

- ### 3 FLOOR PLAN KEYNOTES

NOTE:  
1. ALL WINDOWS TO BE REPLACE, NO WINDOWS OPENING  
TO BE MODIFIED.



INTERIOR FINISH NOTE:

1. ALL INTERIOR FINISHES TO BE CLASS "A", "B" OR "C". SELECTION OF INTERIOR FINISHES TO BE SELECTED BY INTERIOR DESIGNER AND OWNER.

PLAN NOTES:

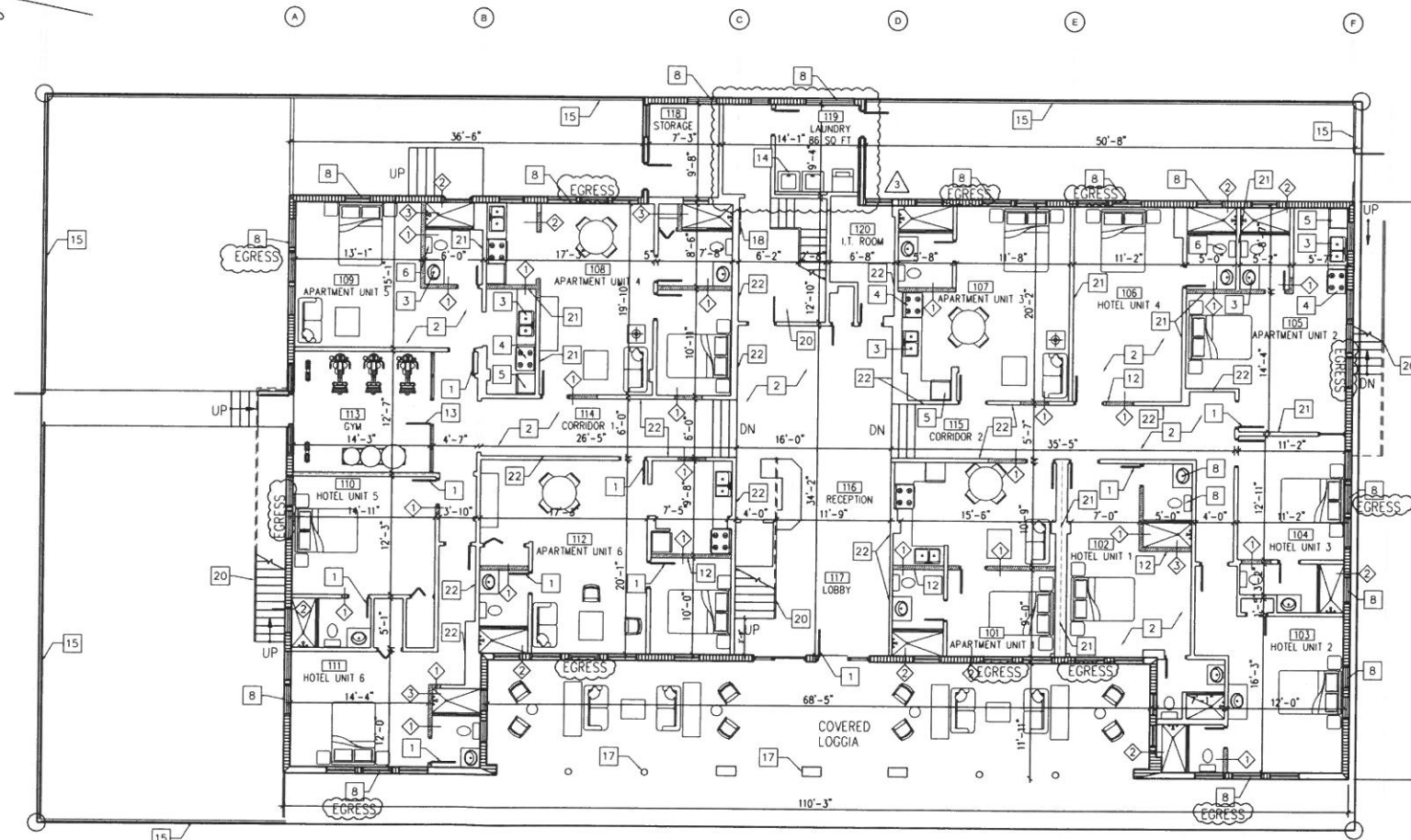
1. ALL CABINETS SHOP DWGS ARE TO BE SUPPLIED BY EQUIPMENT SUPPLIER & OWNER.
2. CONTRACTOR TO SUPPLY ALL WALL BACKING TO SUPPORT ALL FURNITURE & OTHER FIXTURES THAT REQUIRE BEING MOUNTED OR FIXED TO THE WALL.
3. GFI OUTLETS ARE TO BE PROVIDED AT ALL WET AREAS.
4. CONTRACTOR IS TO REVIEW ALL SPECIFICATIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. EQUIPMENT SUPPLIER TO PROVIDE CUT SHEETS FOR ALL EQUIPMENT.
5. CONTRACTOR TO COORDINATE WITH DESIGNER OF RECORD SHOULD ANY DISCREPANCIES ARISE.
6. A NON-ABSORBENT SURFACE SHALL BE PROVIDED @ ALL BATHTUBS & SHOWER SPACES (WALLS & CEILINGS).

PARTITION / WALL LEGEND:

- \_\_\_\_\_ EXISTING 8" CONCRETE BLOCK WALL WITH FURRING STRIPS ON INTERIOR SIDE  
\_\_\_\_\_ AND STUCCO ON EXTERIOR SIDE.
- \_\_\_\_\_ EXISTING INTERIOR PARTITION WALL WITH 25 GA. METAL STUDS @ 16" O.C. AND 1 LAYER OF DRYWALL ON  
\_\_\_\_\_ EACH SIDE TO REMAIN.
-  EXISTING 1 HR. FIRE RATED PARTITION TO UNDERSIDE OF ROOF DECK TO REMAIN.
-  \_\_\_\_\_ NEW INTERIOR PARTITION WALL WITH 25 GA., 3 5/8" METAL STUDS @ 16" O.C. MAX.  
\_\_\_\_\_ TO UNDERSIDE OF CLG. USE MOISTURE RESISTANT DRYWALL AT WET AREAS.
- \_\_\_\_\_ NEW INTERIOR PARTITION WALL WITH 25 GA., 1 1/2" METAL STUDS @ 16" O.C. MAX.  
\_\_\_\_\_ TO UNDERSIDE OF CLG. USE MOISTURE RESISTANT DRYWALL AT WET AREAS.
- \_\_\_\_\_ NEW 8" CONCRETE BLOCK WALL WITH FURRING STRIPS ON INTERIOR SIDE  
\_\_\_\_\_ AND STUCCO ON EXTERIOR SIDE.

2	GENERAL PLAN NOTES AND PARTITION LEGEND SCALE: NTS
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1	PROPOSED GROUND FLOOR PLAN SCALE: 1/8" = 1'-0"
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- NOTES:
- 1 HOUR MINIMUM FIRE RATING TO PROVIDED BETWEEN ALL HORIZONTAL AND VERTICAL SEPARATIONS BETWEEN HOTEL AND APARTMENTS.

- NOTES:  
- THERE WILL NOT BE ANY CHANGES TO THE SIZE, SHAPE OR LOCATION OF EXISTING OPENINGS.



PROJECT TITLE

PROPOSED  
GROUND FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION

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PROJECT No.: 21163

TE: 11.18.22

AWN BY: JCR

SHEET

A-2

- 1

NEW DOOR. REFER TO DOOR SCHEDULE.  
DOOR SELECTION BY OWNER.

2

PROPOSED NEW FINISH FLOORING.  
SELECTION BY OWNER. TYPICAL FINISH FLOOR THROUGHOUT  
WHOLE BUILDING.

3

PROPOSED NEW SINK (SELECTED BY OWNER).

4

PROPOSED NEW STOVE (SELECTED BY OWNER).

5

PROPOSED NEW REFRIGERATOR (SELECTED BY OWNER).

6

PROPOSED NEW TOILET (SELECTED BY OWNER).

7

PROPOSED NEW SHOWERS (SELECTED BY OWNER).

8

PROPOSED NEW WINDOWS (SELECTED BY OWNER).

9

PROPOSED NEW HI/LOW WATER FOUNTAIN.  
(SELECTED BY OWNER).

10

PROPOSED COUNTER TOP (SELECTED BY OWNER).

11

PROPOSED FOR WALLS COLOR AND FINISHES REFER TO  
INTERIOR DESIGN.

12

PROPOSED NEW WALL PARTITION (SELECTED BY OWNER).
- 13

PROPOSED STOREFRONT IN GLASS FOR THE GYM.  
(SELECTED BY OWNER).

14

PROPOSED NEW WASHER AND DRYER.  
(SELECTED BY OWNER).

15

PROPOSED NEW EXTERIOR 8" METAL FENCE.  
(SELECTED BY OWNER).

16

PROPOSED FURNITURE (SELECTED BY OWNER).

17

EXISTING COLUMNS TO REMAIN

18

EXISTING ELECTRICAL PANELS TO REMAIN

19

EXISTING CONCRETE SLAB TO REMAIN.

20

EXISTING STAIRS TO REMAIN.

21

EXISTING FRAMED PARTITION. REMOVE EXISTING GWB & REPLACE  
W/ NEW TYPE-X GWB & TYPE-X CEMENT BOARD AT WET  
LOCATIONS TO UNDERSIDE OF STRUCTURE ABOVE. UL ASSEMBLY  
U495 (1-HR) REFER TO FLOOR PLAN FOR PARTITION TYPE &  
DETAIL 5/A-2.3

22

EXISTING FRAMED PARTITION. REMOVE EXISTING GWB AT UNIT  
INTERIOR ONLY & REPLACE W/ 2 LAYERS OF TYPE-X GWB OR  
TYPE-X CEMENT BOARD AT UNIT INTERIOR. UL ASSEMBLY W426  
(1-HR) REFER TO FLOOR PLAN FOR PARTITION TYPE & DETAIL  
6/A-2.3.

3

FLOOR PLAN KEYNOTES

SCALE: NTS

NOTE:  
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INTERIOR FINISH NOTE:  
1. ALL INTERIOR FINISHES TO BE CLASS "A", "B" OR "C". SELECTION OF INTERIOR FINISHES TO BE SELECTED BY INTERIOR  
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PLAN NOTES:  
1. ALL CABINETS SHOP DWGS ARE TO BE SUPPLIED BY EQUIPMENT SUPPLIER & OWNER.  
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3. OR FIXED TO THE WALL.  
4. GFI OUTLETS ARE TO BE PROVIDED AT ALL WET AREAS.  
5. CONTRACTOR IS TO REVIEW ALL SPECIFICATIONS OF ALL EQUIPMENT PRIOR TO INSTALLATION. EQUIPMENT SUPPLIER TO  
PROVIDE CUT SHEETS FOR ALL EQUIPMENT.  
7. CONTRACTOR TO COORDINATE WITH DESIGNER OF RECORD SHOULD ANY DISCREPANCIES ARISE.  
8. A NON-ABSORBENT SURFACE SHALL BE PROVIDED @ ALL BATHTUBS & SHOWER SPACES (WALLS & CEILINGS).

PARTITION / WALL LEGEND:

EXISTING 8" CONCRETE BLOCK WALL WITH FURRING STRIPS ON INTERIOR SIDE  
AND STUCCO ON EXTERIOR SIDE.

EXISTING INTERIOR PARTITION WALL WITH 25 GA. METAL STUDS @ 16" O.C. AND 1 LAYER OF DRYWALL ON  
EACH SIDE TO REMAIN.

EXISTING 1 HR. FIRE RATED PARTITION TO UNDERSIDE OF ROOF DECK TO REMAIN.

NEW INTERIOR PARTITION WALL WITH 25 GA., 3 5/8" METAL STUDS @ 16" O.C. MAX.  
TO UNDERSIDE OF CLG. USE MOISTURE RESISTANT DRYWALL AT WET AREAS.

NEW INTERIOR PARTITION WALL WITH 25 GA., 5 1/2" METAL STUDS @ 16" O.C. MAX.  
TO UNDERSIDE OF CLG. USE MOISTURE RESISTANT DRYWALL AT WET AREAS.

NEW 8" CONCRETE BLOCK WALL WITH FURRING STRIPS ON INTERIOR SIDE  
AND STUCCO ON EXTERIOR SIDE.

2

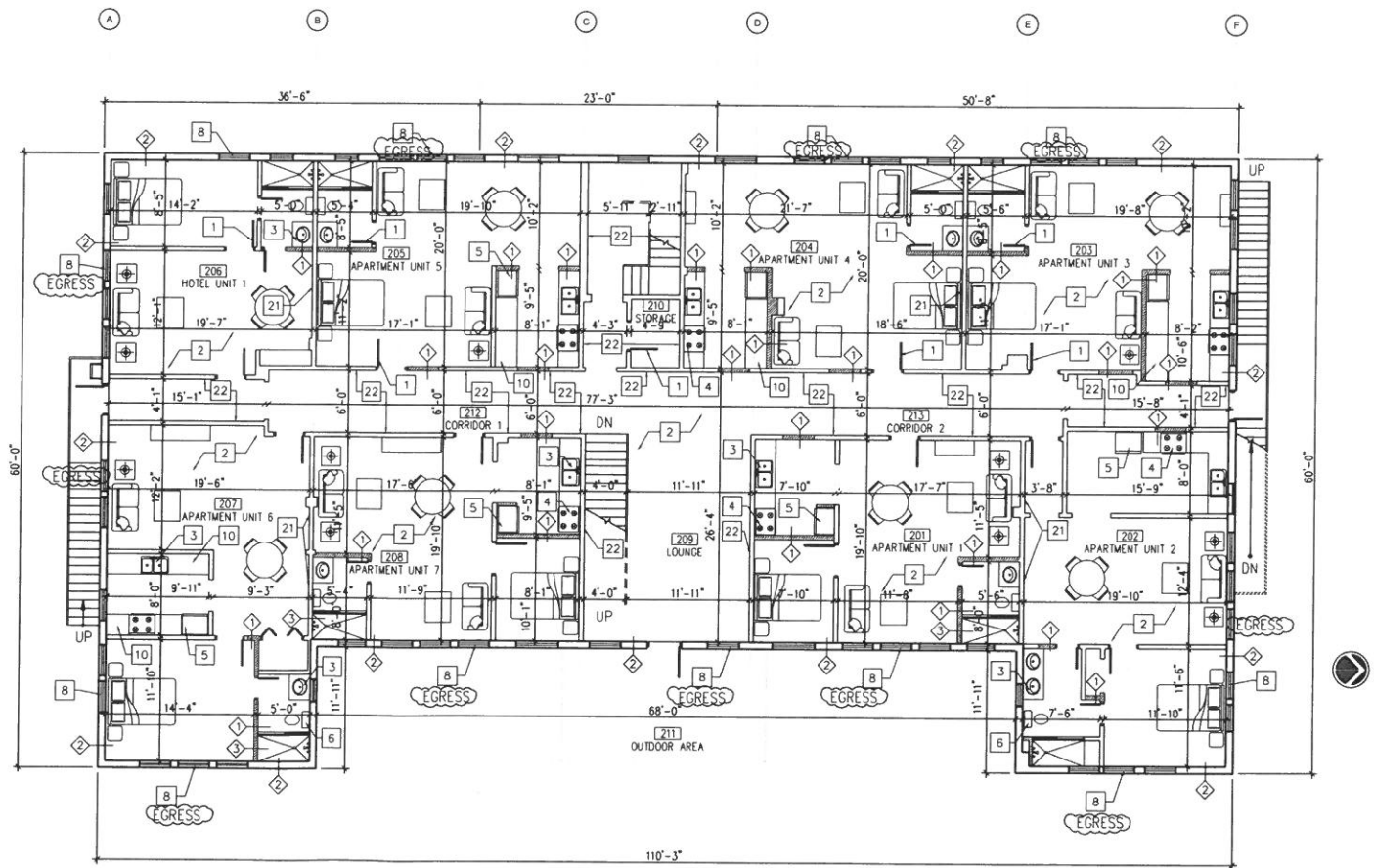
GENERAL PLAN NOTES AND PARTITION LEGEND

SCALE: NTS

1

PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTES:  
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PROVIDED BETWEEN ALL HORIZONTAL AND  
VERTICAL SEPARATIONS BETWEEN HOTEL  
AND APARTMENTS.

NOTES:  
- THERE WILL NOT BE ANY  
CHANGES TO THE SIZE,  
SHAPE OR LOCATION OF  
EXISTING OPENINGS.

KA

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JOSEPH B. KALLER

R. A.

0009239

REGISTERED ARCHITECT

JOSEPH B. KALLER

FLORIDA R.A. # 0009239

PROJECT TITLE

HISTORIC BUILDING  
404 N 17 AVENUE  
HOLLYWOOD, FL 33020

SHEET TITLE

PROPOSED  
SECOND FLOOR PLAN

REVISIONS		
No.	DATE	DESCRIPTION
1	07.14.22	CITY COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT No.: 21163  
DATE: 11.18.22  
DRAWN BY: JCR  
CHECKED BY: JBK

SHEET

A-2.1

- 1

NEW DOOR. REFER TO DOOR SCHEDULE.  
DOOR SELECTION BY OWNER.

2

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SELECTION BY OWNER. TYPICAL FINISH FLOOR THROUGHOUT  
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3

FLOOR PLAN KEYNOTES

SCALE: NTS

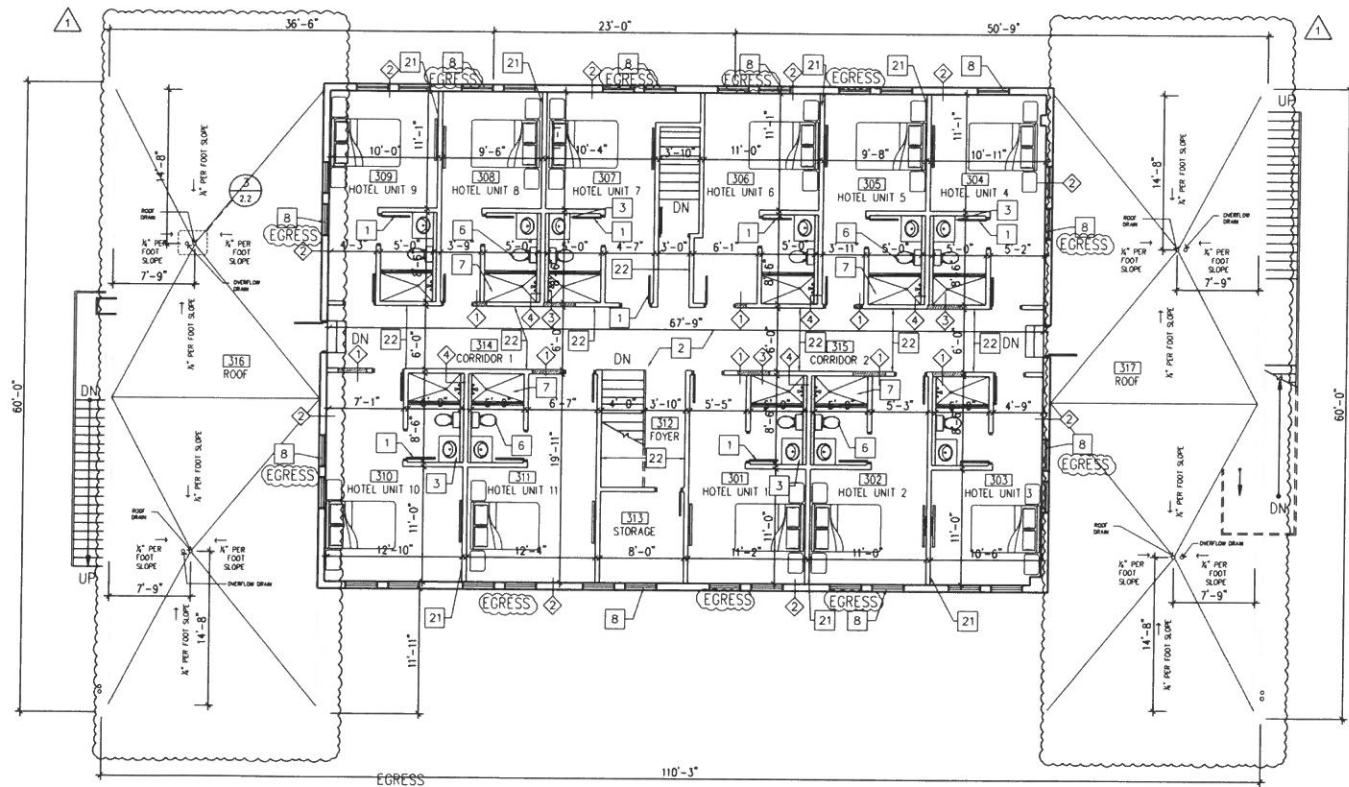
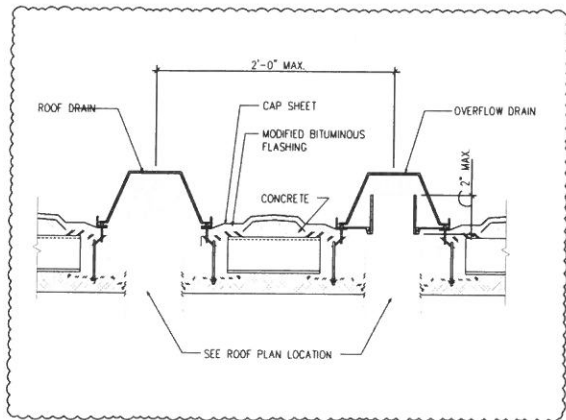
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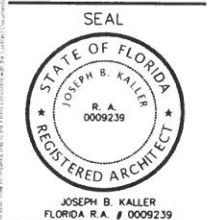
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PROJECT TITLE  
HISTORIC BUILDING  
404 N 17 AVENUE  
HOLLYWOOD, FL 33020

SHEET TITLE  
PROPOSED  
THIRD FLOOR PLAN

REVISIONS  
No. DATE DESCRIPTION

No.	DATE	DESCRIPTION
1	05.25.22	CITY COMMENTS
2	07.14.22	CITY COMMENTS

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PROJECT No.: 21163  
DATE: 11.18.22  
DRAWN BY: JCR  
CHECKED BY: JBK

SHEET

A-2.2