

**LEGEND:**

	EXISTING 8" C.M.U. EXTERIOR WALL.
	EXIST. NON RATED PARTITION WALL.
	NEW, NON RATED PARTITION WALL.
	EXISTING 8" C.M.U. EXTERIOR WALL.

**DOOR SCHEDULE**

ALL DOORS SHALL COMPLY WITH NFPA 101 CAP 7.2.1.4.4 EDIT. 2012

No.	SIZE		TYPE	MAT.	REMARK	HARDWARE
	OPENING	HEIGHT				
A(EXIST)	EXISTING TO REMAIN					
B(NEW)	36"	80"	1 3/4"	NON RATED	WD. HINGED DOOR	PASS THROUGH
C(NEW)	34"	84"	1 3/4"	NON RATED	WD. HINGED DOOR	PASS THROUGH
D(NEW)	34"	84"	1 3/4"	NON RATED	WD. BI-FOLD	PASS THROUGH
E(NEW)	62"	84"	1 3/4"	NON RATED	GL. DOUBLE HINGED DOOR	PASS THROUGH

**WINDOW SCHEDULE**

WINDOWS COMPLIES WITH MFPA101:30.2.2 2012 ED

MARK	QUAN.	DIMENSIONS	
		WIDTH	HEIGHT
I	EXISTING TO REMAIN		

WORK AREA:  
REMOVE PARTITION WALL: 9029.75 SF  
ALTERATION: 1154.88 SF.

NOTE:  
PROVIDE WALL TILES IN BATHROOM  
WET AREAS TO 6 FEET MINIMUM  
ABOVE FLOOR.

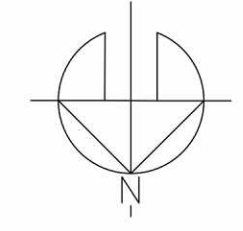
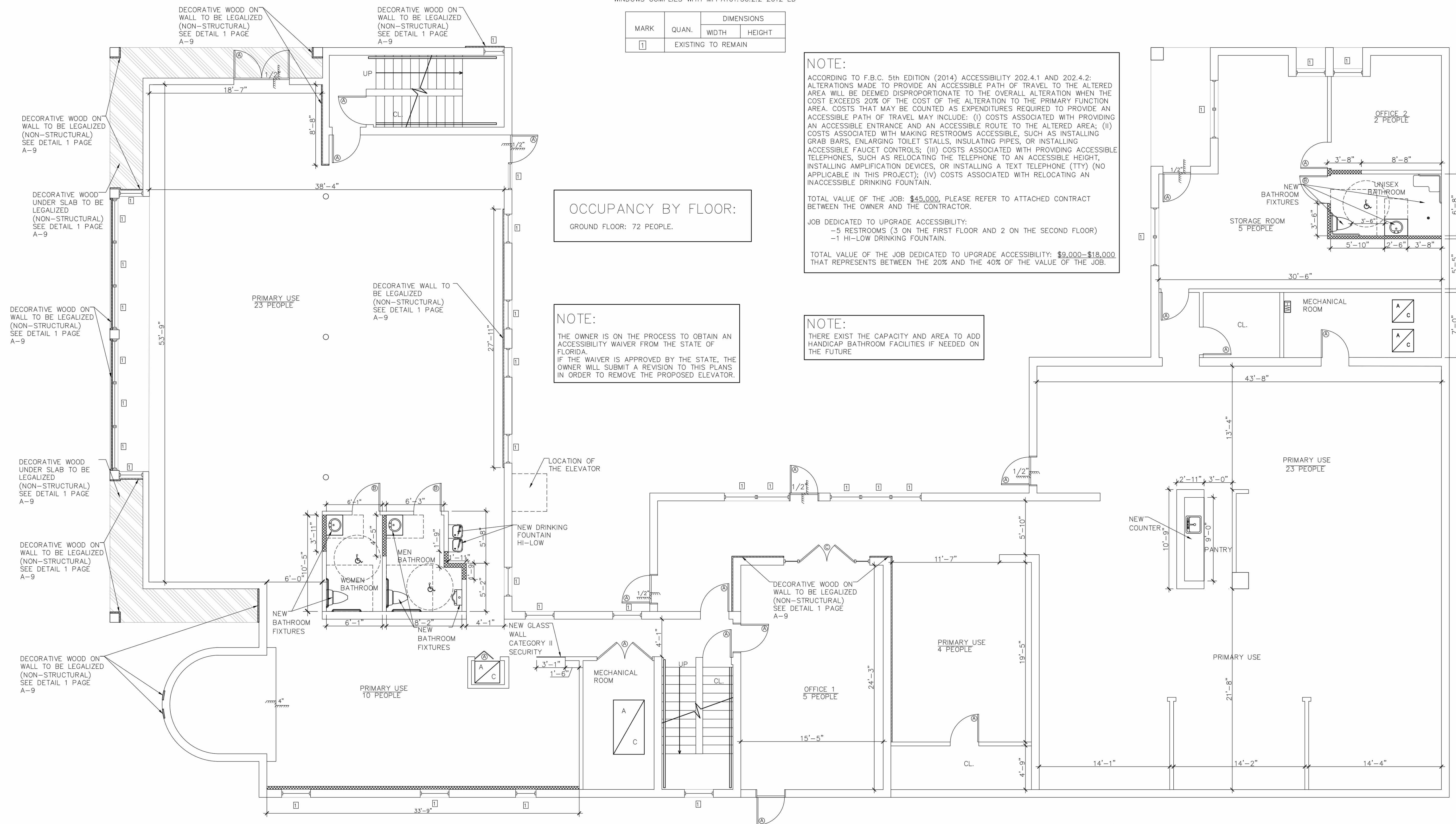
NOTE:  
INTERIOR WALL, CEILING, FLOORS,  
DECORATIONS AND TRIM SHALL  
COMPLY WITH FBC 803 ABD FBC 804

**OCCUPANCY BY FLOOR:**  
GROUND FLOOR: 72 PEOPLE.

**NOTE:**  
THE OWNER IS ON THE PROCESS TO OBTAIN AN  
ACCESSIBILITY WAIVER FROM THE STATE OF  
FLORIDA.  
IF THE WAIVER IS APPROVED BY THE STATE, THE  
OWNER WILL SUBMIT A REVISION TO THIS PLANS  
IN ORDER TO REMOVE THE PROPOSED ELEVATOR.

**NOTE:**  
ACCORDING TO F.B.C. 5th EDITION (2014) ACCESSIBILITY 202.4.1 AND 202.4.2:  
ALTERATIONS MADE TO PROVIDE AN ACCESSIBLE PATH OF TRAVEL TO THE ALTERED  
AREA WILL BE DEEMED DISPROPORTIONATE TO THE OVERALL ALTERATION WHEN THE  
COST EXCEEDS 20% OF THE COST OF THE ALTERATION TO THE PRIMARY FUNCTION  
AREA. COSTS THAT MAY BE COUNTED AS EXPENDITURES REQUIRED TO PROVIDE AN  
ACCESSIBLE PATH OF TRAVEL MAY INCLUDE: (I) COSTS ASSOCIATED WITH PROVIDING  
AN ACCESSIBLE ENTRANCE AND AN ACCESSIBLE ROUTE TO THE ALTERED AREA; (II)  
COSTS ASSOCIATED WITH MAKING RESTROOMS ACCESSIBLE, SUCH AS INSTALLING  
GRAB BARS, ENLARGING TOILET STALLS, INSULATING PIPES, OR INSTALLING  
ACCESSIBLE FAUCET CONTROLS; (III) COSTS ASSOCIATED WITH PROVIDING ACCESSIBLE  
TELEPHONES, SUCH AS RELOCATING THE TELEPHONE TO AN ACCESSIBLE HEIGHT,  
INSTALLING AMPLIFICATION DEVICES, OR INSTALLING A TEXT TELEPHONE (TTY) (NO  
APPLICABLE IN THIS PROJECT); (IV) COSTS ASSOCIATED WITH RELOCATING AN  
INACCESSIBLE DRINKING FOUNTAIN.  
  
TOTAL VALUE OF THE JOB: \$45,000. PLEASE REFER TO ATTACHED CONTRACT  
BETWEEN THE OWNER AND THE CONTRACTOR.  
  
JOB DEDICATED TO UPGRADE ACCESSIBILITY:  
- 5 RESTROOMS (3 ON THE FIRST FLOOR AND 2 ON THE SECOND FLOOR)  
- 1 HI-LOW DRINKING FOUNTAIN.  
  
TOTAL VALUE OF THE JOB DEDICATED TO UPGRADE ACCESSIBILITY: \$9,000-\$18,000  
THAT REPRESENTS BETWEEN THE 20% AND THE 40% OF THE VALUE OF THE JOB.

**NOTE:**  
THERE EXIST THE CAPACITY AND AREA TO ADD  
HANDICAP BATHROOM FACILITIES IF NEEDED ON  
THE FUTURE



**PROPOSED GROUND FLOOR PLAN**  
SCALE: 3/16"=1'-0"

AR & ID DesignCO  
PLANNING ARCHITECTURE INTERIOR DESIGN  
3601 SW 122 CT MIAMI FL 33175  
(305) 988 5543  
AA26002899

Boriana Cloutier AR 0014750

**BUILDING REMODELING**  
2700 BISCAYNE BLVD. Miami, FL 33137

NO.	REVISIONS

COMM. NO.  
DRAWN BY:  
DATE:  
ISSUED:  
SCALE:  
AS SHOWN  
TITLE:

SHEET NO.  
**A-4**