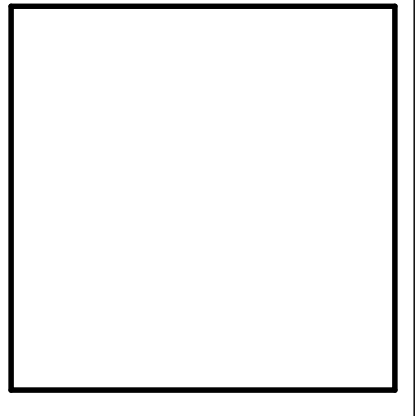
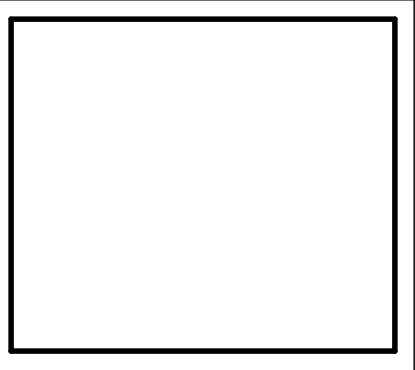


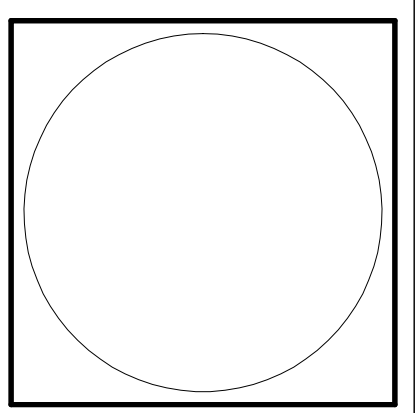
506 SOUTHARD STREET

Key West Florida 33040

BID SET / NOT FOR CONSTRUCTION



506 SOUTHARD STREET
KEY WEST, FLORIDA

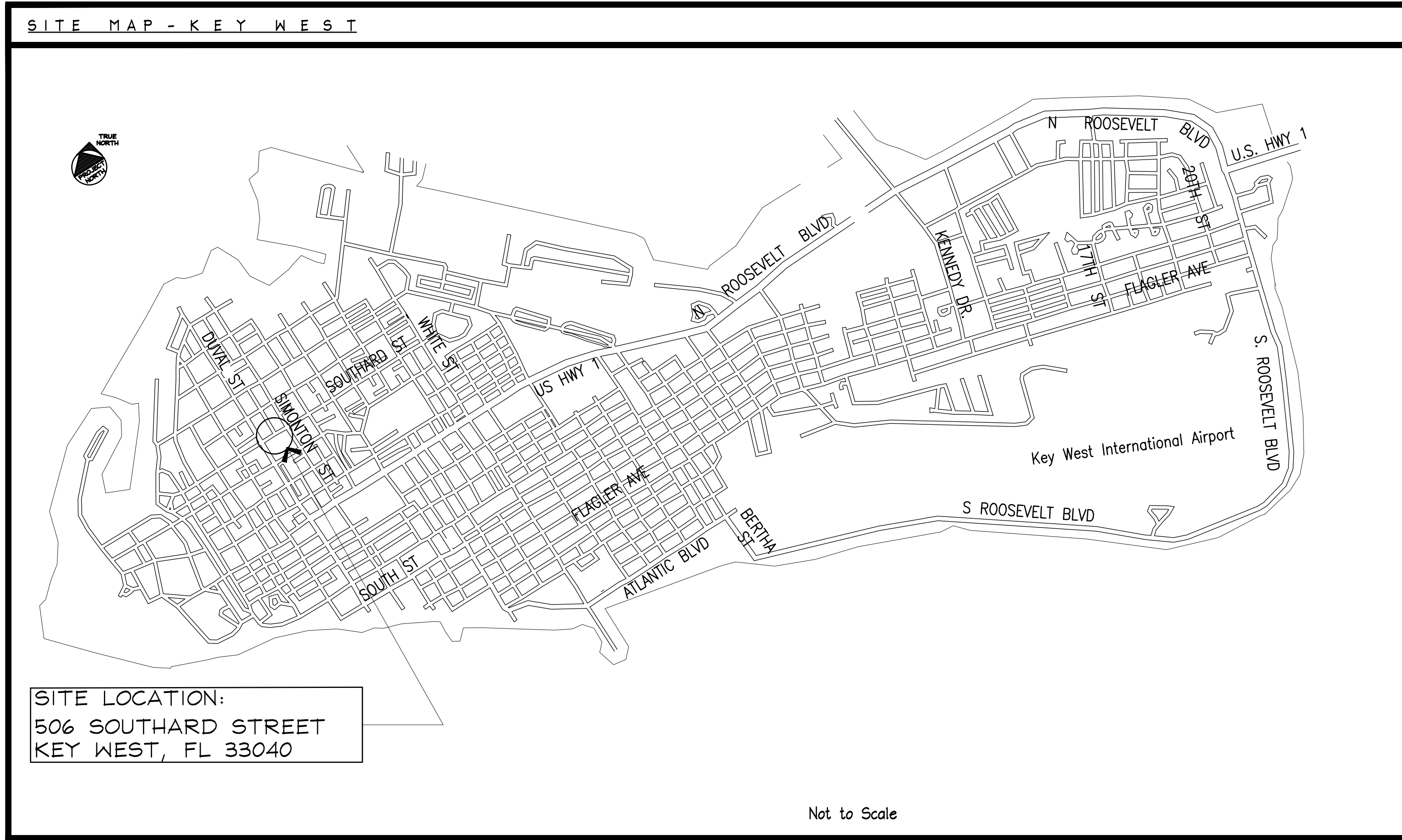


410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No. 1632
Date: 09/07/16

C



Not to Scale

PROJECT DIRECTORY

PROJECT: 506 SOUTHARD STREET
ARCHITECT'S PROJECT No. 1632

CONTACT: KELLIE ALPERT
Address: 506 Southard Street
Key West Florida, 33040
Tel:

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.
Address: 410 Angela Street, Key West, FL 33040
Tel: (305) 296-1347 Fax: (305) 296-2727
E-mail: bilbender@bellsouth.net
Princip: Bert L. Bender (Principal-in-Charge)
Architect: Haven Burkee

ENGINEERING CONSULTANT:
STRUCTURAL: H.W. KEISTER ASSOCIATES
Address: 2027 University Boulevard, North, Jacksonville, FL 32211
Tel: (904) 743-4633 Fax: (904) 744-6985
Representative: Mark J. Keister, P.E.,

GENERAL NOTES

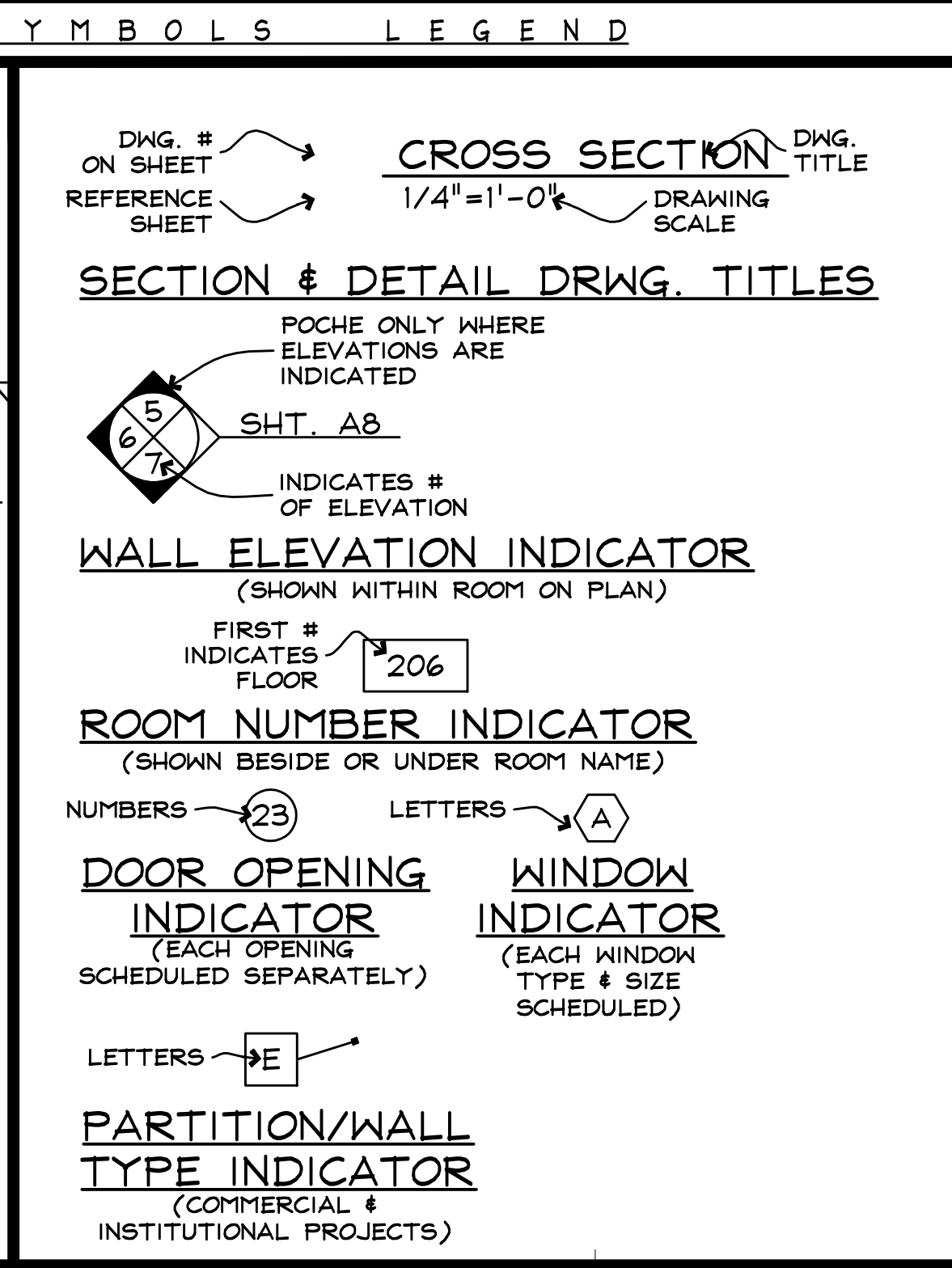
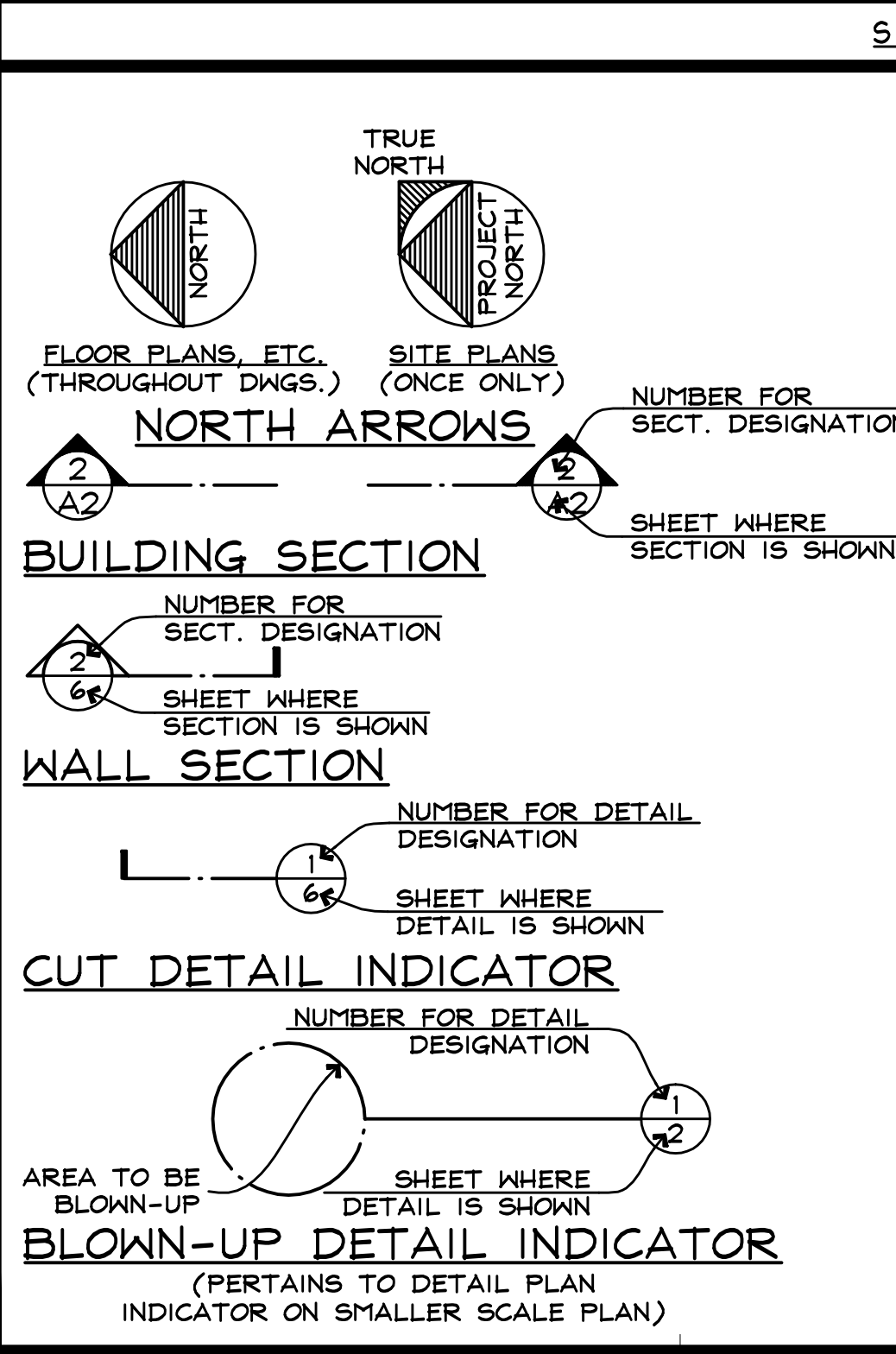
- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:
FLORIDA BUILDING CODE - Building 2014 EDITION
FLORIDA BUILDING CODE - Existing 2014 EDITION
FLORIDA BUILDING CODE - Residential 2014 EDITION
FLORIDA BUILDING CODE - Plumbing 2014 EDITION
FLORIDA BUILDING CODE - Fuel Gas 2014 EDITION
FLORIDA BUILDING CODE - Mechanical 2014 EDITION
NATIONAL ELECTRICAL CODE 2008 EDITION
NFPA 101 LIFE SAFETY CODE w/ Florida Modifications
2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION
NFPA 1 2006 EDITION
This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (3 second gusts).
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

FLORIDA ADMINISTRATIVE CODE

61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.
Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History- New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.

ABBREVIATIONS

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPERTY LINE
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	PT	CCA PRESSURE TREATED
CONC	CONCRETE	PT	POINT
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE
DIAG	DIAGONAL	R	RADIUS (OR) RISER
DS	DOWNSPOUT	R/A	RETURN AIR
DTL	DETAIL	REBAR	STEEL REINF. BAR
DWR	DRAINER	REFR.	REFRIGERATOR
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)
EL	ELEVATION	SS	STAINLESS STEEL
ELEC	ELECTRIC	SPEC	SPECIFICATION
EQ	EQUAL	T	TREAD(S)
EXH	EXHAUST	TYP	TYPICAL
FV	FIELD VERIFY	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GI	GALVANIZED IRON	VERT	VERTICAL
HORZ	HORIZONTAL	WD	WOOD
HDW	HARDWARE	WFW	WELDED WIRE FABRIC
HVAC	HEATING VENTILATING & AIR CONDITIONING	WH	WATER HEATER
		W/O	WITHOUT
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		



MATERIAL DESIGNATIONS

[Symbol]	CONCRETE MASONRY UNITS IN PLAN
[Symbol]	CONC., STUCCO, PLASTER IN ELEV.; POURED CONC. IN PLAN
[Symbol]	METAL IN ELEVATION
[Symbol]	METAL IN SECTION
[Symbol]	FINISH WOOD IN ELEV. & IN SECTION
[Symbol]	DIMENSION LUMBER IN SECTION (CONTINUOUS)
[Symbol]	WOOD BLOCKING IN SECTION (DISCONTINUOUS)
[Symbol]	GYPSPUM WALL BOARD IN SECTION (LARGE SCALE)
[Symbol]	EARTH, NATURAL SUBSTRATE
[Symbol]	GRAVEL, AGGREGATE BASE COURSE, FILL
[Symbol]	FIBERGLASS BATT INSULATION
[Symbol]	RIGID INSULATION

PARTITIONS & WALLS

[Symbol]	CONCRETE MASONRY UNITS
[Symbol]	POURED CONCRETE
[Symbol]	WOOD FRAME
[Symbol]	METAL STUDS
[Symbol]	EXISTING CONSTRUCTION TO REMAIN
[Symbol]	EXISTING CONSTRUCTION TO BE DEMOLISHED

SHEET INDEX

SHEET INDEX

C	COVER
AI	PROJECT STATISTICS, FRAMING PLANS, DETAILS
SP1	SPECIFICATIONS

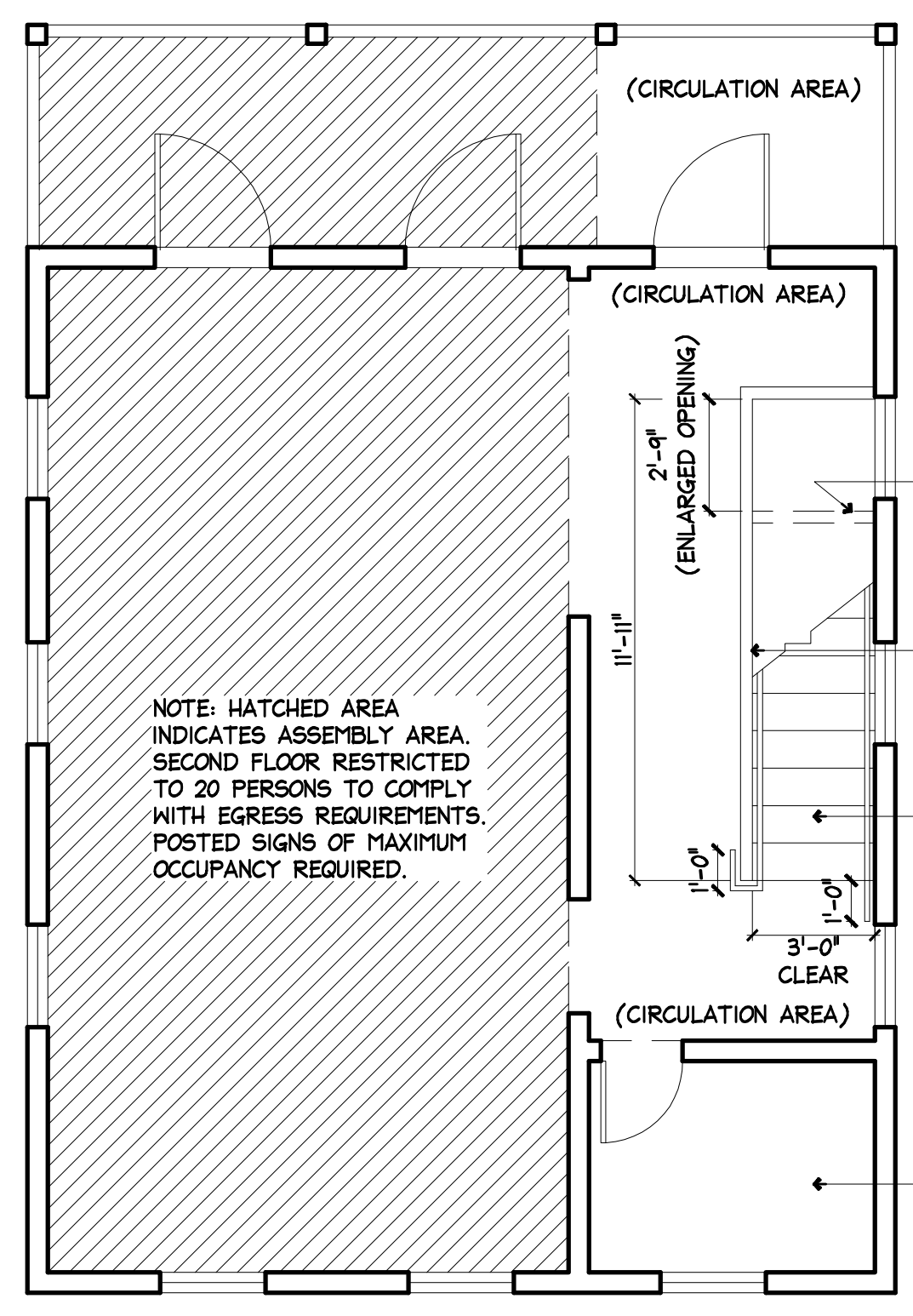
DESCRIPTION OF WORK:

STRUCTURAL STABILIZATION OF THE SECOND FLOOR AND NEW INTERIOR STAIRWAY TO MEET EGRESS AND LOAD REQUIREMENTS OF THE FLORIDA BUILDING CODE.

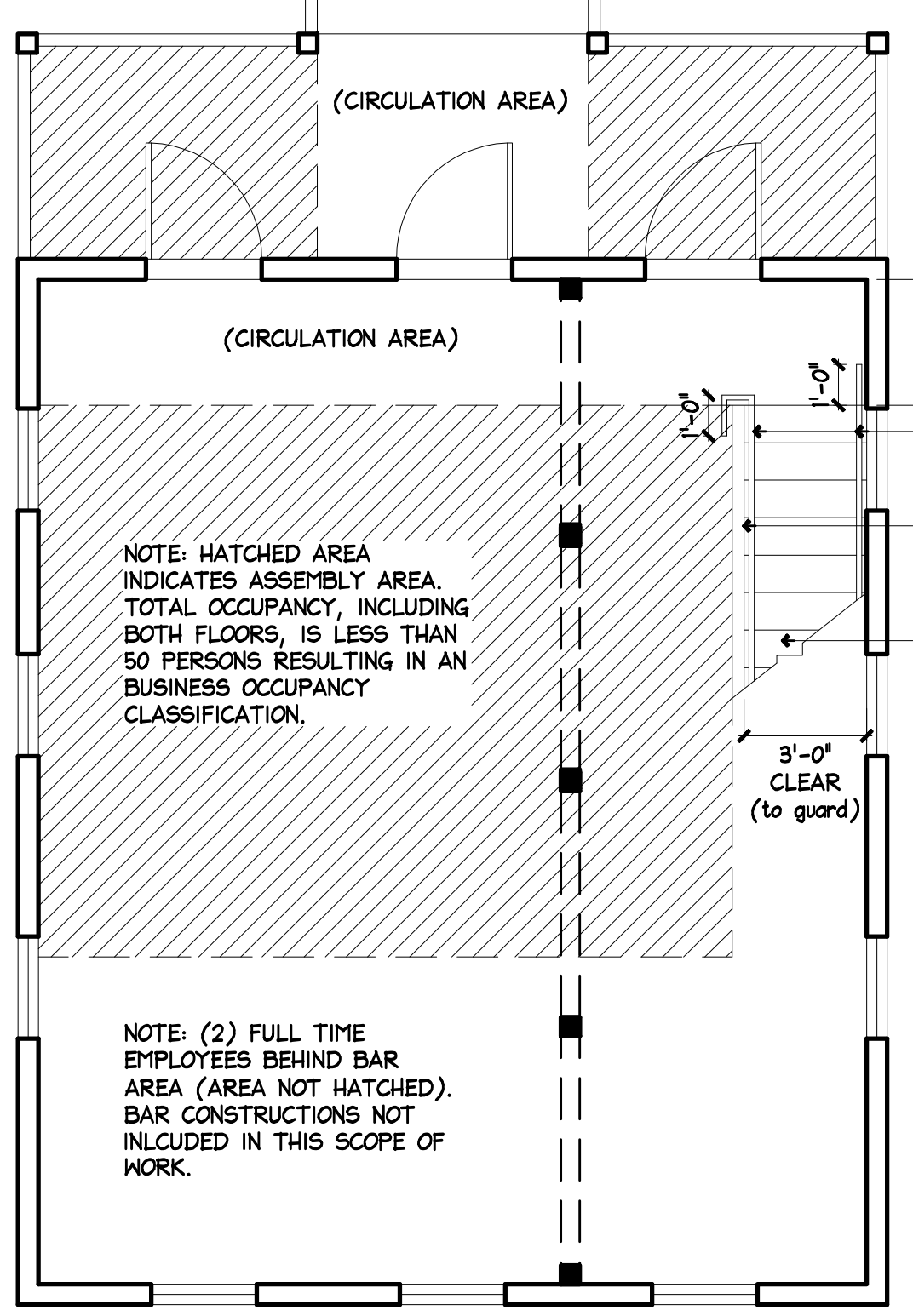
CODE CHECK	
FIRST FLOOR ASSEMBLY AREA 300 SF INCLUDING DECK:	
FBC TABLE 1004.1.2:	OCCUPANT LOAD: 20 PERSONS. 300 SF / 15 SF NET (UNCONCENTRATED TABLES AND CHAIRS)
FBC SECTION 303.1.1:	OCCUPANCY 'B'. ASSEMBLY OCCUPANCY LESS THAN 50 PERSONS (BOTH FLOORS COMBINED). TOTAL OCCUPANT LOAD OF 40 INCLUDING (2) EMPLOYEES.
FBC TABLE 503:	ALLOWABLE BUILDING HEIGHT AND AREA WITHOUT SPRINKLERS IS (2) STORIES AND 9,000 SF FOR TYPE V (B) CONSTRUCTION WITH A GROUP 'B' OCCUPANCY. THIS BUILDING IS (2) STORIES, TYPE V (B) CONSTRUCTION WITH A TOTAL OF 1,320 SF.
SECOND FLOOR ASSEMBLY AREA 385 SF INCLUDING DECK:	
FBC TABLE 1004.1.2:	OCCUPANT LOAD: 26 385 SF / 15 SF NET (UNCONCENTRATED TABLES AND CHAIRS; RESTRICTED TO 20 PERSONS SEE BELOW).
FBC SECTION 303.1.1:	OCCUPANCY 'B'. ASSEMBLY OCCUPANCY LESS THAN 50 PERSONS (BOTH FLOORS COMBINED). TOTAL OCCUPANT LOAD OF 40 INCLUDING (2) EMPLOYEES.
FBC SECTION 1009.4:	ALLOWABLE STAIRWAY WIDTH OF 36" WHEN SERVING AN OCCUPANT LOAD OF LESS THAN 50 PERSONS.
FBC TABLE 1021.2(2):	(1) EXIT REQUIRED AT SECOND STORY FOR 'B' OCCUPANCY WITH MAXIMUM OCCUPANCY LESS THAN 24 PERSONS.

BID SET / NOT FOR CONSTRUCTION

NOTES:
1. SCOPE OF WORK INCLUDES STRUCTURAL SUPPORT OF SECOND FLOOR TO ACCOMMODATE FBC LOAD REQUIREMENTS FOR ASSEMBLY OCCUPANCY AND A NEW STAIRWAY TO SATISFY FBC EGRESS REQUIREMENTS. NO OTHER WORK IS COVERED UNDER THESE DOCUMENTS.
2. CONSTRUCT NEW STAIR TREADS FROM 2X12'S. PAINT TO MATCH SECOND FLOOR RISERS TO BE CONSTRUCTED OF 1X8'S AND PAINTED TO MATCH TREADS.



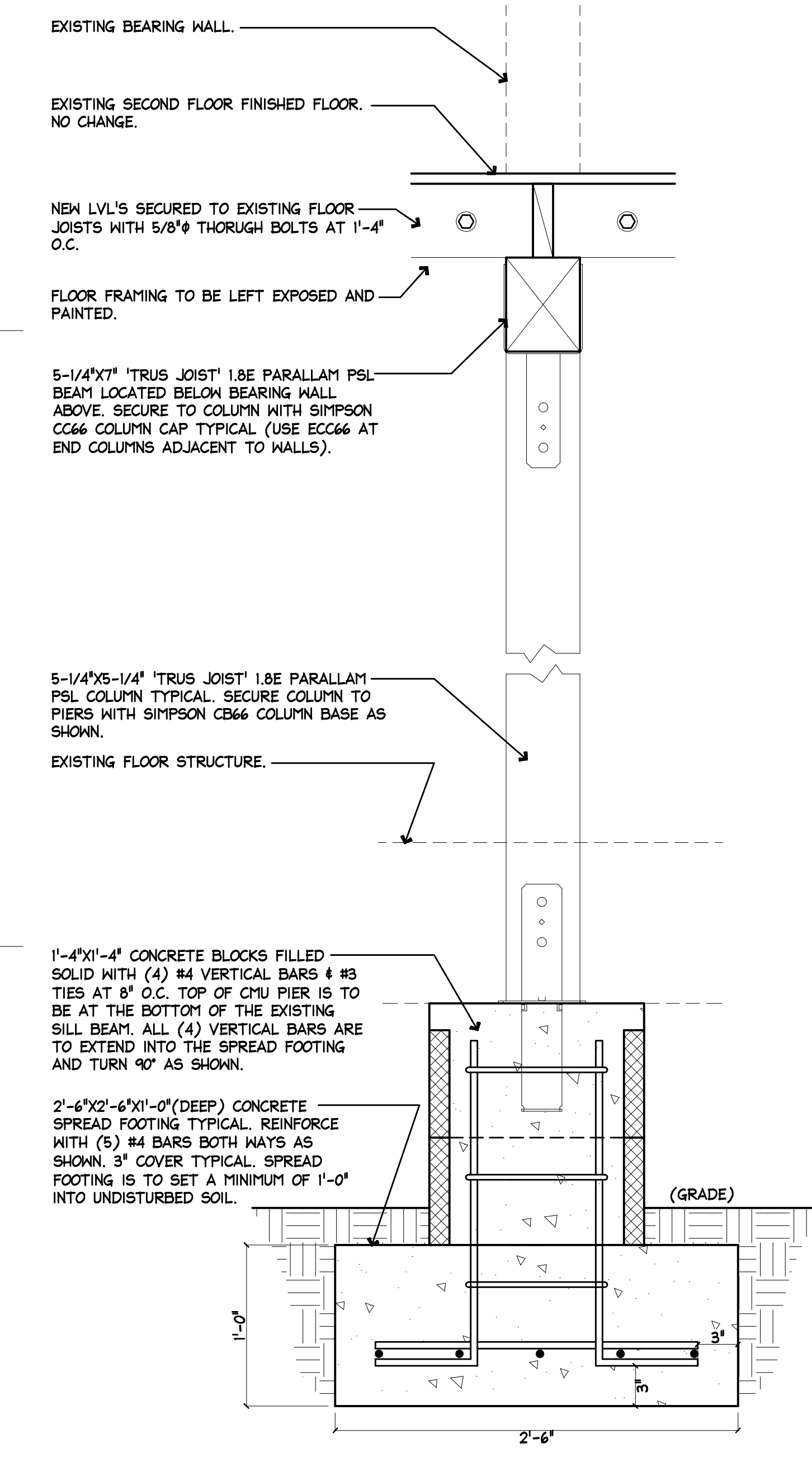
EXISTING SECOND FLOOR AREA NEEDS TO BE REMOVED TO ALLOW FOR PROPER HEAD CLEARANCE AT STAIR BELOW (6'-8").
NEW 42" TALL GUARDRAIL TO MATCH EXISTING GUARDRAIL STYLE. COMPLY WITH FBC SECTION 1013.
EXISTING STAIRCASE TO BE REMOVED AND REPLACED WITH A NEW 3'-6" WIDE STAIR AS SHOWN. THE SECOND FLOOR STAIR OPENING WILL NEED TO BE ENLARGED. THE SECOND FLOOR LANDING LOCATION REMAINS THE SAME AS EXISTING. STAIRS ARE TO HAVE A MAXIMUM RISER HEIGHT OF 7" AND A MINIMUM TREAD DEPTH OF 11".
EXISTING BATHROOM. COMPLETION OF BATHROOM (INSTALLATION OF FIXTURES) NOT INCLUDED IN THIS SCOPE OF WORK.



HANDRAILS AT BOTH SIDES. COMPLY WITH FBC SECTION 1012.
NEW 42" TALL GUARDRAIL TO MATCH EXISTING GUARDRAIL STYLE. COMPLY WITH FBC SECTION 1013.
EXISTING STAIRCASE TO BE REMOVED AND REPLACED WITH A NEW 3'-0" WIDE STAIR AS SHOWN. THE SECOND FLOOR STAIR OPENING WILL NEED TO BE ENLARGED TO ENSURE 6'-8" HEAD CLEARANCE. THE SECOND FLOOR LANDING LOCATION REMAINS THE SAME AS EXISTING. STAIRS ARE TO HAVE A MAXIMUM RISER HEIGHT OF 7" AND A MINIMUM TREAD DEPTH OF 11".
NOTE: (2) FULL TIME EMPLOYEES BEHIND BAR AREA (AREA NOT HATCHED). BAR CONSTRUCTIONS NOT INCLUDED IN THIS SCOPE OF WORK.

5 SECOND FLOOR PLAN SCALE: 1/4"=1'-0"

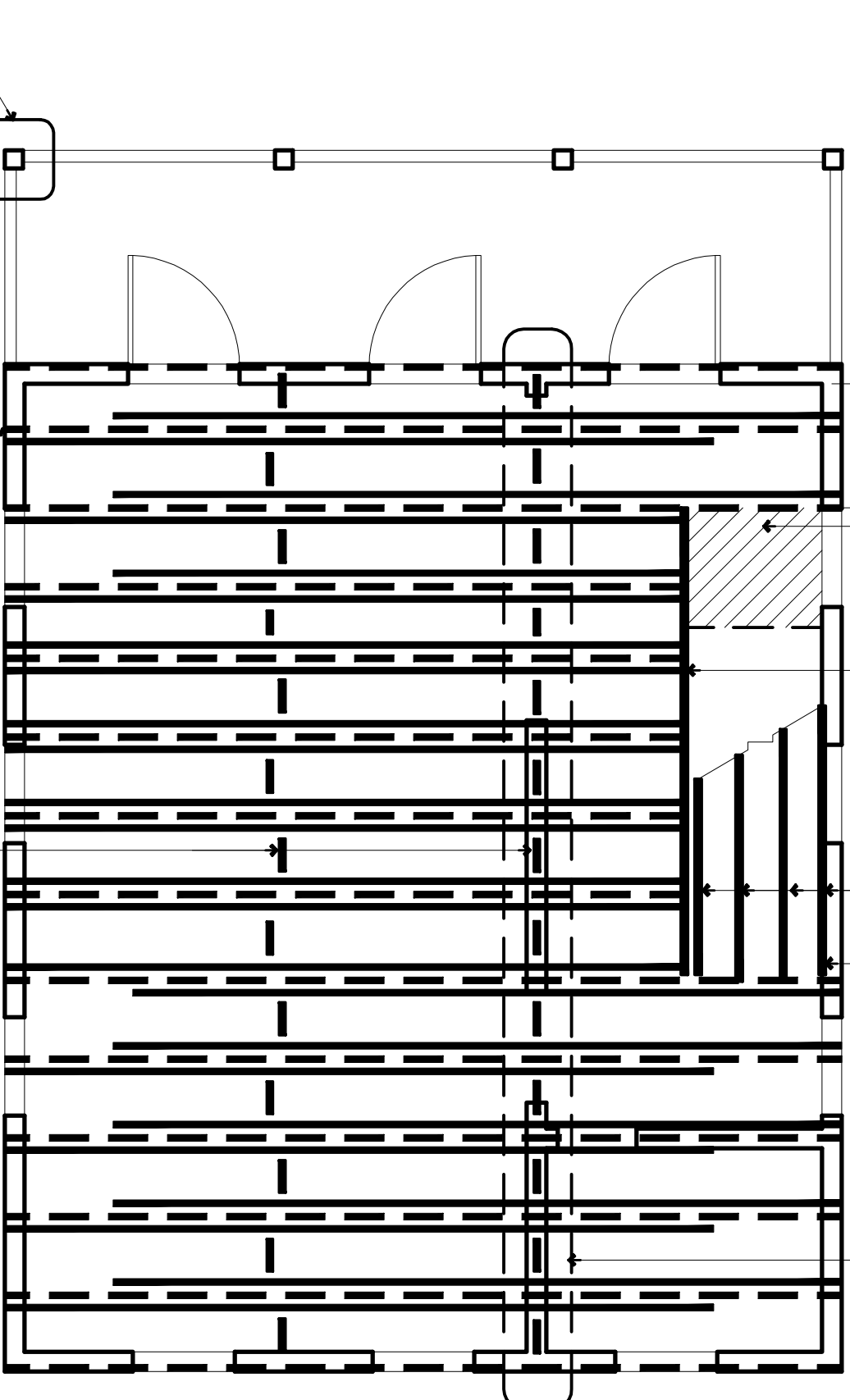
4 FIRST FLOOR PLAN SCALE: 1/4"=1'-0"



EXISTING BEARING WALL.
EXISTING SECOND FLOOR FINISHED FLOOR. NO CHANGE.
NEW LVL'S SECURED TO EXISTING FLOOR JOISTS WITH 5/8" THRU BOLTS AT 1'-4" O.C.
FLOOR FRAMING TO BE LEFT EXPOSED AND PAINTED.
5-1/4"x7" TRUS JOIST 1.8E PARALLAM PSL BEAM LOCATED BELOW BEARING WALL ABOVE. SECURE TO COLUMN WITH SIMPSON CC66 COLUMN CAP TYPICAL (USE ECC66 AT END COLUMNS ADJACENT TO WALLS).
5-1/4"x5-1/4" TRUS JOIST 1.8E PARALLAM PSL COLUMN TYPICAL. SECURE COLUMN TO PIERS WITH SIMPSON CB66 COLUMN BASE AS SHOWN.
EXISTING FLOOR STRUCTURE.
1'-4"x1'-4" CONCRETE BLOCKS FILLED SOLID WITH (4) #4 VERTICAL BARS #3 TIES AT 8" O.C. TOP OF CMU PIER IS TO BE AT THE BOTTOM OF THE EXISTING SILL BEAM. ALL (4) VERTICAL BARS ARE TO EXTEND INTO THE SPREAD FOOTING AND TURN 90° AS SHOWN.
2'-6"x2'-6"x1'-0" (DEEP) CONCRETE SPREAD FOOTING TYPICAL. REINFORCE WITH (5) #4 BARS BOTH WAYS AS SHOWN. 3" COVER TYPICAL. SPREAD FOOTING IS TO SET A MINIMUM OF 1'-0" INTO UNDISTURBED SOIL.

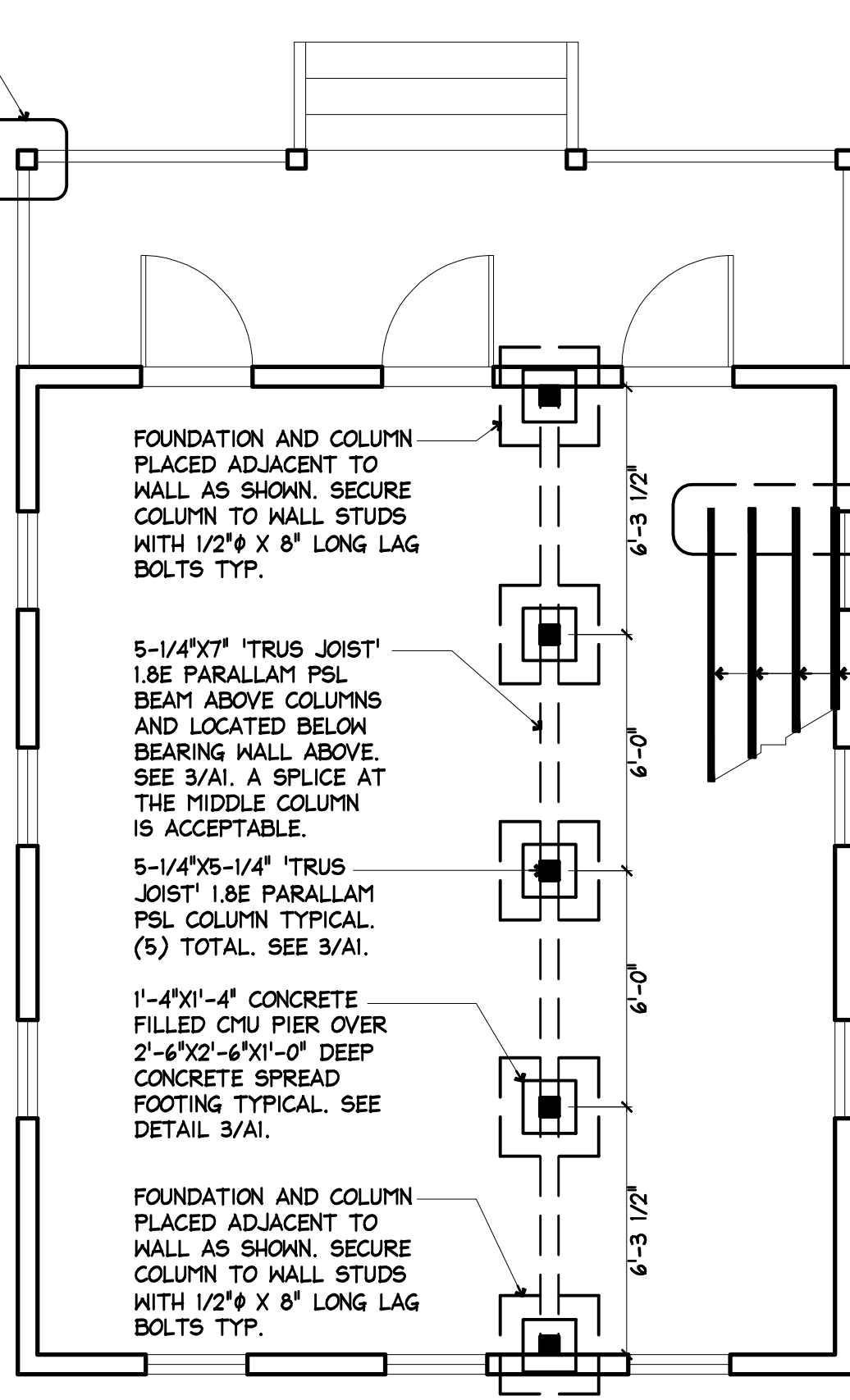
3 COLUMN & FOUNDATION DETAIL SCALE: 1-1/2"=1'-0"

THE EXTERIOR 6X6 COLUMN AT THIS LOCATION IS TO BE REPLACED WITH A NEW P.T. 6X6 COLUMN. FOUNDATION AND ROOF FRAMING ATTACHMENT DETAILS TO THIS COLUMN WILL NEED TO BE DETERMINED AFTER SELECTIVE DEMOLITION. FOR PRICING ASSUME (2) NEW SIMPSON RPBZ POST BASES WILL BE INSTALLED AT THE BASE OF THE COLUMN AND (2) SIMPSON LCEA POST CAPS WILL BE INSTALLED AT THE BEAM TO COLUMN CONNECTIONS AT THE ROOF LEVEL.
DASHED LINES INDICATE EXISTING 2X6 FLOOR JOISTS. SOLID LINES INDICATE 1-3/4" X 5-1/2" TRUS JOIST 2.0E MICROLAM LVL BEAMS. (2) LVL BEAMS ARE REQUIRED AT EACH EXISTING JOIST AS SHOWN. AT STAIR LOCATION THE BEAMS ARE TO BE CONTINUOUS FROM THE EXTERIOR WALL TO THE STAIR OPENING AS SHOWN. AT ALL OTHER LOCATIONS (FULL WIDTH OF BUILDING) THE LVL'S ARE TO BE 18'-0" LONG AND OVERLAP AS SHOWN. SECURE LVL'S TO EXISTING JOISTS WITH 5/8" THRU BOLTS AT 1'-4" O.C. (THROUGH ALL MEMBERS). NEW FRAMING WILL BE INSTALLED FROM BELOW. THE FIRST FLOOR CEILING WILL BE REMOVED FOR ACCESS.
SOLID BLOCKING AT MIDSPAN AND BEARING POINT TYPICAL.
FRAMING NOTES:
1. THE EXISTING FIRST FLOOR CEILING (AND TRIM) WILL NEED TO BE REMOVED ENTIRELY TO INSTALL NEW STRUCTURAL MEMBERS. THE NEW STRUCTURAL WORK IS TO BE LEFT EXPOSED. THE CEILING IS NOT TO BE REPLACED. PAINT NEW AND EXISTING FLOOR JOISTS AND THE UNDERSIDE OF THE SECOND FLOOR SHEATHING.
2. THIS WORK INVOLVES THE ADDITION OF NEW FLOOR JOISTS, COLUMNS, (1) BEAM, AND FOUNDATIONS TO SUPPORT ASSEMBLY LOAD REQUIREMENTS AT THE SECOND FLOOR. INSPECTION AFTER SELECTIVE DEMOLITION IS REQUIRED TO EXAMINE EXISTING SILL BEAMS AND WALL FRAMING. NOTIFY ARCHITECT FOR INSPECTION AFTER SELECTIVE DEMOLITION.
3. SECURE EACH NEW LVL TO EXISTING TOP PLATES WITH SIMPSON TSP HURRICANE TIES.



THE EXTERIOR 6X6 COLUMN AT THIS LOCATION IS TO BE REPLACED WITH A NEW P.T. 6X6 COLUMN. FOUNDATION AND ROOF FRAMING ATTACHMENT DETAILS TO THIS COLUMN WILL NEED TO BE DETERMINED AFTER SELECTIVE DEMOLITION. FOR PRICING ASSUME (2) NEW SIMPSON RPBZ POST BASES WILL BE INSTALLED AT THE BASE OF THE COLUMN AND (2) SIMPSON LCEA POST CAPS WILL BE INSTALLED AT THE BEAM TO COLUMN CONNECTIONS AT THE ROOF LEVEL.
EXISTING FLOOR TO BE REMOVED AT HATCHED LOCATION TO ENSURE 6'-8" HEAD CLEARANCE AT NEW STAIRWAY.
NEW 1-3/4" X 5-1/2" TRUS JOIST 2.0E MICROLAM LVL BEAM AT STAIR OPENING. SECURE EXISTING AND NEW JOISTS TO LVL WITH SIMPSON HUG6 FACE MOUNT HANGERS.
(4) 2X12 STRINGERS FOR NEW STAIRCASE.
SECURE STRINGERS TO EXISTING FLOOR JOIST WHERE EXISTING STRINGERS ARE SUPPORTED.
NEW COLUMNS AND BEAM TO BE LOCATED BELOW THIS SECOND FLOOR BEARING WALL.

2 SECOND FLOOR STRUCTURAL PLAN SCALE: 1/4"=1'-0"



FOUNDATION AND COLUMN PLACED ADJACENT TO WALL AS SHOWN. SECURE COLUMN TO WALL STUDS WITH 1/2" X 8" LONG LAG BOLTS TYP.
FOUNDATION AND COLUMN PLACED ADJACENT TO WALL AS SHOWN. SECURE COLUMN TO WALL STUDS WITH 1/2" X 8" LONG LAG BOLTS TYP.
CONFIRM THAT EXISTING JOISTS ARE LOCATED WHERE NEW STRINGERS ARE SECURED TO FLOOR. NOTIFY ARCHITECT AFTER SELECTIVE DEMOLITION FOR INSPECTION.
(4) 2X12 STRINGERS FOR NEW STAIRCASE.
COLUMN & BEAM NOTES:
1. EXISTING FLOOR WILL NEED TO BE REMOVED TO THE EXTENT REQUIRED TO PLACE FOUNDATIONS AND COLUMNS. AFTER PLACEMENT OF FOUNDATIONS AND COLUMNS THE SUBFLOOR AND FINISHED FLOOR ARE TO BE REPLACED TO MATCH EXISTING.
2. FOR PRICING ASSUME THE EXISTING FIRST FLOOR JOISTS REMAIN AS IS. NOTIFY ARCHITECT AFTER SELECTIVE DEMOLITION TO DETERMINE IF MODIFICATION OF FLOOR JOISTS WILL BE REQUIRED FOR INSTALLATION OF THE FOUNDATIONS AND COLUMNS.

1 FIRST FLOOR STRUCTURAL PLAN SCALE: 1/4"=1'-0"

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ARCHITECTS
p.a.

Project No. 1632
Date: 09/07/16

A1

DIVISION 1 – GENERAL REQUIREMENTS

- The general conditions of the Contract for Construction, AIA Document A201, are a part of this project. Contractors who are not familiar with this document may obtain copies from the Architect, or the office of the American Institute of Architects, Miami, Florida.
- All work shall be in strict conformity with the Florida Building Code, latest edition, and with all applicable laws, codes, and ordinances of the City, County, State, utility companies and any other governing agencies.
- The Contract work includes all material, equipment, tools, labor and services necessary for the completion of the project. The Owner has the right to, and expects all work to be completed as expeditiously as equal.
- The Contractor shall procure and pay for all necessary building permits and for inspection services of local authorities where required by law. Meter and impact fees will be paid by the Owner.
- Notify all utility companies prior to excavation for location of underground utilities, and/or protection or removal of overhead power lines and poles.
- Provide safety barricades, signals, fences, etc., as required for the safe execution of the work and compliance with local laws.
- The observation of the Contract work shall be done by the person listed in the Contract agreement as the Architect. In the case that no observation by the Architect is provided in the Contract, the functions of the Architect, wherever called for in the Specifications, shall be exercised by the Owner.

8. Provide temporary services and utilities:

- Water (potable and non-potable).
- Sewer sediment.
- Power.
- Metering.
- Telephone.
- On renovation work where existing electric and water meters will remain without interruption or service, other than short periods of transfer or meters, the owner will continue to pay those utility bills

9. Materials and Labor

- Submit samples to the Architect for approval of color where required.
- All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades.
- Where brand names or manufacturers names appear, they are used to establish a quality of material and/or process. Substitutions will be approved by the Architect if, in his judgment, they constitute an equal material or process.
- All trades shall guarantee all work to be free of defects in materials or workmanship for a period of one (1) year from the date of final acceptance. This is an individual installer warranty and is additional to longer product or manufacturers warranties required elsewhere in these specifications.

9.5 Apply, install, connect, erect, clean, condition, and use all manufactured articles in accordance with the manufacturer's instructions and as shown on the drawings. Provide Owner with all warranties and maintenance manuals for all appliances and pieces of equipment installed as a part of the work.

10. Performance

- By submitting a bid, the bidder agrees and warrants that he has examined the drawings and specifications and found that they are adequate for the proper completion of the project.
- No claims for any extra charges will be allowed because of alleged impossibilities due to inadequate drawings or specifications.
- The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items. Any necessary adjustments between field measurements and drawings shall be made as per the decision of the Architect.

11. Payments

- Immediately after execution of the Contract, the Contractor shall submit for approval a breakdown of the Contract sum.
- Use AIA Document G-702/G-703 for payment applications.
- Unless explicitly stipulated differently in the Contract Agreement, the Contractor shall receive payments monthly, based on the work completed and the evaluation in accordance with the approved breakdown.

12. Insurance

- The Contractor shall carry Workmen's Compensation Insurance to the extent required by law and shall maintain such insurance in full force during the entire time of this contract.
- The Contractor shall carry comprehensive General and Automobile Liability Insurance of \$100,000 to \$300,000 (minimum) and Property Damage Insurance of \$50,000 (minimum).

13. Completion

- All work shall be substantially completed at a time stipulated in the Contract Agreement or in time extended for justifiable delays, if any.
- A building or any other work shall be considered substantially completed when ninety-five percent (95%) of the work is done and the building is ready for occupancy or the premises for use.

DIVISION 2 – SITE WORK

- Scope: Demolition, excavation, filling and back filling, base course for building slabs and sidewalks, finish grading, and plantings.
- Related Work Specified Elsewhere: Concrete, masonry, moisture protection.

3. Demolition:

- Demolition will be as indicated on the drawings.
- Removal and replacement of power poles and/or equipment will be by the appropriate utility companies. Notify utility company at the start of construction of need to remove or relocate.

4. Excavation:

- Excavate for footings, slabs, etc. as indicated on the drawings and as required for completion of the project.
- All work shall be done in a safe and cautious manner in order to avoid accidents and property damage. The Contractor shall repair or replace property damaged during this or any other phase of the work.

5. Filling and Backfilling:

- Fill all areas as indicated on the drawings or as necessitated in the normal course of the work.
- Backfill against foundations and slab edges with native soils free of organic material or debris. Care shall be taken not to damage water-proofing membranes, insulation, foundation, etc.
- Utility trenches shall be proper width for laying pipe. Avoid sharp breaks or changes in direction. Unstable soil shall be removed and replaced with approved material.
- Compact all backfill to 95% of existing maximum density in 12" lifts.
- Excavated material not suitable or required for back filling shall be redistributed on site or removed, as directed by the Architect.

6. Backfilling for Slabs and Walks:

- Aggregate base material of 1" or less in size uniformly distributed with coarse and fines. Aggregate base shall conform to the following requirements:

Sieve Size (square openings)	% passing by weight.
1 inch	100%
3/4 inch	90-100%
1/4 inch	45-75%
no. 200	0-8%

6.2 All aggregate base courses shall be 4" minimum thickness after compaction unless otherwise specified.

6.3 Provide 4" compacted aggregate base course under all concrete slabs on grade.

7. Finish Grading:

- Slope all grades away from the buildings.
- All graded areas to be graded in uniform slopes, free from ridges and mounds.
- Asphalt concrete paving.
- Type S-3 asphalt per D.O.T. specifications.
- Provide compacted base as appropriate to site and local conditions; Lime Rock or other D.O.T. acceptable material compacted to 95% of ASTM D-1557.

DIVISION 3 – CONCRETE

- Scope: Complete installation of plain and reinforced concrete work of the entire project including foundations, walls, slabs on grade, precast floor joists, and other concrete work to complete the project as shown on drawings and called for in these specifications. Furnishing and installing all reinforcing steel, welded wire fabric, dowels, ties, anchors, etc. as indicated on drawings and otherwise required by the work. Installing items built into concrete but furnished by others. Installing items necessary to fasten and hold reinforcement in place.
- Related Work Specified Elsewhere: Furnishing attachments for other work placed in concrete, waterproofing.

3. Description: Concrete shall consist of Portland cement, fine and coarse aggregate, proportioned and mixed, weighed, placed and finished as indicated and specified. Concrete strength = 4,000 P.S.I. @ 28 days. Max. slump = 5" for footings and 6" for slabs on grade. Maximum slump for structural columns, beams and slabs shall be 4". Transit mixed concrete per ASTM C-94.

4. Materials:

- Portland cement – ASTM C-150
- Reinforcing steel – Type VII ASTM A-615 Grade 60
- Welded wire fabric – ASTM A-185
- Coarse aggregate shall be clean crushed stone or natural gravel conforming to ASTM C-33, and not larger than 3/4" for slabs on 1/2" for floors on form.
- Finer aggregate shall be washed natural sand, without clay content, of strong sharp particles.
- Water shall be potable.
- Accessories shall be hot dipped galvanized bar supports, etc. manufactured for use in concrete.
- Joint filler shall be pre-molded expansion joint filler, 1/2" thick, unless otherwise stated on the drawings, asphalt impregnated fibers conforming to ASTM D-494.

5. General Requirements:

- Material and workmanship shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318).
- Do not use deteriorated or damaged material for concrete.
- No admixtures shall be used without prior approval of the Architect.
- Mechanically vibrate all concrete in place with experienced workmen.

5.5 Cure slabs with an approved liquid curing compound and sealing agent, applied in accordance with the manufacturer's recommendations.

5.6 Concrete pours shall be so scheduled and completed so that no unsafe structural conditions or unsightly finish will result. Scheduling and location of pours shall be brought to the attention of the Architect, at least 24 hours prior to placing concrete. Inspection of reinforcing in place, forms, compacted base, etc., will be made by the Architect prior to any concrete pour. No concrete shall be poured without the Architect's inspection and approval.

5.7 Furnishing and placement of reinforcing steel shall comply with current ACI standards. Reinforcing steel shall be accurately placed in accordance with related drawings and securely tied in its precise position at all points where the bars cross so as to preclude shifting during the placing of concrete. Bars shall be deformed in accordance with ASTM A-305.

5.8 Precast-prestressed concrete floor joists where shown on Drawings, shall be manufactured in accordance with the requirements on the structural drawings.

5.9 The thickness of concrete floor slabs supported directly on the ground shall not be less than 3 1/2 inches (89mm). A 6-mil (.0006 inch [152 mm]) polyethylene vapor retarder with joints lapped not less than 6 inches (152mm) shall be placed between the base course or subgrade and the concrete floor slab, or other approved equivalent methods or materials shall be used to retard vapor transmission through the floor slab.

6. Concrete Finishes:

- Finished floor slab surfaces shall be plane surfaces as shown on the drawings. Where drains occur slope floor evenly to drains.
- Exterior slabs shall be screeded with a straight edge, floated to the required level, and steel troweled to a smooth hand finish. Exterior slabs shall be broom finished.
- Concrete floors shall be checked for trueness with an 8 foot straight edge. Any deviation from the line of the straight edge by more than 1/4" shall be repaired in a manner satisfactory to the Architect.

7. After construction is completed, thoroughly clean all exposed floors with soap and water.

8. Control joints shall be formed, as indicated on drawings, or formed with metal keyway to remain in the slab.

9. Precast, prestressed floor joists

DIVISION 4 – MASONRY

- Scope: Furnish and install all labor, materials, equipment and service necessary to complete all masonry work as indicated or specified.
- Related Work Specified Elsewhere: Masonry wall insulating fill, face caulking of control joints.

3. Materials:

- Concrete masonry units shall conform to ASTM C-90, Grade U-1, F m = 1500 P.S.I.
- Masonry units shall be 8" x 8" x 16" hollow unit masonry, 16" x 8" x 16" column block, and as shown on the drawings.
- Trussed or ladder type horizontal joint reinforcement equal to Dur-O-Wall.
- Mortar shall be type S, 1900 P.S.I. minimum compressive strength.

4. Construction and Workmanship:

- All work shall be performed by experienced mechanics, skilled in their trade, in a first class manner.
- The Contractor shall be responsible for quality of workmanship and for compliance with the design and specifications. He shall correct all errors and deviations as requested by the Architect.
- Transport and handle all masonry units in such manner as to prevent chipping and breakage. Protect all masonry from inclement weather effects and heavy and unnecessary traffic.
- Do not lay chipped, cracked or otherwise defective units in the wall where exposed to view. Remove and replace defective units, whether defective, chipped, or broken before or after setting.
- All joints shall be as indicated on drawings, straight, true, and uniform in thickness to course vertically to 6".
- All masonry shall be running bond unless indicated otherwise.
- Build in all items as required for a complete job, including (but not limited to) reinforcing steel, bolts, anchors, conduits and piping.
- Provide all openings in masonry walls where required or indicated. Build in all items as required for a complete job, including (but not limited to) reinforcing steel, bolts, anchors, conduits and piping.
- Install horizontal joint reinforcement in wall joints at 16" on center vertically.

DIVISION 5 – STRUCTURAL AND MISCELLANEOUS STEEL

- Scope: Furnish and install all steel lintels, clip angles, anchor bolts and other steel items as indicated on drawings or otherwise specified.
- Related Work Specified Elsewhere: Reinforcing Steel

3. General Requirements:

- Structural Steel Plates – ASTM A-36
- Structural Steel Tubes – ASTM A-500 Grade B
- Structural Bolt – ASTM A-325
- Anchor Bolts – ASTM A-307
- Any welding shall be performed by certified welders.
- All steel items shall be hot dip galvanized, prior to delivery to the site, or stainless steel.
- All work shall be properly aligned, plumb, level and true, and shall be in the precise location as indicated on the drawings.

DIVISION 6 – CARPENTRY AND MILLWORK:

- Scope: All rough and finish carpentry work and millwork as indicated on drawings and specified. The installation of all rough and finish hardware, shelving and trim, hangers and all material necessary to complete all the framing and millwork work as shown. Install all blocking, firestops, backing, bridging, etc., for the proper installation of all applied items.
- Related Work Specified Elsewhere: Toilet room accessories, specialties, finishes.

3. Materials:

- Protection against decay and termites: All wood in this section shall be a naturally durable species resistant to termites or pressure treated. Even when not specifically indicated on the drawings, all framing lumber, sheathing, fascia, casings, and any other lumber used on the exterior of the building shall be pressure treated or naturally decay resistant. Lumber used for framing, plates, etc., on the interior shall also meet this requirement.
- Exterior trim: 1/2" x 6", pressure treated and kiln dried.
- Southern Yellow Pine, unless otherwise noted.
- Interior trim: clear fir or as called for on the drawings.
- Shelving may be 3/4" plywood with a 1/8" x 3/4" hardwood glued and nailed to ends and edges exposed to view with all ends and edges sanded and finished, or solid boards.
- Build-in cabinets shall be plastic laminate and/or wood as shown and detailed on drawings. Plastic laminate shall be Formica, Wilsonart, Paritec, or equal.
- Connectors, supports, joist hangers, etc., shall be Simpson, of types as indicated on drawings, all items galvanized.

4. Construction and Workmanship:

- All work shall be braced, plumbed and leveled. All joints shall be true and tight. A sufficient number of nails, screws, and bolts shall be used to insure the rigidity of the construction.
- All millwork shall be carefully erected with tight fitting joints, carefully cut and secured. Exposed nails shall be set and puttied. All work shall be thoroughly cleaned and sanded to receive finish.
- All carpentry work shall conform to Chapter 17 of the Standard Building Code, latest edition.
- Provide grounds, stripping, furring, etc., to receive finish materials as required.
- Provide x-bracing or solid blocking at center line of all framing members over eight feet in length.
- Install all plywood with edges over framing members. Nail plywood siding at 4" O.C. at edges and 8" O.C. at intermediate framing members. Stagger plywood joints.

DIVISION 7 – MOISTURE PROTECTION

- Scope: Roofing, sheet metal, caulking, insulation.
- Related Work Specified Elsewhere: Concrete, masonry, filling and backfilling, doors and windows.
- Materials:
- The Contractor shall submit samples of materials for approval to the Architect as called for.
- All materials shall be delivered bearing the manufacturer's name and brand.
- All flashing, counter-flashing, reglets, etc., shall be galvalume with factory applied paint, or stainless steel where shown on drawings. All flashing, drips, etc., as detailed.
- Subgrade waterproofing shall be black asphaltic emulsion painted onto walls, two coats minimum, as shown on drawings.
- Caulking or sealant shall be DAP Gold Label Butyl-Flex caulking compound or equal. In no case shall caulking or sealant be less than is required for its intended use. Submit manufacturer's data to the Architect when requested. Colors to match adjacent construction.

3.6 Batt insulation shall be minimum R-19 (or as called for in the drawings) at ceilings and walls or vertical planes (except as shown on Drawings). Masonry fill insulation, when required, shall be Vermiculite, Perlite, or equal; Min. R-5. All Batt insulations shall have a vapor barrier on one side, applied to the room side of walls or ceilings. Rigid insulation shall be equal to Celotex Brand Polystyrene closed cell foam insul with aluminum foil facing on one side. Thickness as called for on drawings assumes an R-Value of 6.5/inch.

3.7 All 1/4" crimp metal roofing shall be 24" wide panels for placement. 24" O.C., with "galvalume" coating, 26 gauge steel with a E-V profile. Place roofing over a membrane complying with ASTM D 2626, Type I, 30 lb. Provide all accessories: galvanized clips, anchors and other materials required for a complete and weathertight installation. Where Metal roofing is shown on the drawings "to match existing", furnish a sample of the proposed product to the Architect for approval.

3.8 Where metal shingle roofing is called for, provide "galvalume" shingles, 30 gauge minimum with patterns as selected by the Architect.

3.9 Where modified bituminous or "built-up" roofing is called for or otherwise required, use sikalet 2030 CBH system or approved equal.

4. Roofing:

- The roofing Contractor shall inspect the roof deck for compatibility with specified roofing systems and materials, and for any defects of the deck, and state his findings to the Architect.
- All work shall be done in strict accordance with the manufacturer's recommendations.
- Pipes and ducts extending through the roof shall be flashed with one piece of sheet metal forming a flange which extends at least 6" on all sides.
- Provide a written guarantee stating that any leaks or other defects in the roofing or flashing will be repaired to the Owner's satisfaction for a period of two (2) years.
- All roofing shall be performed in accordance with applicable codes and ordinances, and in accordance with commonly accepted practices for quality roofs in the roofing industry.

5. General Requirements:

- Furnish and install all work for this section as indicated.
- Furnish and install flashing wherever indicated on drawings and wherever required to maintain the integrity of the roof.
- Furnish and install caulking wherever indicated and as required for weather tight seal.
- After completing the roofing installation, the roofing and sheet metal contractor shall remove all excess materials and all trash and debris caused by his work.
- The roofing subcontractor shall inspect all work in place for compatibility with specified roofing systems and materials, and for any defects of the deck, and state his findings to the Architect.
- Roofing systems shall use the products of the same manufacturer unless specifically allowed by the roofing manufacturer in writing.

DIVISION 8 – DOORS, WINDOWS AND GLAZING, HARDWARE

1. Scope: Furnish and install all doors, windows, glass and glazing, hardware, frames and miscellaneous items as required for a complete project, as indicated on drawings, specified or otherwise necessitated by the work.

2. Related Work Specified Elsewhere: Caulking

3. Doors and Frames:

- Wood doors shall be hollow core, or solid core, or panel, as indicated on drawings, of sizes and types as indicated.
- Wood frames shall be pine or Douglas Fir, appearance grade, as detailed.
- Hollow metal doors and frames shall be the product of one manufacturer, or gauges sufficient for its intended use with all components hot dip galvanized.

4. Windows:

- All windows in exterior walls to be as shown on the window schedule: wood, aluminum or steel as called for.
- Finish All wood windows with factory installed primer on exterior and interior. Paint as per Division 9-Finishes.
- Provide all windows with factory-installed fiberglass screens in aluminum frame with white finish.
- Glazing All windows, except as shown, shall be furnished with clear single glazing. Windows "I" to be furnished with clear impact resistant glazing are as scheduled. Provide N.O.A. to show Florida Building Code compliance.
- Roof windows, where shown on Drawings, shall be "Velux"
- Finish Finish shall be standard Kynar 500 resin finish.
- Glazing Standard clear, tempered, insulating glazing.
- Flashing: Provide 22 Gauge Type EKL Cornish-Flashing.

5. Glass and Glazing:

- All fixed glass frames shall be as detailed.
- All fixed glass in exterior walls shall be as indicated on drawings, 1/4" min., to withstand impact and wind loads shown on the drawings, but in no case less than required by code.
- Chapter 24 of the Florida Building Code, latest edition, shall be the minimum requirement for glass and glazing. Where discrepancies between drawings, specifications, or the code appear, the Contractor shall adhere to the most stringent requirement.
- Chapter 16 of the Florida Building Code, latest edition, shall be the governing standard for wind and impact loading of glass, glazing and all related components. Where discrepancies between drawings, specifications, or the code appear, the contractor shall adhere to the most stringent requirement.
- Impact resistant glazing may be laminated glass or lexan, unless specifically detailed or otherwise required by other provisions or the documents.

6. Finish Hardware:

- Provide hardware in all cases adequate for the service to which it will be subjected in the course of normal usage. Unless otherwise noted herein, all locks shall be keyed as indicated on the drawings.
- Submit samples of hardware finishes to the Architect for selection when requested in the drawings.
- In the absence of a hardware schedule, the Contract shall include a bid allowance for the purchase of hardware items for all openings.
- Install all hardware and related items required for a complete and functioning system.
- For each of the required items of finish hardware, provide from the specified manufacturer or from one of the indicated acceptable substitutes.

Item	Acceptable Manufacturer	Substitute
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Butts	Stanley, Taco, National McKinney or Equal	
Locks	Schlage	None
Closers	Sargent	LCH or Norton
Floor Closers	Rison	None
Panic Bolts	Sargent	Van Duprin
Thresholds	Pemko	Reese
Miscellaneous	Builders Brass	Trimco, Ives

Provide other materials, not specifically described but required for a complete and proper installation, as selected by the Contractor subject to the approval of the Architect.

7. General Requirements:

- Provide P.T. wood thresholds for exterior doors, as detailed, or premanufactured units when hardware schedules do not specify thresholds.
- Furnish and install weatherstripping at all exterior doors for weathertight seal.
- Leave all labels on glass in place until inspected. After inspection remove all labels and thoroughly clean all glass.
- Protect all aluminum frames and glass from damage. The general Contractor shall be responsible for the removal of protective materials and cleaning with water, or water with soap or household detergent. The general Contractor shall be held responsible for damage resulting from use of other cleaning materials.

8. Finish Hardware Schedule:

A. Furnish the hardware groups in the amounts indicated on the drawings.

DIVISION 9 – FINISHES

- Scope: Furnish and install all gypsum drywall at partitions and ceilings, painting and ceramic tile as indicated on drawings or specified.
- Related Work Specified Elsewhere: Carpentry, Plastic Laminates

3. Materials, Construction and Workmanship:

- Gypsum Board:
- Gypsum board shall be 5/8" type "Y" taped and finished. Gypsum board shall have finish grade to receive paint.
- Use water resistant gypsum board at toilet rooms and as called for on drawings.
- Drywall shall be screw fastened to framing. Drywall screws shall be self-tapping flathead, shouldered and designed for use with power driven tools; not less than 1" long.
- Furnish and install all gypsum board corner beads, edge guards, trim and metal accessories as required for a complete job, of types as indicated on drawings.
- Apply board with edges over framing member.
- Soffits and ceilings to be smooth finish or other texture as approved by the Architect. All walls to be light smooth finish or other texture as directed by the Architect.
- Ceramic tile:
- Ceramic tile shall be manufacturer's standard glazed tile, unless noted otherwise, with all base, trim, etc., for a complete job. Glass shall be as called for on the drawings.
- Tile shall be as selected by the Architect, and as manufactured by American Clean, Florida Tile, Dallas Ceramic Company, Intertec Corporation or equivalent. Submit samples for approval when requested by the Architect.
- Grout shall be white, unless otherwise noted, conforming to the highest quality industry standards.
- Ceramic tile shall be thin set, mastic applied or mud set, at the Contractor's option.
- Clean tile before final inspection.
- All ceramic tile substrate shall be cementitious backer board, Harderboard or equal.
- Painting:
- Work covered in this section includes:
 - Painting all interior surfaces as called for in the finish schedule.
 - Painting all exterior clipboards, trim and soffits.
 - Painting all doors, windows and trim.
 - Finishing wood flooring with urethane finish.
 - Painting exterior gutters and downspouts and any other exposed metal surfaces.
 - Painting all interior millwork.
 - Painting and finishing any other work requiring finishing, but left unfinished by other people.
- Painting materials as manufactured by Benjamin Moore, Sherwin Williams, Dunn-Edwards, Deer-O, or Pittsburgh Paints. Stains as manufactured by Olympic, U.S. Plywood and Ajdicate.
- Mask as required, lay drop cloths, and generally protect all adjacent surfaces. Properly protect or remove light fixtures, hardware, etc., during painting.
- Finish tops, bottoms and edges of doors the same as door faces.
- Materials for painting and finishing are based on products of the Benjamin Moore Co., unless noted otherwise.

Exterior wood trim, doors and windows (to be painted):

- Coat Fresh Start 100% Acrylic Primer (0023) – 49 g/1 VOC.
- Coats MoorGard Low Lustre Acrylic House Paint (N103) – 46 g/1 VOC.

Exterior wood siding (to be painted):

- Coat Fresh Start 100% Acrylic Primer (0023) – 49 g/1 VOC.
- Coats MoorGard Low Lustre Acrylic House Paint (N103) – 46 g/1 VOC.

Exterior wood siding to be stained:

- Coats Premium Exterior Stain Acrylic Solid Color (N089) – 78 g/1 VOC.

Interior Drywall and Wood T&G (to be painted):

- Coats. Walls – Regal Premium Interior Latex Pearl Finish (N310) – 142 g/1 VOC.
- Coats. Ceilings – Regal Matte Finish (N221) – 97 g/1 VOC.

Interior Wood Trim # Millwork (to be painted):

- Coat Fresh Start 100% Acrylic Primer (0023) – 49 g/1 VOC.
- Coats. Regal Latex Semi-Gloss Finish (N333) – 145 g/1 VOC.

Interior Wood Flooring:

- Coats SAFECOAT Durastain – 56 g/1 VOC
- Coats SAFECOAT Polyuread BP Stain Finish – 110 g/1 VOC

3.1.6 Undercoat and Thinners:

- Provide undercoat paint produced by the same manufacturer and use only as the finish paint.
- Use only the thinners recommended by the paint manufacturer and use only to the recommended limits.
- Insofar as practicable, use undercoat, finish coat and thinner materials as parts of a unified system of paint finish.

3.3.7 Acceptance of bases: The Painting Contractor shall be responsible for the finish of his work and shall not start painting until the surfaces are in proper condition to receive paint. If the Contractor considers any surfaces unsuitable to a degree that they cannot be corrected by scraping or sanding, he shall report this to the Architect or the Owner before applying any materials to same. Starting his own work shall be considered an acceptance of the surfaces.

3.3.8 Preparation of surfaces: Prepare wood surfaces by sealing all knots with GD 30 knot sealer. Putty nailholes, cracks, and blemishes and sand rough areas before applying second coat of paint. Clean oily or greasy surfaces. Remove rust by scraping or sanding.

3.3.9 All surfaces to be painted must be free of dirt and dust before painting.

3.3.10 All workmanship shall be of a professional quality with paint spread evenly without runs. Colors shall be as selected by the Architect or the Owner, and shall conform to the approved sample.

3.3.11 Nailholes and imperfections shall be neatly puttied after the first coat. Putty shall be colored to match the color of the surface to which it is applied.

3.3.12 Enamels, varnishes and other oil paints shall be allowed to dry at least 48 hours between coats. Interior paints shall be allowed to dry at least 24 hours between coats.

3.3.13 Paint shall be applied in the number of coats shown in 3.3.5 above.

3.3.14 Urethane shall be applied in the following manner: Wood Flooring – Stain (color to be approved by Owner) Sealer and three coats of urethane

3.4 Vinyl Tile: (when called for on the drawings)

- Vinyl tile shall be KerTile Architectural Series, 12" x 12" x 1/8", or equal. Color as selected by the Architect. Submit samples for approval. Approved equal manufacturers for vinyl tile are: Azrock Floor Products, Congleum, Finkate, GAF or Armstrong.
- When called for on the drawings, rubber base shall be 4" high, color as selected by the Architect.
- All tile shall be installed in accordance with the manufacturer's recommendations, using an adhesive recommended for the particular floor condition.
- After the floor is laid and prior to final acceptance, the floor shall be cleaned, waxed and machine buffed.
- Carpet
- Owners to select the carpet where shown on the Room Finish Schedule.
- Include a Unit Price Allowance in the Contract of #20/ square yard.
- Acoustic tile ceiling.

3.6.1 Furnish and install acoustic tile ceiling systems as indicated on the drawings.

3.6.2 Install all systems in strict compliance with the manufacturers printed recommendations.

DIVISION 10 – SPECIALTIES

1. Scope: Furnish and install all toilet room accessories, hardware, etc., as indicated or specified.

2. Related Work Specified Elsewhere: Carpentry, Gypsum Drywall, Tile

3. Materials:

3.1 Toilet room accessories shall be as called for on the drawings. When such items are not shown, they shall be furnished by the Owner and installed by the Contractor.

DIVISION 15 – MECHANICAL AND PLUMBING

1. Scope: Furnish all labor, materials, tools, transportation, services, etc., as required for complete installation of all mechanical and plumbing work as indicated on drawings, specified or otherwise necessitated by the work, for the completion of the project. Refer to mechanical and plumbing drawings for additional notes and specification requirements. Where discrepancies exist, those notes will take precedence.

2. Related Work Specified Elsewhere: Excavation, filling and backfilling, moisture protection.

3. Mechanical – Materials General Requirements:

- All work shall be done by experienced workmen, in accordance with the highest industry standards.
- Register: Equal to Krueger
- All square corner turns in ductwork to have turning vanes.
- Install concealed ductwork with 1/2" thick, 3/