameter measurements collected from the ground floor columns at the project.

#### **PROJECT INFORMATION**

The project address is 1265 SW 22<sup>nd</sup> Street in Miami, Florida. It is bounded by SW 21<sup>st</sup> Terrace to the north, by SW 22<sup>nd</sup> Street to the south, and by single-level commercial developments to the east and west. According to a topographic and boundary survey prepared by Alvarez, Aiguesvives & Associates dated May 28, 2015, site dimensions are approximately 175 feet east-west by 210 feet north-south.

According to a set of architectural plans dated May 29, 2015 prepared by Frances Anillo Toledo, LLC (revision 7 dated 5/12/17), the proposed development will occupy the majority of the site minus setbacks, and will include townhomes, a parking garage, and a 10-level hotel with a 3-level podium. No basement areas are planned for the development and the ground floor slabs are expected to be close to the existing grade.

NV5 performed a geotechnical study for the proposed construction and latest report was titled Revised Report of Subsurface Exploration and Geotechnical Engineering Study, Proposed Best Western VIB, 1265 SW 22<sup>nd</sup> Street, Miami, Florida, NV5 Project No. 15212, dated July 18, 2016.

Subsequent to our study, we have been retained to perform construction material testing and observations during the foundation work. The project started construction in 2019 and nine (9) footings were poured in January 2020. NV5 inspected and tested the construction of these foundations. Since then, construction stopped and has recently resumed. We understand the City of Miami has requested the exposed reinforcement from the footings poured in 2020 be evaluated by the EOR.

This report provides observations regarding the quantity of reinforcing steel at each one of the columns poured in 2020 as well as diameter measurements of select bars of these columns.

#### SITE OBSERVATIONS AND MEASUREMENTS

On September 9, 2021, an NV5 inspector visited the site to observe the quantity of reinforcing steel of select columns at the site. These columns correspond to footings identified in the drawings as 40 through 43 and 45 through 49, which were poured in January 2020. During this visit, the inspector also removed any surface corrosion from two (2) bars at depths of 2 and 4 feet from grade prior to measuring the reinforcing steel diameter at these locations. The reinforcing steel bars were selected randomly. Two measurements were collected at each location, for a total of four (4) readings per bar. Photographs of our observations and measurements are included in Appendix A.

The table below provides a summary of all the data collected during our site visit.

FIELD OBSERVATIONS AND MEASUREMENTS					
FOOTING NO.	QUANTITY & SIZE OF BARS FROM DRAWINGS	QUANTITY OF BARS INSTALLED	READING HEIGHT FROM GROUND (feet)	BAR DIAMETER (inches)	
				1st Reading	2nd Reading
40	10 #8	10	1	0.948	0.950
	10 110	10	3	0.944	0.938
41	10 #8	10	2	0.947	0.963
	10 // 0	10	4	0.953	0.985
42	10 #8	10	2	0.944	0.941
	10 // 0	10	4	0.922	0.953
43	10 #8	10	2	0.938	0.952
			4	0.962	0.979
45	45 12 #8	12	2	0.975	0.964
. )	12 // 0		4	0.959	0.950
46	46 12 #8	12	2	0.941	0.953
		12	4	0.966	0.949
47	47 12 #7	12	2	0.868	0.839
			4	0.836	0.842
48	12 #7	12	1	0.833	0.832
			3	0.830	0.838
49	12 #8	12	2	0.945	0.976
			4	0.947	0.940

The tests were performed in general accordance with the procedures described above. A criterion for review of the test results was not provided. The structural engineer should review the data presented herein and issue a final determination regarding the structural integrity of the steel and compliance with the project design.

September 10, 2021 Page 3 NV5 Project No. 15212

#### **CLOSURE**

We trust this letter provides the information required at this time. If you have questions about information contained in this report please do not hesitate to contact the writer at 305.901-1921.

Sincerely, NV5, Inc.

No. 79312

STATE OF

Photographs of Ground Floor Co.

This document has been digitally signed and sealed by:

Richard Fesdjian richard.fesdjian@nv5.com 2021.09.10 08:31:05-04/00

Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies

Richard Fesdjian, P.E. Senior Project Manager Florida License No. 79312

Attachments:

Appendix A - Photographs of Ground Floor Column Reinforcing Steel Measurements

Distribution:

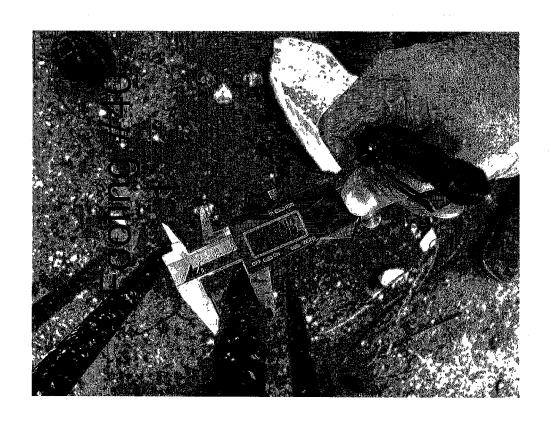
Copy to Addressee via E-mail Copy to NV5 Project File

F:\DOC\NV5 Reports\15212\_Best Western VIB rebar diameter measurements\_1265 SW 22nd Street Miami\_Alaimo Construction\_09-10-2021.docx

#### **APPENDIX A**

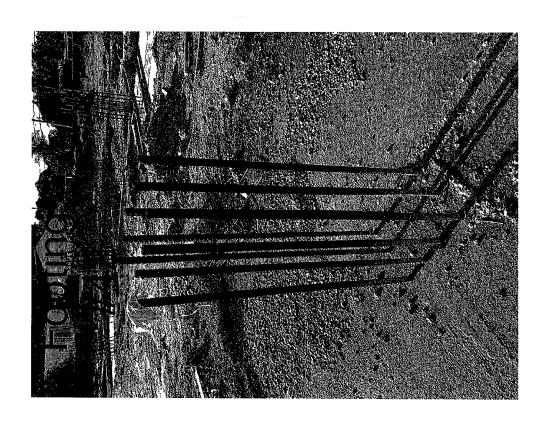
PHOTOGRAPHS OF GROUND FLOOR COLUMN REINFORCING STEEL MEASUREMENTS



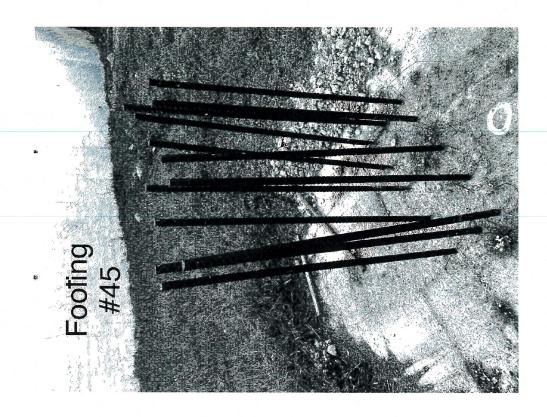


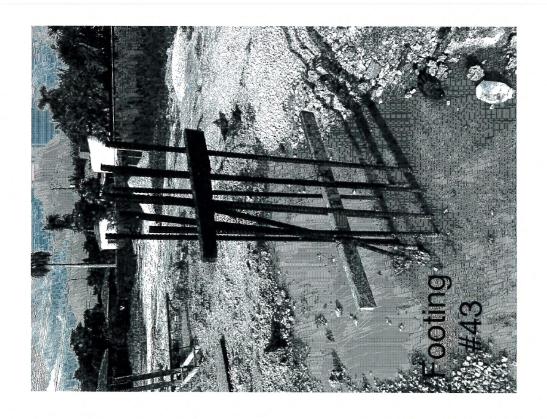
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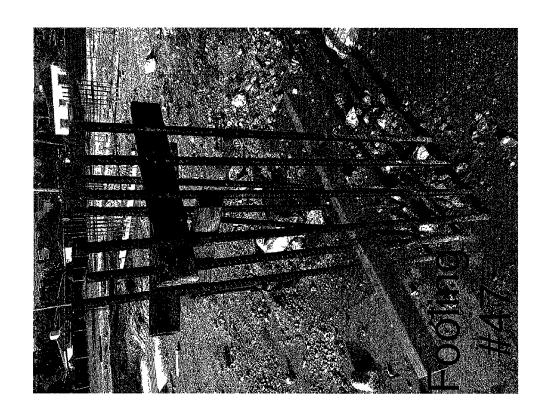


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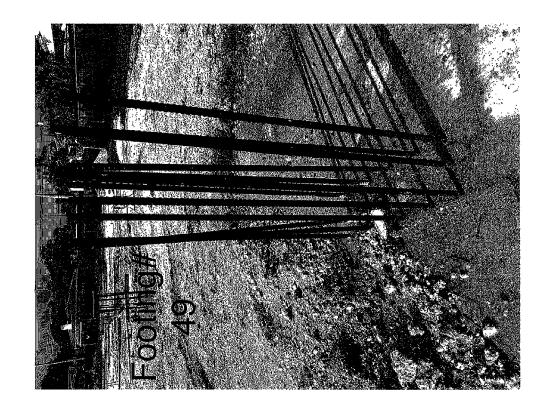


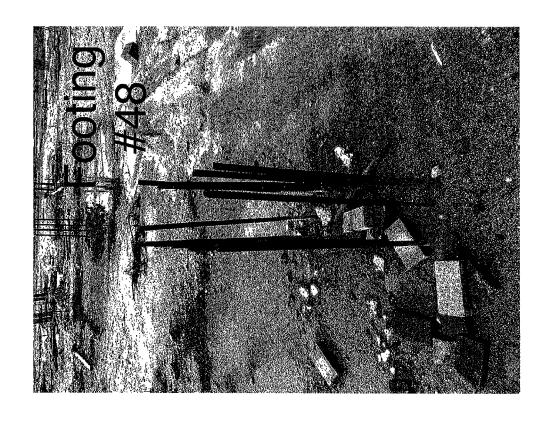
Attachment036





Attachment037





Attachment038

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CE2018016271 Closed Clo	CE2018016271	CE2018016271					,		
Swale is Overgrown (Y/N)?: No Overgrown complaint is for Right of Way (Y/N)?: No  Received Jul 02, 2021 In Compliance  Service Date Closed Date Jul 06, 2021  Service Request First Inspection Jul 06, 2021  Priority 1  Inspector Josseline Castillo  Refer To Submit Query  Entered by 311CSR on Jul 02, 2021	Swale is Overgrown (Y/N)?: No Overgrown complaint is for Right of Way (Y/N)?: No  Process Source 311 system  Process Service Request Service Request Service Request Service Request Source Overgrown Lot  Priority 1  In Compliance Service Priority 1  In Compliance Service Date Service Request Service Request Service Refer To Submit Query  Refer To Submit Query Refer  Entered by 311CSR on Jul 02, 2021	Swale is Overgrown (Y/N)?: No Overgrown complaint is for Right of Way (Y/N)?: No  Process Source 311 system  Process Service Request Service Request Service Request Service Request Source Overgrown Lot  Priority 1  In Compliance Service Priority 1  In Compliance Service Date Service Request Service Request Service Refer To Submit Query  Refer To Submit Query Refer  Entered by 311CSR on Jul 02, 2021		CE2018016271	Closed	~	Description		
Division Code Enforcement Process Source 311 system Quest Type Service Request Priority 1 In Compliance Service Date Service Date Service Date Service Date Last Completed Activity Jul 06, 2021  Refer To Submit Query  Entered by 311CSR on Jul 02, 2021  Entered by 311CSR on Jul 02, 2021	Division Code Enforcement Received Jul 02, 2021 In Compliance Service Date Source 311 system First Inspection Jul 06, 2021 Daily Per Diem Last Completed Activity Jul 06, 2021  Priority 1 VIII Priority 1 VII	Division Code Enforcement Received Jul 02, 2021 In Compliance Service Date Source 311 system First Inspection Jul 06, 2021 Daily Per Diem Last Completed Activity Jul 06, 2021  Priority 1 VIII Priority 1 VII		,	Closed		Swale is Overgrown (Y/N)?: No		
Service Date  Source 311 system  Quest Type Service Request  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Service Date  First Inspection Jul 06, 2021  Daily Per Diem  Last Completed Activity  Jul 06, 2021  Refer To Submit Query  Entered by 311CSR on Jul 02, 2021	Source 311 system  First Inspection Jul 06, 2021  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Service Date  Service Date  Jul 06, 2021  Daily Per Diem  Last Completed Activity  Jul 06, 2021  Refer To Submit Query  Entered by 311CSR on Jul 02, 2021	Source 311 system  First Inspection Jul 06, 2021  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Service Date  Service Date  Jul 06, 2021  Daily Per Diem  Last Completed Activity  Jul 06, 2021  Refer To Submit Query  Entered by 311CSR on Jul 02, 2021				_		′/N)?: No	
Source 311 system  Quest Type Service Request  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Service Date Jul 06, 2021  First Inspection Jul 06, 2021  Daily Per Diem  Last Completed Activity  Jul 06, 2021  Refer To Submit Query  Entered by 311CSR on Jul 02, 2021	Source 311 system  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Service Date   Closed Date   Jul 06, 2021    First Inspection   Jul 06, 2021    Daily Per Diem    Last Completed Activity   Jul 06, 2021    Refer To   Submit Query    Entered by 311CSR on Jul 02, 2021	Source 311 system  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Service Date   Closed Date   Jul 06, 2021    First Inspection   Jul 06, 2021    Daily Per Diem    Last Completed Activity   Jul 06, 2021    Refer To   Submit Query    Entered by 311CSR on Jul 02, 2021		Code Enforcement			Received Jul 02, 2021	In Compliance	
quest Type Service Request    Last Completed Activity   Jul 06, 2021	Priority 1 Inspector Josseline Castillo Override the Geo Inspector assignment  Last Completed Activity Jul 06, 2021  Refer To Submit Query Entered by 311CSR on Jul 02, 2021	Priority 1 Inspector Josseline Castillo Override the Geo Inspector assignment  Last Completed Activity Jul 06, 2021  Refer To Submit Query Entered by 311CSR on Jul 02, 2021						Closed Date	Jul 06, 2021
Plaint Type Overgrown Lot  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Refer To Submit Query  Entered by 311CSR on Jul 02, 2021	Priority 1 Submit Query Refer To Submit Query Entered by 311CSR on Jul 02, 2021	Priority 1 Submit Query Refer To Submit Query Entered by 311CSR on Jul 02, 2021	,				,	-	
Priority 1	Inspector Josseline Castillo Submit Query Refer To Submit Query  Override the Geo Inspector assignment Entered by 311CSR on Jul 02, 2021	Inspector Josseline Castillo Submit Query Refer To Submit Query  Override the Geo Inspector assignment Entered by 311CSR on Jul 02, 2021	,				Last	Completed Activity	Jul 06, 2021
Inspector Josseline Castillo Submit Query Refer To Submit Query  Override the Geo Inspector assignment Entered by 311CSR on Jul 02, 2021	Inspector Josseline Castillo Submit Query Refer  Override the Geo Inspector assignment Entered by 311CSR on Jul 02, 2021	Inspector Josseline Castillo Submit Query Refer  Override the Geo Inspector assignment Entered by 311CSR on Jul 02, 2021			-				
Override the Geo Inspector assignment Entered by 311CSR on Jul 02, 2021	Override the Geo Inspector assignment  Entered by 311CSR on Jul 02, 2021	Override the Geo Inspector assignment  Entered by 311CSR on Jul 02, 2021					Refer To Cubmit Quary		Refer
					_	_	Submit Query	Entered by 311	
Violations	Violations	Violations				Ü		,	, , , ,
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t Name Is exactly:  t type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, CT, STRD, TER, TRL, WAY, WY) Is exactly:	et Name Is exactly:  et type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, ST, STRD, TER, TRL, WAY, WY) Is exactly:	et Name Is exactly:  et type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, ST, STRD, TER, TRL, WAY, WY) Is exactly:	ST, STRI	D, TER, TRL, V	WAY, WY	Y) I:	s exactly:		
t Name Is exactly:  t type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, It, STRD, TER, TRL, WAY, WY) Is exactly:	et Name Is exactly:  et type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, IST, STRD, TER, TRL, WAY, WY) Is exactly:	ber Équal to:  et Name Is exactly:  et type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, I	ST, STRI	D, TER, TRL, V	WAY, WY	Y) I:	s exactly:		

Address 1265 SW 22 ST Owner DELIA HOSPITALITY LLC  Zone 34 Owner Address 1265 SW 22 ST  Folio 0141390073350 Net ID LITTLE HAVANA  Registered Lot Registered Case Information  Case Information  Case Number Status Where on Property? New Case Save CE20102931 Closed CE2021002939 Closed CE2020009593 CE2020009593 CE2020009780 Closed CE2019007610 Closed CE2019017610 Closed
Zone 34
Registered Lot Registered Where on Property?  Case Information  Case Number Status Where on Property? New Case Save  CE2021012931 CE20210020996 CE2020009593 Closed CE2020001789 CE2020001789 CE2019023949 CE2019023949 CE2019013117 CE2019013017 CE20190130177 CE20190130177 CE2019012915 Closed CE2019012915 CE2019012915 CE2019012915 Closed CE2019012915 Closed CE2019012915 Closed CE2019012915 Closed CE2019012915 Closed Closed Closed CE2019012915 Closed Closed Closed CE2019012915 Closed Closed Closed CE2019012915 Closed CE2019012915 Closed Cl
Case Information  Case Number Status Where on Property? New Case Save  CE2021017118 CE20210102931 CE202000996 CE202000996 CE2020005130 CE2020005130 CE2020001789 CE2020001789 CE2019017610 CE2019016073 CE2019016073 CE2019016073 CE2019012915
Case Number Status Where on Property? New Case Save  CE2021017118 CE2021012931 CE2021004021 CE2020009593 CE2020005130 CE2020001789 CE2019012916 CE2019017610 CE2019017610 CE2019013117 CE2019012915 CE2019012915 CE2019012915 CE2018016271 CDissed CE2018016271  Division Code Enforcement  Received Aug 25, 2021  New Case Save  Add Requestor  Move To Legal Folio  Case Address  Right of Water on Property?  Add Requestor  Closed
CE2021017118   CE2021004021   CE20200020996   CE202000593   CDescription   CE2019013117   CE2019012915   CE2018016271   CE2018016271   CE2018016271   CIosed CE2018016271   Commercial vehicles parked on the property.   Commercial vehicles parked on the property   Commercial vehicles parked on the propert
CE2021012931
CE2020009996
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CE2019017610 CE2019016073 CE2019013117 CE2019012915 CE2018016271 Closed Repeat Offend Commercial vehicles parked on the property.  Received Aug 25, 2021 In Compliance
CE2018016271 Closed  Commercial vehicles parked on the property.  Commercial vehicles parked on the property.  Commercial vehicles parked on the property.  Received Aug 25, 2021 In Compliance
Division Code Enforcement Received Aug 25, 2021 In Compliance
Process
Service Date Closed Date Aug 25, 2021
Source Employee First Inspection Aug 25, 2021 Daily Per Diem
Request Type Service Request  Last Completed Activity Aug 25, 2021  Aug 25, 2021
Complaint Type Parking Commercial Vehicle
Priority 1
Inspector Randy Cesar Submit Query Refer
✓ Override the Geo Inspector assignment Entered by RCesar on Aug 25, Violations

Process Code Enforcement Ticket  Source Citizen  Case  Received Aug 28, 2021  Received Aug 28, 2021  Service Date Aug 28, 2021  Service Date Aug 28, 2021  Closed Date Sep 15, 2021  First Inspection Aug 28, 2021  Daily Per Diem  Last Completed Activity Sep 01, 2021	Address	1265 SW 22 S	T and the second	Owner	DELIA HOSPITALITY	' LLC
Case Number Status Where on Property? New Case Save    Case Number   Status   Where on Property?   New Case   Save	Zone	34	<u> </u>	Owner Address	1265 SW 22 ST	
CE2021017366   CE2021017318   Closed CE2021004021   Open CE2020009963   Closed CE2020009963   Closed CE20200009963   Closed CE20190023949   Closed CE2019017810   Closed CE2019013117   Closed Clo	Registered			Net ID	LITTLE HAVANA	V
After-Hours detail  CE2021004021 CE202000998 CE202000593 CE2020005130 CE2020001789 CE20219013949 CE2019017610 CE2019013917 CE2019013917 CE2019012915 Closed CE2019012915 Closed CE2019012915 Closed CE2019012915 Closed CE2019013117 CE2019012915 Closed CE2019013117 CIOsed Closed C	Case Number	Status	Where on Property?		New Case	Save
CE2021004021   CE202000996   Closed CE202000996   Closed CE2020005130   Closed CE2020005130   Closed CE20190023849   Closed CE2019017610   Closed CE2019017610   Closed CE2019016073   CE2019016073   CE201901915   Closed CE2019016073   CE2019016073   CE2019016073   Closed Ce2019016073   Closed Ce2019016073   Closed	CE202101736 CE202101711				Add R	Requestor
CE2020005130 CE2020000789 Closed CE2019023949 Closed CE2019017810 Closed CE2019013117 CE2019013117 CE2019013117 CE2019013117 CE2019013117 CE2019013117 CE201901601 Closed CE20190160173 Closed CE20190160173 Closed Closed Closed Closed Ce2019012915 Closed Ce2019012915 Closed Cl	CE202100402 CE202002099	Open Closed	After-Hours detail		Move To	Legal Folio
CE2019017610 Closed Clo	CE202000513 CE202000178	Open Closed	Case Address			Right of Way?
CE2019012915   Closed   Hotline complaint for construction/commercial vehicle entering through residential street	CE201901761 CE201901607	10 Closed 73 Closed				Repeat Offence?
Division Code Enforcement   Received Aug 28, 2021   In Compliance   Sep 15, 2021    Process   Code Enforcement Ticket   Service Date   Aug 28, 2021   Closed Date   Sep 15, 2021    Request Type   Case   V	CE201901291				cial	
Process Code Enforcement Ticket  Source Citizen  equest Type Case  Inplaint Type Saturday inspection  Priority 1  Inspector Jason Mignott  Override the Geo Inspector assignment  Violations  Rug 28, 2021  Service Date Aug 28, 2021  First Inspection Aug 28, 2021  Daily Per Diem  Last Completed Activity  Sep 01, 2021  Refer To Submit Query  Entered by JaMignott on Aug 28, 2021  Violations		nent	Received	A 20, 2021	In Compliance	C 15 2021
Source Citizen  First Inspection Aug 28, 2021  Aug 28, 2021  Daily Per Diem  Last Completed Activity  Sep 01, 2021  Priority 1  Inspector Jason Mignott  Override the Geo Inspector assignment  Violations  First Inspection Aug 28, 2021  First Inspection Aug 28, 2021  Last Completed Activity  Sep 01, 2021  Refer To Submit Query  Entered by JaMignott on Aug 28, 2021  Violations			V	JAUG 20, 2021	_	political and the same of the
Aug 28, 2021    Case   Sep 01, 2021   Sep 01, 2021   Sep 01, 2021   Sep 01, 2021   Inspector   Jason Mignott   Submit Query   Refer   Submit Query   Refer   Submit Query   Sep 01, 2021    Violations				JAUG 20, 2021		Sep 15, 2021
Priority 1	,		- That mapection	,		G 01 2021
Priority 1 Inspector Jason Mignott  Override the Geo Inspector assignment  Violations  Refer To Submit Query  Refer To Submit Query  Entered by JaMignott on Aug 28, 2021					a completed / tetrity	Sep 01, 2021
Inspector Jason Mignott  Refer To Submit Query  Override the Geo Inspector assignment  Violations  Refer To Submit Query  Entered by JaMignott on Aug 28, 2021	plaint Type Saturday insp	pection				
✓ Override the Geo Inspector assignment  Entered by JaMignott on Aug 28, 2021  Violations		pection				
	Priority 1 Inspector Jason Mignot	t	Refer To	Submit Query	Entered by JaMic	

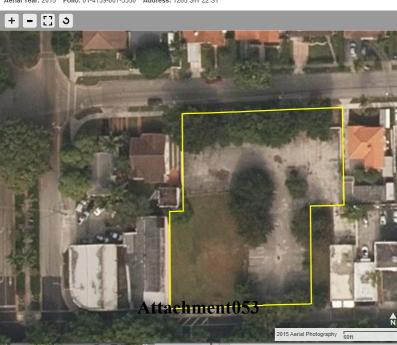
Address   1265 SW 22 ST			ges Sı To	Do List Sı	Liens Si	Move Case Sı Conta	Current Pag
Case Information	Property In	nformation					
Registered Lot Registered Move To Legal Folio  Case Information  Case Number Status Where on Property? New Case Save  CE2021017368 CE2021017388 CE2021017388 CE2021017388 CE2021017388 CE2021017388 CE2021017389 COSSED CE2021002391 COSSED CE2021002391 COSSED CE202000969 CE202000969 CE202000069 CE2020000769 COSSED CE2020007789 COSSED CE201907391 COSSED CE201907610 COSSED CE201907610 CE201907610 COSSED COSSED CE201907610 COSSED COSSED CE201907610 COSSED C		Address 1265	5 SW 22 ST		O	wner DELIA HOSPITAL	ITY LLC
Case Information  Case Number Status Where on Property? New Case Save  CE2021017368 Closed Closed CE2021017118 Closed CE2021004021 Open CE2020009593 Closed CE2020009593 CE2020009593 CE2020001789 CE2020001789 CE2020001789 CE2020001789 CE2020001789 CE202001789 CE2020001789 CE2020001789 Closed CE2019017810 Closed CE2019017810 Closed CE2019017810 Closed CE2019017810 Closed CE2019018073 Closed CE2019013117 Closed Clo		Zone 34		<b>▽</b>	Owner Add	ress 1265 SW 22 ST	
Case Information  Case Number Status Where on Property? New Case Save  CE2021017368 Closed Closed CE2021017118 Closed CE2021004021 Open CE2020009593 Closed CE2020009593 CE2020009593 CE2020001789 CE2020001789 CE2020001789 CE2020001789 CE2020001789 CE202001789 CE2020001789 CE2020001789 Closed CE2019017810 Closed CE2019017810 Closed CE2019017810 Closed CE2019017810 Closed CE2019018073 Closed CE2019013117 Closed Clo		Folio 0141	1390073350		N	et ID LITTLE HAVANA	
Case Number Status Where on Property? New Case Save  CE2021017515 CC2021017388 CClosed CC2021017118 CC2021017118 CC2021017118 CC20210172931 CC20201004021 Open CE2020009593 CC22020009593 CC22020009593 CC22020001780 Open CE2020001780 CC2020001780 CC2020001780 CC2020001780 CC2020001780 CC2020001780 CC2020001780 CC2019017810 CC2019016073 CC2019016073 CC2019016073 CC2019013117 CC0de Enforcement Process Code Enforcement Ticket Source Employee Source Employee First Inspection First Inspection Aug 31, 2021 Closed Date Nov 04, 2021 Service Date Aug 31, 2021 Daily Per Diem Last Completed Activity Nov 04, 2021 Override the Geo Inspector assignment Submit Query Entered by JoCastillo on Aug 31, 2021 Violations  Refer To Submit Query Entered by JoCastillo on Aug 31, 2021 Violations	Regis			]			
CE2021017368   CE2021017368   Closed CE2021017186   Closed CE2021017186   Closed CE2021017186   Closed CE2021004021   Closed CE202000969   Closed CE202000969   Closed CE2020009730   Ce2020009730   Closed CE2020001780   Closed CE2019023949   Closed CE2019017610   Closed CE2019017610   Closed CE2019017610   Closed CE2019013117   Closed Closed Ce2019013117   Closed Closed Ce2019013117   Closed Closed Ce2019013117   Closed C	Case Infor	mation					
CE2021017368   CE2021017368   Closed CE2021017186   Closed CE2021017186   Closed CE2021017186   Closed CE2021004021   Closed CE202000969   Closed CE202000969   Closed CE2020009730   Ce2020009730   Closed CE2020001780   Closed CE2019023949   Closed CE2019017610   Closed CE2019017610   Closed CE2019017610   Closed CE2019013117   Closed Closed Ce2019013117   Closed Closed Ce2019013117   Closed Closed Ce2019013117   Closed C							
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CE20200020996 Closed CE2020005130 Open CE2020001789 Closed CE2019013049 Closed CE2019013017 Closed CE2019013017 Closed CE2019013017 Closed CE2019013017 Closed CE2019013017 Closed CE2019013117 Closed Ce2019013117 Closed Closed Closed Ce2019013117 Closed		CE2021012931	Closed	Submit Query		Move	To Legal Folio
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CE2019017610 CIOSED CIOSED CIOSED CIOSED CIOSED CE2019013117 CIOSED CIOS		CE2020001789	Closed	,			
CE2019013117 Closed  Construction work before allowed time.  Coct 29, 2021  Nov 04, 2021  Daily Per Diem  Last Completed Activity  Nov 04, 2021  Refer To Submit Query  Coct 29, 2021  First Inspection Aug 31, 2021  Closed Date Nov 04, 2021  Nov 04, 2021  Refer To Submit Query  Coct 29, 2021  First Inspection Aug 31, 2021  Closed Date Nov 04, 2021  First Inspection Aug 31, 2021  Coct 29, 2021  Service Date Aug 31, 2021  Closed Date Nov 04, 2021  First Inspection Aug 31, 2021  Coct 29, 2021  Service Date Aug 31, 2021  Closed Date Nov 04, 2021  First Inspection Aug 31, 2021  Coct 29, 2021  First Inspection Aug 31, 2021  Coct 29, 2021  Co		CE2019017610	Closed	Description			
Division Code Enforcement Process Code Enforcement Ticket Source Employee Request Type Case Moise Violation  Priority 1 Inspector Josseline Castillo Override the Geo Inspector assignment  Received Aug 31, 2021 Received Aug 31, 2021 In Compliance Oct 29, 2021 Service Date Aug 31, 2021 Daily Per Diem Last Completed Activity Nov 04, 2021 Refer To Submit Query Entered by JoCastillo on Aug 31, 2021 Violations				Construction work ha	ofore allowed the	no	
Process Code Enforcement Ticket  Source Employee  Request Type Case  Moise Violation  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Violations  Process Code Enforcement Ticket  Service Date Aug 31, 2021  First Inspection Aug 31, 2021  Daily Per Diem  Last Completed Activity  Nov 04, 2021  Refer To  Submit Query  Entered by JoCastillo on Aug 31, 2021  Violations	311 Tracking			Construction work be	eiore allowed tir	ne.	
Process Code Enforcement Ticket  Source Employee  Request Type Case  Omplaint Type Noise Violation  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  Violations  Service Date Aug 31, 2021  First Inspection Aug 31, 2021  Daily Per Diem  Last Completed Activity  Nov 04, 2021  Refer To Submit Query  Entered by JoCastillo on Aug 31, 2021  Violations	Division	Code Enforcement		Received	Aug 31, 202	1 In Complian	ce Oct 29, 2021
Request Type Case  Priority 1  Inspector Josseline Castillo  Override the Geo Inspector assignment  First Inspection Aug 31, 2021  Paily Per Diem Last Completed Activity  Nov 04, 2021  Refer To Submit Query  Entered by JoCastillo on Aug 31, 2021  Violations	Process	Code Enforcement	: Ticket				
Request Type Case    Case   V	Source	Employee	~		,		
Priority 1 Inspector Josseline Castillo Override the Geo Inspector assignment  Violations  Refer To Submit Query Entered by JoCastillo on Aug 31, 2021	Request Type	Case		•	Mug 51, 202		14.
Inspector Josseline Castillo Submit Query Refer To Submit Query Refer Coverride the Geo Inspector assignment Entered by JoCastillo on Aug 31, 2021	omplaint Type	Noise Violation					NOV 04, 2021
Override the Geo Inspector assignment  Entered by JoCastillo on Aug 31, 2021  Violations			<b>V</b>				
Override the Geo Inspector assignment  Entered by JoCastillo on Aug 31, 2021  Violations	Inspector	Josseline Castillo	<b>V</b>	Refer To	Submit Quer	У	Refer
	,		Inspector assign		•		Castillo on Aug 31, 202
		Violations					
17005 - Operating construction equipment at unauthorized time and/or creating a noise disturbance and/or exceeding deciber					41		
		1605 - Operating oc	instruction equip	ment at unauthonzed til	me and/or crea	ling a noise disturbance a	na/or exceeding decibe
	rch Bv: C	ase Street Numb	per Name Typ	oe 🗸			
rch By: Case Street Number Name Type V		THE RESIDENCE OF THE PERSON NAMED IN COLUMN 2 IS NOT THE OWNER, THE PERSON NAMED IN COLUMN 2 IS NOT THE OWNER,					
nrch By: Case Street Number Name Type V							
	et Name I	s exactly:					
eet Name Is exactly:					VY, CT, C	TRD, DR, HWY, L	_A, LN, PKWY,
eet type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, I	, ST, STRD	, TER, TRL, \	WAY, WY)	is exactly:			
eet Name Is exactly:							
eet type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, I							
eet Name Is exactly:  eet type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, ST, STRD, TER, TRL, WAY, WY) Is exactly:							
eet Name Is exactly: eet type (AC, AV, AVRD, BLVD, BLWY, CIR, CSWY, CT, CTRD, DR, HWY, LA, LN, PKWY, ST, STRD, TER, TRL, WAY, WY) Is exactly: 65, 22, ST, 1265 NW 22 ST, , 1265 NW 22 ST	65 22 ST	1265 SW 22 5	ST 1265	SM/ 22 ST			

220		es Sı To	Do List Sı	Liens Si M	love Case Sı Contacts	Case Initiation		
Property Infor	mation							
	Address 1265	SW 22 ST		Owr	DELIA HOSPITALITY	LLC		
	Zone 34		Owner Address		288 1265 SW 22 ST	1265 SW 22 ST		
Registered		390073350 Registered	]	Net	ID LITTLE HAVANA	V		
Case	Number	Status	Where on Property?		New Case	Save		
CE2 CE2	021022675	Closed Closed			Add R	Requestor		
CE2	021017368	Closed Closed	Submit Query			Move To Legal Folio		
CE2	021012931	Closed Open			Wove 10	Legal Follo		
CE2	020020996	Closed	Case Address			Right of Way?		
CE2	020005130 020001789	Open Closed	1265 SW 22 ST		A LANGE OF THE STATE OF THE STA	Repeat Offence?		
CE2	019023949	Closed	Description			Repeat Offence:		
	019017610 V 019016073	Closed						
1 Tracking			graffiti on mesh, over	grown lot and sw	rale			
	Enforcement		Received	Nov 01, 2021	In Compliance	Nov 17, 2021		
Process Code	Enforcement I	NOV V	Ī	Nov 02, 2021	Closed Date			
Source Empl		~		,		Nov 17, 2021		
equest Type Case			First Inspection		Daily Per Diem			
nplaint Type Graff					Last Completed Activity	Nov 02, 2021		
Priority 1		~	Ī					
Inspector	olino Castillo	V	Refer To	Submit Query		Refer		
•	erride the Geo Ir			Submit Query	F	stillo on Nov 01, 2021		
Viola 2187 2187	tions  - Failure to mail  - Graffiti on pro		afe, clean condition; not	allowing accumul	ation of debris, trash or der	nse growth		
rch By: Case	THE RESERVE AND PARTY AND PERSONS ASSESSED.	er Name Ty	pe 🗸					
The state of the s								
The state of the s								
ber Equal to	xactly:							
nber Equal to								
mber Equal to	AV, AVRD,			VY, CT, CTI	RD, DR, HWY, LA	, LN, PKWY,		
eet Name Is exect type (AC,	AV, AVRD,			VY, CT, CTI	RD, DR, HWY, LA	, LN, PKWY,		
et Name Is exected type (AC, A	AV, AVRD,			VY, CT, CTI	RD, DR, HWY, LA	, LN, PKWY,		
eet Name Is exect type (AC,	AV, AVRD, ER, TRL, W	VAY, WY)	Is exactly:	VY, CT, CTI	RD, DR, HWY, LA	, LN, PKWY,		

Initiation SI		es Sı	Laboratorical	- [.51]	mments S ve Case S Contacts	Current Page Case Initiatio		
Property I	nformation							
	Address 1265	SW 22 ST		Owner		DELIA HOSPITALITY LLC		
	Zone 34			Owner Address		1265 SW 22 ST		
	Folio 0141	390073350		Net II	LITTLE HAVANA			
Regis	stered Lot	Registered						
Case Info	rmation							
	Case Number	Status	Where on Property?		Now Cons	Cava		
	CE2019013117	Closed	- Innere en 1 1 sperioj 1		New Case	Save		
	CE2019012915 CE2018016271	Closed Closed			Add R	Requestor		
	CE2017009695 CE2016019858	Closed Closed	Submit Query		Move To	Legal Folio		
	SW2016007175 SW2013000062	Closed Closed						
	CE2012019180 CE2012016011	Closed	Case Address			Right of Way?		
	CE2012016010	Closed	1265 SW 22 ST Description			Repeat Offence?		
	CE2012015634 CE2012012670 CE2011010510	Closed	/	noiso2: construction	work			
		Closed		violation location: '	Vacant lot (1265 SW 22N	ID ST)		
311 Tracking			What time did the no			<b>_</b>		
Division Process	Code Enforcement			Jul 08, 2019	In Compliance			
J					Closed Date	Jul 10, 2019		
	311 system Service Request		= That mapection	,	Daily Per Diem			
,	Noise Violation			L	ast Completed Activity	Jul 10, 2019		
Priority		Ι,						
	Lazaro Perez			Cubasit Ousse		Refer		
шороско	Override the Geo In	_	_	Submit Query	Entored by 31:	1CSR on Jul 08, 2019		
	Override the Geo II	ispector assignment	riment		Efficied by 31	1C3R 011 Jul 08, 2019		
	Violations							
arch By:	Case Street Numb	er Name T	ype 🗸					
mber Equa								
	Is exactly:							
reet Name								
reet Name								
reet type (A	AC, AV, AVRD		BLWY, CIR, CSV	VY, CT, CTR	D, DR, HWY, LA	, LN, PKWY,		
reet type (A				VY, CT, CTR	D, DR, HWY, LA	A, LN, PKWY,		
reet type (A	AC, AV, AVRD			VY, CT, CTR	D, DR, HWY, LA	A, LN, PKWY, I		
reet type (A ), ST, STRI	AC, AV, AVRD	VAY, WY	) Is exactly:	VY, CT, CTR	D, DR, HWY, LA	A, LN, PKWY, I		



Aerial Year: 2015 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST

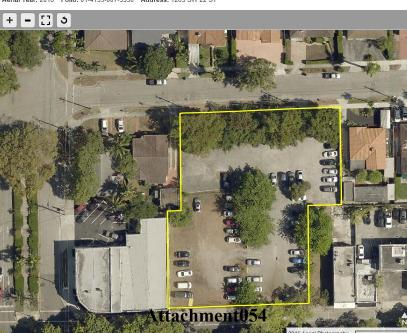


miamidade.gov/Apps/PA/propertysearch/#/aerials/2016



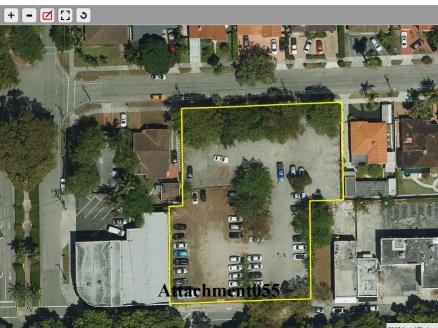
## OFFICE OF THE PROPERTY APPRAISER

Aerial Year: 2016 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST





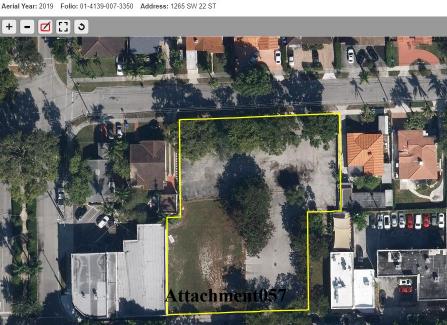
Aerial Year: 2017 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST





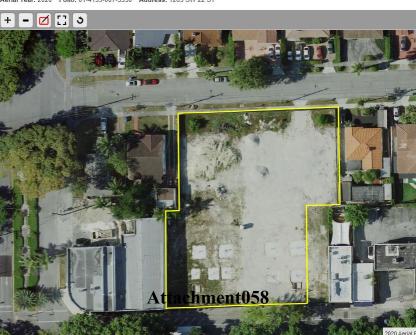
Aerial Year: 2018 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST







Aerial Year: 2020 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST





Aerial Year: 2021 Folio: 01-4139-007-3350 Address: 1265 SW 22 ST































