



## KallerArchitecture

February 15, 2023

Bureau of Historic Preservation  
Fourth Floor  
500 South Bronough Street  
Tallahassee, Florida 32399-0250

Attention: Architectural Preservation Section

Reference: Request for Waiver of the "ADA" Requirements  
Hutchinson Historic Hotel/Apartment Building  
3-Story Building  
404 North 17<sup>th</sup> Avenue  
Hollywood, Florida 33020  
Architect's Project #21162

To Whom It May Concern:

- A. The subject 3-Story Mediterranean Revival Building located at 404 North 17<sup>th</sup> Avenue is located in Hollywood, Florida and was built originally as the Hutchinson Apartment/Hotel. According to the Public Records, the building was built around 1924 and the structure is listed in the Florida Master Site File. In addition, the structure was designated as a local historic site by the City of Hollywood. (See attached Florida Master Site File as well as the City of Hollywood's Historic Designation Report, dated March 24, 1998).

The Hutchinson Hotel is significant as it is one of the earliest hotels/apartments in the City of Hollywood. The Mediterranean Revival style is the product of the variety of Architectural expressions found along the Mediterranean Coast, with Italian, Spanish and North African Moorish theme, which are sources of inspiration for this Architectural style. Typical features of the Mediterranean Revival style include applied ornamentation, stucco walls, multi-level roofs, covered with tile, arched openings, twisted columns, balustrades, balconies and covered entrance loggias.

- B. The Hutchinson Hotel/Apartment Building was designed as a three-part Plan, where at the Ground Floor, at the Center Lobby Entrance is at a lower elevation, and the two flanking sides of the building which contain the living units are raised 2'-0" from the Central Lobby Area. (See attached Floor Plans). The Center portion of the building is three stories in height, with distinct two-story wings at either end of the building.

One of the most prominent features of the building is the open eight bay arched covered loggia located on the ground floor of the east (front) façade, which is raised 6-7 inches from the front abutting sidewalk which faces the City's Public Golf Course. As one enters the center reception/lobby, the building is split into two, with a stair with four steps (approximately 2'-0") accessing the seven (7) units to the north, and a stair with four steps (approximately 2'-0") accessing the five (5) units to the south, making the vertical accessibility from the lobby to the two raised wings of the building unfeasible and challenging.

We are presently renovating the building and have submitted the Working Drawings to the City of Hollywood for their Review and Permit Approval. The City of Hollywood responded with the following Building Department Comments in which the City of Hollywood requested for us to apply for an "ADA" Waiver for the following items:

1. The existing Historical wood stair of the building located at the lobby and is at the core of the building has been requested by the City of Hollywood to be brought up to the 2020 Florida Accessibility Code, with risers not exceeding 7" and stair treads at 11" minimum. Presently, the existing stair is non-compliant to the present 2020 Florida Building Code with existing stair treads at 10". Bringing the original wood stair up to today's Building Code, would require us to remove the original Historic Stair at each of the 3 Floors, and replace it with a longer new stair creating headroom issues, as well as not fitting within the existing building envelope, thereby destroying and threatening the Historical significance of the building.
2. The City of Hollywood is requesting that the building as per the Florida Building Code 224.6.3, should provide 5% of the existing guest rooms minus the total number of required accessible rooms required by Table 224.2, shall provide special accessibility features of 806.4. Due to the building's split levels design and vertical accessibility challenges at the Ground Floor, would make this accommodation difficult and would threaten or destroy the Historic significance of the facility.
3. The City of Hollywood is requesting to reflect accessible routes within the interior and exterior of the building, and due to the building's split-level design, it makes this accommodation impossible and would destroy the Historic significance of the building.

The building originally was built along the north and west property lines making it impossible to add a lift or an elevator on the exterior façade along those two sides.

It is our opinion, due to the existing building's internal design of the two identical floors (at First & Second Floors), along with a smaller third level, as well as with the building's zero lot line placement on the site, compliance with Federal and State accessibility requirements would threaten and destroy the architectural significance of the Hutchinson Building.

February 6, 2023  
Request for Waiver of "ADA" Requirements  
Hutchinson Historic Hotel/Apartment Building  
404 North 17th Avenue, Hollywood, Florida 33020  
Page Three

Should you have any further questions on our "ADA" Waiver Request, please feel free to contact me at our office.

Sincerely,  
Kaller Architecture



Joseph B. Kaller, AIA, LEED AP BD+C  
President

Attachments: Photographs  
Florida Master Site Plan  
City of Hollywood Historic Designation Report  
Floor Plans

# **The Hutchinson Closes Most Successful Season**

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The Hutchinson Hotel, popular this season with northern visitors, will close Tuesday, April 15, after breakfast, as announced by Mr. H. B. Hutchinson, owner and manager. The winter has been a most successful one, and plans are now being made to reopen next year on or about Dec. 1.

An outstanding feature of the Hutchinson this season was the dining room service operated by Mrs. Lillian B. Griffioen. Plans are now being made for enlargement next fall to take care of popular demand. Mrs. Griffioen well known in this section for her success in the management of dining rooms, made a specialty this season of golfers' luncheons and dinner parties.

Mr. Hutchinson will leave in a short time for Sterling, South Sterling, Pa., where he will operate the Sterling, located in an old and established resort section. Mrs. Griffioen will also be at the Sterling assisting the Hutchinson management.



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Mrs. Harry Hutchinson entertained the members of the Business Women's Circle of the Missionary Society of the Baptist church at the Hutchinson hotel last Saturday afternoon. Those attending this most enjoyable luncheon were Mrs. H. H. Pringle, Mrs. Margaret Taylor, Miss Evelyn Ware, Mrs. Josie Maddrey West, Mrs. M. B. Dickey, Mrs. Blanche Mann, Mrs. J. F. Jones, Mrs. Etherington, Dr. and Mrs. Thomas Sprague and Miss Marie Dickey.

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# FLORIDA MASTER SITE FILE Site Inventory Form

FDAHRM

802 =

(FORMER) Site Name Hutchinson Apartment Hotel Site No. 080 ~~1009~~ 154  
Address of Site: 404 North 17th Avenue Hollywood, Florida Survey Date 8008 820 =  
Instruction for locating on the W. side of 17th Ave. between Taylor and Filmore St. 905 =

Location: Hollywood 1-21 B 53 11 and 12 813 =  
subdivision name block no. lot no. 868 =

County: Broward 808 =

Owner of Site: Name: P.L. and Helen Mulligan  
Address: 404 North 17th Avenue

Hollywood, Florida 33020 902 =

Type of Ownership Private 848 = Recording Date 832 =

Recorder: Name & Title: Marlyn Kemper, Director

Address: Historic Broward County Preservation Board  
1900 Tyler Street Hollywood, Florida 33020 818 =

Condition of Site: Integrity of Site: Original Use Apartment Hotel 838 =

|  |   |                                       |
|--|---|---------------------------------------|
| Check One                                      | Check One or More   | Present Use <u>Hotel</u> 850 =        |
| <input type="checkbox"/> Excellent 863 =       | <input type="checkbox"/> Altered 858 =                        | Dates: Beginning <u>1924</u> 844 =    |
| <input checked="" type="checkbox"/> Good 863 = | <input type="checkbox"/> Unaltered 858 =                      | Culture/Phase <u>American</u> 840 =   |
| <input type="checkbox"/> Fair 863 =            | <input checked="" type="checkbox"/> Original Site 858 =       | Period <u>Twentieth Century</u> 845 = |
| <input type="checkbox"/> Deteriorated 863 =    | <input type="checkbox"/> Restored ( ) (Date: <u>X</u> ) 858 = |                                       |
|  | <input type="checkbox"/> Moved ( ) (Date: <u>X</u> ) 858 =    |                                       |

NR Classification Category: Building 916 =

Threats to Site:

|   |  |
|---|--|
| Check One or More   |  |
| <input type="checkbox"/> Zoning ( <u>X</u> ) 878 =                                  | <input type="checkbox"/> Transportation ( <u>X</u> ) 878 = |
| <input type="checkbox"/> Development ( <u>X</u> ) 878 =                             | <input type="checkbox"/> Fill ( <u>X</u> ) 878 =           |
| <input type="checkbox"/> Deterioration ( <u>X</u> ) 878 =                           | <input type="checkbox"/> Dredge ( <u>X</u> ) 878 =         |
| <input type="checkbox"/> Borrowing ( <u>X</u> ) 878 =                               |  |
| <input checked="" type="checkbox"/> Other (See Remarks Below): <u>Unknown</u> 878 = |  |

Areas of Significance: Historical, Other 910 =

## Significance:

HISTORICAL: Shown on 1926 Sanborn Map.

HOLLYWOOD AND DANIA CITY DIRECTORY AND GUIDE 1933 page 23:

According to this publication, the Hutchinson  
Apartment Hotel was situated at 404 North 17th Avenue.  
Harry B. Hutchinson was the manager.

TenEick, Virginia Elliott HISTORY OF HOLLYWOOD (1920 TO 1950)  
page 129:

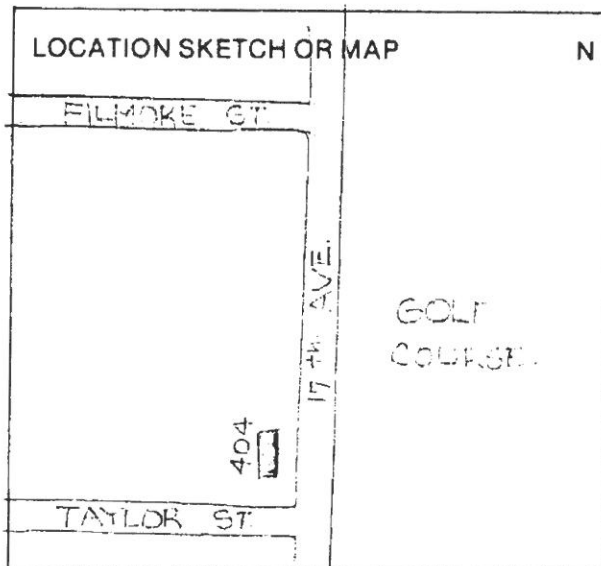
In the summer of 1924, Harry B. Hutchinson formerly a  
retail clothing merchant of Philadelphia organized a  
mortgage and loan company and built the 55 room hotel, the  
Hutchinson, at the corner of Taylor Street and present  
17th Avenue.

Additional Statement of Significance Attached.

911 =

SEE SITE FILE STAFF FOR  
ORIGINAL PHOTO(S) OR MAP(S)

ARCHITECT Unknown 872 = =  
 BUILDER Unknown 874 = =  
 STYLE AND/OR PERIOD Mediterranean Revival 964 = =  
 PLAN TYPE Rectangular: unknown 966 = =  
 EXTERIOR FABRIC(S) Stucco: unknown 854 = =  
 STRUCTURAL SYSTEM(S) Unknown 856 = =  
 PORCHES E/1-story porch, 8 bays, access from the E. 942 = =  
 FOUNDATION: Stemwall: unknown, unknown 942 = =  
 ROOF TYPE: Assume flat, built-up with parapet 942 = =  
 SECONDARY ROOF STRUCTURE(S): Unknown 942 = =  
 CHIMNEY LOCATION: NA 942 = =  
 WINDOW TYPE: DHW, 6/1, wood, grouped in 3 942 = =  
 CHIMNEY: NA 882 = =  
 ROOF SURFACING: Assume built-up 882 = =  
 ORNAMENT EXTERIOR: Concrete, tile: unknown 882 = =  
 NO. OF CHIMNEYS Unknown 952 = = NO. OF STORIES 3 950 = =  
 NO. OF DORMERS None 954 = =  
 Map Reference (Incl. scale & date) USGS Ft. Lauderdale South, Fla.  
7.5 Min. 1962 (1969) 809 = =  
 Latitude and Longitude: ° ' " ° ' " 800 = =  
 Site Size (Approx. Acreage of Property): 1.1 833 = =



| Township | Range | Section |
|----------|-------|---------|
| 51S      | 42E   | 15      |

812 = =

UTM Coordinates:

17 585880 2877400  
 Zone Easting Northing

890 = =

Photographic Records Numbers R7/F2 860 = =

Contact Print

Statement of Significance:

HOLLYWOOD, CITY OF  
Hutchinson Hotel  
404 North 17th Avenue

HOLLYWOOD REPORTER, August 1924

"New Mortgage Loan Company"

Harry B. Hutchinson announces he is organizing a mortgage and loan company that will be available for financing of buildings in Hollywood. He owns \$20,000 worth of property in this city. Mr. Hutchinson is formerly of Philadelphia where he was in the clothing business.

HOLLYWOOD HERALD, October 13, 1933

"Hutchinson Hotel and Apartment Is Leased by Bolus"

The leasing of the Hutchinson Hotel to R. C. Bolus, who has operated the Casa Bianca Hotel in Hollywood for the past two years has been finalized; the Hutchinson Hotel consists of 16 rooms and 11 apartments. Also included in this lease is the Ruthlyn Apartment House of four units in the same block as the Hutchinson which is located across from Hollywood's 18-hole golf course and country club.

There will also be a dining room operated in connection with the hotel.

HOLLYWOOD HERALD, November 19, 1948

Sale of the Hutchinson Hotel at 404 N. 17th Avenue by Mr. and Mrs. E. L. Winn to Thomas J. Heslin and Catherine Mulligan at \$100,000 was the largest real estate sale of the week here.

TenEick, Virginia Elliott, HISTORY OF HOLLYWOOD (1920 to 1950)

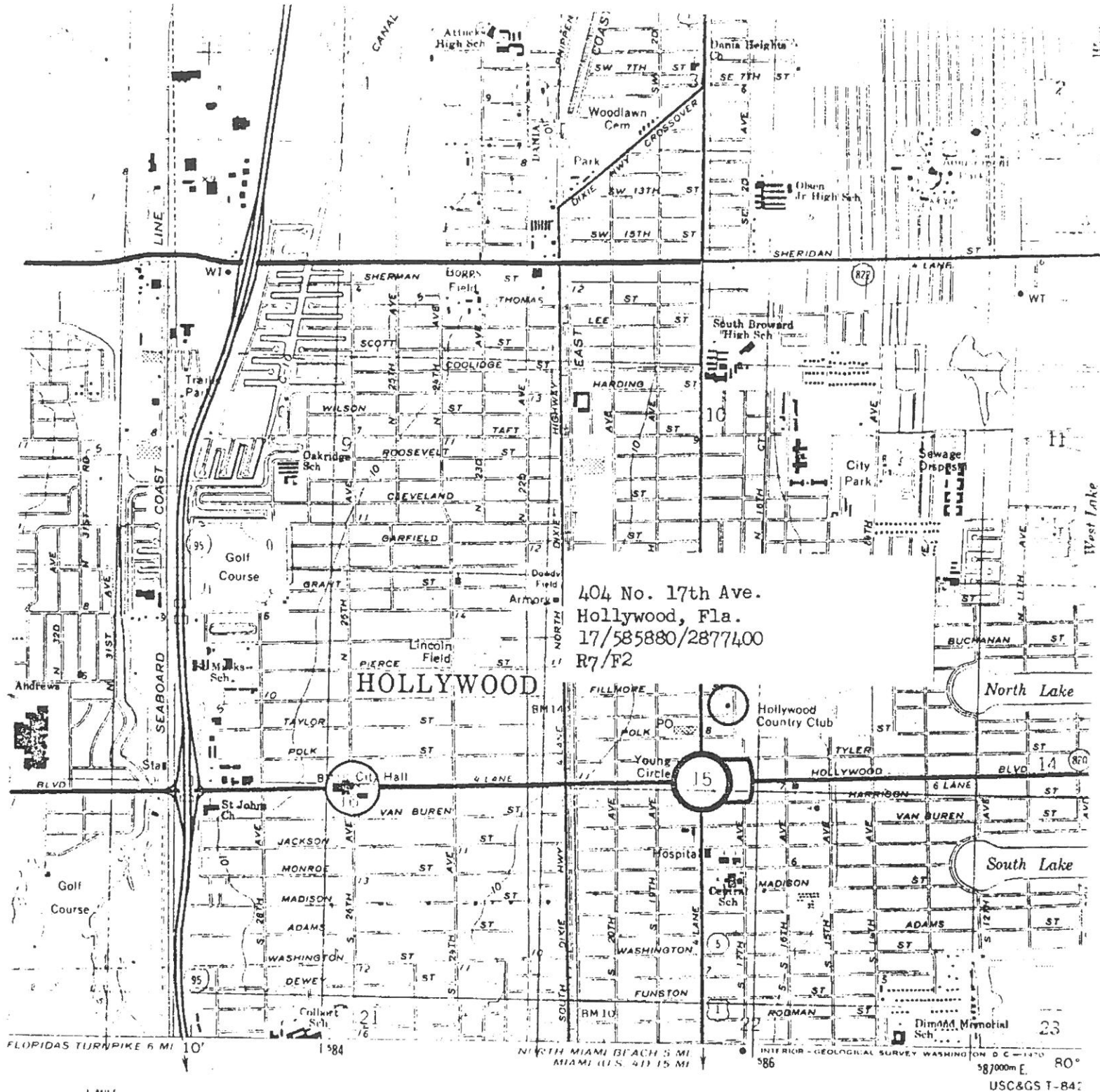
Page 127: In the summer of 1924, Harry B. Hutchinson, formerly a retail clothing merchant of Philadelphia, organized a mortgage and loan company and built the 55 room hotel, the Hutchinson, at the corner of Taylor and 17th Avenue.



404 North 17th Avenue

Statement of Significance (use continuation sheet if necessary)

OTHER: This building is significant because it dates from the earliest construction period in Hollywood, Florida. Although this building is not architecturally significant on an individual basis, its significance in the historic built environment may become greater as the older structures in Hollywood are demolished.



#### ROAD CLASSIFICATION

Heavy duty ——— Light duty ———  
 Medium duty - - - - - Unimproved dirt - - - - -  
 ( ) Interstate Route ( ) U. S. Route ( ) State Route

FORT LAUDERDALE SOUTH, FLA

N2600—W8007.5/7.5

1962

AMS 4936 II SW—SERIES V847

FLORIDA MASTER SITE FILE  
HISTORIC SITE DATA SHEET

|   |  |                |
|---|--|----------------|
|   | FDAHRM   | 802==          |
| Site No.  | 8Bd154   | 1009==         |
| Site Name   | Golf View Hotel/Apts.  | 830==          |
| Other Name(s) for Site  | Hutchinson Apts.   | 930==          |
| Other Nos. for Site   |  | 906==          |
| NR Classification Category:   | Building   | 916==          |
| County  | Broward  | 808==          |
| Instruction for locating (or address)                                     | 404 N. 17th Avenue<br>Hollywood, Florida<br>(opposite Hollywood Golf and Country Club) | 813==          |
| Location:   | / /  | 868==          |
|   | subdivision name block no. lot no.   |                |
| Owner of Site: Name:  | Mulligan, Helen and Peter  | ;              |
| Address:  | 404 N. 17th Avenue<br>Hollywood, Florida   | 902==<br>902== |
| Occupant, Tenant, or Manager:   |  |                |
| Name:   |  | ;              |
| Address:  |  | 904==          |
| Reporter (or local contact):  |  |                |
| Name:   |  | ;              |
| Address:  |  | 816==          |
| Recorder:   |  |                |
| Name & Title:   | Evans, Mary K., Historic Sites Spec.   | ;              |
| Address:  | FDAHRM<br>Tallahassee, Florida   | 818==          |
| Survey Date   | 7406   | 820==          |
| Type of Ownership   | Private  | 848==          |
| Inventory Status  |  | 914==          |
| Previous Survey(s): (enter activity/title of survey/name/date/repository) |  |                |
|   |  | 839==          |
| Recording Station   |  | 804==          |
| Specimens (Inventory Numbers)   |  | 870==          |
| Date of Visit to Site   | 828==  | Recording Date |
|   |  | 832==          |
| Photographic Record Numbers   | 74-N-11-60   |                |
|   |  | 860==          |

Location of Site (Specific):

Map Reference (incl. scale & date) Ft. Lauderdale South, 1:24000; 1962; 809==  
photo revised, 1969

| Township | Range | Section | ¼ Sec. | ¼ ¼ Sec. | ¼ ¼ ¼ Sec. |
|----------|-------|---------|--------|----------|------------|
| T51S     | R42E  | S15     |        |          |            |

812==

| LATITUDE AND LONGITUDE COORDINATES DEFINING A POLYGON LOCATING THE PROPERTY |              |              |              |              |              |              |  |
|---|--------------|--------------|--------------|--------------|--------------|--------------|--|
| LATITUDE  |              |              |              | LONGITUDE    |              |              |  |
| Point   | Degrees<br>° | Minutes<br>' | Seconds<br>" | Degrees<br>° | Minutes<br>' | Seconds<br>" |  |
|   | °            | '            | "            | °            | '            | "            |  |
|   | °            | '            | "            | °            | '            | "            |  |
|   | °            | '            | "            | °            | '            | "            |  |
|   | °            | '            | "            | °            | '            | "            |  |

OR

| LATITUDE AND LONGITUDE COORDINATES DEFINING THE CENTER POINT OF A PROPERTY OF LESS THAN TEN ACRES |     |     |  |     |     |     |       |
|---|-----|-----|--|-----|-----|-----|-------|
| 26°   | 00' | 47" |  | 80° | 08' | 27" | 800== |

UTM Coordinates:

Zone Easting Northing

890==

Description of Site:

Site Size (approx. acreage of property) One acre

833==

Condition of Site:

Check one

- |  |       |                                       |       |
|--|-------|---------------------------------------|-------|
| <input type="checkbox"/> Excellent       | 863== | <input type="checkbox"/> Deteriorated | 863== |
| <input type="checkbox"/> Good            | 863== | <input type="checkbox"/> Ruins        | 863== |
| <input checked="" type="checkbox"/> Fair | 863== | <input type="checkbox"/> Unexposed    | 863== |
|  |       | <input type="checkbox"/> Redeposited  | 863== |

Integrity of Site:

Check one or more

- |   |       |   |           |
|---|-------|---|-----------|
| <input checked="" type="checkbox"/> Altered <u>Slightly</u> | 858== | <input type="checkbox"/> Restored ( ) Date: _____ | ( ) 858== |
| <input type="checkbox"/> Unaltered                          | 858== | <input type="checkbox"/> Moved ( ) Date: _____    | ( ) 858== |
| <input type="checkbox"/> Destroyed                          | 858== | <input checked="" type="checkbox"/> Original Site | 858==     |

Condition of Site (Remarks): ( )

( ) 863==

Threats to Site:

Check one or more

- |   |           |   |           |
|---|-----------|---|-----------|
| <input type="checkbox"/> Zoning ( )                 | ( ) 878== | <input type="checkbox"/> Transportation ( ) | ( ) 878== |
| <input type="checkbox"/> Development ( )            | ( ) 878== | <input type="checkbox"/> Fill ( )           | ( ) 878== |
| <input type="checkbox"/> Deterioration ( )          | ( ) 878== | <input type="checkbox"/> Dredge ( )         | ( ) 878== |
| <input type="checkbox"/> Borrowing ( )              | ( ) 878== |   |           |
| <input type="checkbox"/> Other (See Remarks below): | 878==     |   |           |

Threats to Site (Remarks):

879==



Statement of Significance (use continuation sheet if necessary)

The Golf View Hotel/Apts. was among the numerous hotels and apartments that were constructed in Hollywood during the early days of the city's development. It follows the typical architectural design of Spanish-Mediterranean that was popularized in South Florida during the "boom."

# HISTORIC SITE DATA SUPPLEMENT

Site No. 8Bd154

Site Name Golf View Hotel/Apts.

## Present Use (check one or more as appropriate)

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Agricultural 850==          | <input type="checkbox"/> Government 850== | <input type="checkbox"/> Park 850==              | <input type="checkbox"/> Transportation 850== |
| <input checked="" type="checkbox"/> Commercial 850== | <input type="checkbox"/> Industrial 850== | <input type="checkbox"/> Private Residence 850== | Other (Specify):                              |
| <input type="checkbox"/> Educational 850==           | <input type="checkbox"/> Military 850==   | <input type="checkbox"/> Religious 850==         | <input type="checkbox"/> 850==                |
| <input type="checkbox"/> Entertainment 850==         | <input type="checkbox"/> Museum 850==     | <input type="checkbox"/> Scientific 850==        | <input type="checkbox"/> 850==                |

## Original Use (check one or more as appropriate)

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Agricultural 838==          | <input type="checkbox"/> Government 838== | <input type="checkbox"/> Park 838==              | <input type="checkbox"/> Transportation 838== |
| <input checked="" type="checkbox"/> Commercial 838== | <input type="checkbox"/> Industrial 838== | <input type="checkbox"/> Private Residence 838== | Other (Specify):                              |
| <input type="checkbox"/> Educational 838==           | <input type="checkbox"/> Military 838==   | <input type="checkbox"/> Religious 838==         | <input type="checkbox"/> 838==                |
| <input type="checkbox"/> Entertainment 838==         | <input type="checkbox"/> Museum 838==     | <input type="checkbox"/> Scientific 838==        | <input type="checkbox"/> 838==                |

Cultural Classification:

Specific Dates: Beginning 1924-25 844==

Culture/Phase 840==

Developmental Stage 842==

## Period (check one or more as appropriate)

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> Pre-Columbian 845== | <input type="checkbox"/> 16th Century 845== | <input type="checkbox"/> 18th Century 845== | <input checked="" type="checkbox"/> 20th Century 845== |
| <input type="checkbox"/> 15th Century 845==  | <input type="checkbox"/> 17th Century 845== | <input type="checkbox"/> 19th Century 845== |  |

## Areas of Significance (check one or more as appropriate)

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> Aboriginal 910==              | <input type="checkbox"/> Community Planning 910==       | <input type="checkbox"/> Landscape Architecture 910== | <input type="checkbox"/> Sculpture 910==           |
| <input type="checkbox"/> Archaeology                   | <input type="checkbox"/> Conservation 910==             | <input type="checkbox"/> Law 910==                    | <input type="checkbox"/> Social/Humanitarian 910== |
| Prehistoric 910==                                      | <input type="checkbox"/> Economics 910==                | <input type="checkbox"/> Literature 910==             | <input type="checkbox"/> Theater 910==             |
| <input type="checkbox"/> Archaeology                   | <input type="checkbox"/> Education 910==                | <input type="checkbox"/> Military 910==               | <input type="checkbox"/> Transportation 910==      |
| Historic 910==   | <input type="checkbox"/> Engineering 910==              | <input type="checkbox"/> Music 910==                  | Other (Specify):                                   |
| <input type="checkbox"/> Agriculture 910==             | <input type="checkbox"/> Exploration & Settlement 910== | <input type="checkbox"/> Philosophy 910==             | <input type="checkbox"/> 910==                     |
| <input checked="" type="checkbox"/> Architecture 910== | <input type="checkbox"/> Industry 910==                 | <input type="checkbox"/> Politics/Govt. 910==         | <input type="checkbox"/> 910==                     |
| <input type="checkbox"/> Art 910==                     | <input type="checkbox"/> Invention 910==                | <input type="checkbox"/> Religion 910==               | <input type="checkbox"/> 910==                     |
| <input type="checkbox"/> Commerce 910==                |   | <input type="checkbox"/> Science 910==                | <input type="checkbox"/> 910==                     |
| <input type="checkbox"/> Communications 910==          |   |   |  |

Remarks & Recommendations:

835==

Site No. 8Bd154  
Site Name Golf View Hotel/Apta.

Present & Original Physical Appearance (use continuation sheet if necessary) (935==):

Major Bibliographic References:

A large, empty rectangular box with a thin black border, intended for listing major bibliographic references. The box occupies the majority of the page below the section header.



Site No. 8Bd154

Site Name Golf View Hotel/Apts.

ARCHITECTURAL SITE DATA SUPPLEMENT

ARCHITECT John M. Peterman and H. B. Hutchinson 872==  
BUILDER Erwin Cahow 874==  
STYLE AND/OR MODE Spanish 964==  
PLAN TYPE U-shaped 966==  
EXTERIOR FABRIC(S) Stucco 854==  
STRUCTURAL SYSTEM(S) Concrete and interlocking tile 856==

FEATURE OF STRUCTURE (942):

FOUNDATION: Concrete piers 942==  
ROOF TYPE: Flat 942==  
SECONDARY ROOF STRUCTURE(S): 942==  
CHIMNEY LOCATION: Rear (west) 942==  
WINDOW TYPE: Double-hung sash; casement 942==

MATERIALS (882):

CHIMNEY: 882==  
ROOF SURFACING: Barrel tile 882==  
INTERIOR WALLS: 882==  
ORNAMENT INTERIOR: Wood 882==  
ORNAMENT EXTERIOR: Stucco, wood, concrete 882==

QUANTITATIVE DATA (950-960):

NO. OF STOREYS Three 950==  
NO. OF CHIMNEYS One 952==  
OTHER (SPECIFY) 954==  
956==

OTHER NOTABLE FEATURES OF BUILDING (FREE TEXT) (865==):

ROOF STRUCTURAL SYSTEM: Flat roof with red barrel tile covering

MAIN ENTRANCE: Facade center; double doorways; cross mullioned fanlite above each area; original wooden doors, now replaced with jalousies to inner side and two large vertical modern lights to outside portion

WINDOW PLACEMENT:

WINDOW SURROUNDS AND DECORATION: Plain wooden, except between each of windows engaged columns porch area; on facade concrete lintel; alternating voussoirs on sides; slight lug sill

PORCHES, VERANDAS, GALLERIES AND BALCONIES: Front porch one story high open divided by 3 square columns, at far end loggia effect each end with 8 bays and flat stucco roof above; balcony above front entrance width of first floor porch; two end terraces third floor

EXTERIOR ORNAMENT AND COLOR: White stucco trimmed in white; wood at windows; top of third floor has simple decoration in smooth concrete following roofline; six brackets under overhanging eaves on projecting area of facade

INTERIOR COMMENTS: Wooden moldings; contained 13 apartment suites of 2 and 3 rooms each; 11 hotel rooms; 7 bachelor suites; lobby; kitchen; dining room on first floor

OTHER (SPECIFY): Condition fair to good

MAJOR ALTERATIONS (FREE TEXT) (857==): Some windows changed from double-hung sash to modern storm windows

OUTBUILDINGS (FEATURES OF SITE) (876==): Private home behind structure of same material, originally residence of owners of apartment building

SURROUNDINGS (CLASSIFICATION) Residential neighborhood 864==

RELATIONSHIP TO SURROUNDINGS (FREE TEXT) (859==): Faces east toward golf course; nicely landscaped with tropical shrubbery and trees

FLORIDA MASTER  
SITE FILE

FDAHRM 802==

Site No. 8Bd 154 1009==

Site Name Golf View Hotel/Apts. 830==

Other Name(s) for Site Hutchinson Apts.

930==

Other Nos. for Site 906==

Type of Site Building 832==

Location of Site:

County Bd, Fl. 808==

Instructions for locating site (or address) 404 N. 17th Ave., Hollywood

opposite Hollywood Golf and Country Club

813==

Ownership:

Owner of Site: Name Helen and Peter Mulligan 902==

Address 404 N. 17th Ave. Hollywood 903==

Occupant, Tenant or Manager:

Name Same 904==

Address 905==

Form Prepared By:

Reporter (or local contact):

Name 816==

Address 817==

Recorder:

Name & Title Evans, M.K., Historic Sites Specialist 818==

Address FDAHRM 819==

Date of Site Survey 7406 820==

Previous Survey(s), Excavation(s) or Collection(s) (Enter title of survey, date, whether Federal, State, County or Local, Location of Survey Report(s) and Material's Collected).

n/a

839==

Photographic Record Numbers 74-N-11-60

860==

photo revised, 1969

812==

812==

812==

884==

833==

863==

See checklist for architectural description



PHYSICAL DESCRIPTION FOR STATE INVENTORY

Golf View Apts.  
Hollywood, Fla.

ARCHITECT-BUILDER John M. Peterman and H. B. Hutchinson

RELATION OF STRUCTURE TO SITE AND SURROUNDINGS faces east toward golf course; nicely landscaped with tropical shrubbery and trees  
residential neighborhood

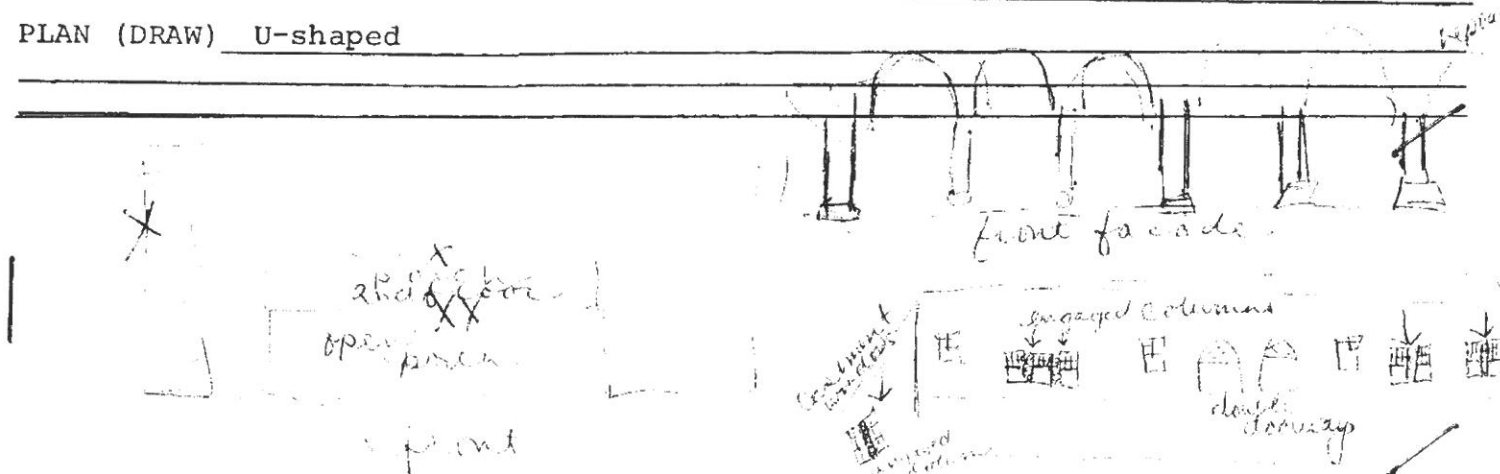
FOUNDATION (TYPE AND MATERIALS) concrete piers

STRUCTURAL SYSTEM concrete and interlocking tile

EXTERIOR FABRIC (BOND TYPE, IF BRICK) rough stucco

NUMBER OF STORIES three

PLAN (DRAW) U-shaped



ROOF TYPE AND COVERING MATERIAL flat roof with red barrel tile covering

shed roof on north and south wings; barrel tile covering  
DORMERS AND SECONDARY ROOF STRUCTURES

CHIMNEYS (NUMBER, LOCATION, MATERIALS) one; rear (west) side

MAIN ENTRANCE (LOCATION, DESIGN) facade center; double doorways; cross  
mullioned fanlite above each area; orig. wooden doors, now replaced w/  
jalousies to inner side and two large vertical modern lights to outside  
SUBSIDIARY ENTRANCES left side, step porch portion

lights

FENESTRATION (TYPE) double hung sash-six/over plain lower glass pane on facade;  
on ends of porch a pair of casement windows at each  
WINDOW SURROUNDS, LINTELS, SHUTTERS plain wooden; except between each of windows  
engaged columns on porch area; on facade concrete lintel; alternating  
voussoirs on sides; slight lug sill

PORCH (HEIGHT, WIDTH, ROOF, SUPPORTS, ENCLOSURES, TYPE, MATERIALS) one story high; inner area enclosed at ends; open porch; quarry red tile step  
porch, front porch space divided by 3 square columns in center and two  
smaller circular columns to each side and one square column; at far end  
of porch on each end a loggia effect with 8 bays and flat stucco roof above.

SECONDARY PORCHES, INCLUDING BALCONIES one balcony above front entrance, two end terraces on third floor; balcony extends width of first floor porch

EXTERIOR ORNAMENT AND COLOR white stucco trimmed in white; wood at windows; top of third floor has simple decoration in smooth concrete following the roofline; on projecting area of facade six brackets under overhanging eaves

INTERIOR COMMENTS wooden moldings; contained 13 apt. suites of two and three rooms each; 11 hotel rooms; 7 bachelor suites; lobby, kitchen, and dining room on first floor.

CONDITION fair to good

ALTERATIONS change in some windows from double hung sash to modern storm windows

OUTBUILDINGS private home behind structure; originally was residence of the owners of the apartment building; built of same material

STYLE AND/OR PERIOD 1924-25, Spanish motif

ARCHITECTURAL SIGNIFICANCE AND IMPRESSIONS Florida Mediterranean reflecting the typical architectural style that prevailed in South Florida during the 1920's (boom period)

Building cost is estimated at \$80,000; construction by Erwin Cahow of Ft. Lauderdale

HISTORIC SITE DATA SUPPLEMENT

Site No. \_\_\_\_\_  
Site Name Golf View Hotel/  
Apts.

Present Use (check one or more as appropriate)

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Agricultural 838==          | <input type="checkbox"/> Government 838== | <input type="checkbox"/> Park 838==              | <input type="checkbox"/> Transportation 838== |
| <input checked="" type="checkbox"/> Commercial 838== | <input type="checkbox"/> Industrial 838== | <input type="checkbox"/> Private Residence 838== | Other (Specify): _____                        |
| <input type="checkbox"/> Educational 838==           | <input type="checkbox"/> Military 838==   | <input type="checkbox"/> Religious 838==         | <input type="checkbox"/> _____ 838==          |
| <input type="checkbox"/> Entertainment 838==         | <input type="checkbox"/> Museum 838==     | <input type="checkbox"/> Scientific 838==        | <input type="checkbox"/> _____ 838==          |

Period (check one or more as appropriate)

- |  |   |   |  |
|--|---|---|--|
| <input type="checkbox"/> Pre-Columbian 842== | <input type="checkbox"/> 16th Century 842== | <input type="checkbox"/> 18th Century 842== | <input checked="" type="checkbox"/> 20th Century 842== |
| <input type="checkbox"/> 15th Century 842==  | <input type="checkbox"/> 17th Century 842== | <input type="checkbox"/> 19th Century 842== |  |

Specific Dates: Beginning 1924-25 844== Ending 846==

Areas of Significance (check one or more as appropriate)

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Aboriginal Prehistoric 910==  | <input type="checkbox"/> Education 910==              | <input type="checkbox"/> Political 910==           | <input type="checkbox"/> Urban Planning 910== |
| <input type="checkbox"/> Aboriginal Historic 910==     | <input type="checkbox"/> Engineering 910==            | <input type="checkbox"/> Religion/Philosophy 910== | Other (Specify): _____ 910==                  |
| <input type="checkbox"/> Agriculture 910==             | <input type="checkbox"/> Industry 910==               | <input type="checkbox"/> Science 910==             | <input type="checkbox"/> _____ 910==          |
| <input checked="" type="checkbox"/> Architecture 910== | <input type="checkbox"/> Invention 910==              | <input type="checkbox"/> Sculpture 910==           | <input type="checkbox"/> _____ 910==          |
| <input type="checkbox"/> Art 910==                     | <input type="checkbox"/> Landscape Architecture 910== | <input type="checkbox"/> Social/Humanitarian 910== | <input type="checkbox"/> _____ 910==          |
| <input type="checkbox"/> Commerce 910==                | <input type="checkbox"/> Literature 910==             | <input type="checkbox"/> Theater 910==             | <input type="checkbox"/> _____ 910==          |
| <input type="checkbox"/> Communications 910==          | <input type="checkbox"/> Military 910==               | <input type="checkbox"/> Transportation 910==      |   |
| <input type="checkbox"/> Conservation 910==            | <input type="checkbox"/> Music 910==                  |  |   |

Thematic Classification:

- |   |   |                                      |
|---|---|--------------------------------------|
| <input type="checkbox"/> Aboriginal 912==               | <input type="checkbox"/> Military 912==             | Other (Specify): _____ 912==         |
| <input checked="" type="checkbox"/> Architectural 912== | <input type="checkbox"/> Political 912==            | <input type="checkbox"/> _____ 912== |
| <input type="checkbox"/> The Arts 912==                 | <input type="checkbox"/> Society 912==              | <input type="checkbox"/> _____ 912== |
| <input type="checkbox"/> Exploration & Settlement 912== | <input type="checkbox"/> Science & Technology 912== | <input type="checkbox"/> _____ 912== |

Statement of Significance (use continuation sheet if necessary)

The Golf View Hotel/Apts. was among the numerous hotels and apartments that were constructed in Hollywood during the early days of the city's development. It follows the typical architectural design of Spanish-Mediterranean that was popularized in south Florida during the "boom".

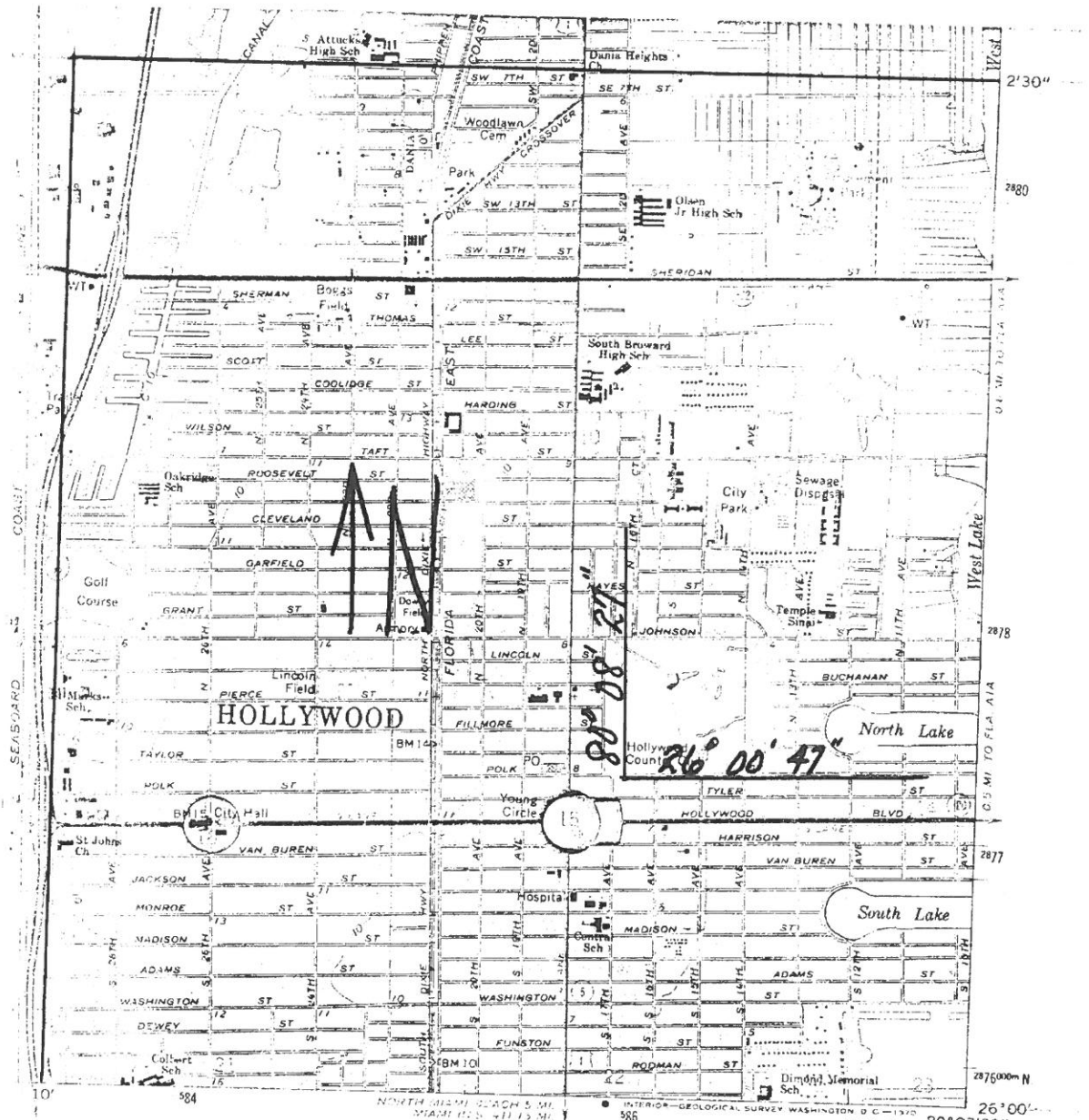
Remarks & Recommendations:

835==

Major Bibliographic References:

920==

# Golf View Hotel/Apt. Broward County



QUADRANGLE LOCATION

ROAD CLASSIFICATION

|                  |                 |
|------------------|-----------------|
| Heavy-duty       | Light-duty      |
| Medium-duty      | Unimproved dirt |
| Interstate Route | U. S. Route     |
|                  | State Route     |

FORT LAUDERDALE SOUTH, FLA.  
N7000-W3007.5/7.5

1962  
PHOTOGRAPHED 1969  
AMS 4936 II SW-SERIES V847

Page 1 **HISTORICAL STRUCTURE FORM**  
**FLORIDA SITE FILE**

Site # **8BD03051**

Site Name **HUTCHINSON HOTEL**

Recorder # **0**

Field Date **2/25/97**

Survey

Yes **Original**

Form Date **2/14/97**

No **Update**

Multilist #: **0**

National Register Category **BUILDING**

Survey #:

**LOCATION AND IDENTIFICATION**

Address (include N,S,E,W; st. ave, etc) **404 N 17 AVE**

Cross Streets (nearest/between)

Nearest City/Town **HOLLYWOOD**

Within City Limits **Yes**

County **BROWARD**

Tax #

Subdivision Name **HWD 1-21B**

Ownership **PRIV-PROFIT**

Block **53**

Lots **11,12**

Name of Public Tract (e.g., park)

Route To

**MAPPING**

USGS Map Name **Sanibel Island**

Township **51** Range **42** Sect. **15** **1/4** **1/4 - 1/4:** Irreg. Sect.? **No**

UMT ZONE (16 OR 17): **17** Easting **585880** Northing **2877400**

Landgrants:

Plat or Other Map (Map's name, Location) **HWD 1-21B**

**DESCRIPTION**

Style **MEDITERRANEAN REVIVAL** Exterior Plan **RECTANGULAR** No. Stories **3**

Structural Systems **UNKNOWN**

Foundation Types **STEMWALL**

Materials **UNKNOWN**

Exterior Fabrics **STUCCO**

Roof Types **FLAT W/PARAPET**

Materials **UNKNOWN**

Secondary Strucs. (dormers etc.) **NA**

Chimney: No. **2** Materials **UNKNOWN** Locations **W, CEN; E, CEN**

Windows: Types **6/1. 1/1 DHS, JALOUSIE, AWN** Materials

Main Entrance (stylistic details) **PORTICO**

Open Porches **1** Closed **0** Incised **1** Locations **E 1ST & 2ND STORY**

Porch Roof Types **PRIN**

Exterior Ornament **STUC, TILE**

Interior Plan **UNKNOWN** Condition **GOOD**

Surroundings

Ancillary Features **UNKNOWN**

Archaeological Remains at Site: **NONE-NA**

NARRATIVE: (eg description of interior, landscape, architecture, etc. 250 character limit.)

**THIS INTERESTING MEDITERRANEAN REVIVAL BUILDING IS COMPATIBLE WITH THE NEIGHBORHOOD.**

**HISTORY**

Construction Date 1924

CIRCA: No

ARCHITECT(last name first): UNKNOWN

BUILDER (last name first): UNKNOWN

Moves No Dates

Orig.addr.

Alterations No Dates

Nature

Additions No Dates

Nature

Original Use (give dates): HOTEL

From

To

Intermediate Uses (give dates):

From

To

Present Uses (give dates) APARTMENT

From

To

**OWNERSHIP HISTORY:**

TENEICK, VIRGINIA E, HISTORY OF HWD, PG 129: IN THE SUMMER OF 1924, HARRY B. HUTCHINSON FORMERLY A RETAIL CLOTHING MERCHANT OF PHILADELPHIA ORGANIZED A MORTGAGE AND LOAN CO AND BUILT THE 55 ROOM HOTEL.

**RESEARCH METHODS (Check all choices that apply; if needed write others at bottom)**

|    |                                      |    |                          |    |                          |    |                     |
|----|--------------------------------------|----|--------------------------|----|--------------------------|----|---------------------|
| No | Archaeological survey/testing:       | No | Tax records only:        | No | Library research-local:  | No | Subdivision maps:   |
| No | Exposures inspected, informal:       | No | Interior inspection:     | No | Library special collectn | No | Sanborn maps:       |
| No | Controlled archaeological surf colln | No | FMSF survey search:      | No | Building Permits:        | No | Plat maps:          |
| No | Archaeological form completed:       | No | FMSF sites search:       | No | Demolition permits:d     | No | Newspapers:         |
| No | Public Lands Survey:                 | No | FL Archives (Gray Bldg): | No | Commercial permits:      | No | Occupant interview: |
| No | Tax records/property deeds:          | No | FL Phono Archives        | No | Occupation permits:      | No | neighbor interview: |

No other: (Specify)

**SURVEYOR'S EVALUATION OF SITE**

Potentially eligible for local designation?

Yes

Individually eligible for National Register?

No

Category HMPROLD-1

Potential contributor to National Register district?

No

Historical Associations ARCHITECTURE

**Explanation of Evaluation**

THIS MEDITERRANEAN REVIVAL BUILDING IS REPRESENTATIVE OF THE DEVELOPMENT OF HOLLYWOOD DURING THE BOOM TIME ERA OF THE 1920'S.

**DOCUMENTATION (Photos, Plans, etc.)****Bibliographic References (Use continuation Sheet, give FSF Manuscript # if relevant)**

TENEICK, VIRGINIA E, HISTORY OF HWD, PG 129.

**Location of negatives + negative numbers**

NOTE: For computer entry on "Smartform" please refer to the REPOSITORY section to input information on photographs)

**RECORDER**

Recorder Name KRASSY, SUSAN P

Recorder Address BOCA RATON, FL

Recorder Phone 352-393-6197

Affiliation RESEARCH ATLANTICA



## **CITY OF HOLLYWOOD, FLORIDA**

**Mara Giuliani, Mayor**  
**Kenneth Gottlieb, Vice Mayor**  
**Cathleen A. Anderson, Commissioner**  
**Richard S. Blattner, Commissioner**  
**Eleanor Sobel, Commissioner**

**Samuel A. Finz, City Manager**  
**Jamie Alan Cole, City Attorney**  
**George R. Keller, Jr., AICP, Director of Development Administration**

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**Jud Kurlancheek, Director**  
**Cathy Woodbury, ASLA/AICP, Principal Planner**

prepared by  
**Jane S. Day, Susan P. Krassy and Teresa Van Dyke for**  
**Research Atlantica, Inc. 1995**

This project (or publication) has been financed in part with historic preservation grant assistance provided by the National Park Service, U.S. Department of the Interior, administered through the Bureau of Historic Preservation, Division of Historical Resources, Florida Department of State, assisted by the Historic Preservation Advisory Council. However, the contents and opinions do not necessarily reflect the views and opinions of the Department of the Interior or the Florida Department of State, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Department of the Interior or the Florida Department of State. This program receives Federal financial assistance for identification and protection of historic properties. Under Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, and the Age Discrimination Act of 1975, as amended, the U. S. Department of the Interior prohibits discrimination on the basis of race, color, national origin, disability, or age in its federally assisted programs. If you believe you have been discriminated against in any program, activity, or facility as described above, or if you desire further information, please write to: Office of Equal Opportunity, National Park Service, Post Office Box 37127, Washington, D.C. 20013-7127.



## **General Information**

**Historic Name of Site:** Hutchinson Hotel

**Current Name of Site:** Golf View Hotel and Apartments

**Address:** 404 N. 17<sup>th</sup> Avenue, Hollywood, FL

**Owner:** Randy Herscovici  
130 SE 12th Avenue  
Pompano Beach, FL 33060

**Legal Description:** Hollywood 1-21 B, Lots 11, 12, Block 53

**Folio Number:** 51 4215020760

**Function:** Hotel/Apartment Building

**Construction Date:** 1924

**Previous Listing:** Florida Master Site File

# THE HUTCHINSON HOTEL

## 404 NORTH 17<sup>TH</sup> AVENUE

### LOCAL HISTORIC SITE

#### Statement of Significance:

##### Historical Information

The Hutchinson Hotel at 404 North 17<sup>th</sup> Avenue is historically significant for its association with Harry B. Hutchinson, a Hollywood pioneer, businessman and civic leader. Constructed in 1924, the Hutchinson Hotel is also significant as one of the earliest hotel/apartment buildings in the City of Hollywood.

Prior to 1924 Harry B. Hutchinson came to Hollywood from Philadelphia, Pennsylvania where he was a clothing merchant. After Hutchinson came to Hollywood, he organized a mortgage and loan company in 1924. He was one of four people who represented Hollywood during their negotiations with Fort Lauderdale to create Port Mabel, the deep water port that eventually became Port Everglades. In addition, late in 1924 Hutchinson served on the committee to draft the charter that eventually led to the incorporation of the City of Hollywood.<sup>1</sup>

In 1924, at the height of the Florida Land Boom, Hutchinson hired prominent Fort Lauderdale architect John M. Peterman to design the Hutchinson Hotel in Central Hollywood. Peterman designed a fifty-five room hotel in the popular Mediterranean architectural style. Peterman also designed "Old Dillard School" located at 2501 N.W. 11<sup>th</sup> Street in Fort Lauderdale which is now listed on the National Register of Historic Places. The Hutchinson Hotel's prime location at the corner of Taylor Street and 17<sup>th</sup> Avenue was directly across the street from the Hollywood Country Club and Golf Course.<sup>2</sup>

The Hutchinson Hotel has had numerous owners. In 1933 the hotel was leased to R.C. Bolus who converted the hotel into rental property with sixteen rooms and eleven apartments. At this time Bolus also added a dining room. In 1948 the building was sold by Mr. and Mrs. E.L. Winn to Thomas J. Heslin and Catherine Mulligan for \$100,00. The present owners of the Hutchinson Hotel maintain the hotel/apartment building with thirty-

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<sup>1</sup>Virginia TenEick, *History of Hollywood*, (Port Salerno, FL: Florida Classics Library, 1966), 129, 184-185. The exact date of Hutchinson's arrival in Hollywood can not be determined.; August Burghard & Philip Weiding, *Checkered Sunshine: The Story of Ft. Lauderdale, 1793-1955*, (Ft. Lauderdale, FL: Wake-Brook House, 1974), 121.; TenEick, *Hollywood*, 230.

<sup>2</sup>State of Florida, Bureau of Historic Resources, "Master Site File Form, 404 N. 17<sup>th</sup> Avenue."

six rental units. It is now known as the Golf View Hotel and Apartments.<sup>3</sup>

### **Architectural Information**

The Hutchinson Hotel is a rectangular shaped three story Mediterranean Revival style building constructed in 1924. The Mediterranean Revival style is the product of the variety of architectural expressions found along the Mediterranean coast. Italian, Spanish, and North African Moorish themes combined with French details are sources of inspiration for this style. Typical features of the Mediterranean Revival style include applied ornamentation, stucco walls, multilevel roofs covered with tile, arched openings, twisted columns, balustrades, balconies, and entrance loggias.<sup>4</sup>

The Hutchinson Hotel is designed in a three part plan. The central portion of the building is three stories in height with distinct two story wings. One of the most prominent features of the building is the open eight bay arched loggia located on the ground floor of the east (front) facade. The eight bays are separated by columns that are topped with classical capitals. Within the loggia, windows on the first story include: wood double hung sash 6/1, 4/1, and 1/1; and 6 light wood casement. Twisted engaged columns are located between the windows. The second story of the central block contains an open balcony that spans the entire length of the bay on the east facade. The balcony railing is comprised of decorative concrete. Windows on the second story include wood double hung sash 6/1 and awning windows that are a later addition. Three French doors are centrally located on the open porch. The third story of the central block has awning windows. A raised parapet surrounds the flat roof. The original roof was flat with a barrel tile parapet.

The two story south wing has a flat roof and parapet lined with rows of red barrel tile. The fenestration is symmetrical. Windows on the east facade of this wing include a set of three wood double hung sash 6/1 on both the first and second stories. A vertical ornamental column decorates the south end of the east facade. The south elevation of this bay contains a centrally located entry covered by a shed roof that is supported by wooden brackets. Red barrel tile covers the shed roof. An exterior metal staircase leads to a second story entry. Windows on the south elevation include wood double hung sash 6/1 and 1/1 and jalousie.

The two story north wing of the building also has a flat roof and parapet lined with rows of red barrel tile. The fenestration is symmetrical. Windows on the east facade of this wing include a set of three wood double hung sash 6/1 on both the first and second stories. The north elevation of this bay contains an entrance that leads to a second floor entry. Windows on the north elevation include 6 light wood casement, wood double hung

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<sup>3</sup>Ibid.

<sup>4</sup>Metropolitan Dade County, *From Wilderness to Metropolis, 2<sup>nd</sup> Ed.*, (Miami: Metropolitan Dade County, 1992), 183.



sash 6/1 and 4/1.

The west elevation has a centrally located stucco chimney with windcap. A one story masonry storage room is centered on this elevation. Windows include wood double hung sash 6/1 and 4/1, 6 light casement, and awning.

Alterations to this structure have been minimal. The building retains the integrity of the original design by John M. Peterman.

### **Criteria for Designation:**

Under the City of Hollywood Zoning and Land Regulation 5.10, Historic Preservation Board and Historic District Regulations, 404 North 17<sup>th</sup> Avenue meets the following criteria:

**(D.3.a) "Integrity of location, design, setting, materials, workmanship, and association."** 404 North 17<sup>th</sup> Avenue is located within the City of Hollywood's original town plan. It is one of the earliest hotel/apartment buildings found in the City. The architectural integrity of John M. Peterman's 1924 Mediterranean Revival style design has been maintained.

**(D.3.b) 1. "Association with the lives of persons significant in our past."** 404 North 17<sup>th</sup> Avenue is important for its association with original owner, Harry B. Hutchinson, a Hollywood pioneer and prominent businessman and civic leader. John M. Peterman, a prominent "Boom Time" architect designed the Hutchinson Hotel.

**(D.3.b) 2. "Embodiment of the distinctive characteristics of a type, period, or method of construction."** 404 North 17<sup>th</sup> Avenue embodies the characteristics of the Mediterranean Revival style of architecture in a large commercial building. Examples of the Mediterranean Revival style features incorporated in this building are an open loggia, a multilevel roof, columns, arched openings and stucco walls. It is representative of the "Boom Time" years of the 1920s in Hollywood-by-the-Sea.

**(D.3.b) 4. "Possession of high artistic values."** 404 North 17<sup>th</sup> Avenue was built of the highest quality materials available during the 1920s. It is representative of high artistic value for its overall design and detail.

### **Recommendation:**

Based upon the information presented in this report, it is recommended that the City of Hollywood designate 404 North 17<sup>th</sup> Avenue as an individual historic site.

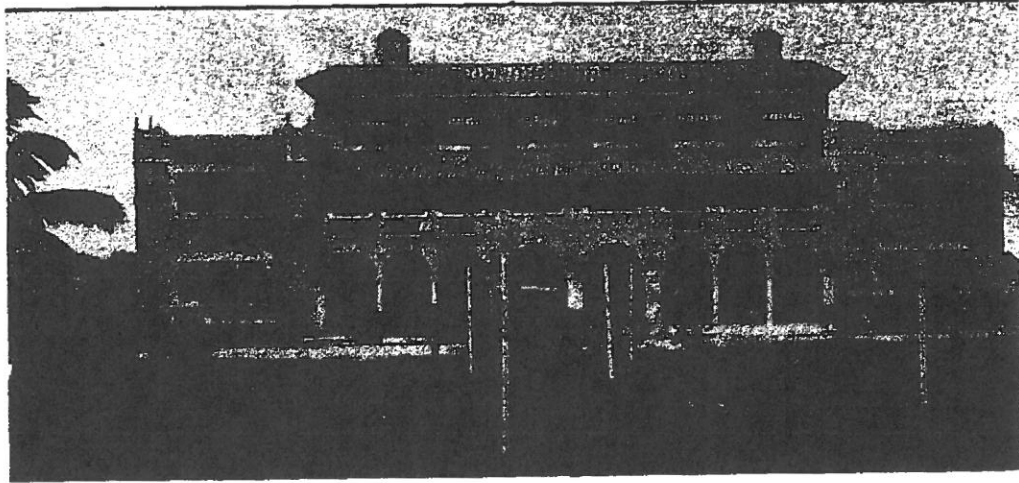
1. Areas Subject to Review: All exterior building elevations.

2. Review Guidelines: The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation of Historic Buildings, as amended, be the standard for review

of projects.



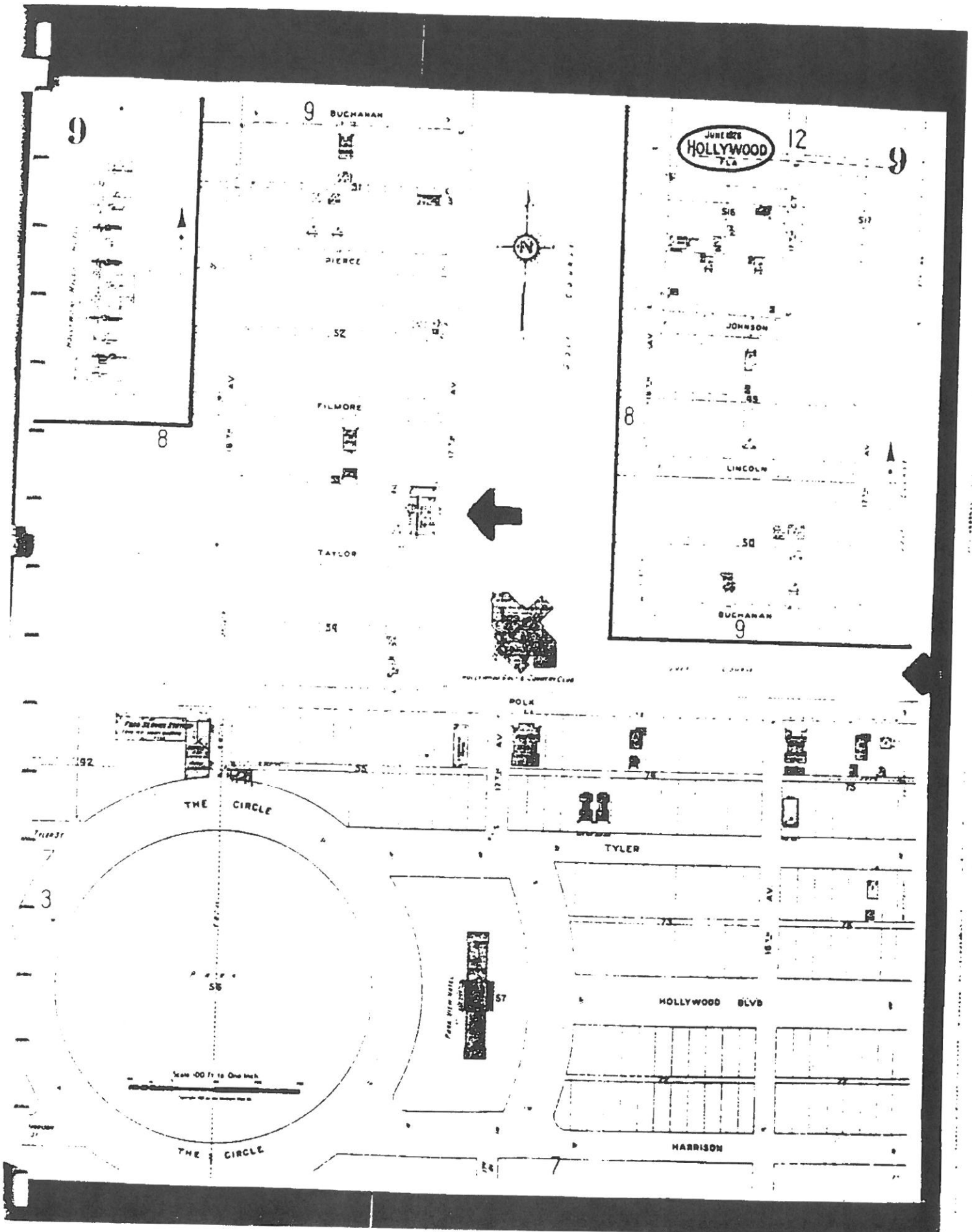
*The Hutchinson*



HOLLYWOOD, FLORIDA

Postcard (c1920s)  
courtesy of the Historical Association of Southern Florida

1926 Sanborn Map



# **HISTORIC DESIGNATION REPORT**

**HUTCHINSON HOTEL  
404 N. 17TH AVENUE**



**March 24, 1997**

**City of Hollywood, Florida  
Department of Development Administration  
Community Planning Division**



**by**

**Research Atlantica, Inc.**





Front loggia



Front loggia  
note: Block columns





**EAST (FRONT) FAÇADE OF BLDG**





**SOUTH FACADE**





**VIEW OF COVERED LOGGIA  
AT FRONT OF  
BUILDING(ZERO LOT LINE)**





**CLOSE UP VIEW OF SOUTH  
EXIST EXIST**





**NORTH (ZERO LOT LINE) FACADE**





**INTERIOR VIEW OF LOBBY**





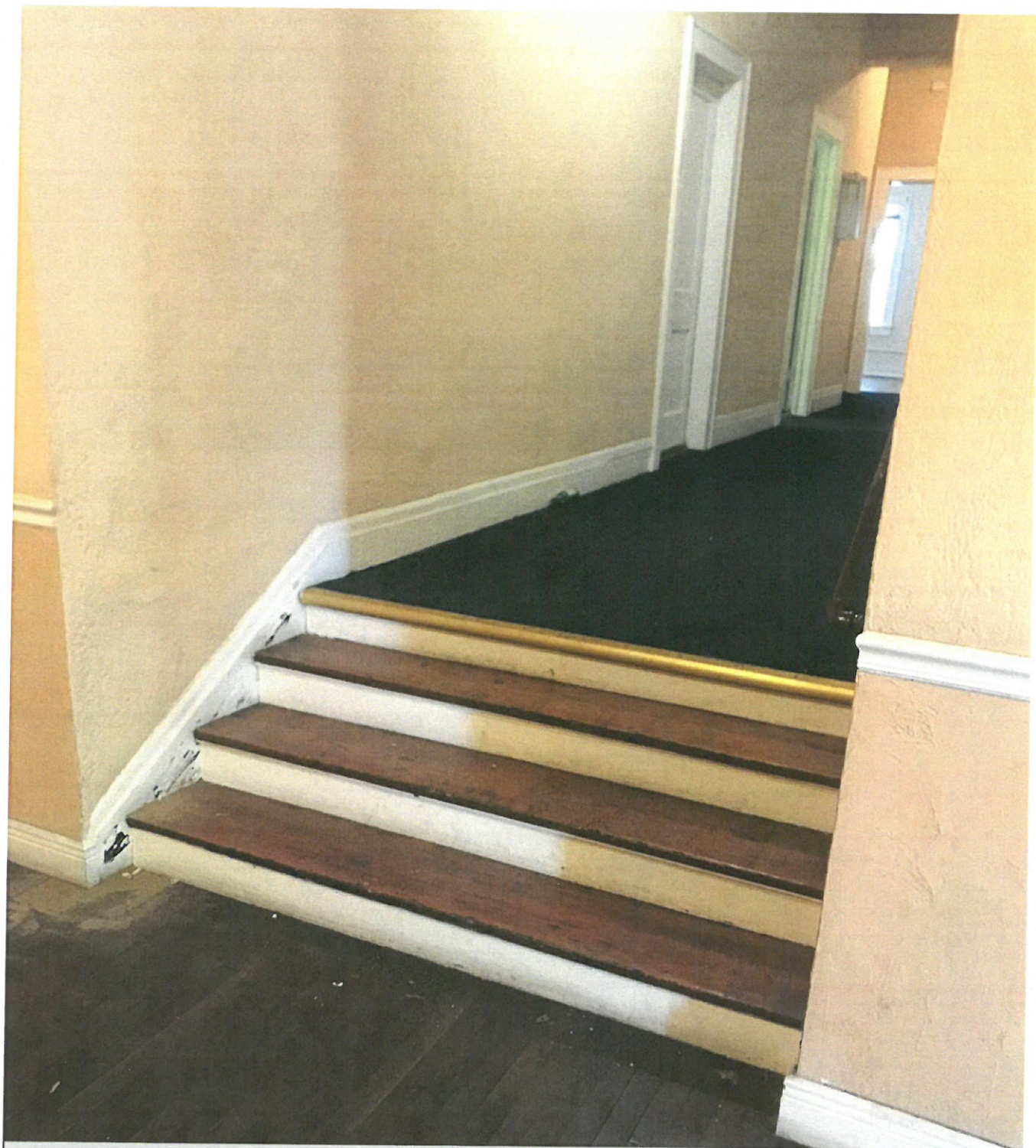
**1<sup>ST</sup> FLOOR VIEW OF EXIST.  
STAIR AT LOBBY**





**BOTTOM LANDING OF EXIST.  
STAIR AT LOBBY**





**FOUR STEPS FROM LOBBY TO  
LIVING UNITS**





**VIEW OF EXISTING STAIRS AT  
2<sup>ND</sup> LEVEL**





**UPWARD VIEW OF STAIRS  
FROM 1<sup>ST</sup> FLOOR LANDING**