NEW RENOVATION

SAWGRASS CABANA CLUB

NTE VEDRA BLVD, PONTE VEDRA BEACH, FL 32082



JAA ARCHITECTURE

2716 ST JOHN'S AVE JACKSONVILLE FL. 32205 AR 92748 904.379.5108

NFPA 101 (7.10.1.3)

			619	PONT
ABBREVIATIC	NS		SYMBO	LS
ABOVE	KIT	KITCHEN		
ABOVE FINISHED FLOOR ACCESS PANEL ACOUSTIC CEILING TILE	K/S KD	KNEE SPACE KNOCKDOWN	_	— COLUMN
ACOUSTICAL ADDITIONAL	LAB LAM	LABORATORY LAMINATED	A	DESIGNATION
ADHESIVE ADJACENT ADJUSTABLE	LVL LT LAV	Laminated veneer lumber Laundry tub Lavitory	A	
ADJUSTABLE AIR CONDITIONING AIR HANDLING UNIT	LAV LDR LH	LEADER LEFT HAND		
ALTERNATE ALUMINUM	L LGMF	LENGTH LIGHT GAUGE MTL FRAMING		— ROOM
AMPHERE ANCHOR BOLT ANODIZED	LIN FT LOC LVR	LINEAR FEET LOCATION LOUVER	ROOM NAME	NAME
APPROVED ARCHITECT (URAL)	LP	LOW POINT	000	·—ROOM NUMBER
asphalt at average	MFR MRB MB	Manufacturer Marble Marker Board	S.F.	ROOM AREA
BEAM	MO MATL	MASONRY OPENING MATERIAL	5.13.	
BEARING BEARING PLATE	MAX MECH	MAXIMUM MECHANICAL		
BENCH MARK BETWEEN BI-FOLD (DOOR)	MED MDFB MDO	MEDIUM MEDIUM DENSITY FIBER BOARD MEDIUM DENSITY OVERLAY		— DOOR
BITUMINOUS BLOCK	MEMB MTL	MEMBRANE METAL	000	NUMBER
BLOCKING BOARD	MT MEZZ	METAL THRESHOLD MEZZANINE		
BOTTOM BRICK BRITISH THERMAL UNIT	MM MIN MIR	MILLIMETER MINIMUM MIRROR		WINDOW
BUILDING BUILT UP ROOF	MISC MOD	MISCELLANEOUS MODULAR	A	TYPE
CABINET	MTD MULL	MOUNTED MULLION		— PARTITION
CAPACITY CARPET CASED OPENNING	NATL NGVD	NATIONAL NATIONAL GEODETIC VERTICAL DATUM	0	TYPE
CAST IN PLACE CAST IRON	NOM N	NOMINAL NORTH		
CAST STONE CATCH BASIN	NIC NTS	NOT IN CONTRACT NOT TO SCALE	^	— KEYNOTE
CEILING CEMENT CENTERLINE	NO OBS	NUMBER OBSCURE	0	
CERAMIC MOSAIC TILE CERAMIC TILE	OFF OC	OFFICE ON CENTER		— TOILET
CHAMFER CHANGE CHANNEL	OCC OJ OPG	OCCUPANT OPEN WEB STEEL JOIST OPENING	A	ACCESSORIE S
CHANNEL CHILLED WATER CLOSET	OPER OPP	OPERABLE OPPOSITE		
COLD WATER COLUMN	OPT OSB	OPTIONAL ORIENTED STRAND BOARD	-0.0	
COMBINATION CONCRETE CONCRETE MASONRY UNIT	OZ OD OA	Ounce Outside Diameter Overall		CLOUD
CONDUIT CONNECTION	OHD OGD	OVERHEAD DOOR OVERHEAD GARAGE DOOR		
CONSTRUCTION CONTINUOUS	PTD	PAINTED	700	NOWIDER
CONTRACTOR CONTROL JOINT CORNER GUARD	PR PAR PKG	PAIR PARALLEL PARKING		— NORTH
CORRIDOR COUNTER	PBD PART	PARTICLE BOARD PARTITION		ARROW
COURSE(S) CUBIC CUBIC FEET	PVMT PED PLAS	PAVEMENT PEDESTAL SINK PLASTER		
CUBIC FEET PER MINUTE CUBIC YARD	P-LAM PLT	PLASTIC LAMINATE PLATE		
DAMPPROOFING	PLBG PLY	PLUMBING PLYWOOD		IDICATES DIDECTION
DECIBEL DEGREE DEMOLISH (DEMOLITION)	PNT PVC PORT	POINT POLYVINYL CHLORIDE PIPE PORTABLE	\	IDICATES DIRECTION F CUTTING PLANE
DEPARTMENT DEPRESSED	# LB	POUND POUND		
DIAGONAL DIAMETER	PSF PC PFB	POUNDS PER SQUARE FT PRECAST PREFABRICATED	4 000 000	
DIFFUSER DIMENSION DIRECTORY	PREFAB PT	PREFABRICATED PRESSURE TREATED		
DISHWASHER DISPENSER	PL	PROPERTY LINE		
DOOR DOOR OPENING DOUBLE ACTING	QTY QT	QUANTITY QUARRY TILE		IDICATES DRAWING
DOVETAIL ANCHOR DOVETAIL SLOT	RAD REC	RADIUS RECEPTOR		UMBER
DOWN DOWNSPOUT	RECT REF	RECTANGLE REFERENCE		IDICATES SHEET UMBER
DRAIN DRAWER DRAWING	RCP REF REG	reflected ceiling plan refrigerator reglet	BUILDING SECTION	J
Drinking fountain Dryer (Machine)	REINF REQD	REINFORCEMENT REQUIRED		
EACH EAST	RESIL R/A RVD	resilient Return air Revised		IDICATES
ELECTRIC ELECTRIC PANEL	REV R	REVISION RISER (STAIR)		IRECTION OF VIEW
ELECTRIC WATER COOLER ELECTRIC WATER HEATER	R&S RD	ROD & SHELF ROOF DRAIN	/ o#\	IDICATES DRAWING UMBER
ELEVATION ELEVATOR EMERGENCY	RDL RFH RM	ROOF DRAIN LEADER ROOF HATCH ROOM	A000	IDICATES SHEET
ENCLOSURE ENGINEER	RO RUB	ROUGH OPENING RUBBER		UMBER
ENTRANCE EQUAL	RT	RUBBER TILE	LLL VAIION WARK	
Equipment Exhaust fan Existing to remain	SAN SCH SLT	Sanitary Schedule Sealant		
Existing to remain Expansion Bolt	SECT SERV	SECTION SERVICE	1	NDICATES DIRECTION OF
EXPANSION JOINT EXPOSED EXTERIOR	SHTHG SHT SH	SHEATHING SHEET SHELVES		VIDICATES DRAWING
EXTERIOR INSULATION FINISH SYSTEM	1 SIM SNK	SIMILAR SINK	/ / O\	IUMBER
FACE OF STUD FINISH FLOOR	SOG SL	Slab on grade Sleeve		NDICATES SHEET
Finish floor elevation Finished Fire Alarm	SGD SD SC	SLIDING GLASS DOOR SMOKE DETECTOR SOLID CORE		IUMBER
FIRE EXTINGUISHER FIRE EXTINGUISHER BOX	SS S	SOLID SURFACE SOUTH		
FIRE EXTINGUISHER CABINET FIRE HOSE CABINET	SPK SPEC	SPEAKER SPECIFICATION SOLIABLE	WALL SECTION	
Fire retardant treated Fireplace Fireproofing	SQ SQ FT SST	SQUARE SQUARE FEET STAINLESS STEEL		
FIXTURE FLOOR	STD ST	STANDARD STEEL	/ o / \	NDICATES DETAIL IUMBER
FLOOR DRAIN FLUORESCENT FOOT	SD STR SUSP	STORM DRAIN STRUCTURAL SUSPENDED	A000	NDICATES SHEET
FOOTING FOUNDATION	SYM	SUSPENDED SYMBOL	N	IUMBER
FURNISH AND INSTALL FURNISHED BY OTHERS	TB TEL	TACKBOARD TELEPHONE	<u>DETAIL</u>	

TEMPERED

THROUGH

TYPICAL

TONGUE AND GROOVE

UNLESS NOTED OTHERWISE

TOP OF WINDOW

VAPOR BARRIER

VENEER PLASTER

VENT THRU ROOF

VERIFY IN FIELD

WALK-IN CLOSET WASHING MACHINE WATERPROOF

WELDED WIRE FABR

WELDED WIRE MESH

VESTIBULE

VINYL TILE

WINDOW

VINYL BASE

FUTURE

GALVANIZED

GRAB BAR

GENERAL CONTRACTOR

GROUND FAULT INTERRUPTER

GYPSUM SHEATHING

GYPSUM WALL BOARD

HOLLOW CORE

HOLLOW METAL

INSIDE DIAMETER

HOSE BIB

INTERIOR

HOT WATER

A-INTENT & USE OF CONSTRUCTION DOCUMENTS

GENERAL NOTES

1. THE PURPOSE OF THESE DOCUMENTS IS TO CONVEY DESIGN INTENT ONLY. THE CONTRACTOR SHALL A) BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, B) PROMPTLY NOTIFY ARCHITECT IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, AND C) OBTAIN ALL REQUISITE BUILDING AND OTHER PERMITS REQUIRED IN CONNECTION WITH THE WORK.

2. THE CONTRACTOR WILL BE PRESUMED TO HAVE INSPECTED THE SITE AND TO HAVE READ AND TO BE THOROUGHLY FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. THE FAILURE OR OMISSION OF ANY CONTRACTOR TO EXAMINE ANY FORM, INSTRUMENT OR DOCUMENT SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION IN RESPECT TO HIS WORK.

3. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLE FOR SUCH PORTION OF THE WORK.

4. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. DECISIONS OF ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THESE DOCUMENTS SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.

5. THE ARCHITECT RESERVES THE RIGHT TO REJECT ITEMS INCORPORATED INTO THE WORK WHICH FAIL TO MEET THE SPECIFIED MINIMUM REQUIREMENTS. THE ARCHITECT FURTHER RESERVES THE RIGHT, AND WITHOUT PREJUDICE TO OTHER RECOURSE. ARCHITECT MAY OR MAY NOT ACCEPT NON-COMPLYING ITEMS SUBJECT TO ANY ADJUSTMENT IN THE CONTRACT AMOUNT AS APPROVED BY THE ARCHITECT AND/OR THE OWNER.

B-PERMITS, FEES, TAXES, & NOTICES

1. THE CONTRACTOR SHALL PAY ALL SALES, CONSUMER, AND OTHER SIMILAR TAXES FOR THE WORK OR PORTIONS THEREOF PROVIDED BY THE CONTRACTOR WHICH ARE LEGALLY ENACTED AT THE TIME OF CONSTRUCTION.

2. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.

4. THE CONTRACTOR SHALL EXERCISE REASONABLE EFFORT TO MAKE CERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, BUILDING CODES AND REGULATIONS. IF THE CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE AT VARIANCE THEREWITH IN ANY RESPECT, HE SHALL PROMPTLY NOTIFY ARCHITECT IN WRITING AND ANY NECESSARY CHANGES SHALL BE ACCOMPLISHED BY APPROPRIATE

5. IF THE CONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, AND WITHOUT SUCH NOTICE TO DESIGNER, HE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO.

C-COORDINATION & SUPERVISION

1. ALL WORK TO BE SCHEDULED DURING REGULAR BUSINESS HOURS UNLESS

2. CONTRACTOR TO PROVIDE ADVANCE NOTIFICATION TO TENANT'S REPRESENTATIVE WHEN TENANT OR THEIR CONTRACTOR(S) ARE REQUIRED AT JOB SITE FOR COORDINATION MEETINGS OR INSTALLATIONS.

3. UPON COMPLETION OF THE WORK, THE CONTRACTOR TO NOTIFY BUILDING OWNER REPRESENTATIVE THAT THE PROJECT IS READY FOR INSPECTION. OWNER/REP WILL COMPILE A "PUNCH LIST" OF CORRECTIONS NEEDED OF UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE SUCCESSFUL COMPLETION OF THE PUNCH LIST.

4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND SHALL COORDINATE ALL PORTIONS OF THE

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

6. THE CONTRACTOR TO, AT ALL TIMES, KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEPT CLEAN DAILY.

7. THE CONTRACTOR TO PROVIDE FINAL CLEANING OF ALL AREAS OF WORK INCLUDING THE CONSTRUCTION ACCESS ROUTE. FINAL CLEANING TO INCLUDE WINDOWS AND CEILINGS.

D-LABOR, MATERIALS, & WARRANTY

1. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

2. THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTOR'S EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED THEM.

3. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENT LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.

4. CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DOCUMENTS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PROCEEDING WITH THE WORK.

5. EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OTHER TRADES.

6. THE CONTRACTOR IS RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.

7. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGER SCALE DRAWINGS TO GOVERN OVER SMALLER SCALE DRAWINGS.

8. DIMENSIONS ARE TO THE FINISHED FACE OF NEW CONSTRUCTION. DIMENSIONS ARE NOMINAL UNLESS OTHERWISE INDICATED.

9. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR IS RESPONSIBLE TO GET CLARIFICATION AND DIRECTION FROM ARCHITECT PRIOR TO PROCEEDING WITH

10. THE CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK UNLESS OTHERWISE NOTED.

11. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING FOR WALL SUPPORTED ELEMENTS INCLUDING MILLWORK, EQUIPMENT, FIXTURES AND FURNITURE. CONTRACTOR TO VERIFY EXTENT AND COORDINATE WITH APPROPRIATE SUBCONTRACTORS.

12. ALL MATERIALS TO BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT TO BE STORED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.

11. THERE WILL BE NO SUBSTITUTIONS OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, ARCHITECT TO DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE

12. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS FOR THE TYPE OF MATERIAL AND INSTALLATION SPECIFIED.

13. PAINT TO BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS OVER PROPERLY PREPARED SURFACES. WALLS TO BE STRAIGHT AND SMOOTH. PROVIDE MINIMUM ONE COAT PRIME AND ONE FINISH COAT. FINISHED COAT TO COMPLETELY COVER WITH NO STREAKING OR BLEEDING OF UNDERCOATS.

14. MILLWORK TO CONFORM WITH AWI STANDARDS FOR PREMIUM GRADE MILLWORK. DRAWINGS INDICATE DESIGN INTENT. FABRICATOR IS RESPONSIBLE FOR MILLWORK ENGINEERING.

15. DRYWALL CONTRACTOR TO CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER TRADES. WHERE DRYWALL IS IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC. THIS CONTRACTOR TO PROVIDE ALL NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND TO MAINTAIN FIRE OR SOUND RATING WHERE REQUIRED.

16. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION. ALL WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE.

E- INSTALLATION NOTES (MAY NOT APPLY)

CEILING UNLESS NOTED OTHERWISE.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT TO OPERATE QUIETLY AND BE FREE OF VIBRATION.

2. UNLESS OTHERWISE NOTED IN MECHANICAL DRAWINGS OR SPECIFICATIONS, HOLD DUCTS AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE ABOVE.

3. THE CONTRACTOR SHALL NOT LOCATE CEILING DIFFUSERS OR REGISTERS WHERE FULL HEIGHT SHELVING, FILES OR STORAGE UNITS ARE INDICATED ON PLANS. (IF APPLICABLE)

4. ALL CEILING DIFFUSERS AND REGISTERS TO BE THE SAME COLOR AS THE

5. ALL SURFACES TO BE PROPERLY PRIMED OR PREPARED PRIOR TO INSTALLATION OF SPECIFIED FINISHES.

5. PATCH ALL AREAS WHERE THE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF SPECIFIED FLOOR FINISH(-ES).

6. PROVIDE ALL NECESSARY CUT-OUTS FOR THE INSTALLATION OF ELECTRICAL AND VOICE/DATA OUTLETS, THERMOSTATS, SWITCHES AND OTHER DEVICES.

7. EXTEND ALL FIRE RATED PARTITIONS TO STRUCTURE; FILL ALL VOIDS WITH FIRE SAFING MATERIAL OR FIRE-RATED CAULK, CONTINUOUS AS REQUIRED BY CODE.

8. ALL FIRE EXTINGUISHER CABINETS OR ELECTRICAL PANELS LOCATED IN RATED PARTITIONS TO BE BACKED WITH GYPSUM BOARD AS REQUIRED TO MAINTAIN PARTITION RATING. 9. CONTRACTOR IS RESPONSIBLE FOR FIRESTOPPING ALL NEW AND EXISTING FIRE

RATED PARTITIONS AND ALL PENETRATION THROUGH RATED AREAS INCLUDING SLABS. SEAL TO MAINTAIN PROPER RATING.

10. WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AT COLUMNS OR BEAMS, NEW FIREPROOFING TO BE INSTALLED TO COMPLY WITH THE REQUIRED FIRE RATING. CONTRACTOR TO VERIFY IN FIELD.

11. WHERE PIPES, CONDUITS OR LOW TENSION WIRING PENETRATE A FIRE RATED ENCLOSURE, THE SPACE AROUND SHALL NOT EXCEED 1/2" AND SHALL BE PACKED SOLID WITH BATT INSULATION AND FITTED WITH ESCUTCHEON PLATES ON BOTH SIDES OR EQUIVALENT TREATMENT TO INSURE COMPLIANCE WITH FIRE RATING.

12. WHERE DUCT OR PART OF DUCT IS RUNNING PARALLEL OVER FIRE RATED PARTITION, EXTEND RATED PARTITION AROUND DUCT TO EFFECT COMPLETE MAINTENANCE OF FIRE-RATING.

FIRE MARSHAL NOTES

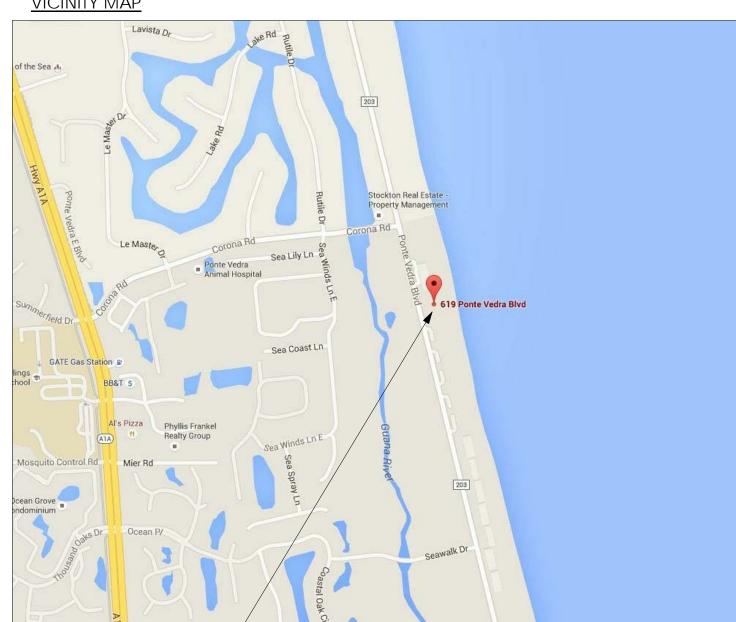
APPLICABLE CODES	FLORIDA BUILDING CODE (FBC) 2014, FLORIDA FIRE PREVENTION CODE	
APPLICABLE CODES	(FFPC) 2014, FLORIDA ACCESSIBILITY CODE (FAC) 2012	
ALTERATION LEVEL	LEVEL III ALTERATION	FBC 2014 EXISTING BLDG (405.1)
OCCUPANCY TYPE	GROUP: A-2 RESTAURANT	FBC 2014(304.1)
CONSTRUCTION TYPE	TYPE V-B	FBC 2014(TABLE 601)
RISK CATEGORY	CATEGORY III	FBC 2014(TABLE 1604.5)
SPRINKLERED Y/N	Y	, ,
GROSS BUILDING AREA	6,900 SF (1ST: 3,491 SF, 2ND: 3,409 SF)	
Area of Work	592 SF	
ALLOWABLE BUILDING HEIGHT	35 FEET	
PROPOSED BUILDING HEIGHT	EXISTING	
ALLOWABLE # OF STORIES	EXISTING	FBC 2014(TABLE 503)
EXISTING # OF STORIES	2	, ,
Allowable area	EXISTING	FBC 2014(TABLE 502)
existing area	EXISTING	
MEZZANINE Y/N	N	
,,,, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		
MEANS OF EGRESS	N/A; EGRESS COMPONENTS BEING REPLACED ARE LIKE-FOR-LIKE. THESE ITEMS DO NOT HINDER, DISRUPT, OR ALTER BUILDING EGRESS.	
TOTAL OCCUPANT LOAD	165	
REQUIRED # OF EXITS	2	FBC 2014 (TABLE 1021.1)
PROPOSED # OF EXITS	5	
MINIMUM MEANS OF EGRESS WIDTH	34"	FBC 2014 (1005.1)
PROPOSED MEANS OF EGRESS WIDTH	34"	
MAX TRAVEL DISTANCE ALLOWED	205'-0"	FFPC 2014 (NFPA 101 13.2.6.2)
PROPOSED MAX TRAVEL DISTANCE	72'-11"	
MAX COMMON PATH OF TRAVEL		
AREAS > 50 OCCUPANTS	20'-0"	FFPC 2014 (NFPA 101 13.2.5.1.2)
AREAS NOT MORE THAN 50 OCCUPANTS	75'-0"	FFPC 2014 (NFPA 101 13.2.5.1.2)
PROPOSED COMMON PATH OF TRAVEL	N/A	
EXIT SIGNS TO BE READILY VISIBLE FROM ALL POINTS OF EGRESS PATH NDICATING DIRECTION OF EGRESS TRAVEL		FBC 2014 (1011.1)

VICINITY MAP

EXIT DOOR TACTILE SIGNAGE AT ALL

EXITS REQUIRING AN EXIT SIGN

CODE SUMMARY



PROJECT LOCATION

1. ALL FINISH HARDWARE TO BE ADA COMPLIANT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA 101 LIFE SAFETY CODE

2. CONTRACTOR SHALL PROVIDE EXIT DOOR TACTILE SIGNAGE (PER NFPA 101,7.10.1.3). EXIT TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN. SIGNAGE SHALL MEET ALL ACCESSIBLE REQUIREMENTS. TO BE MOUNTED ON LATCH SIDE OF DOOR, 60" AFF.

3. TACTILE SIGNAGE SHALL READ AS FOLLOWS: EXIT

4. TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1, AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

5. ACCESSIBLE ELEMENTS AND SPACES THE FACILITY HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF CH. - 11 IN THE FLORIDA BUILDING CODE. FOR ALTERATIONS OF EXISTING BUILDINGS 20% OF THE BUDGET HAS BEEN DEDICATED TO ADA IMPROVEMENTS WITH PRIORITY BEING GIVEN TO THE FOLLOWING ELEMENTS (IN ORDER)

A. ACCESSIBLE ENTRANCE B. ACCESSIBLE ROUTE TO ALTERED AREA C. AT LEAST ONE ACCESSIBLE RESTROOM OR EACH SEX OR A SINGLE UNISEX RESTROOM.

D. ACCESSIBLE TELEPHONES E. ACCESSIBLE DRINKING FOUNTAINS F. WHEN POSSIBLE, ADDITIONAL ACCESSIBLE ELEMENTS SUCH AS PARKING, STORAGE, AND

6. FIRE EXTINGUISHERS SHALL BE PROVIDED, INSTALLED, INSPECTED AND TAGGED BY A LICENSED FIRE EXTINGUISHER COMPANY.

7. ALL LOCKED DOORS WITHIN THE DESIGNED FACILITY IF PROVIDED WITH A LOCK, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFECT FOR OPERATION FROM THE EGRESS SIDE.

8. CONTRACTOR WILL PROVIDE AN EXTERIOR ELECTRICAL DISCONNECT IF ONE DOES NOT CURRENTLY EXIST.

9. THIS PROJECT DOES CONTAIN LIGHT FRAME TRUSS TYPE MATERIALS AND DOES NEED TO BE LABELED ACCORDING TO FAC 69A-60.0081.







DRAWING INDEX

ARCHITECTURAL

A001	NOTES
A100.1	LIFE SAFETY PLAN - FIRST FLOOR
A100.2	LIFE SAFETY PLAN - SECOND FLOOR
A101	DEMO PLAN - FIRST FLOOR
A102	DEMO PLAN - SECOND FLOOR
A103	NEW PLAN - FIRST FLOOR
A104	NEW PLAN - SECOND FLOOR
A105	ROOF PLAN
A106	FRONT ENTRY STAIR, NEW AWNING
A107	TRELLIS
A108.1	ADA UNISEX RESTROOM
A108.2	ADA UNISEX RESTROOM MEP
A201	ELEVATIONS
A202	ELEVATIONS
A301	BUILDING SECTION

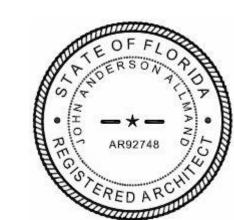
NEW REFLECTED CEILING PLAN - SECOND FLOOR

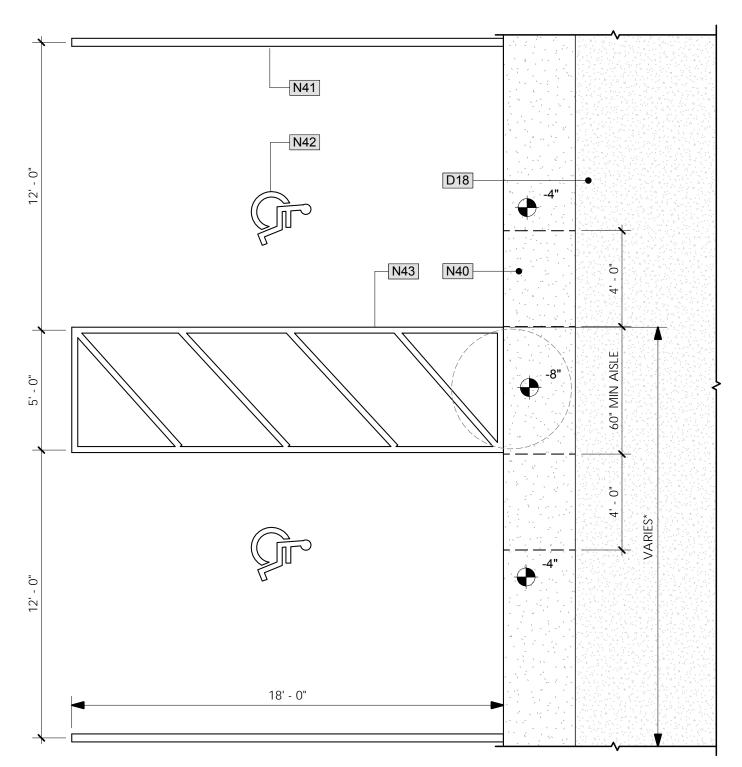
ENLARGED FOUNDATION PLANS AND DETAILS

DEMO REFLECTED CEILING PLAN - FIRST FLOOR

NEW REFLECTED CEILING PLAN - FIRST FLOOR

ADDITIONAL STRUCTURAL





*SIDEWALK TERMINATES AT FURTHEST AISLE MARK WHERE LOCATED

TYPICAL ADA PARKING

1/4" = 1'-0"

MATERIALS LEGEND						
MARK	MATERIAL	MANUFACTURER	MODEL	COLOR	REMARKS	CONTACT INFORMATION
GT-1	GROUT	MAPEI	SANDED	38 AVALANCHE	RESTROOM FLOORS, 1/8" JOINT, SEA	ALED BOB COLGAN 904.363.2525
GT-1	GROUT	MAPEI	UNSANDED	38 AVALANCHE	RESTROOM WALLS, 1/8" JOINT, SEA	LED BOB COLGAN 904.363.2525
PL-1	PLASTIC LAMINATE	WILSONART		5TH AVENUE ELM SOFTGRAIN FINISH		
PT-1	PAINT	BENJAMIN-MOORE	SEMI-GLOSS	PM-19 WHITE DOVE	GENERAL	
PT-2	PAINT	BENJAMIN-MOORE	SEMI-GLOSS	WHITE	ACCENT	
S-1	SOLID SURFACE	WILSONART	9100GS, SATIN FINISH	COCONUT OIL	BATHROOM VANITIES	SUSAN ZONA 1.800.432.6057
T-1	PORCELAIN FLOOR TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO (MOSAIC) - 24811/M12	RESTROOM FLOORS	BOB COLGAN 904.363.2525
T-2	CERAMIC WALL TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO - 24811 CR2x10	RESTROOM WALLS WAINSCOT	BOB COLGAN 904.363.2525
T-3	PROCELAIN FLOOR TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO - 24811 12x12	STAIR ENTRY	BOB COLGAN 904.363.2525
TR-1	TRANSITION STRIP	SCHLUTER	DESIGNLINE	DL625EB		
WB-1	WOOD BASE	GRADE HARDWOOD	4" HARDWOOD	PT - ?		
ALTERN	 Jates					
S-1_A1	SOLID SURFACE	DALTILE	M701, 3CM, POLISHED	CARRARA WHITE	BATHROOM VANITIES	JOANNA MULHALL 904-307-8597
S-1_A2	SOLID SURFACE	WILSONART	9214CM, SATIN FINISH	ASTEROID	BATHROOM VANITIES	SUSAN ZONA 1.800.432.6057
T-1A	PORCELAIN FLOOR TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO (MOSAIC) - 24811/M12	RESTROOM FLOORS	BOB COLGAN 904.363.2525
T-2A	CERAMIC WALL TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO - 24811 CR2x10	RESTROOM WALLS WAINSCOT	BOB COLGAN 904.363.2525

PARTITION TYPES

WALL TYPE NOTES

THAN NOTED.

- ALL NEW WALLS TO MATCH EXISTING WALL TYPE. VERIFY ARCHITECT IF DIFFERENT
- PROVIDE THREE (3) BEADS OF SEALANT AT TOP AND BOTTOM OF TRACKS. TYPICAL ALL WALLS. USE SOUND OR FIRE RATED SEALANTS IN RESPECTIVE WALL TYPES.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, SIGNAGE, ETC. AND TO MAINTAIN CONSTRUCTION TYPE. PROVIDE "END CAPS" WHERE WALLS INTERSECT. MULLIONS/GLAZING COLOR TO BE
- SELECTED BY ARCHITECT. AT ALL FIRE RATED/SMOKE BARRIER ASSEMBLIES:
- PROVIDE SAFING, SEALANTS, ETC. AT ALL PENETRATIONS TO MAINTAIN RATINGS AND MEET ALL STATE/LOCAL CODES.
- PROVIDE FIRE/SMOKE DAMPERS WHERE NEEDED IN WALL TO MAINTAIN RATING
- AND TO MEET ALL STATE/LOCAL CODES. PROVIDE CAPS IN FIRE WALLS TO MEET ALL STATE AN LOCAL CODES, TYP. ALL FIRE
- RATED WALLS. WHERE ANY DISCREPENCY OCCURS AT INTERSECTING WALLS, NOTIFY ARCHITECT PRIOR TO CONSTRUCTION. PROVIDE ADDITIONAL MATERIAL, CAPS, ETC. NEEDED TO COMPLETE DETERMINED CONDITION.
- 7. SEE INTERIOR/EXTERIOR ELEVATIONS FOR REVEAL LOCATIONS ON ONE OR BOTH SIDES INDICATED.
- 8. EXTEND TILE MINIMUM OF 6" ABOVE ACT CEILING SYSTEMS AT WET WALLS OR FULL
- HEIGHT TILE WALLS. PROVIDE CEMENTIOUS BACKER BOARD AT WET/TILE WALLS, TYP.

1/2" 3 1/2" 1/2" 1/2" 3 1/2" 1/2" 1/2"\3 1/2" _1/2" 2x4 WOOD - 2x4 WOOD - 2x4 WOOD - 2x4 WOOD TOP PLATE TOP PLATE TOP PLATE TOP PLATE - UNDERSIDE OF UNDERSIDE OF - UNDERSIDE OF UNDERSIDE OF STRUCTURE STRUCTURE STRUCTURE CEILING CONT. CAULK CONT. CAULK - CONT. CAULK AT PERIMETER AT PERIMETER AT PERIMETER OPTIONAL SOUND OPTIONAL SOUND OPTIONAL SOUND BATT INSULATION BATT INSULATION BATT INSULATION WET WET - 2x4 WOOD STUDS 2x4 WOOD STUDS STUDS @ 16" O.C. @ 16" O.C. 2x4 WOOD STUDS @ 16" O.C. @ 16" O.C. 1/2" CEMENT **FIBERBOARD** — 1/2" CEMENT (DUROCK) — 1/2" CEMENT FIBERBOARD FIBERBOARD (DUROCK); 1/2" GYPSUM (DUROCK) BOTH SIDES 1/2" GYPSUM BOARD AT *DRY* LOCATIONS · 1/2" GYPSUM BOARD **BOARD BOTH SIDES** 2x4 CONT. - CONT. CAULK CONT. CAULK **WOOD SILL** AT PERIMETER AT PERIMETER 2x4 CONT. CONT. CAULK **WOOD SILL** 2x4 CONT. 2x4 CONT. AT PERIMETER WOOD SILL WOOD SILL 2 4 1/2" UNRATED PARTITION, WET/WET 1 4 1/2" UNRATED PARTITION, WET/DRY 4 1/2" UNRATED PARTITION 3A 4" UNRATED FURRING PARTITION, 3B 4" UNRATED FURRING PARTITION,

KEYNOTE LEGEND - DEMO

- D1 REMOVE AND RELOCATE CABBAGE PALMS.
- DEMO STAIRS AND ASSOCICATED STUCTURE. PREP FOR NEW STAIRS.
- DEMO AWNING AND PREP FOR SIMILAR IN SAME LOCATION. EXISTING CONCRETE BLOCK WALL W/ VENTED PATTERN TO REMAIN. REFER TO
- LANDSCAPE DRAWINGS.
- DEMO CARPET AND PAD, PREP TO RECEIVE NEW FLOOR TILE. DEMO SCONCE. IF IN GOOD CONDITION, RETAIN J-BOX; IF IN BAD CONDITION,
- REMOVE AND RELOCATE CEILING MOUNTED SURFACE LIGHT.
- REMOVE AND RELOCATE EXISTING CEILING FAN-LIGHT COMBO. SEVER AND CAP WIRE AND REUSE CIRCUIT FOR RELOCATION OT ITEM; PREP FOR NEW SWITCH.
- D10 DEMO FULL HEIGHT WINDOW. OPENING TO REMAIN FOR NEW VERTICAL LIFT ACCESS. D11 DEMO WALL BASE.
- D12 EXISTING CEILING SPEAKER TO REMAIN.
- D13 EXISTING THRU-WALL AIR HANDLER UNIT AND TRIM TO REMAIN.
- D14 DEMO FULL HEIGHT WINDOW AND WALL. PREP FOR NEW VERITCAL LIFT ACCESS.
- DEMO FULL HEIGHT WINDOW, OPENING TO REMAIN. PREP FOR NEW EXTERIOR DOOR.
- D16 DEMO HANDRAIL AND SUPPORTS. PREP FOR NEW LIKE-FOR-LIKE REPLACEMENT. D17 REMOVE/RELOCATE FURNITURE FOR EGRESS AND ACCESSIBLE REQUIREMENTS. D18 EXISTING GRASS AND SOIL TO REMAIN UNLESS NECESSARY FOR WORK TO BE
- PERFORMED. D19 DEMO SPECIFIED GUARDRAIL.
- D20 REMOVE PAVERS AND SOIL AND PREP FOR NEW COLUMNS AND FOOTINGS.

KEYNOTE LEGEND - NEW CONSTRUCTION

- N1 NEW WALL BASE.
- N2 NEW PAVERS BY OTHERS, REFER TO LANDSCAPE DRAWINGS.
- N3 NEW STANDALONE WOOD STAIR, DETACHED FROM BUILDING; LIKE-FOR-LIKE REPLACEMENT.
- N4 NEW AWNING; LIKE-FOR-LIKE REPLACEMENT.
- N5 NEW EVENT LAWN BY OTHERS, REFER TO LANDSCAPE DRAWINGS. N6 NEW ROOF SHINGLES, BY OTHERS; LIKE-FOR-LIKE REPLACEMENT.
- N7 REFER TO LANDSCAPE DRAWINGS REGARDING GRADING, DEMO, PROTECTION, VEGETATION, ETC., TYP.
- N8 NEW TRELLIS. REFER TO LANDSCAPE DRAWINGS FOR LOCATIONS. REFER TO
- ARCHITECTURAL AND STRUCTURAL FOR DETAILS.
- N9.1 NEW PORCELAIN FLOOR TILE, TYPE 'A'.
- N9.2 NEW PORCELAIN FLOOR TILE, TYPE 'B'. N10 NEW WALL TILE AND TRIM.
- N11 NEW ONE-WAY PRIVACY WINDOW FILM APPLIED TO EXTERIOR OF SHEATHING, INSTALLED REFLECTIVE SIDE OUTWARED TO WINDOW. FASTEN INSIDE FACE TO
- N12 IF REQUIRED, PROVIDE NEW LEVER HARDWARE AT EXISTING SPECIFIED DOOR, MATCH
- FINISH OF EXISTING DOORS; NICKEL AS ALTERNATE. N13 NEW ADA COMPLIANT VANITY AND COUNTER.
- N14 NEW ADA COMPLIANT LAVATORY.
- N15 NEW ADA COMPLIANT WALL HUNG URINAL.
- N16 NEW THRESHOLD, CARPET TO TILE.
- N17 NEW EMERGENCY LIGHT.
- N18 NEW ADA COMPLIANT FLOOR MOUNTED TOILET.
- N19 NEW 36" ADA GRAB BAR. N20 NEW 42" ADA GRAB BAR.
- N21 NEW MIRROR. N22 NEW SCONCE. TIE INTO RETAINED/NEW J-BOX AND CIRCUIT.
- N23 NEW PIER FOOTING, SEE STRUCTURAL.
- N24 NEW 8x8 PRESSURE TREATED WD COLUMN WRAPPED WITH PRESSURE TREATED 1x. COLUMN ATTACHED TO PIER FOOTING WITH SIMPSON ABU-88SS (TYPICAL).
- N25 NEW RECESSED CAN LIGHT. TIE INTO EXISTING AREA CIRCUIT.
- N26 NEW 3068 SOLID CORE WOOD DOOR. LEVER HARDWARE, MATCH FINISH OF EXISTING DOORS; NICKEL AS ALTERNATE.
- N27 NEW SANITARY DISPOSAL. N28 NEW TOILET PAPER DISPENSER.
- N29 NEW ALUMINUM HANDRAIL AND SUPPORTS. WOOD AS ALTERNATE. SUPPORTS TO
- MATCH HANDRAIL MATERIAL.
- N30 NEW SWITCHE(S). N31 NEW GFCI DUPLEX OUTLET.
- N32 NEW STANDALONE CONCRETE SLAB WITH TURNDOWN. SLAB NOT ATTACHED TO
- EXISTING STRUCTURE/SLAB.
- N33 NEW RECESSED EXHAUST FAN @ 50 CFM, WITH VENT-THRU-ROOF. N34 NEW 6x6 WD COLUMN ATTACHED TO SLAB WITH SIMPSON ABU-SS (TYPICAL).
- N35 NEW PLATFORM LIFT WITH FRONT AND SIDE ACCESS.
- N36 NEW GUARDRAIL, TO MATCH EXISTING. N37 RELOATED CEILING FAN-LIGHT COMBO. RETRACE CIRCUIT TO NEW SWITCH.
- N38 EXISTING THRU-WALL AIR HANDLER UNIT AND TRIM TO REMAIN.
- N39 WALL OPENING HERE FOR AHU UNIT. BLOCK OUT TO EXISTING UNIT TRIM.
- N40 NEW CONCRETE SIDEWALK AND RAMP. DEMO/REMOVE EXISTING GRASS AND SOIL.
- N41 NEW PARKING STRIPE, COLOR TO MATCH EXISTING. N42 NEW PARKING ADA SYMBOL, COLOR TO MATCH EXISTING STRIPING.
- N43 NEW ADA AISLE MARKING, COLOR TO MATCH EXISTING STRIPING.
- N45 NEW 3068 EXTERIOR GLASS DOOR w/ LEVER HARDWARE, MATCH FINISH OF EXISTING DOORS; NICKEL AS ALTERNATE. PROVIDE COMMERCIAL ALUMINUM THRESHOLD AND WEATHERSTRIPPING.
- N46 NEW WOOD DECK WITH MARINE TREATED SHEATHING. MATCH EXISTING STRUCTURE BELOW. TOP FINISH TO MATCH EXISTING. TRANSITION STRIP AS NEEDED.
- N47 NEW ROOF, TO MATCH EXISTING ROOF. N48 NEW JOISTS/OUTRIGGERS, TO MATCH EXISTING ROOF.
- N51 NEW FURNITURE BY OTHERS.



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LIC. AR92748

DATE: 5.3.2017 NOTES SHEET:

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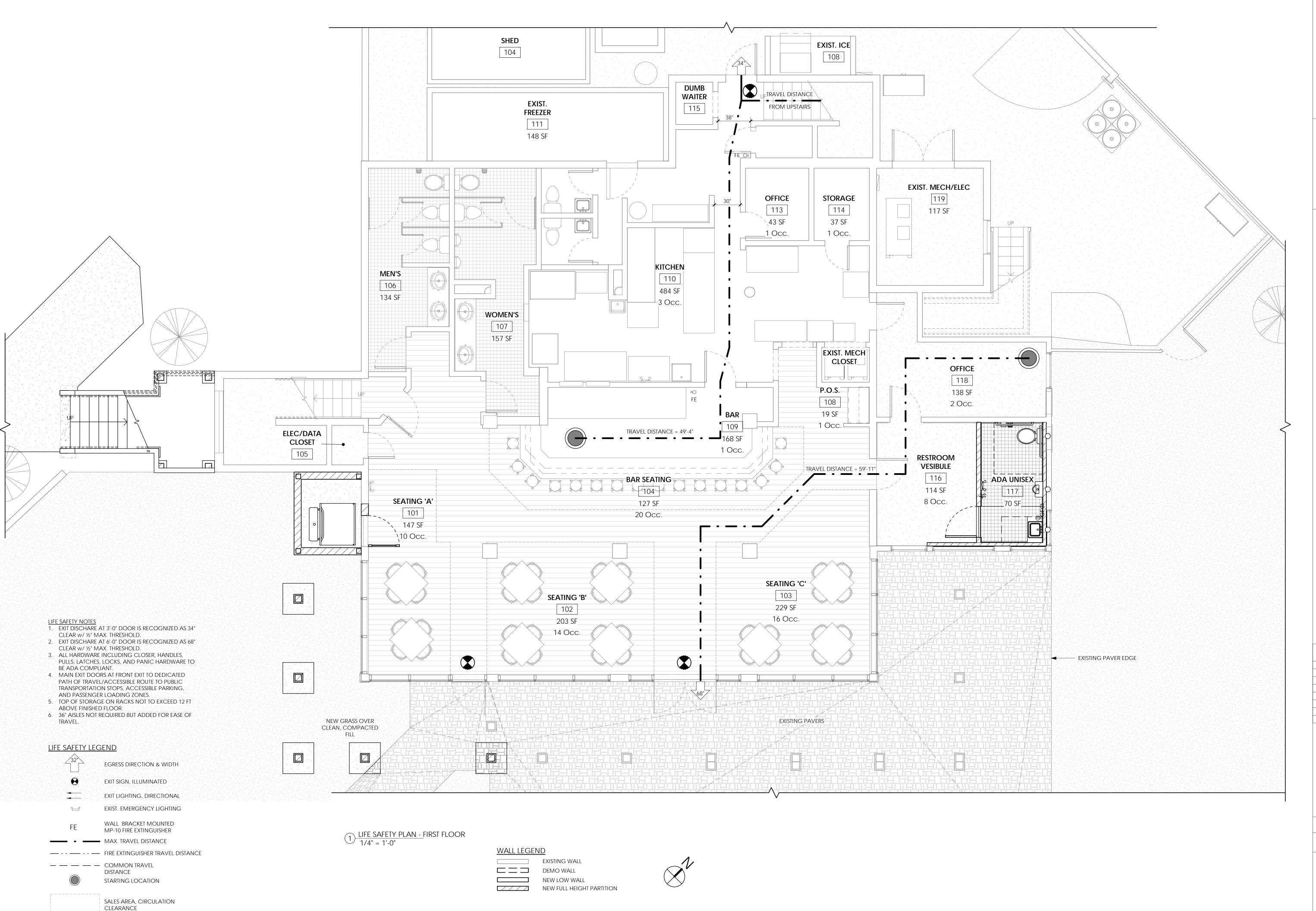
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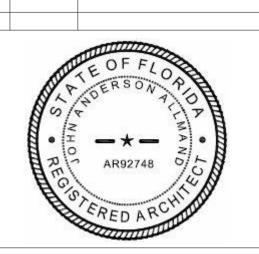


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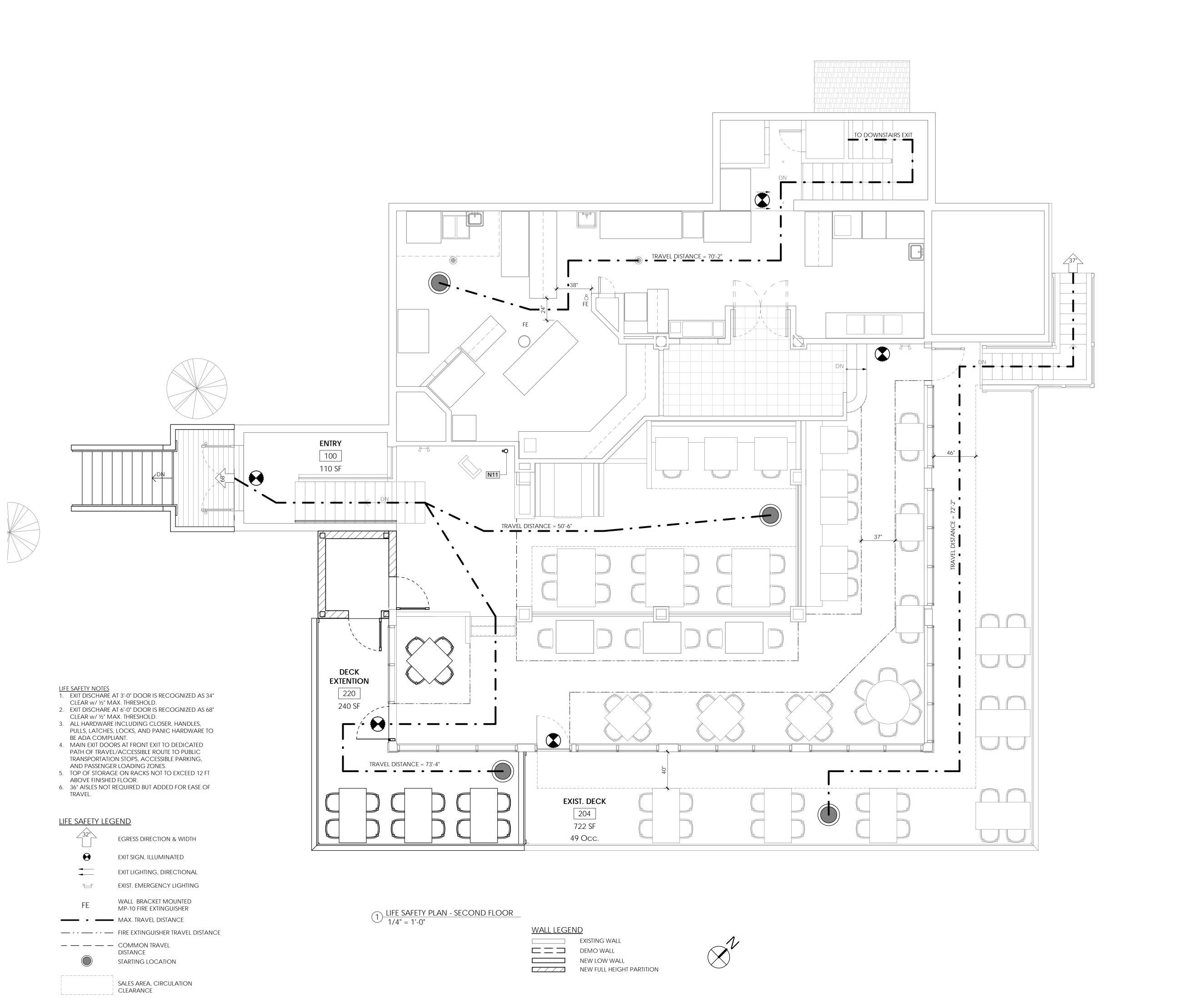
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5.3.2017 LIFE SAFETY PLAN - FIRST FLOOR





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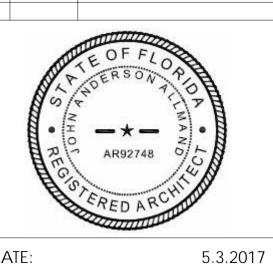
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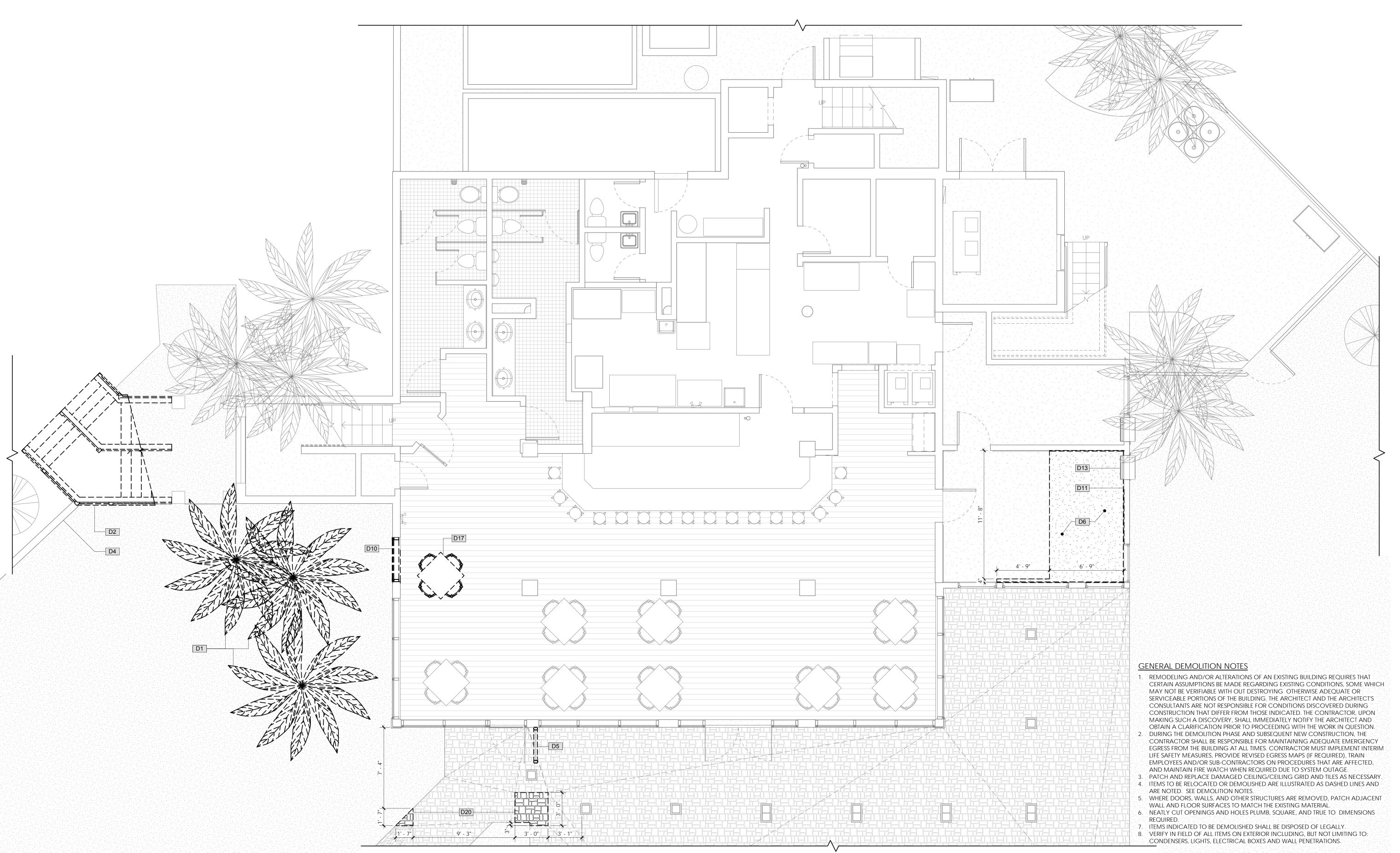
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DATE DESCRIPTION



SHEET: LIFE SAFETY PLAN - SECOND FLOOR

A100.2



1) FIRST FLOOR PLAN - DEMO 1/4" = 1'-0"

EXISTING WALL DEMO WALL **NEW LOW WALL**

NEW FULL HEIGHT PARTITION



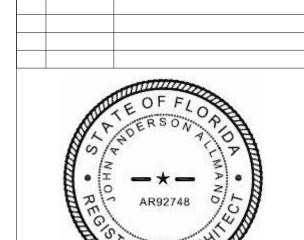


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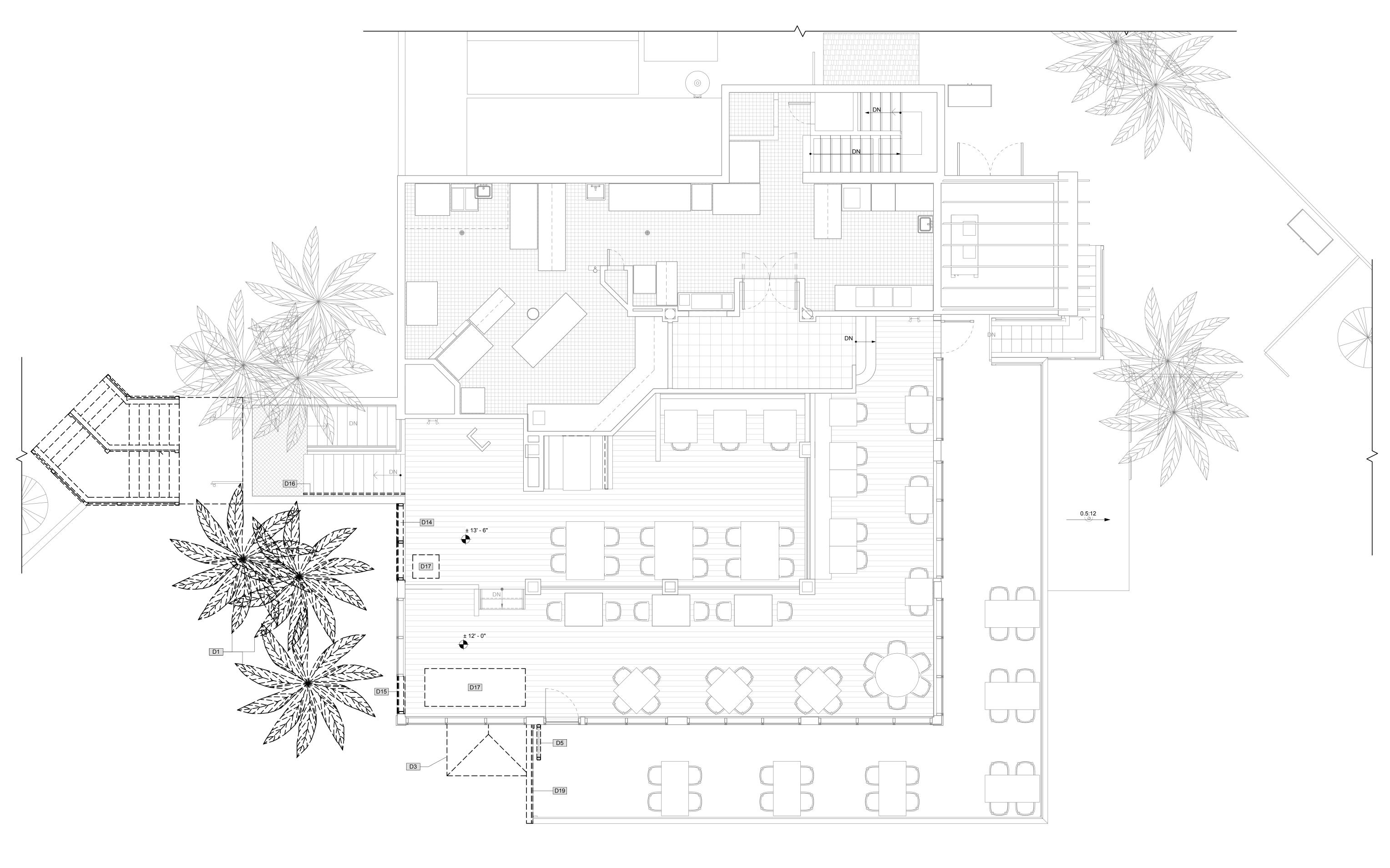
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15-050



1) SECOND FLOOR PLAN - DEMO 1/4" = 1'-0"





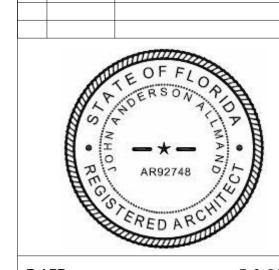


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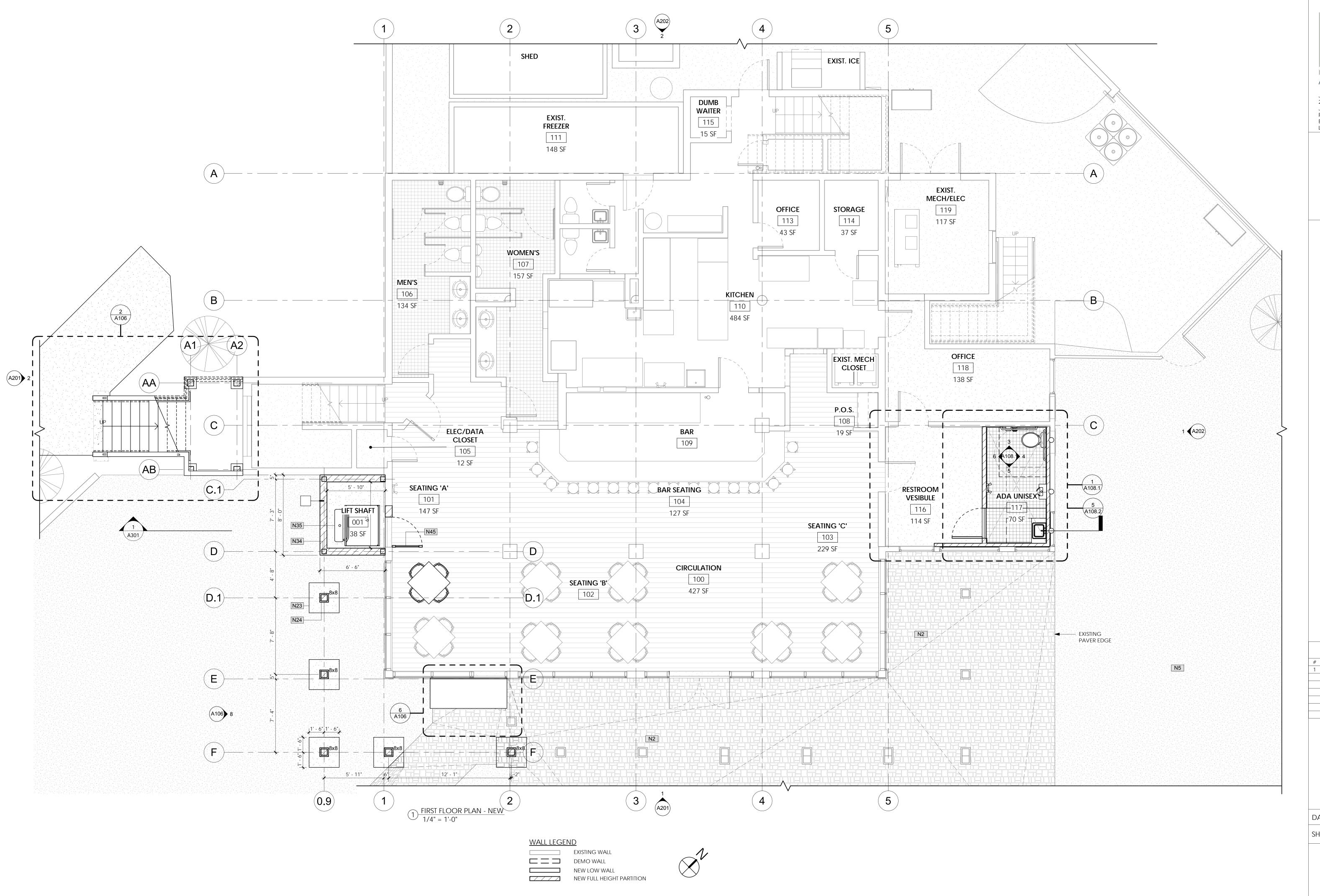
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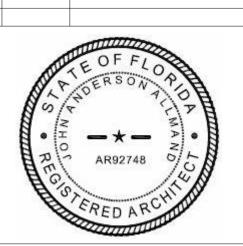
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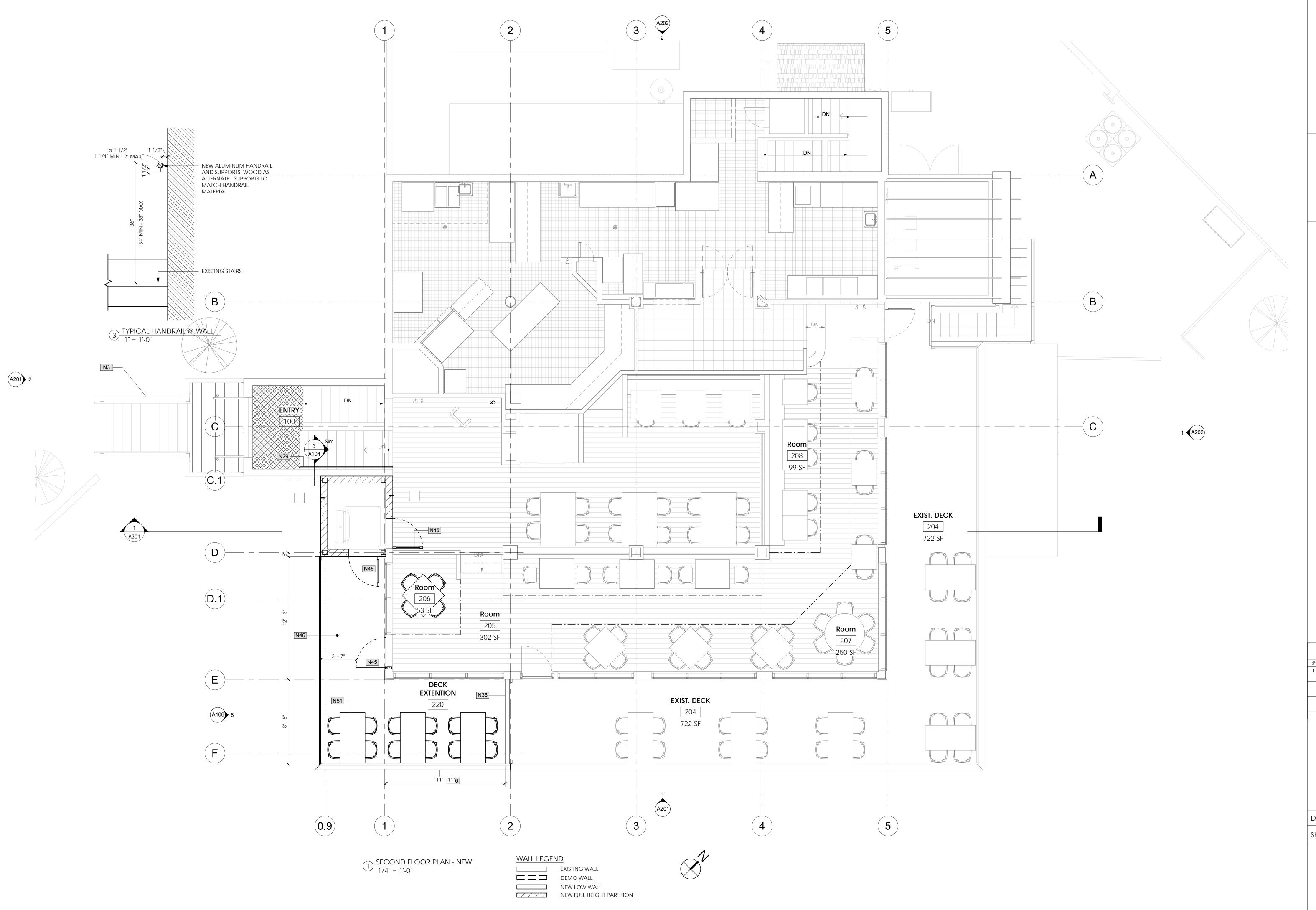


DATE: 5.3.2017

SHEET: NEW PLAN - FIRST FLOOR

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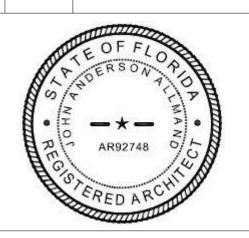
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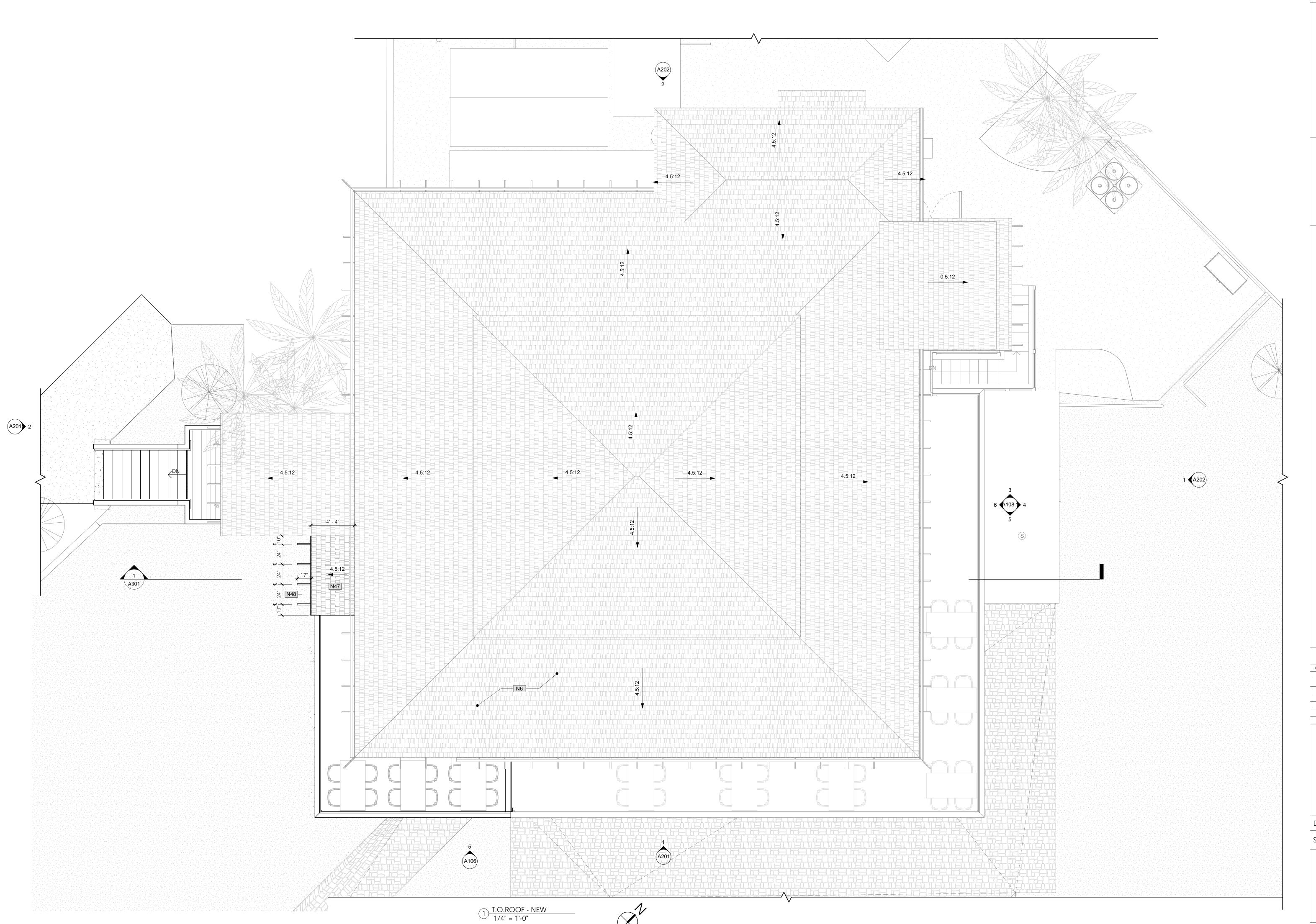
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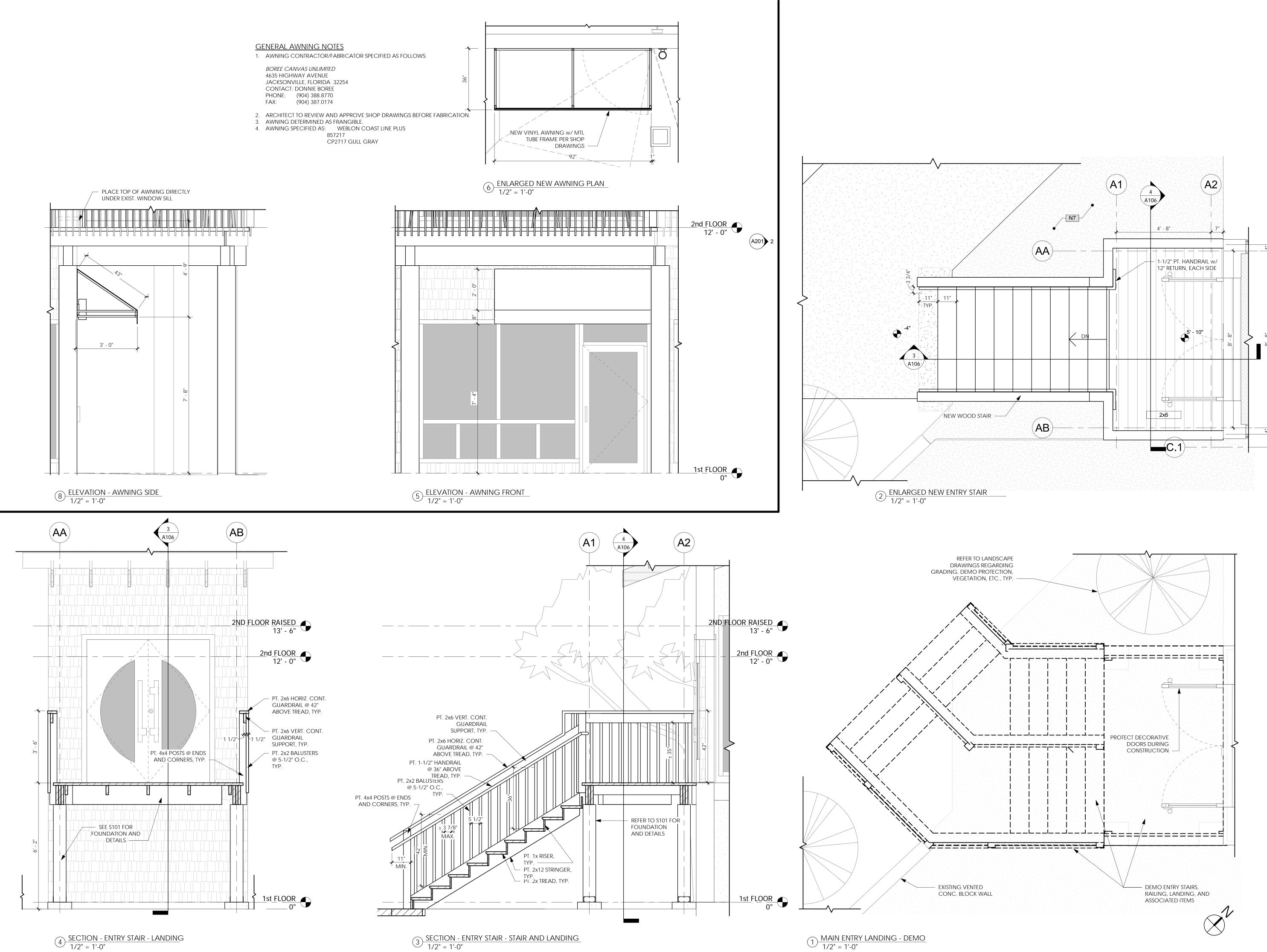
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5.3.2017 ROOF PLAN SHEET:



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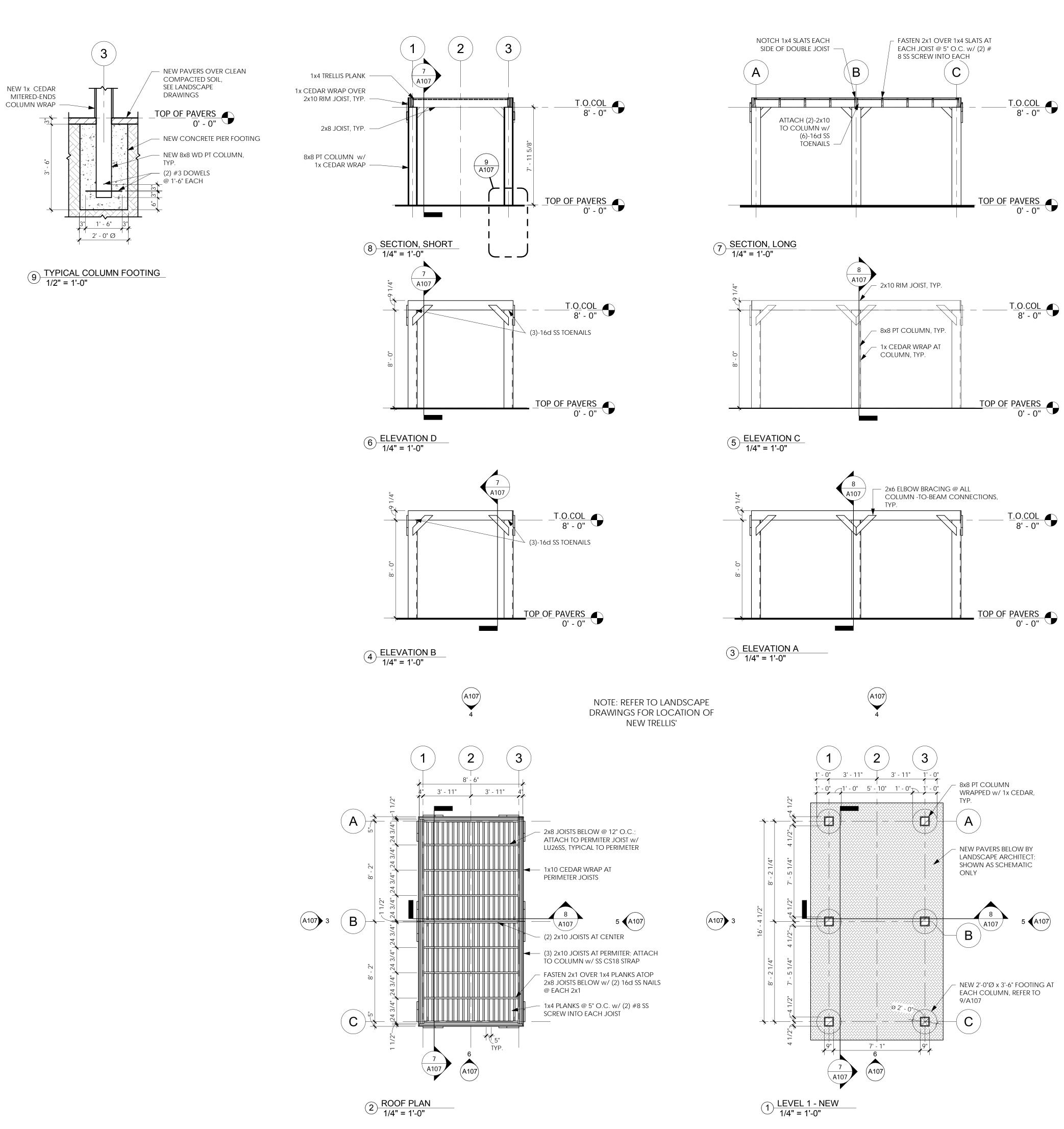
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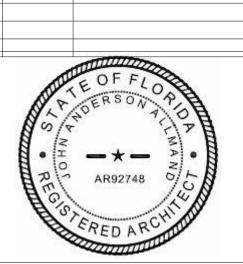
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PLANS, ELEVATIONS, SHEET: -SECTIONS-

5.3.2017



1) ENLARGED UNISEX RESTROOM 1/2" = 1'-0"



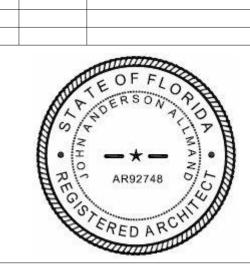
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DATE:

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5.3.2017

PLUMBING NOTES

GENERAL REQUIREMENTS:

1. GENERAL AND SPECIAL CONDITIONS: GENERAL AND SPECIAL CONDITIONS ARE HEREBY MADE AN INTERGAL PART OF THIS DIVISION OF THE SPECIFICATIONS INSOFAR AS SAME ARE APPLICABLE TO THE WORK UNDER THIS DIVISION AND UNLESS OTHERWISE SPECIFIED.

2. SCOPE: PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WOTH ALL APPLICABLE CODES.

3. PERMITS: APPLY FOR AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION.

4. WARRANTY: PROVIDE ALL MATERIALS AND EQUIPMENT UNDER THIS SECTION OF THE SPECIFICATIONS WITH A ONE YEAR WARRANTY FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER.

5. COORDINATION: VERIFY ALL ROUGH IN LOCATIONS AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, CONDUIT, PIPING, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO CHARGE TO THE OWNER. COORDINATE INSTALLATION OF ALL PLUMBING LINES AT CMU WALLS SO THAT PLUMBING LINES ARE PLACED IN WALL DURING CMU WALL CONSTRUCTION.

6. FIELD VERIFICATION: FIELD VEREFY EXISTING CONDITION BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPENCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR POTENTIAL PROBLEMS OBSERVED BEFORE CONTINUING WORK IN THE EFFECTED AREAS.

7. PLUMBING SYSTEMS INCLUDE BUT ARE NOT LIMITED TO: - PLUMBING FIXTURES AND EQUIPMENT -FIRE STOPPING -DOMESTIC WATER SYSTEM

-SANITARY WASTE AND VENT SYSTEM 8. WHERE APPLIED, PIPE TO PENETRATE CONCRETE FLOOR.

1. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPES, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.

DOEMSTIC WATER PIPING

1. FURNISH AND INSTALL A COMPLETE SYSTEM OF COLD WATER AND WASTE PIPING FROM EXISTING SUPPLIES TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING THIS SERVICE. VERIFY LOCATION OF BEGINNING POINTS.

2. DOMESTIC WATER PIPING BELOW GRADE:

SOFT ANNEALED SEAMLESS COPPER TUBING, TYPE 'K' WITH NO JOINTS (ASTM B 88). (PVC ACCEPTABLE ALTERNATIVE)

3. DOMESTIC WATER PIPING AND JOINTS ABOVE GRADE: HARD DRAWN SEAMLESS COPPER TUBING TYPE 'L' WITH 95-5 SILVER SOLDERED JOINTS (ASTM B 88). (PVC ACCEPTABLE ALTERNATIVE)

4. STERELIZE THE DOMESTIC WATER PIPING IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.

5. INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH ENGINEERED POLYMER FOAM INSULATION OR FIBERGLASS WITH FITTING INSRTS AND PVC COVERS. FOLLOW THIS SCHEDULE:

DOMESTIC COLD WATER ALL

7. DOMESTIC WATER PIPING INSTALLATION, JACKETS COVERING SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAM-SPREADING RATING OF 25 OR LESS AND A SMOKE-DEVELOPED RATING OF 50 OR LESS, AS TESTED BY ASTM E84 (NFPA 255) METHOD

8. DO NOT INSTALL DOMESTIC WATER PIPING IN AREAS SUBJECT TO FREEZING TEMPERATURES. INSTALL WATER PIPING IN EXTERIOR

ELECTRICAL NOTES

GENERAL NOTES:

G1: ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL AND STATE CODES.

G2: ALL MATERIAL, EQUIPMENT AND APPLIANCES SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS OF THE UNDERWRITER'S LABORATORIES, INC., AND THE NATIONAL MANUFACTURERS ASSOCIATION.

G3: ALL ELECTRICAL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL

G4: ELECTRICAL CONTRACT DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT. DO NOT SCALE ELECTRICAL PLANS. OBTAIN ALL DIMENSIONS FROM THE ARCHITECT'S DIMENSIONED DRAWINGS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL PLANS FOR DOOR SWINGS AND BUILT-IN EQUIPMENT; CONDITIONS INDICATED ON THOSE PLANS SHALL GOVERN FOR THIS WORK.

G5: VERIFY ALL REQUIREMENTS AND COORDINATE EXACT LOCATION OF INCOMING ELECTRICAL SERVICE WITH LOCAL POWER COMPANY PRIOR TO PROJECT START. NOTIFY ENGINEER OF ANY CHANGES.

G6: ELECTRICAL CONTACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR EFFECTIVE FROM THE DATE OF SUBSTANTIAL COMPLETION.

G7: A COMPLETE GROUNDING SYSTEM SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF THE NEC, AND AS SHOWN ON THE DRAWINGS.

G8: ALL CUTTING AND PATCHING REQUIRED FOR INSTALLATION OF ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF GTHE ELECTRICAL CONTRACTOR. DO NOT CUT ANY MATERIAL THAT WILL WEAKEN THE STRUCTURE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. PATCHING SHALL BE ACCOMPLISHED TO MATCH ADJACENT SURFACES IN EVERY RESPECT. ENGAGE ORIGINAL INSTALLER FOR CUTTING/PATCHING OF

G9: PROVIDE A TYPED DIRECTORY IN ALL PANELBOARDS CLEARLY DESCRIBING THE LOCATION AND TYPE OF LOAD SERVED FOR ALL CIRCUITS.

G10: PROVIDE ENGRAVED PHENOLIC NAMEPLATES FOR ALL PANELBOARDS AND DISCONNECT SWITCHES, WHITE LETTERS ON BLACK BACKGROUND. NAMEPLATE SHALL CONTAIN EQUIPMENT DESIGNATION, VOLTAGE, FEEDER SOURCE & DATE INSTALLED.

G11: PROVIDE "FLASH HAZARD" LABELS FOR ALL PANELBOARDS IN ACCORDANCE WITH NEC REQUIREMENTS.

G12: ALL TERMINALS/LUGS SHALL BE 60 DEGREE/75 DEGREE RATED.

G13: FUSES 0-600 AMPS SHALL BE UL CLASS "RK-5" LOW PEAK DUAL ELEMENT TIME DELAY WITH 200,000 AMPERE INTERRUPTING RATING AS MANUFACTURED BY BUSSMAN UNLESS NOTED OTHERWISE.

G14: ALL WATER HEATERS SHALL HAVE DISCONNECT SIZED PER 422.11(E)(3).

G15: ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL ELECTRICAL CONNECTIONS TO EQUIPMENT REGARDLESS OF WHO SUPPLIES THE EQUIPMENT. THIS INCLUDES ALL HVAC, PLUMBING AND OWNER FURNISHED EQUIPMENT CONNECTIONS OF 120V OR HIGHER.

G16: RACEWAYS SHALL BE INSTALLED CONCEALED IN NEW WALL CONSTRUCTION, ABOVE CEILINGS, BELOW FLOOR, AND IN OTHER CAVITIES TO THE GREATEST EXTENT POSSIBLE. WHERE EXPOSED RACEWAYS MUST BE USED, LAYOUT RACEWAYS TO MINIMIZE THE NUMBER OF VERTICAL RUNS.

G17: ALL EXPOSED RACEWAY SHALL BE RUN PARALLEL OR PERPENDICULAR TO THE BUILDING SURFACES AND SHALL BE PAINTED AS DIRECTED BY THE ARCHITECT. NO EXPOSED CONDUIT SHALL BE ALLOWED IN FINISHED SPACES EXCEPT AS PERMITTED BY OWNER OR ARCHITECT. EXPOSED RACEWAY IN FINISHED SPACES SHALL BE WIREMOLD TYPE.

G18: BEFORE COMMENCING WITH ANY ROUGH-IN, COORDINATE THE EXACT LOCATION AND MOUNTING HEIGHT OF ALL WALL MOUNTED DEVICES WITH THE ARCHITECTURAL INTERIOR ELEVATIONS, CASEWORK SHOP DRAWINGS, AND EXISTING CONDITIONS. IF ANY DISCREPENCIES ARE DISCOVERED, NOTIFY THE ARCHITECT FOR FURTHER DIRECTION. MINOR ADJUSTMENTS IN DEVICE LOCATION, I.E. 5'0" IN ANY DIRECTION SHALL BE DONE AT NO ADDITIONAL COST TO THE CONTRACT.

G19: ALL WIRING SHALL BE INSTALLED IN IMC, RMC, EMT, OR TYPE AC FLEXIBLE CABLE. RNC CONDUIT (PVC), SHALL ONLY BE USED UNDERGROUND AND OUTDOORS, WHERE NOT SUBJECT TO PHYSICAL DAMAGE. MINIMUM SIZE CONDUIT SHALL BE 1/2". AC FLEXIBLE CALBE SHALL BE USED ONLY IN AREAS PERMITTED BY

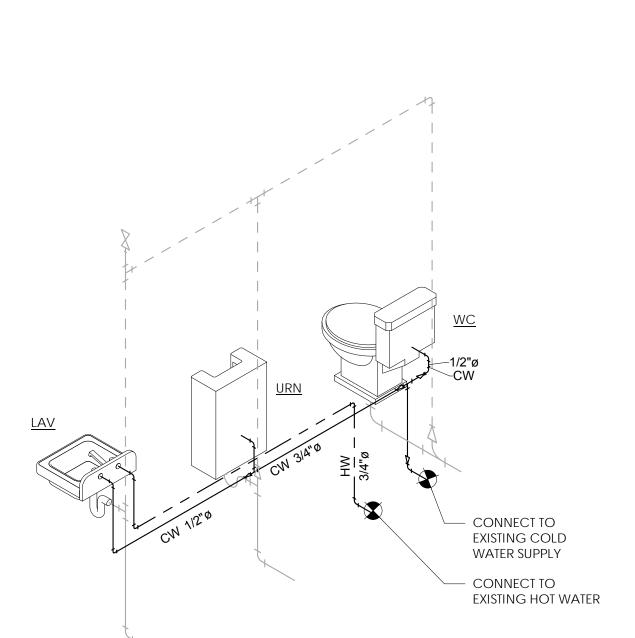
G20: ALL FLEX SHALL BE LIQUID TIGHT FLEXIBLE METAL.

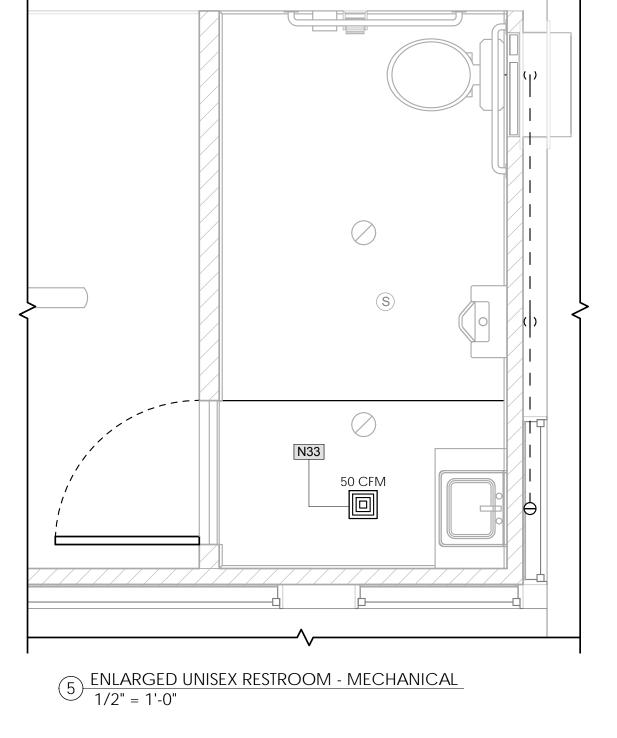
G21: PROVIDE A PULL WIRE OR FISH TAPE IN ALL EMPTY CONDUITS, PROVIDE A BLANK COVER PLATE OVER ALL UNUSED BOXES INCLUDING DATA/COMM BOXES.

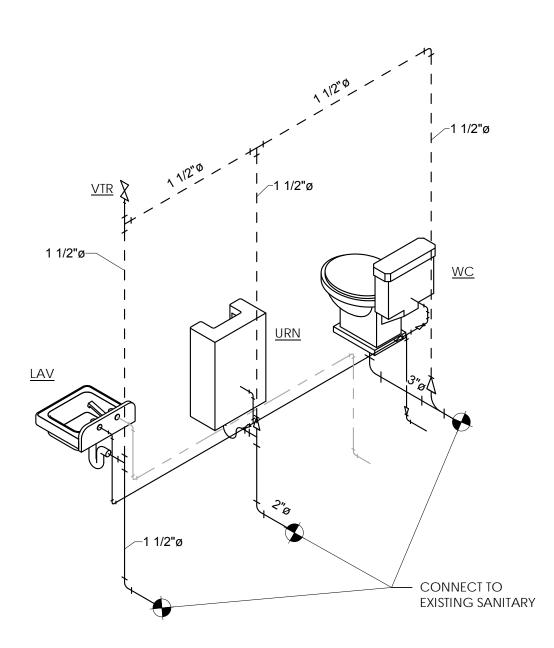
G22: WHERE A HOMERUN IS SHOWN THE CIRCUIT SHALL BE INSTALLED IN A DEDICATED CONDUIT, DO NOT COMBINE WITH OTHER CIRCUITS, WHERE A CIRCUIT HOMERUN IS NOT SHOWN THE CONTRACTOR SHALL COMBINE CIRCUITS AS FOLLOWS AND IN ACCORDANCE WITH THE NEC:

A MAXIMUM OF THREE 20A, 1 POLE BRANCH CIRCUITS MAY BE COMBINED IN A COMMON HOMERUN Sharing a common neutral or with separate neutrals, for a total of six current carrying CONDUCTORS. ALL BRANCH CIRCUITS LARGER THAN 20A SHALL BE SEPARATELY HOMERUN TO PANEL.

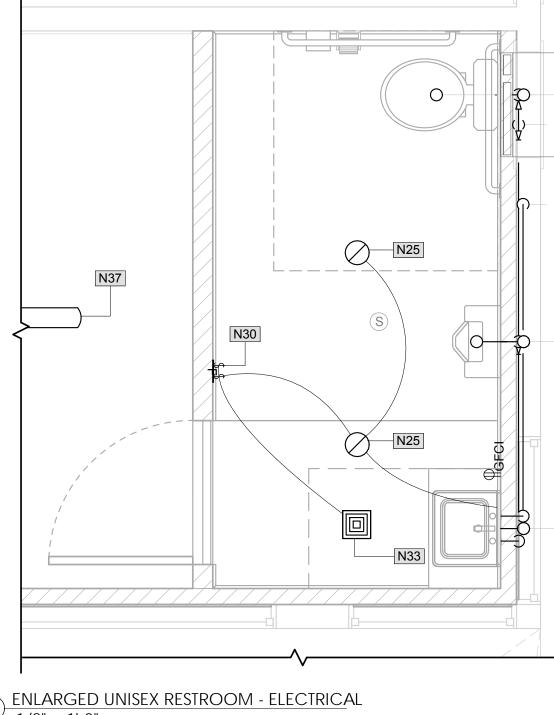
G23: ALL OUTLETS ARE 18" ABOVE FINISHED FLOOR (AFF) UNLESS NOTED OTHERWISE



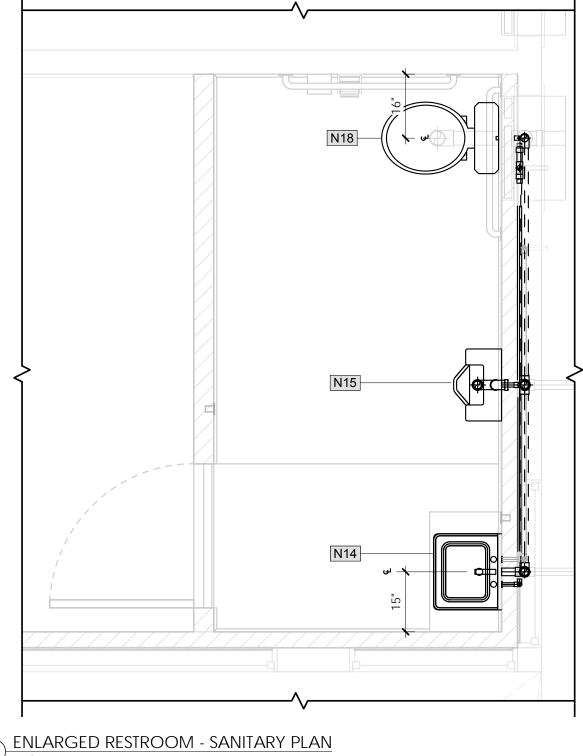








4 ENLARGED UNISEX RESTROOM - ELECTRICAL 1/2" = 1'-0"



TENLARGED RESTROOM - SANITARY PLAN



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P: (904) 379-5108

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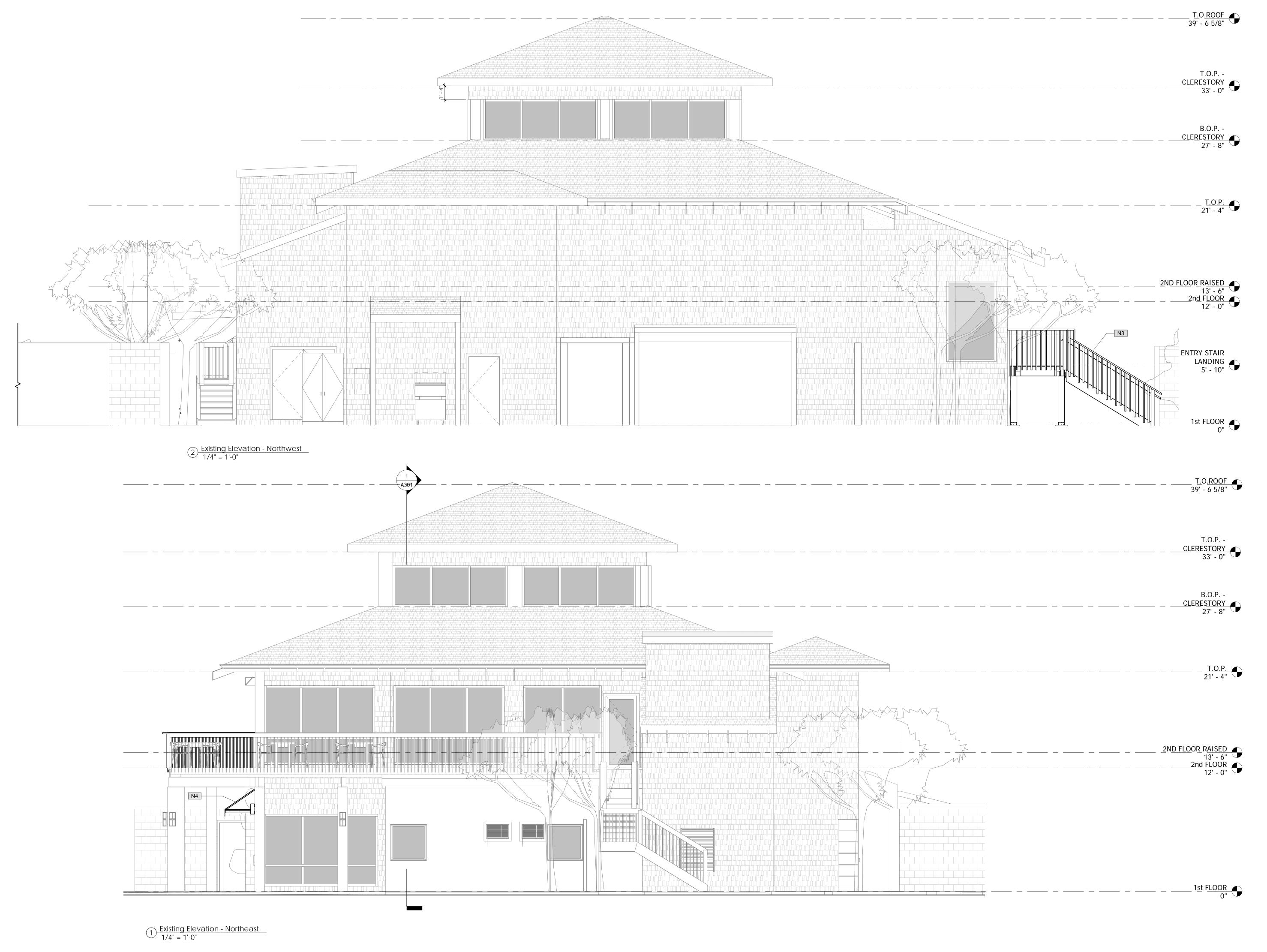
REVISIONS DESCRIPTION 10.18.2016 OWNER COMMENTS 11.22.2016 REVIEW COMMENTS 11.22.2016 OWNER COMMENTS

> 5.3.2017 ADA UNISEX RESTROOM

15-050

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ASS CABANA CLUE

REVISIONS

DATE DESCRIPTION

DESCRIPTION

AR92748

DATE: 5.3.2017

SHEET: ELEVATIONS

Platform Section
1/4" = 1'-0"



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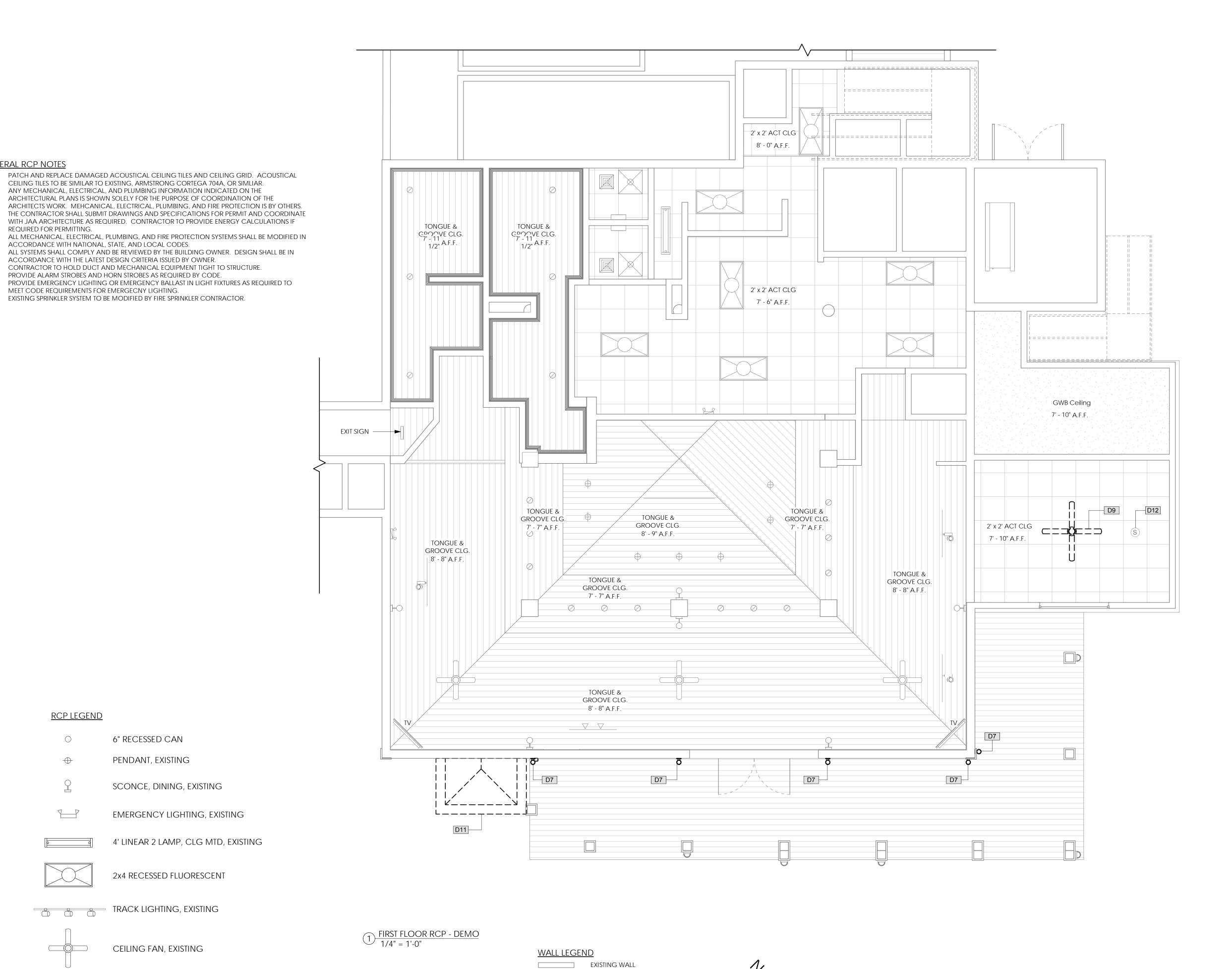
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CABANA CLU

SAWGRASS CAB 619 PONTE VEDRA PONTE VEDRA BEACH

		REVISIONS
#	DATE	DESCRIPTION
	A REGIS	E OF FLORIDA AND AR92748 AR92748 AR92748
DA	TE:	5.3.2017
SHE	EET:	BUILDING SECTION



DEMO WALL

NEW LOW WALL NEW FULL HEIGHT PARTITION

GENERAL RCP NOTES

CEILING TILES TO BE SIMILAR TO EXISTING, ARMSTRONG CORTEGA 704A, OR SIMLIAR.

ANY MECHANICAL, ELECTRICAL, AND PLUMBING INFORMATION INDICATED ON THE

CONTRACTOR TO HOLD DUCT AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE.

ACCORDANCE WITH NATIONAL, STATE, AND LOCAL CODES.

MEET CODE REQUIREMENTS FOR EMERGECNY LIGHTING.

RCP LEGEND

6" RECESSED CAN

PENDANT, EXISTING

SCONCE, DINING, EXISTING

2x4 RECESSED FLUORESCENT

CEILING FAN, EXISTING

FLATSCREEN TV, CLG MTD, EXISTING

TRACK LIGHTING, EXISTING

EMERGENCY LIGHTING, EXISTING

4' LINEAR 2 LAMP, CLG MTD, EXISTING

ACCORDANCE WITH THE LATEST DESIGN CRITERIA ISSUED BY OWNER.

PROVIDE ALARM STROBES AND HORN STROBES AS REQUIRED BY CODE.

EXISTING SPRINKLER SYSTEM TO BE MODIFIED BY FIRE SPRINKLER CONTRACTOR.

ARCHITECTURE-INC

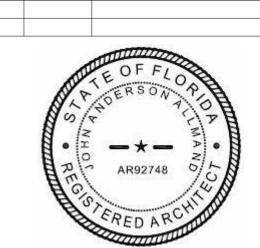
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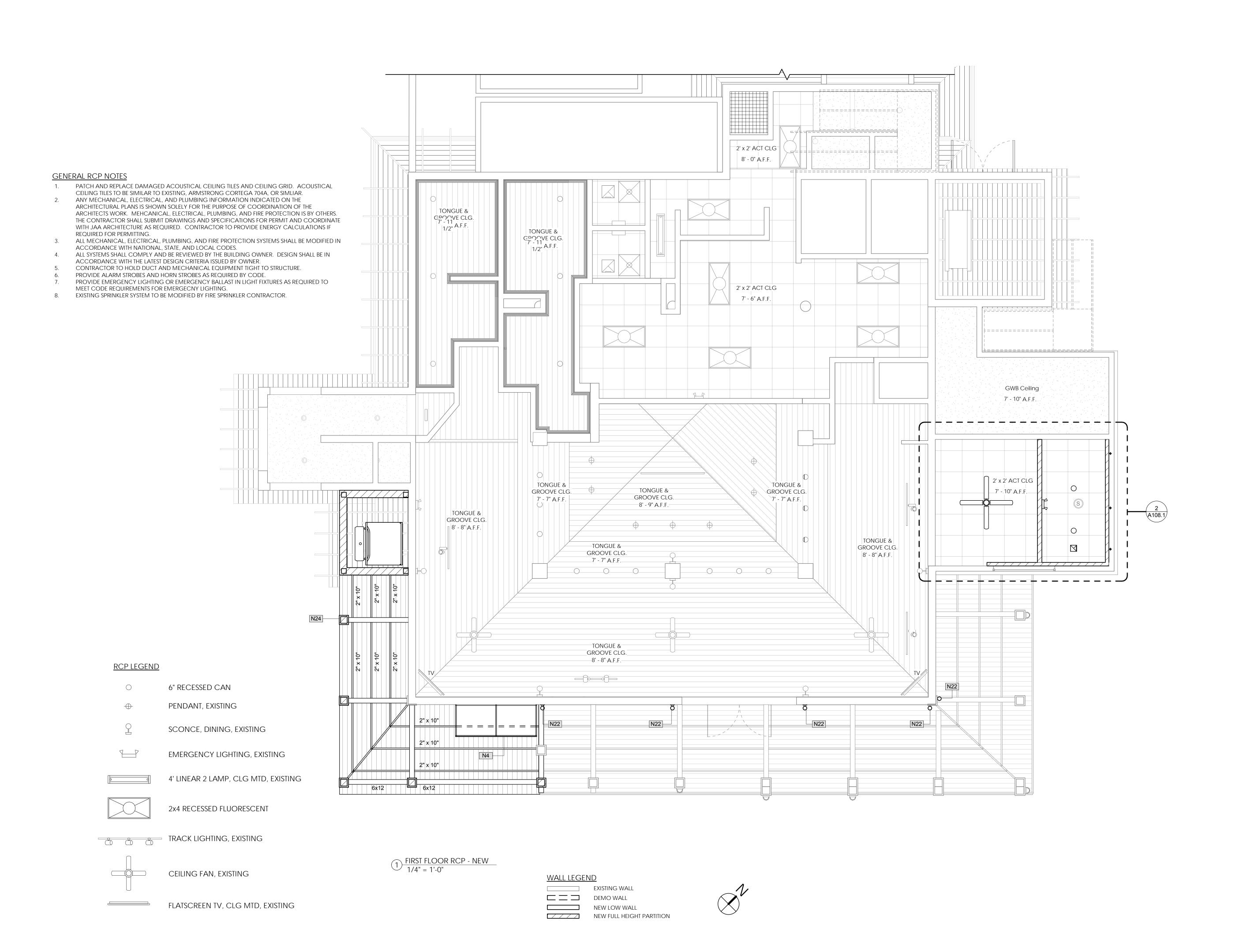
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REVISIONS DESCRIPTION # DATE 1 | 10.18.2016 | REVIEW COMMENTS



5.3.2017 SHEET: DEMO REFLECTED CEILING PLAN - FIRST FLOOR

15-050





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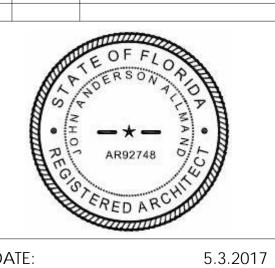
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RASS CABAND CLUE 619 PONTE VEDRA BLVD

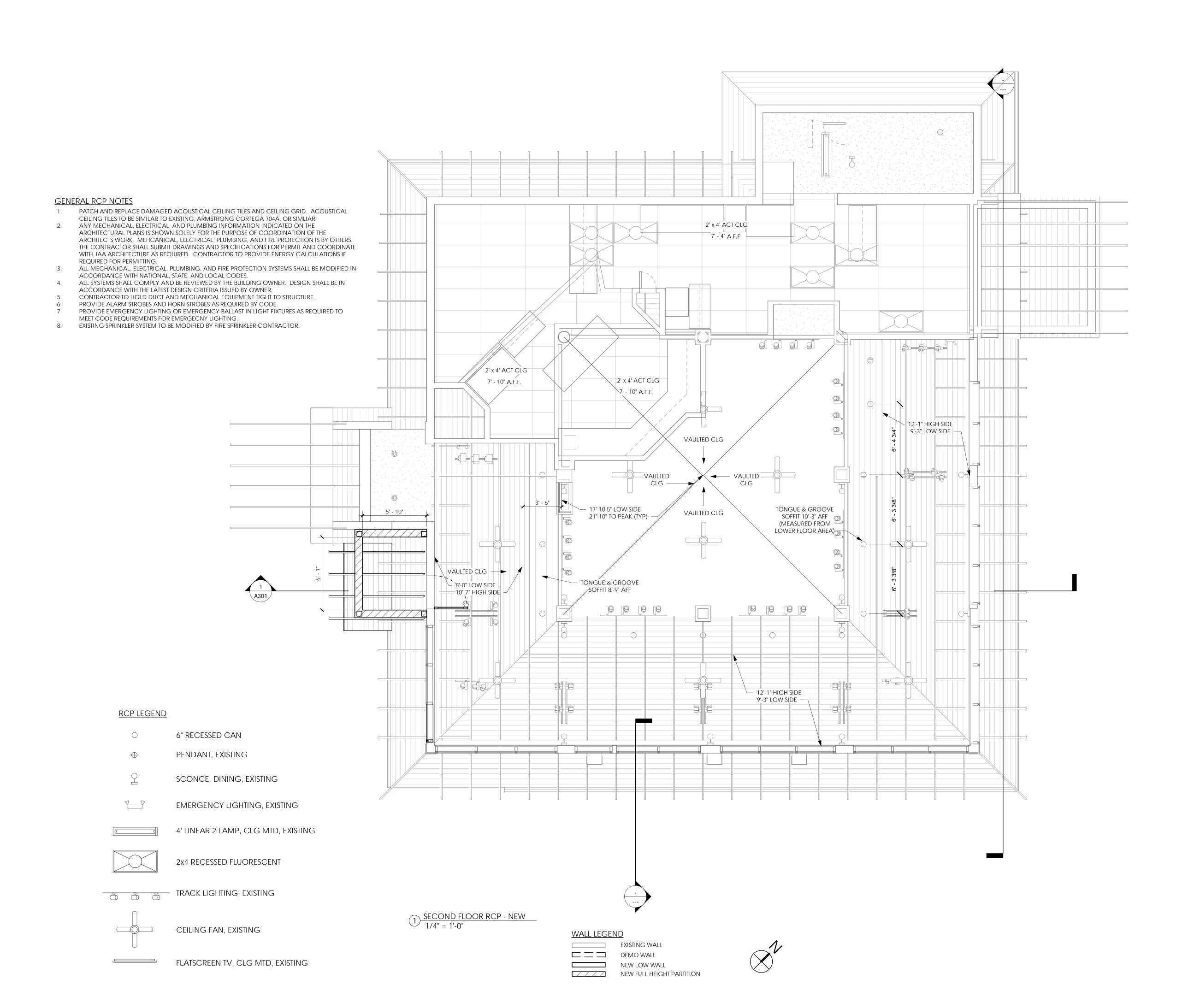
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1 11.22.2016 REVIEW COMMENTS



SHEET: NEW REFLECTED CEILING
PLAN - FIRST FLOOR





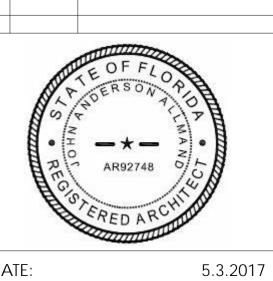
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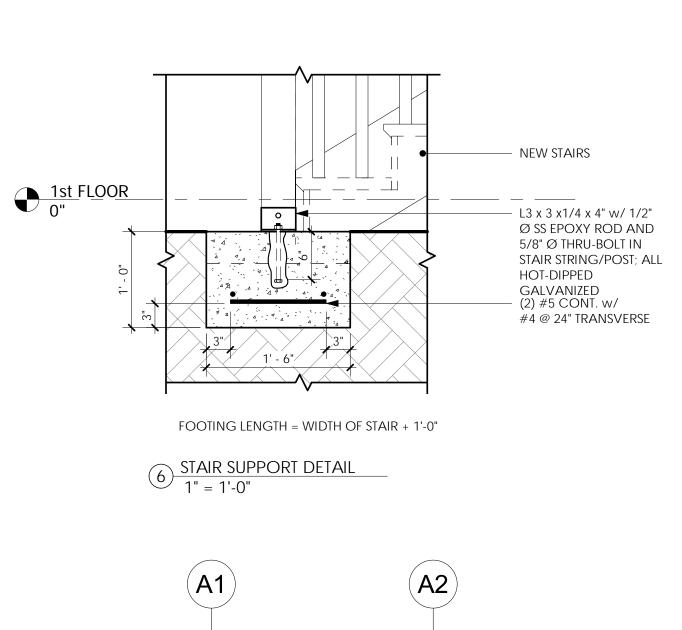
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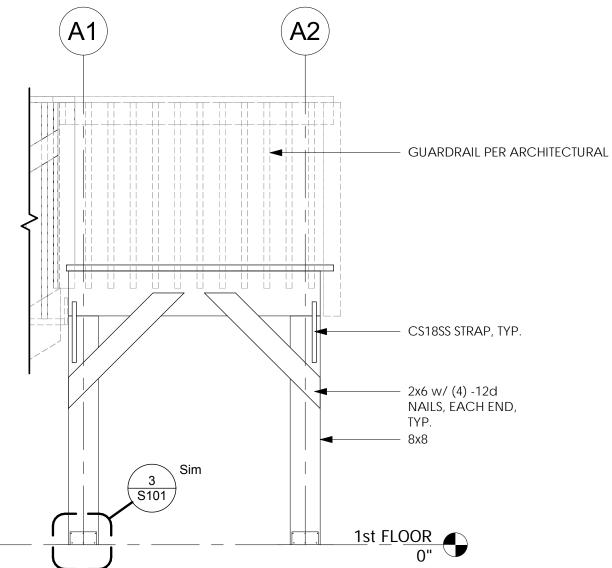
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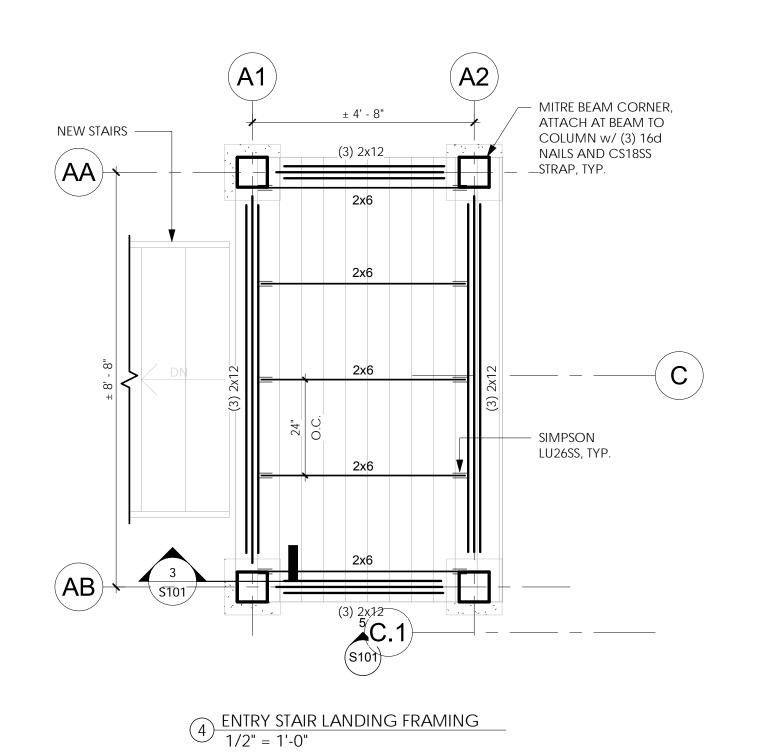


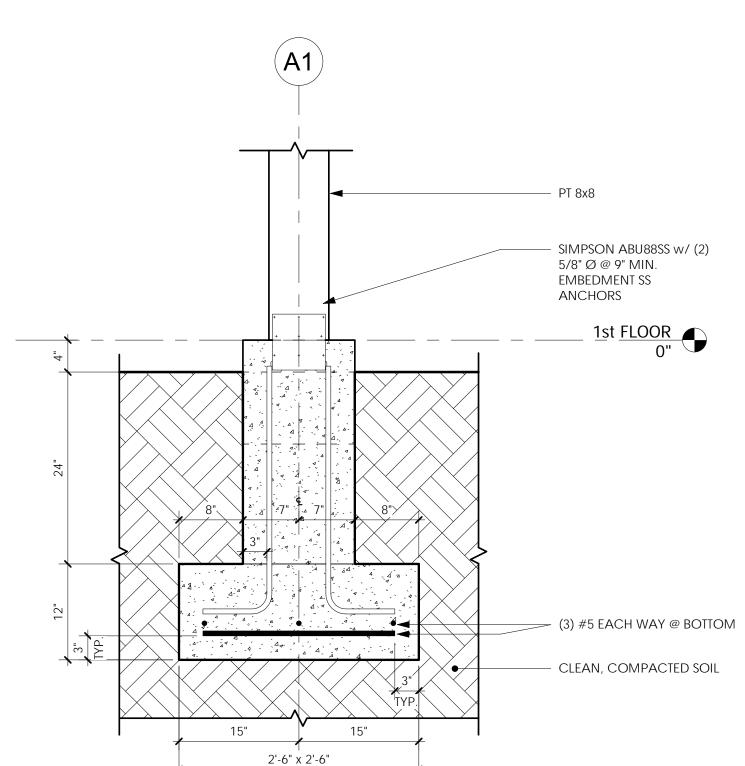
NEW REFLECTED CEILING PLAN - SECOND FLOOR



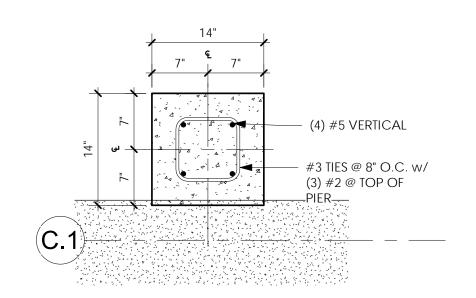


5 ENTRY STAIR FRAMING ELEVATION 1/2" = 1'-0"

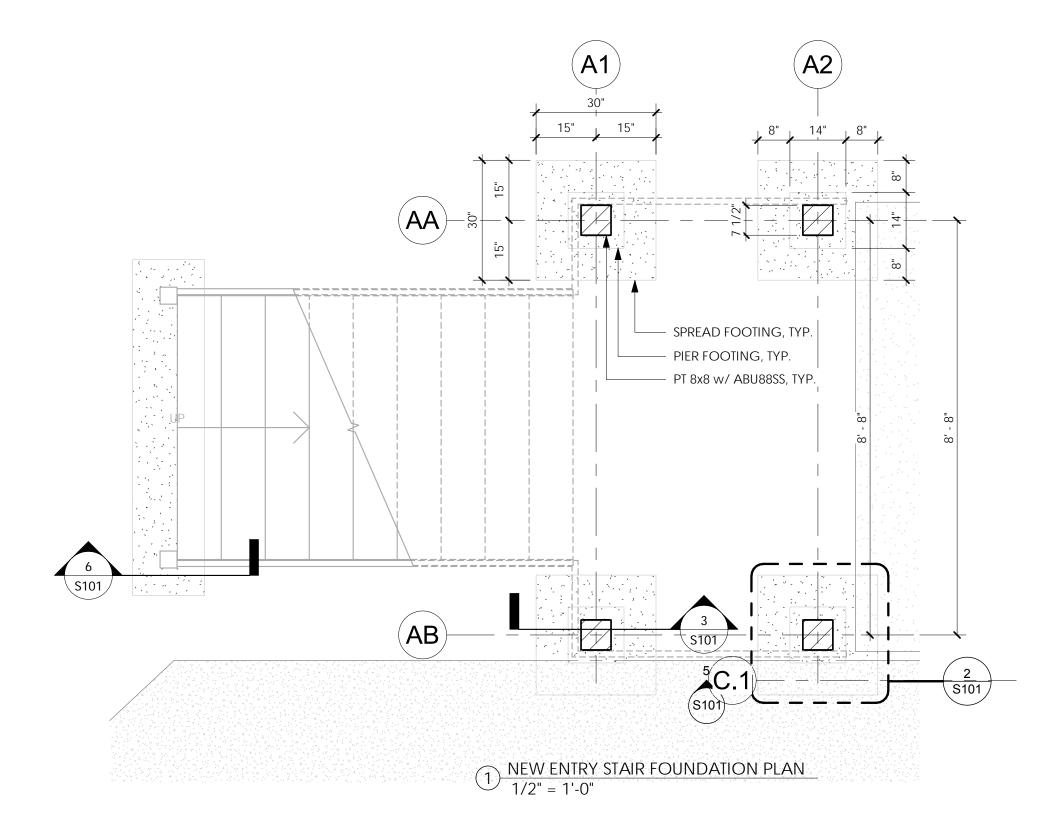




 $3 \frac{\text{TYPICAL PT 8x8 FOOTING SECTION}}{1" = 1'-0"}$



2 TYPICAL PIER FOOTING @ PT 8x8 COLUMN 1" = 1'-0"





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> 5.3.2017 ENLARGED FOUNDATION
> PLANS AND DETAILS

S101