

CLIENT :

241 77 STREET

Issued for Permitting

241 77 street  
Miami Beach, FL 33141



407 LINCOLN ROAD, SUITE 2C  
MIAMI BEACH, FL 33139  
Tel: 786.218.5335  
License #AA 26002467  
WWW.CASTELLANOSDESIGN.COM

No. DATE ISSUED / REVISED

- 1 17 FEB/15 PERMITTING
- 2 11 NOV/15 PERMIT REV A
- 3 11 MAR/16 PERMIT REV A

GENERAL NOTES

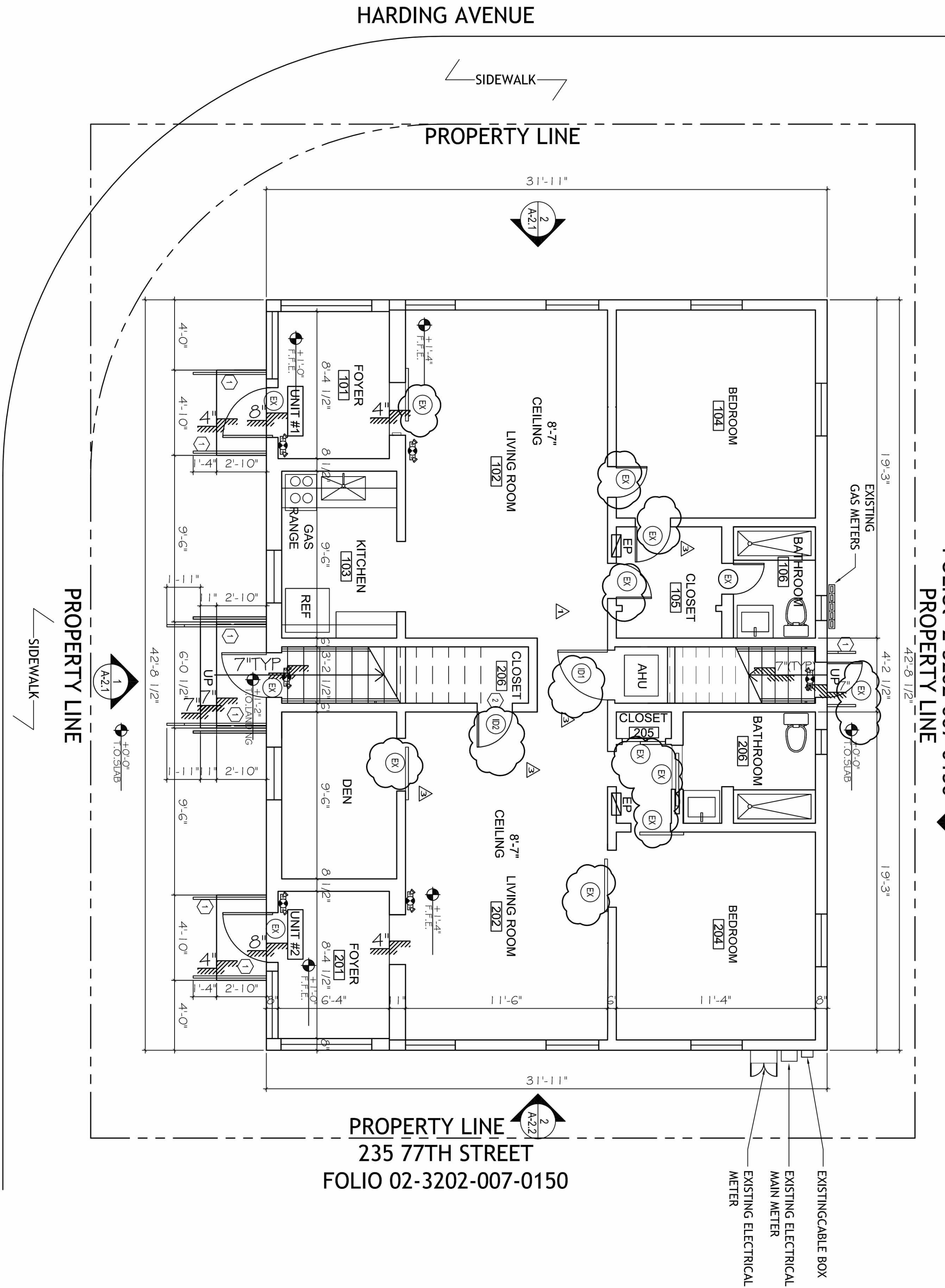
- 1. PROVIDE SHOP DRAWINGS FOR KITCHEN CABINETS AND FIXTURES FOR APPROVAL WITH BUILDING DEPARTMENT AND ARCHITECT.
- 2. GENERAL CONTRACTOR SHALL COORDINATE PLUMBING AND ELECTRICAL WITH NEW CABINETS AND COUNTERTOP. COORDINATE A SEPERATE PERMIT FOR BUILDING DEPARTMENT AND ARCHITECT'S APPROVAL.
- 3. CAULK ALL SEAMS AT THE COUNTERTOP AND BACKSPLASH.
- 4. ALL ELECTRICAL OUTLETS WITHIN 4' OF SINK SHALL BE G.F.I.
- 5. COORDINATE ALL NEW APPLIANCES WITH ELECTRICAL.
- 6. COORDINATE ALL NEW FIXTURES WITH PLUMBING.
- 7. PROTECT ALL DEMISING RATED WALLS. REPAIR ANY DAMAGE.
- 8. ACCESSIBILITY SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE FBC 2009 SHOWERS AND PUBLIC TOILET WALLS SHALL CONFORM TO SECTION 1210.2 & 1210.3
- 9. FIRE DEPARTMENT REVIEW NOTES: ALL WORK WILL BE DONE ACCORDING TO FFPC 101 5TH EDITION AND NFPA 1 / 101 2012 EDITION.
- 10. CHANGE OF USE SHALL BE FROM R2 TO R1
- 11. INTERIOR FINISHES WILL COMPLY WITH FFPC 101 5TH EDITION 10.2.2.
- 12. BUILDING SHALL NOT BE OCCUPIED DURING CONSTRUCTION
- 13. THE PROJECT IS CLASSIFIED IN ACCORDANCE WITH FFPC 101 5TH EDITION CH. 43 BUILDING REHAB.
- 14. ALL VERTICAL OPENINGS SHALL BE IN COMPLIANCE WITH FFPC 101 5TH EDITION 29.3.1.1.

CONSTRUCTION PLAN REFERENCE NOTES

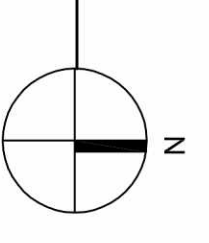
- ① GENERAL CONTRACTOR SHALL PROVIDE COMPLIANCE TO HANDRAILS AS PER FFPC 101 5TH EDITION 7.2.2.4.4.
- ② EXISTING DOOR IS 1 HOUR FIRE RATED AT INTERMEDIATE AREA OF STAIRS.

CONSTRUCTION LEGEND

-  EXISTING INTERIOR PARTITION TO REMAIN
  -  EXISTING MASONRY EXTERIOR WALL
  -  EXISTING ABOVE
  -  NEW 3-5/8 16 GA WTL STUD AT 16" O.C. WITH 5/8" DRYWALL PARTITION
- REFER TO PARTITIONS FOR ADDL INFO



1 GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



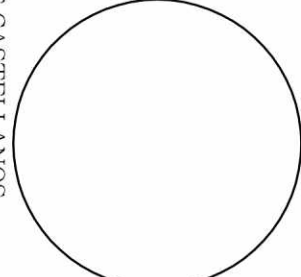
77TH STREET

HARDING AVENUE

7715 HARDING AVENUE  
FOLIO 1-2-3202-007-0130

PROPERTY LINE  
235 77TH STREET  
FOLIO 02-3202-007-0150

SEAL :



WESLEY ART CASTELLANOS  
REGISTERED PROFESSIONAL ENGINEER IN THE STATE  
OF FLORIDA LICENSE # 14896  
PROJECT NO : 2014-32

GROUND  
FLOOR  
PLAN

CHECKED BY : WC SHEET NO :  
DRAWN BY : FAA  
SCALE: AS NOTED  
A-1.1  
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