NEW RENOVATION

SAWGRASS CABANA CLUB

619 PONTE VEDRA BLVD, PONTE VEDRA BEACH, FL 32082



JAA ARCHITECTURE

2716 ST JOHN'S AVE JACKSONVILLE FL. 32205 AR 92748 904.379.5108

SYMBOLS GENERAL NOTES FIRE MARSHAL NOTES CODE SUMMARY

ABBREVIATIONS ABOVE FINISHED FLOOR KNEE SPACE ACOUSTIC CELLING TILE LAMINATED VENEER LUMBER ADHESIVE AD JUSTARI F LAVITORY LEADER AIR CONDITIONING AI TERNATE LIGHT GAUGE MTL FRAMING AMPHERE ANCHOR BOLT LOCATION ANODIZED APPROVED LOW POINT ARCHITECT (URAL) MARBI F MARKER BOARD MASONRY OPENING MATERIAL BEARING PLATE MECHANICAL BENCH MARK MEDIUM MEDIUM DENSITY FIBER BOARD MEDIUM DENSITY OVERLAY MEMBRANE BLOCKING METAL THRESHOLD BOTTOM MILLIMETER MINIMUM MISCELL ANEOUS MODULAR MOUNTED MULLION NATIONA NATIONAL GEODETIC VERTICAL DATUM CASED OPENNING CAST IRON NORTH NOT TO SCALE NUMBER OBSCURE ON CENTER CHAMFER OCCUPANT CHILLED WATER OPERABLE COLD WATER OPTIONAL COLUMN ORIENTED STRAND BOARD OUTSIDE DIAMETER CONCRETE CONCRETE MASONRY UNIT OVERHEAD DOOR OVERHEAD GARAGE DOOR PARKING COUNTER PAVEMENT COURSE(S) CUBIC FEFT PLASTIC LAMINATE CUBIC YARD PLUMBING POLYVINYL CHLORIDE PIPE DEPARTMENT POUND POUNDS PER SQUARE FI DIAMFTER DIMENSION PREFAB PREFABRICATED DIRECTOR' PRESSURE TREATER DOOR OPENING DOUBLE ACTING **DOVETAIL SLOT** RECEPTOR RECTANGLE REFLECTED CEILING PLAN REFRIGERATOR **BUILDING SECTION** REINFORCEMENT DRINKING FOUNTAIN RETURN AIR ELECTRIC PANEL RISER (STAIR ELECTRIC WATER HEATER ROOF DRAIN **ROOF HATCH** EMERGENCY **ROUGH OPENING** FNGINFFR **ELEVATION MARK** RUBBER TILE EQUIPMENT SECTION **EXPANSION BOLT EXPANSION JOINT** SHEATHING **EXTERIOR**

EXTERIOR INSULATION FINISH SYSTEM SIM

FACE OF STUD

FINISH FLOOR ELEVATION

FIRE EXTINGUISHER

FIRE HOSE CABINET

FIREPROOFING

FLOOR DRAIN

FURNISH AND INSTALL

GENERAL CONTRACTOR

GROUND FAULT INTERRUPTER

GYPSUM SHEATHING

HOLLOW CORE

HOLLOW METAL

INSIDE DIAMETER INTERIOR

HOSE BIB

JOIST

HOT WATE

GYPSUM WALL BOARD

FLOOR

FUTURE

GALVANIZED

GRAB BAR

FIRE EXTINGUISHER BOX

FIRE RETARDANT TREATED

SIMILAR

SLAB ON GRADE

SMOKE DETECTOR

SOLID SURFACE

SPECIFICATION

STAINLESS STEE

STANDARD

STORM DRAIN

SUSPENDED

TACKBOARD

TEMPERED

TYPICAL

TONGUE AND GROOVE

UNLESS NOTED OTHERWISE

TOP OF WINDOW

VAPOR BARRIER

VENEER PLASTER

VENT THRU ROOF

VERIFY IN FIELD

WALK-IN CLOSET WASHING MACHINE WATERPROOF

WELDED WIRE MESH

VESTIBULE

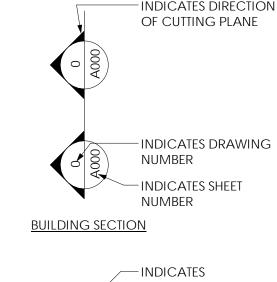
VINYL BASE

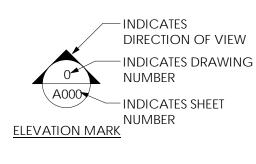
VINYI TILF

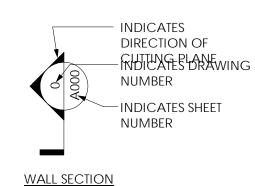
WINDOW

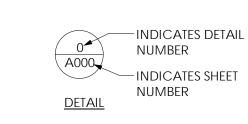
SYMBOL

DESIGNATION -DOOR NUMBER WINDOW TYPE PARTITION **ACCESSORIE** REVISION CLOUD - REVISION NUMBER **ARROW** INDICATES DIRECTION









A-INTENT & USE OF CONSTRUCTION DOCUMENTS

1. THE PURPOSE OF THESE DOCUMENTS IS TO CONVEY DESIGN INTENT ONLY. THE CONTRACTOR SHALL A) BE SOLELY RESPONSIBLE FOR COMPLIANCE WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK, B) PROMPTLY NOTIFY ARCHITECT IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, AND C) OBTAIN ALL REQUISITE BUILDING AND OTHER PERMITS REQUIRED IN CONNECTION WITH THE WORK.

2. THE CONTRACTOR WILL BE PRESUMED TO HAVE INSPECTED THE SITE AND TO HAVE READ AND TO BE THOROUGHLY FAMILIAR WITH THE DRAWINGS AND SPECIFICATIONS. THE FAILURE OR OMISSION OF ANY CONTRACTOR TO EXAMINE ANY FORM, INSTRUMENT OR DOCUMENT SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM ANY OBLIGATION IN RESPECT TO HIS WORK.

3. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT CONTRACT DOCUMENTS, OR WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLE FOR SUCH PORTION OF THE WORK.

4. THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK DECISIONS OF ARCHITECT AS TO THE ITEMS OF WORK INCLUDED WITHIN THE SCOPE OF THESE DOCUMENTS SHALL BE FINAL AND BINDING ON THE CONTRACTOR AND THE OWNER.

5. THE ARCHITECT RESERVES THE RIGHT TO REJECT ITEMS INCORPORATED INTO THE WORK WHICH FAIL TO MEET THE SPECIFIED MINIMUM REQUIREMENTS. THE ARCHITECT FURTHER RESERVES THE RIGHT, AND WITHOUT PREJUDICE TO OTHER RECOURSE. ARCHITECT MAY OR MAY NOT ACCEPT NON-COMPLYING ITEMS SUBJECT TO ANY ADJUSTMENT IN THE CONTRACT AMOUNT AS APPROVED BY THI ARCHITECT AND/OR THE OWNER.

B-PERMITS, FEES, TAXES, & NOTICES

1. THE CONTRACTOR SHALL PAY ALL SALES, CONSUMER, AND OTHER SIMILAR TAXES FOR THE WORK OR PORTIONS THEREOF PROVIDED BY THE CONTRACTOR WHICH ARE LEGALLY ENACTED AT THE TIME OF CONSTRUCTION.

2. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND FOR ALL OTHER PERMITS AND GOVERNMENTAL FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK

3. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.

4. THE CONTRACTOR SHALL EXERCISE REASONABLE EFFORT TO MAKE CERTAIN THAT THE CONTRACT DOCUMENTS ARE IN ACCORDANCE WITH APPLICABLE LAWS, STATUTES, BUILDING CODES AND REGULATIONS. IF THE CONTRACTOR OBSERVES THAT ANY OF THE CONTRACT DOCUMENTS ARE AT VARIANCE THEREWITH IN ANY RESPECT, HE SHALL PROMPTLY NOTIFY ARCHITECT IN WRITING AND ANY NECESSARY CHANGES SHALL BE ACCOMPLISHED BY APPROPRIATE

5. IF THE CONTRACTOR PERFORMS ANY WORK KNOWING IT TO BE CONTRARY TO SUCH LAWS, ORDINANCES, RULES AND REGULATIONS, AND WITHOUT SUCH NOTICE TO DESIGNER, HE SHALL ASSUME FULL RESPONSIBILITY THEREFORE AND SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO.

C-COORDINATION & SUPERVISION

1. ALL WORK TO BE SCHEDULED DURING REGULAR BUSINESS HOURS UNLESS NOTED OTHERWISE.

2. CONTRACTOR TO PROVIDE ADVANCE NOTIFICATION TO TENANT'S REPRESENTATIVE WHEN TENANT OR THEIR CONTRACTOR(S) ARE REQUIRED AT JOB SITE FOR COORDINATION MEETINGS OR INSTALLATIONS.

3. UPON COMPLETION OF THE WORK, THE CONTRACTOR TO NOTIFY BUILDING OWNER REPRESENTATIVE THAT THE PROJECT IS READY FOR INSPECTION. OWNER/REP WILL COMPILE A "PUNCH LIST" OF CORRECTIONS NEEDED OF UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE SUCCESSFUL COMPLETION OF THE PUNCH LIST.

4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND SHALL COORDINATE ALL PORTIONS OF THE

5. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF THE CONTRACTOR'S EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES. AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.

6. THE CONTRACTOR TO, AT ALL TIMES, KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEPT CLEAN DAILY.

7. THE CONTRACTOR TO PROVIDE FINAL CLEANING OF ALL AREAS OF WORK INCLUDING THE CONSTRUCTION ACCESS ROUTE. FINAL CLEANING TO INCLUDE WINDOWS AND CEILINGS.

D-LABOR, MATERIALS, & WARRANTY

1. UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.

2. THE CONTRACTOR SHALL AT ALL TIMES ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTOR'S EMPLOYEES AND SHALL NOT EMPLOY ON THE WORK ANY UNFIT PERSON OR ANYONE NOT SKILLED IN THE TASK ASSIGNED THEM.

3. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENT LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.

4. CONTRACTOR AND SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DOCUMENTS AND MUST NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS PRIOR TO PROCEEDING WITH THE WORK.

5. EACH TRADE WILL BE EXPECTED TO PROCEED IN A FASHION THAT WILL NOT DELAY OTHER TRADES.

6. THE CONTRACTOR IS RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.

7. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. LARGER SCALE DRAWINGS TO GOVERN OVER SMALLER SCALE DRAWINGS.

8. DIMENSIONS ARE TO THE FINISHED FACE OF NEW CONSTRUCTION DIMENSIONS ARE NOMINAL UNLESS OTHERWISE INDICATED.

9. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR IS RESPONSIBLE TO GET CLARIFICATION AND DIRECTION FROM ARCHITECT PRIOR TO PROCEEDING WITH

10. THE CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK UNLESS OTHERWISE NOTED.

11. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE BLOCKING FOR WALL SUPPORTED ELEMENTS INCLUDING MILLWORK, EQUIPMENT, FIXTURES AND FURNITURE. CONTRACTOR TO VERIFY EXTENT AND COORDINATE WITH APPROPRIATE SUBCONTRACTORS.

12. ALL MATERIALS TO BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT TO BE STORED AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN RECOMMENDATIONS AND INSTRUCTIONS.

11. THERE WILL BE NO SUBSTITUTIONS OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, ARCHITECT TO DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE

12. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS FOR THE TYPE OF MATERIAL AND INSTALLATION SPECIFIED.

13. PAINT TO BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS OVER PROPERLY PREPARED SURFACES. WALLS TO BE STRAIGHT AND SMOOTH. PROVIDE MINIMUM ONE COAT PRIME AND ONE FINISH COAT. FINISHED COAT TO COMPLETELY COVER WITH NO STREAKING OR BLEEDING OF UNDERCOATS.

14. MILLWORK TO CONFORM WITH AWI STANDARDS FOR PREMIUM GRADE MILLWORK. DRAWINGS INDICATE DESIGN INTENT. FABRICATOR IS RESPONSIBLE FOR MILLWORK ENGINEERING.

15. DRYWALL CONTRACTOR TO CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER TRADES. WHERE DRYWALL IS IN CONFLICT WITH DUCTWORK, PLUMBING LINES, ETC. THIS CONTRACTOR TO PROVIDE ALL NECESSARY BRIDGING AND BRACING REQUIRED TO SECURE DRYWALL AND TO MAINTAIN FIRE OR SOUND RATING WHERE REQUIRED.

16. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION. ALL WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED, MAY BE CONSIDERED DEFECTIVE.

E- INSTALLATION NOTES (MAY NOT APPLY)

OF SPECIFIED FINISHES.

1. ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT TO OPERATE QUIETLY AND BE FREE OF VIBRATION.

HOLD DUCTS AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE ABOVE. 3. THE CONTRACTOR SHALL NOT LOCATE CEILING DIFFUSERS OR REGISTERS

2. UNLESS OTHERWISE NOTED IN MECHANICAL DRAWINGS OR SPECIFICATIONS,

PLANS. (IF APPLICABLE) 4. ALL CEILING DIFFUSERS AND REGISTERS TO BE THE SAME COLOR AS THE CEILING UNLESS NOTED OTHERWISE.

5. ALL SURFACES TO BE PROPERLY PRIMED OR PREPARED PRIOR TO INSTALLATION

WHERE FULL HEIGHT SHELVING, FILES OR STORAGE UNITS ARE INDICATED ON

5. PATCH ALL AREAS WHERE THE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF SPECIFIED FLOOR FINISH(-ES).

6. PROVIDE ALL NECESSARY CUT-OUTS FOR THE INSTALLATION OF ELECTRICAL AND VOICE/DATA OUTLETS, THERMOSTATS, SWITCHES AND OTHER DEVICES.

7. EXTEND ALL FIRE RATED PARTITIONS TO STRUCTURE; FILL ALL VOIDS WITH FIRE SAFING MATERIAL OR FIRE-RATED CAULK, CONTINUOUS AS REQUIRED BY CODE. 8. ALL FIRE EXTINGUISHER CABINETS OR ELECTRICAL PANELS LOCATED IN RATED

PARTITIONS TO BE BACKED WITH GYPSUM BOARD AS REQUIRED TO MAINTAIN PARTITION RATING. 9. CONTRACTOR IS RESPONSIBLE FOR FIRESTOPPING ALL NEW AND EXISTING FIRE

RATED PARTITIONS AND ALL PENETRATION THROUGH RATED AREAS INCLUDING SLABS. SEAL TO MAINTAIN PROPER RATING. 10. WHERE EXISTING FIREPROOFING HAS BEEN REMOVED AT COLUMNS OR

BEAMS, NEW FIREPROOFING TO BE INSTALLED TO COMPLY WITH THE REQUIRED

FIRE RATING. CONTRACTOR TO VERIFY IN FIELD. 11. WHERE PIPES, CONDUITS OR LOW TENSION WIRING PENETRATE A FIRE RATED ENCLOSURE, THE SPACE AROUND SHALL NOT EXCEED 1/2" AND SHALL BE PACKED SOLID WITH BATT INSULATION AND FITTED WITH ESCUTCHEON PLATES ON BOTH

SIDES OR EQUIVALENT TREATMENT TO INSURE COMPLIANCE WITH FIRE RATING.

12. WHERE DUCT OR PART OF DUCT IS RUNNING PARALLEL OVER FIRE RATED PARTITION, EXTEND RATED PARTITION AROUND DUCT TO EFFECT COMPLETE MAINTENANCE OF FIRE-RATING.

APPLICABLE CODES	FLORIDA BUILDING CODE (FBC) 2014, FLORIDA FIRE PREVENTION CODE (FFPC) 2014, FLORIDA ACCESSIBILITY CODE (FAC) 2012	
ALTERATION LEVEL	LEVEL III ALTERATION	FBC 2014 EXISTING BLDG (405.1)
OCCUPANCY TYPE	GROUP: A-2 RESTAURANT	FBC 2014(304.1)
CONSTRUCTION TYPE	TYPE V-B	FBC 2014(TABLE 601)
RISK CATEGORY	CATEGORY III	FBC 2014(TABLE 1604.5)
SPRINKLERED Y/N	Υ	,
GROSS BUILDING AREA	6,900 SF (1ST: 3,491 SF, 2ND: 3,409 SF)	
AREA OF WORK	592 SF	
ALLOWABLE BUILDING HEIGHT	35 FEET	
PROPOSED BUILDING HEIGHT	EXISTING	
ALLOWABLE # OF STORIES	EXISTING	FBC 2014(TABLE 503)
EXISTING # OF STORIES	2	150 2011(1/1522 000)
Existing # 31 01010E0		
ALLOWABLE AREA	EXISTING	FBC 2014(TABLE 502)
EXISTING AREA	EXISTING	
MEZZANINE Y/N	N	
MEANS OF EGRESS	N/A; EGRESS COMPONENTS BEING REPLACED ARE LIKE-FOR-LIKE. THESE ITEMS DO NOT HINDER, DISRUPT, OR ALTER BUILDING EGRESS.	
TOTAL OCCUPANT LOAD	165	
REQUIRED # OF EXITS	2	FBC 2014 (TABLE 1021.1)
PROPOSED # OF EXITS	5	
MINIMUM MEANS OF EGRESS WIDTH	34"	FBC 2014 (1005.1)
PROPOSED MEANS OF EGRESS WIDTH	34"	
MAX TRAVEL DISTANCE ALLOWED	205'-0"	FFPC 2014 (NFPA 101 13.2.6.2)
PROPOSED MAX TRAVEL DISTANCE	72'-11"	,
MAX COMMON PATH OF TRAVEL		
AREAS > 50 OCCUPANTS	20'-0"	FFPC 2014 (NFPA 101 13.2.5.1.2)
AREAS NOT MORE THAN 50 OCCUPANTS	75'-0"	FFPC 2014 (NFPA 101 13.2.5.1.2)
PROPOSED COMMON PATH OF TRAVEL	N/A	
EXIT SIGNS TO BE READILY VISIBLE FROM ALL POINTS OF EGRESS PATH INDICATING DIRECTION OF EGRESS TRAVEL		FBC 2014 (1011.1)
EXIT DOOR TACTILE SIGNAGE AT ALL EXITS REQUIRING AN EXIT SIGN		NFPA 101 (7.10.1.3)

Sea Lily Ln 619 Ponte Vedra Blvd

PROJECT LOCATION

1. ALL FINISH HARDWARE TO BE ADA COMPLIANT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA 101 LIFE

2. CONTRACTOR SHALL PROVIDE EXIT DOOR TACTILE SIGNAGE (PER NFPA 101,7.10.1.3). EXIT TACTILE SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR REQUIRING AN EXIT SIGN. SIGNAGE SHALL MEET ALL ACCESSIBLE REQUIREMENTS. TO BE MOUNTED ON LATCH SIDE OF DOOR, 60" AFF.

3. TACTILE SIGNAGE SHALL READ AS FOLLOWS: EXIT

4. TACTILE SIGNAGE SHALL COMPLY WITH ICC/ANSI A117.1 AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.

5. ACCESSIBLE ELEMENTS AND SPACES THE FACILITY HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF CH. - 11 IN THE FLORIDA BUILDING CODE. FOR ALTERATIONS OF EXISTING BUILDINGS 20% OF THE BUDGET HAS BEEN DEDICATED TO ADA IMPROVEMENTS WITH PRIORITY BEING GIVEN TO THE FOLLOWING ELEMENTS (IN ORDER)

A. ACCESSIBLE ENTRANCE B. ACCESSIBLE ROUTE TO ALTERED AREA C. AT LEAST ONE ACCESSIBLE RESTROOM FOR EACH SEX OR A SINGLE UNISEX RESTROOM.

D. ACCESSIBLE TELEPHONES E. ACCESSIBLE DRINKING FOUNTAINS F. WHEN POSSIBLE, ADDITIONAL ACCESSIBLE ELEMENTS SUCH AS PARKING, STORAGE, AND

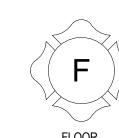
6. FIRE EXTINGUISHERS SHALL BE PROVIDED, INSTALLED, INSPECTED AND TAGGED BY A LICENSED FIRE EXTINGUISHER COMPANY.

7. ALL LOCKED DOORS WITHIN THE DESIGNED FACILITY IF PROVIDED WITH A LOCK, SHALL NOT REQUIRE THE USE OF A KEY, A TOOL, OR SPECIAL KNOWLEDGE OR EFFECT FOR OPERATION FROM THE EGRESS SIDE.

8. CONTRACTOR WILL PROVIDE AN EXTERIOR ELECTRICAL DISCONNECT IF ONE DOES NOT CURRENTLY EXIST.

9. THIS PROJECT DOES CONTAIN LIGHT FRAME TRUSS TYPE MATERIALS AND DOES NEED TO BE LABELED ACCORDING TO FAC 69A-60.0081.







DRAWING INDEX

ARCHITECTURAL

A001	NOTES
A100.1	LIFE SAFETY PLAN - FIRST FLOOR
A100.2	LIFE SAFETY PLAN - SECOND FLO

DEMO PLAN - FIRST FLOOR DEMO PLAN - SECOND FLOOR NEW PLAN - FIRST FLOOR NEW PLAN - SECOND FLOOR

A105 **ROOF PLAN** FRONT ENTRY STAIR, NEW AWNING

A107 TRELLIS A108.1 ADA UNISEX RESTROOM ADA UNISEX RESTROOM MEP

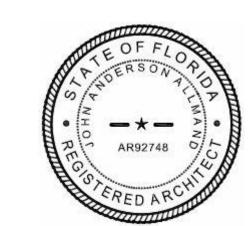
ELEVATIONS A202

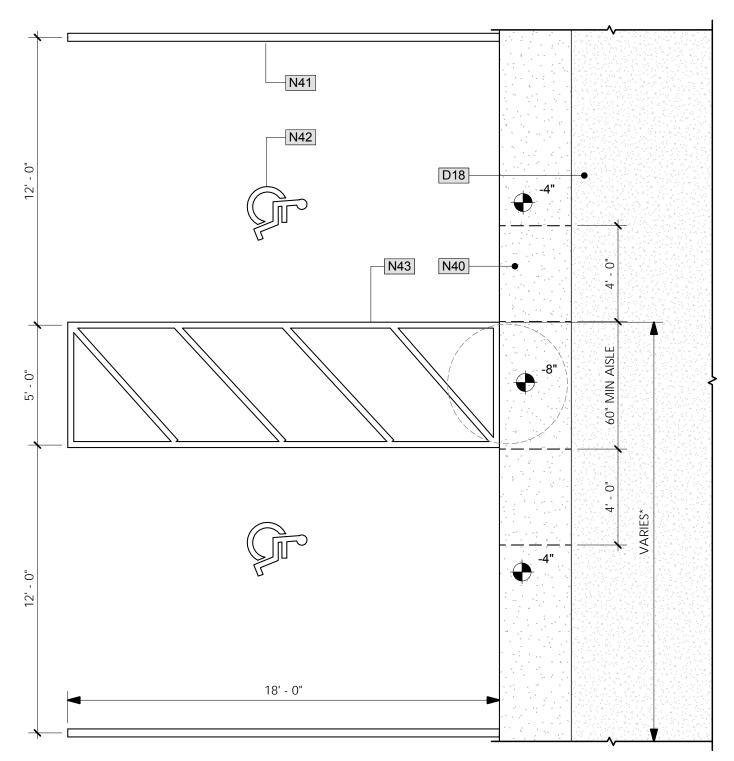
ELEVATIONS DEMO REFLECTED CEILING PLAN - FIRST FLOOR NEW REFLECTED CEILING PLAN - FIRST FLOOR

NEW REFLECTED CEILING PLAN - SECOND FLOOR

STRUCTURAL

ENLARGED FOUNDATION PLANS AND DETAILS





*SIDEWALK TERMINATES AT FURTHEST AISLE MARK WHERE LOCATED

TYPICAL ADA PARKING

1/4" = 1'-0"

	MATERIALS LEGEND					
MARK	MATERIAL	MANUFACTURER	MODEL	COLOR	REMARKS	CONTACT INFORMATION
GT-1	GROUT	MAPEI	SANDED	38 AVALANCHE	RESTROOM FLOORS, 1/8" JOINT, SEA	ALED BOB COLGAN 904.363.2525
GT-1	GROUT	MAPEI	UNSANDED	38 AVALANCHE	RESTROOM WALLS, 1/8" JOINT, SEA	LED BOB COLGAN 904.363.2525
PL-1	PLASTIC LAMINATE	WILSONART		5TH AVENUE ELM SOFTGRAIN FINISH		
PT-1	PAINT	BENJAMIN-MOORE	SEMI-GLOSS	PM-19 WHITE DOVE	GENERAL	
PT-2	PAINT	BENJAMIN-MOORE	SEMI-GLOSS	WHITE	ACCENT	
S-1	SOLID SURFACE	WILSONART	9100GS, SATIN FINISH	COCONUT OIL	BATHROOM VANITIES	SUSAN ZONA 1.800.432.6057
T-1	PORCELAIN FLOOR TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO (MOSAIC) - 24811/M12	RESTROOM FLOORS	BOB COLGAN 904.363.2525
T-2	CERAMIC WALL TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO - 24811 CR2x10	RESTROOM WALLS WAINSCOT	BOB COLGAN 904.363.2525
T-3	PROCELAIN FLOOR TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO - 24811 12x12	STAIR ENTRY	BOB COLGAN 904.363.2525
TR-1	TRANSITION STRIP	SCHLUTER	DESIGNLINE	DL625EB		
WB-1	WOOD BASE	GRADE HARDWOOD	4" HARDWOOD	PT - ?		
ALTERN	_					
S-1_A1	SOLID SURFACE	DALTILE	M701, 3CM, POLISHED	CARRARA WHITE	BATHROOM VANITIES	JOANNA MULHALL 904-307-8597
S-1_A2	SOLID SURFACE	WILSONART	9214CM, SATIN FINISH	ASTEROID	BATHROOM VANITIES	SUSAN ZONA 1.800.432.6057
T-1A	PORCELAIN FLOOR TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO (MOSAIC) - 24811/M12	RESTROOM FLOORS	BOB COLGAN 904.363.2525
T-2A	CERAMIC WALL TILE	FLORIDA TILE	RENNAISSANCE	GRIGIO - 24811 CR2x10	RESTROOM WALLS WAINSCOT	BOB COLGAN 904.363.2525

PARTITION TYPES

WALL TYPE NOTES

THAN NOTED.

- ALL NEW WALLS TO MATCH EXISTING WALL TYPE. VERIFY ARCHITECT IF DIFFERENT
- PROVIDE THREE (3) BEADS OF SEALANT AT TOP AND BOTTOM OF TRACKS. TYPICAL ALL WALLS. USE SOUND OR FIRE RATED SEALANTS IN RESPECTIVE WALL TYPES.
- PROVIDE BLOCKING AS REQUIRED FOR MOUNTING FIXTURES, MILLWORK, SIGNAGE, ETC. AND TO MAINTAIN CONSTRUCTION TYPE.
- PROVIDE "END CAPS" WHERE WALLS INTERSECT. MULLIONS/GLAZING COLOR TO BE SELECTED BY ARCHITECT. AT ALL FIRE RATED/SMOKE BARRIER ASSEMBLIES:
- PROVIDE SAFING, SEALANTS, ETC. AT ALL PENETRATIONS TO MAINTAIN RATINGS AND MEET ALL STATE/LOCAL CODES.
- PROVIDE FIRE/SMOKE DAMPERS WHERE NEEDED IN WALL TO MAINTAIN RATING
- AND TO MEET ALL STATE/LOCAL CODES. PROVIDE CAPS IN FIRE WALLS TO MEET ALL STATE AN LOCAL CODES, TYP. ALL FIRE
- RATED WALLS WHERE ANY DISCREPENCY OCCURS AT INTERSECTING WALLS, NOTIFY ARCHITECT PRIOR TO CONSTRUCTION. PROVIDE ADDITIONAL MATERIAL, CAPS, ETC. NEEDED TO COMPLETE DETERMINED CONDITION.
- 7. SEE INTERIOR/EXTERIOR ELEVATIONS FOR REVEAL LOCATIONS ON ONE OR BOTH SIDES INDICATED.
- 8. EXTEND TILE MINIMUM OF 6" ABOVE ACT CEILING SYSTEMS AT WET WALLS OR FULL
- HEIGHT TILE WALLS. 9. PROVIDE CEMENTIOUS BACKER BOARD AT WET/TILE WALLS, TYP.

1/2" 3 1/2" 1/2" 1/2" 3 1/2" 1/2" 1/2"\3 1/2" _1/2" 2x4 WOOD - 2x4 WOOD - 2x4 WOOD - 2x4 WOOD TOP PLATE TOP PLATE TOP PLATE TOP PLATE - UNDERSIDE OF UNDERSIDE OF - UNDERSIDE OF UNDERSIDE OF STRUCTURE STRUCTURE STRUCTURE CEILING CONT. CAULK CONT. CAULK - CONT. CAULK AT PERIMETER AT PERIMETER AT PERIMETER OPTIONAL SOUND OPTIONAL SOUND OPTIONAL SOUND **BATT INSULATION** BATT INSULATION BATT INSULATION WET WET - 2x4 WOOD STUDS 2x4 WOOD STUDS STUDS @ 16" O.C. @ 16" O.C. 2x4 WOOD STUDS @ 16" O.C. @ 16" O.C. 1/2" CEMENT **FIBERBOARD** - 1/2" CEMENT (DUROCK) — 1/2" CEMENT FIBERBOARD FIBERBOARD (DUROCK); 1/2" GYPSUM (DUROCK) BOTH SIDES 1/2" GYPSUM BOARD AT *DRY* LOCATIONS · 1/2" GYPSUM BOARD **BOARD BOTH SIDES** 2x4 CONT. - CONT. CAULK CONT. CAULK **WOOD SILL** AT PERIMETER AT PERIMETER 2x4 CONT. CONT. CAULK **WOOD SILL** 2x4 CONT. 2x4 CONT. AT PERIMETER WOOD SILL WOOD SILL 2 4 1/2" UNRATED PARTITION, WET/WET 1 4 1/2" UNRATED PARTITION, WET/DRY [4] 4 1/2" UNRATED PARTITION 3A 4" UNRATED FURRING PARTITION, 3B 4" UNRATED FURRING PARTITION,

KEYNOTE LEGEND - DEMO

- D1 REMOVE AND RELOCATE CABBAGE PALMS.
- DEMO STAIRS AND ASSOCICATED STUCTURE. PREP FOR NEW STAIRS. DEMO AWNING AND PREP FOR SIMILAR IN SAME LOCATION.
- EXISTING CONCRETE BLOCK WALL W/ VENTED PATTERN TO REMAIN. REFER TO LANDSCAPE DRAWINGS.
- DEMO DOWNSPOUT.
- DEMO CARPET AND PAD, PREP TO RECEIVE NEW FLOOR TILE. DEMO SCONCE. IF IN GOOD CONDITION, RETAIN J-BOX; IF IN BAD CONDITION,
- REMOVE AND RELOCATE CEILING MOUNTED SURFACE LIGHT.
- REMOVE AND RELOCATE EXISTING CEILING FAN-LIGHT COMBO. SEVER AND CAP WIRE AND REUSE CIRCUIT FOR RELOCATION OT ITEM; PREP FOR NEW SWITCH.
- D10 DEMO FULL HEIGHT WINDOW. OPENING TO REMAIN FOR NEW VERTICAL LIFT ACCESS. D11 DEMO WALL BASE.
- D12 EXISTING CEILING SPEAKER TO REMAIN.
- D13 EXISTING THRU-WALL AIR HANDLER UNIT AND TRIM TO REMAIN.
- D14 DEMO FULL HEIGHT WINDOW AND WALL. PREP FOR NEW VERITCAL LIFT ACCESS. DEMO FULL HEIGHT WINDOW, OPENING TO REMAIN. PREP FOR NEW EXTERIOR DOOR.
- REMOVE/RELOCATE FURNITURE FOR EGRESS AND ACCESSIBLE REQUIREMENTS, TYPICAL, SEE PLANS.
- D18 EXISTING GRASS AND SOIL TO REMAIN UNLESS NECESSARY FOR WORK TO BE PERFORMED.
- D19 DEMO SPECIFIED GUARDRAIL.
- D20 CAREFULLY REMOVE PAVERS AND SOIL AND PREP FOR NEW COLUMNS AND FOOTINGS. EXISTING PAVERS TO BE REINSTALLED.
- EXCAVATE AND PREP FOR NEW CAST-IN-PLACE CONCRETE ELEVATOR PIT. NOTIFY PROPER AUTHORITIES BEFORE DIGGING.

KEYNOTE LEGEND - NEW CONSTRUCTION

- N1 NEW WALL BASE.
- N2 NEW PAVERS BY OTHERS, REFER TO LANDSCAPE DRAWINGS.
- N3 NEW STANDALONE WOOD STAIR, DETACHED FROM BUILDING; LIKE-FOR-LIKE REPLACEMENT.
- N5 NEW EVENT LAWN BY OTHERS, REFER TO LANDSCAPE DRAWINGS.
- N6 NEW ROOF SHINGLES, BY OTHERS; LIKE-FOR-LIKE REPLACEMENT. N7 REFER TO LANDSCAPE DRAWINGS REGARDING GRADING, DEMO, PROTECTION,
- VEGETATION, ETC., TYP. N8 NEW TRELLIS. REFER TO LANDSCAPE DRAWINGS FOR LOCATIONS. REFER TO
- ARCHITECTURAL AND STRUCTURAL FOR DETAILS. N9.1 NEW PORCELAIN FLOOR TILE, TYPE 'A'.
- N9.2 NEW PORCELAIN FLOOR TILE, TYPE 'B'.
- N10 NEW WALL TILE AND TRIM.
- N11 NEW ONE-WAY PRIVACY WINDOW FILM APPLIED TO EXTERIOR OF SHEATHING, INSTALLED REFLECTIVE SIDE OUTWARED TO WINDOW. FASTEN INSIDE FACE TO
- N12 IF REQUIRED, PROVIDE NEW LEVER HARDWARE AT EXISTING SPECIFIED DOOR, MATCH
- FINISH OF EXISTING DOORS; NICKEL AS ALTERNATE.
- N13 NEW ADA COMPLIANT VANITY AND COUNTER.
- N14 NEW ADA COMPLIANT LAVATORY. N15 NEW ADA COMPLIANT WALL HUNG URINAL.
- N16 NEW THRESHOLD, CARPET TO TILE.
- N18 NEW ADA COMPLIANT FLOOR MOUNTED TOILET.
- N19 NEW 36" ADA GRAB BAR.
- N20 NEW 42" ADA GRAB BAR. N21 NEW MIRROR.
- N22 NEW SCONCE. TIE INTO RETAINED/NEW J-BOX AND CIRCUIT.
- N23 NEW PIER FOOTING, SEE STRUCTURAL. N24 NEW 8x8 PRESSURE TREATED WD COLUMN WRAPPED WITH PRESSURE TREATED 2x.
- COLUMN ATTACHED TO PIER FOOTING WITH SIMPSON ABU-88ZSS (TYPICAL). N25 NEW RECESSED CAN LIGHT. TIE INTO EXISTING AREA CIRCUIT.
- N26 NEW 3068 SOLID CORE WOOD DOOR. LEVER HARDWARE, MATCH FINISH OF EXISTING
- DOORS; NICKEL AS ALTERNATE.
- N27 NEW SANITARY DISPOSAL. N28 NEW TOILET PAPER DISPENSER.
- N29 NEW ALUMINUM HANDRAIL AND SUPPORTS. WOOD AS ALTERNATE. SUPPORTS TO MATCH HANDRAIL MATERIAL.
- N30 NEW SWITCHE(S).
- N31 NEW GFCI DUPLEX OUTLET.
- N32 NEW STANDALONE CONCRETE SLAB WITH TURNDOWN. SLAB NOT ATTACHED TO
- EXISTING STRUCTURE/SLAB.
- N33 NEW RECESSED EXHAUST FAN @ 50 CFM, WITH VENT-THRU-ROOF.
- N34 NEW 6x6 WD COLUMN ATTACHED TO SLAB WITH SIMPSON ABU-SS (TYPICAL).
- N35 NEW PLATFORM LIFT WITH FRONT AND SIDE ACCESS.
- N36 NEW GUARDRAIL, TO MATCH EXISTING. N37 RELOATED CEILING FAN-LIGHT COMBO. RETRACE CIRCUIT TO NEW SWITCH.
- N38 EXISTING THRU-WALL AIR HANDLER UNIT AND TRIM TO REMAIN.
- N39 WALL OPENING HERE FOR AHU UNIT. BLOCK OUT TO EXISTING UNIT TRIM. N40 NEW CONCRETE SIDEWALK AND RAMP. DEMO/REMOVE EXISTING GRASS AND SOIL.
- N41 NEW PARKING STRIPE, COLOR TO MATCH EXISTING.
- N42 NEW PARKING ADA SYMBOL, COLOR TO MATCH EXISTING STRIPING.
- N43 NEW ADA AISLE MARKING, COLOR TO MATCH EXISTING STRIPING.
- N45 NEW 3068 EXTERIOR GLASS DOOR w/ LEVER HARDWARE, MATCH FINISH OF EXISTING DOORS; NICKEL AS ALTERNATE. PROVIDE COMMERCIAL ALUMINUM THRESHOLD AND WEATHERSTRIPPING.
- N46 CAREFULLY REINSTALL SOIL AND PAVERS OVER NEW FOOTER.
- N47 NEW ROOF, TO MATCH EXISTING ROOF.
- N48 NEW JOISTS/OUTRIGGERS, TO MATCH EXISTING ROOF. N50 NEW FULL SERVICE PASSENGER MRL TRACKTION ELEVATOR.
- N51 NEW NEW/RELOCATED FURNITURE BY OTHERS.
- N52 NEW 2A-APW OR 2A-ABC FIRE EXTINGUISHER.



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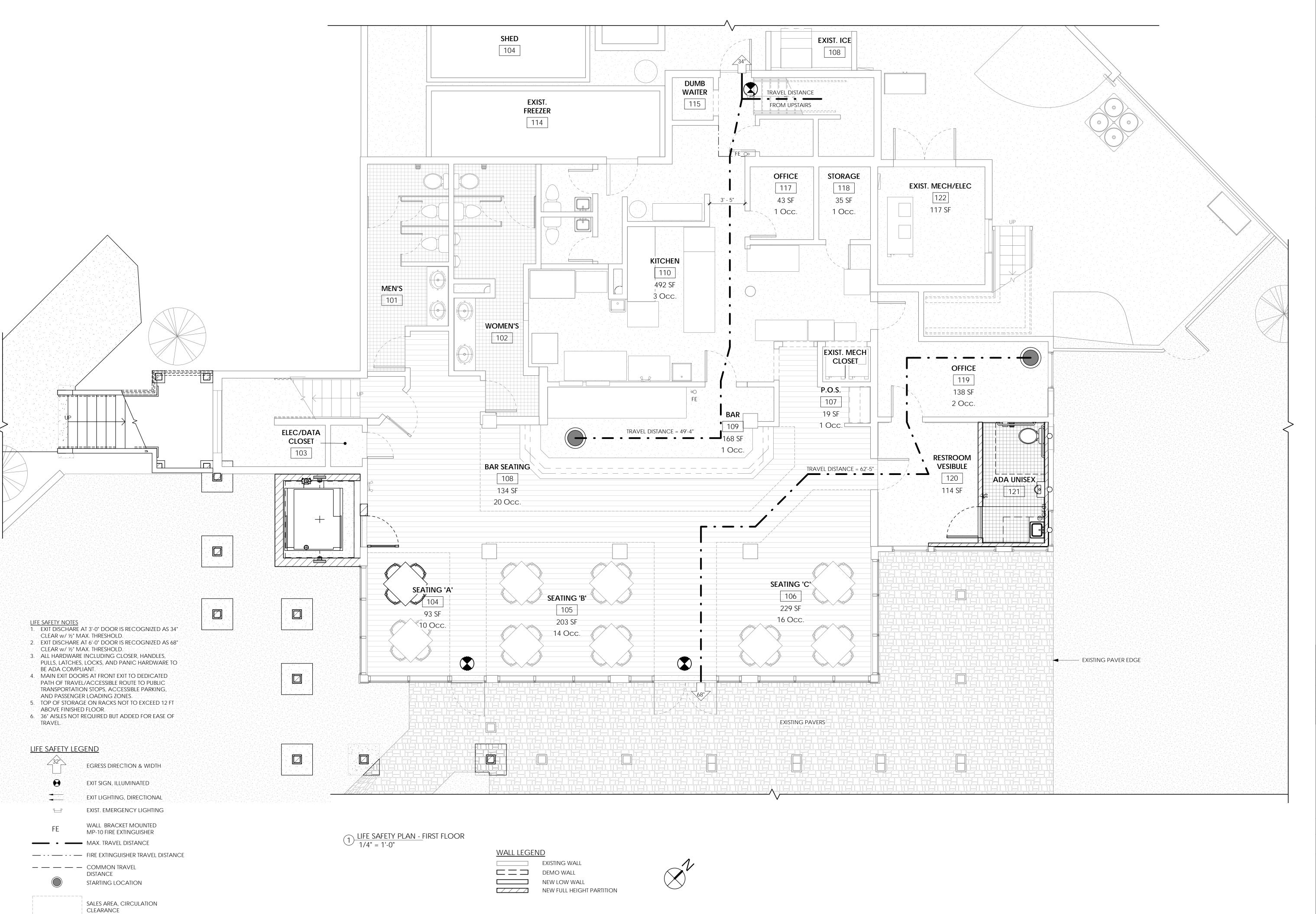
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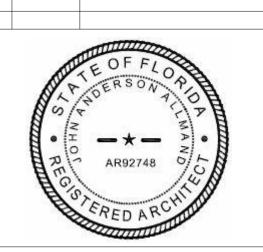




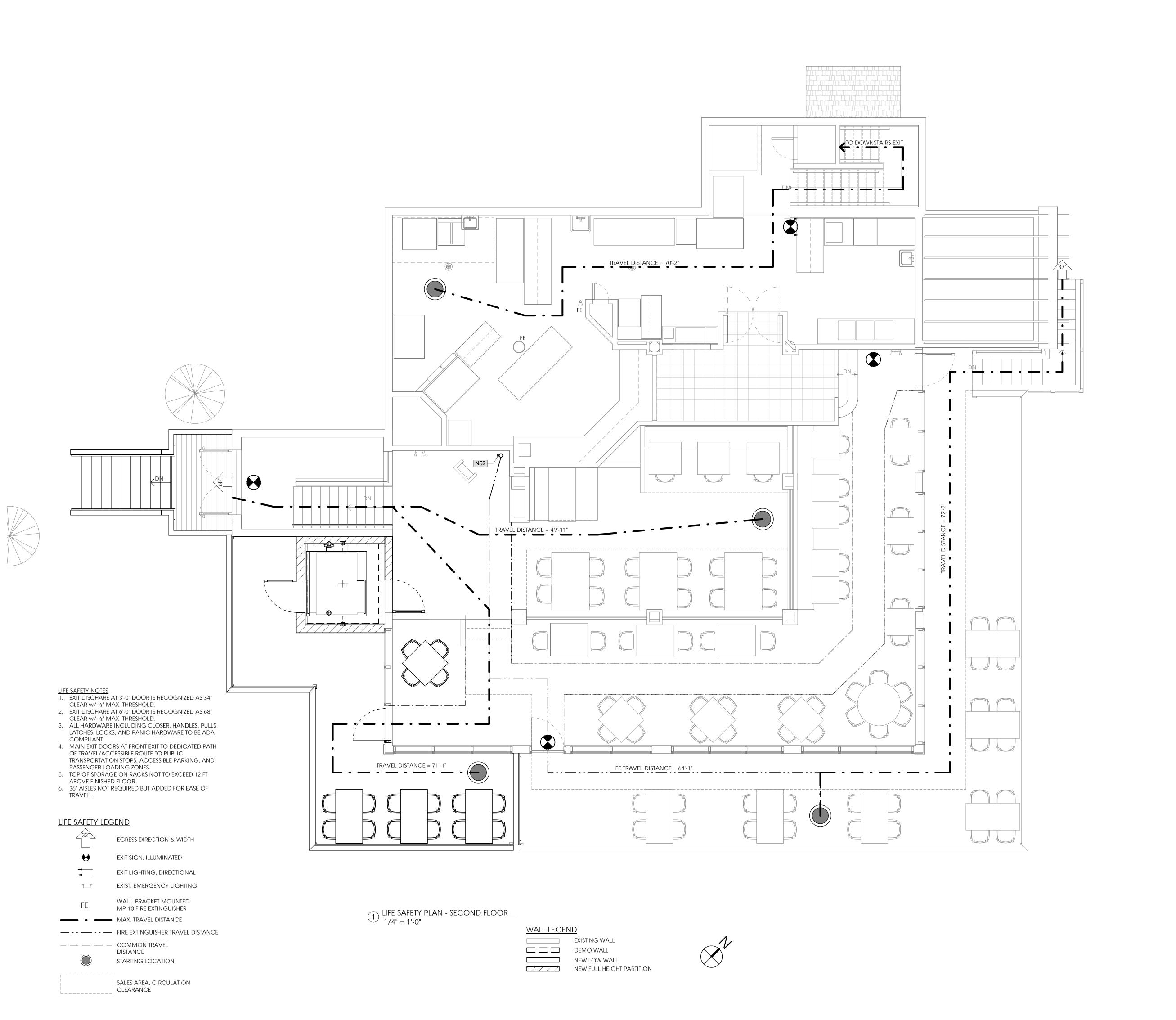
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5.3.2017 LIFE SAFETY PLAN - FIRST FLOOR





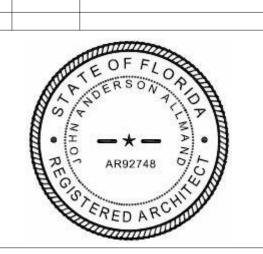
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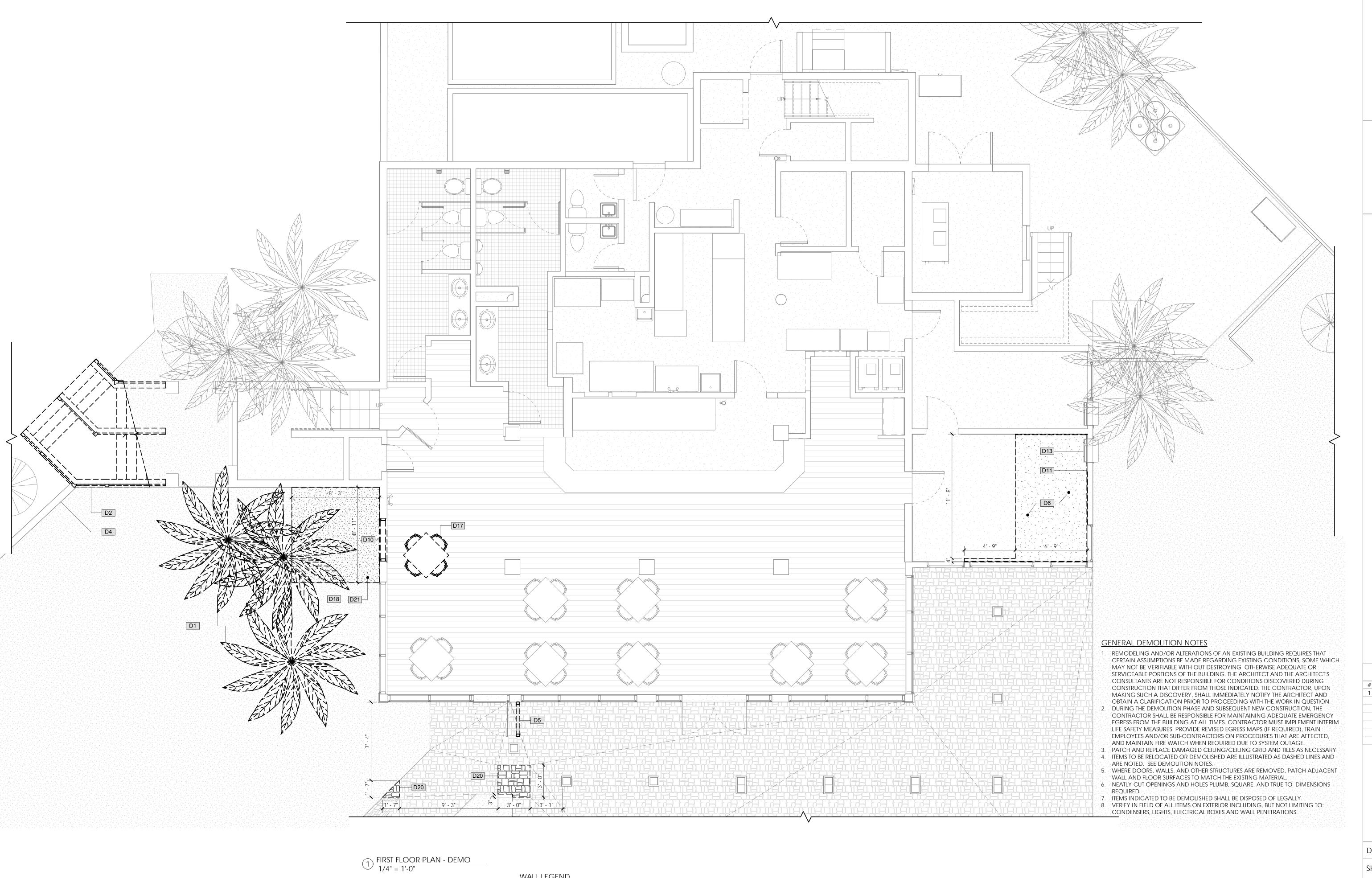
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SHEET: LIFE SAFETY PLAN - SECOND FLOOR

A100.2

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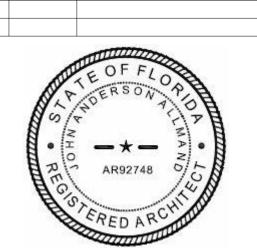
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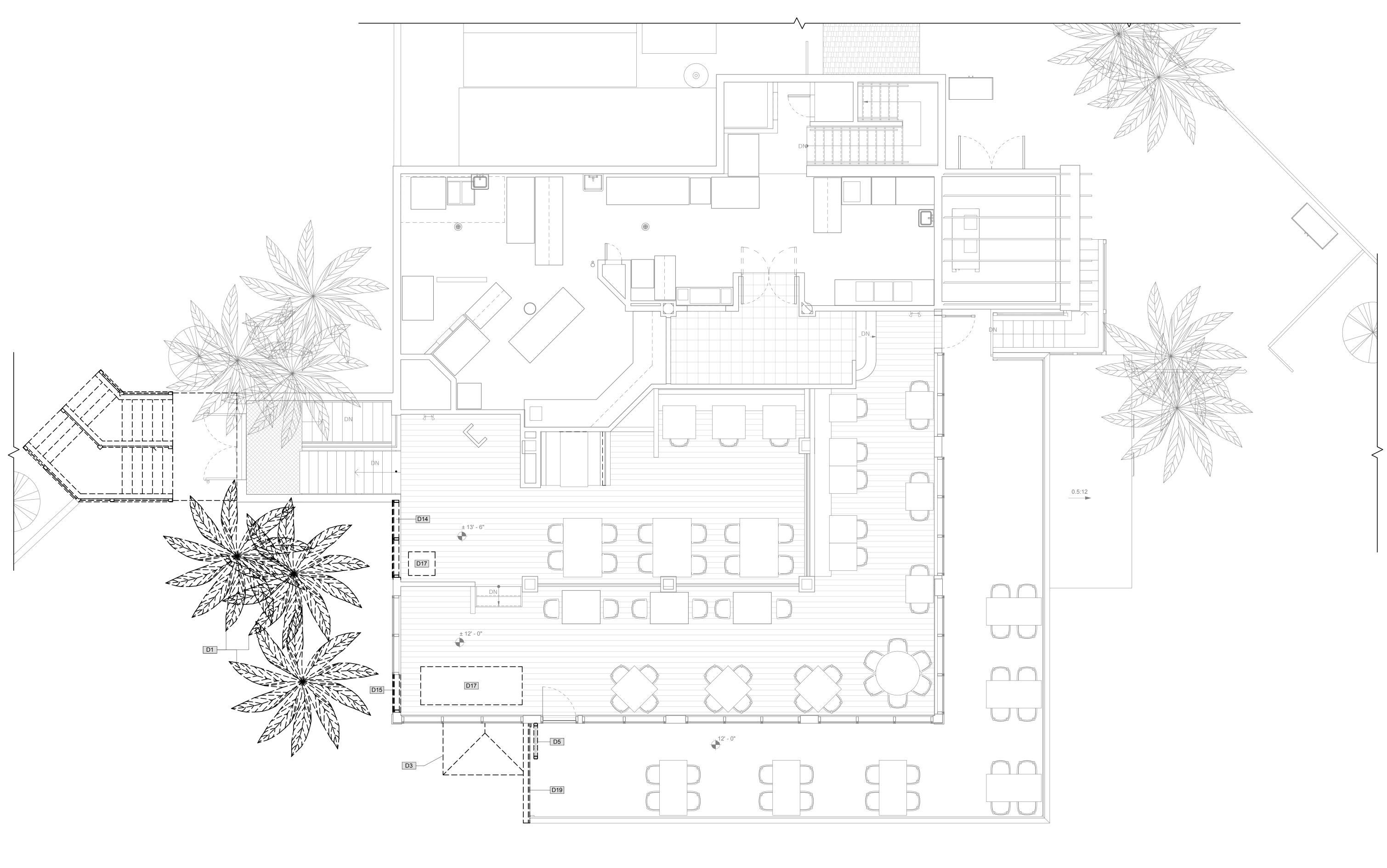


5.3.2017 SHEET: DEMO PLAN - FIRST FLOOR

EXISTING WALL **DEMO WALL**

NEW LOW WALL NEW FULL HEIGHT PARTITION





1) SECOND FLOOR PLAN - DEMO 1/4" = 1'-0"

EXISTING WALL NEW FULL HEIGHT PARTITION



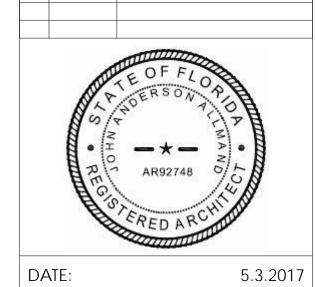


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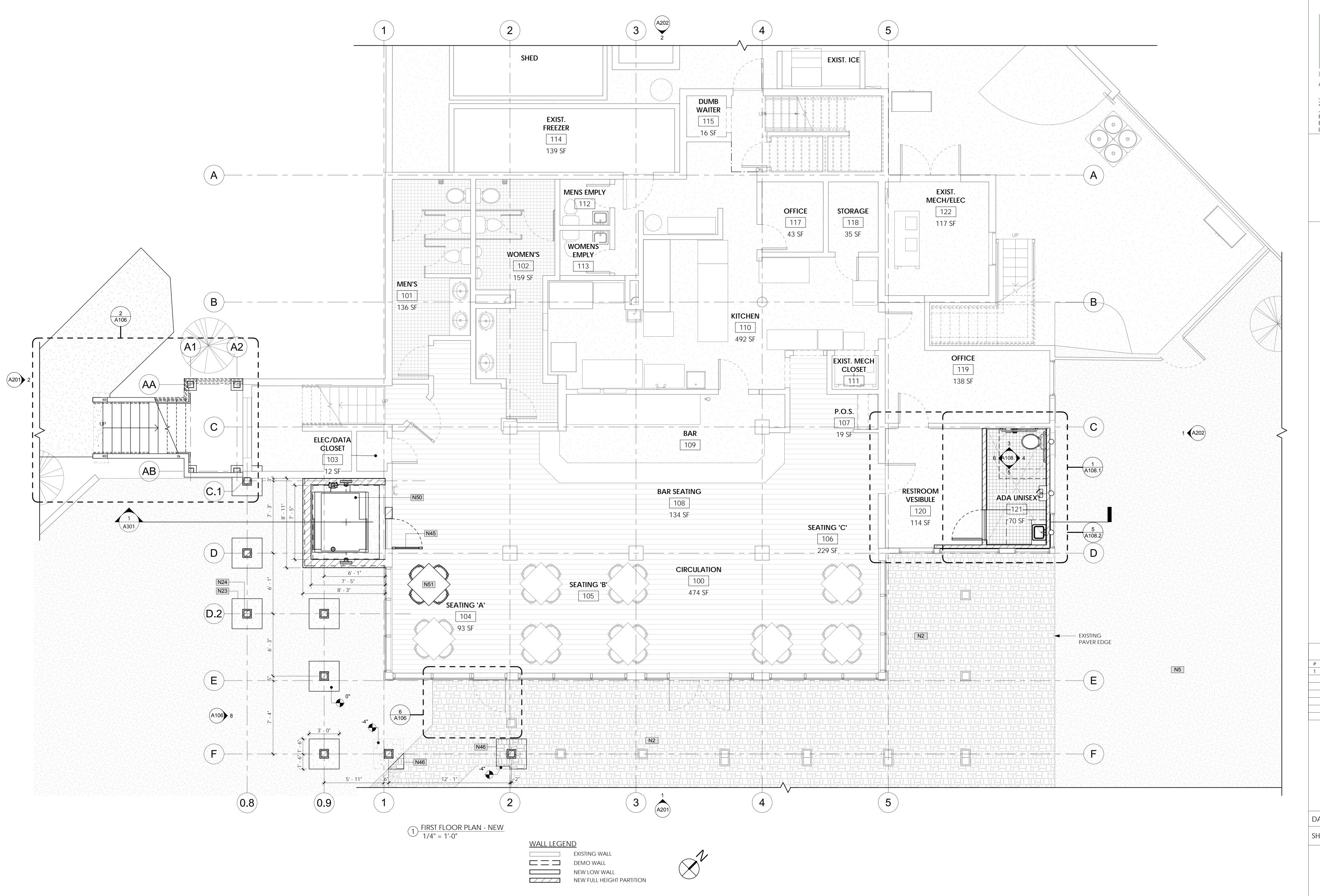
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DATE: DEMO PLAN - SECOND FLOOR

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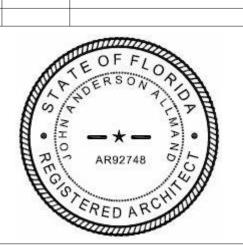
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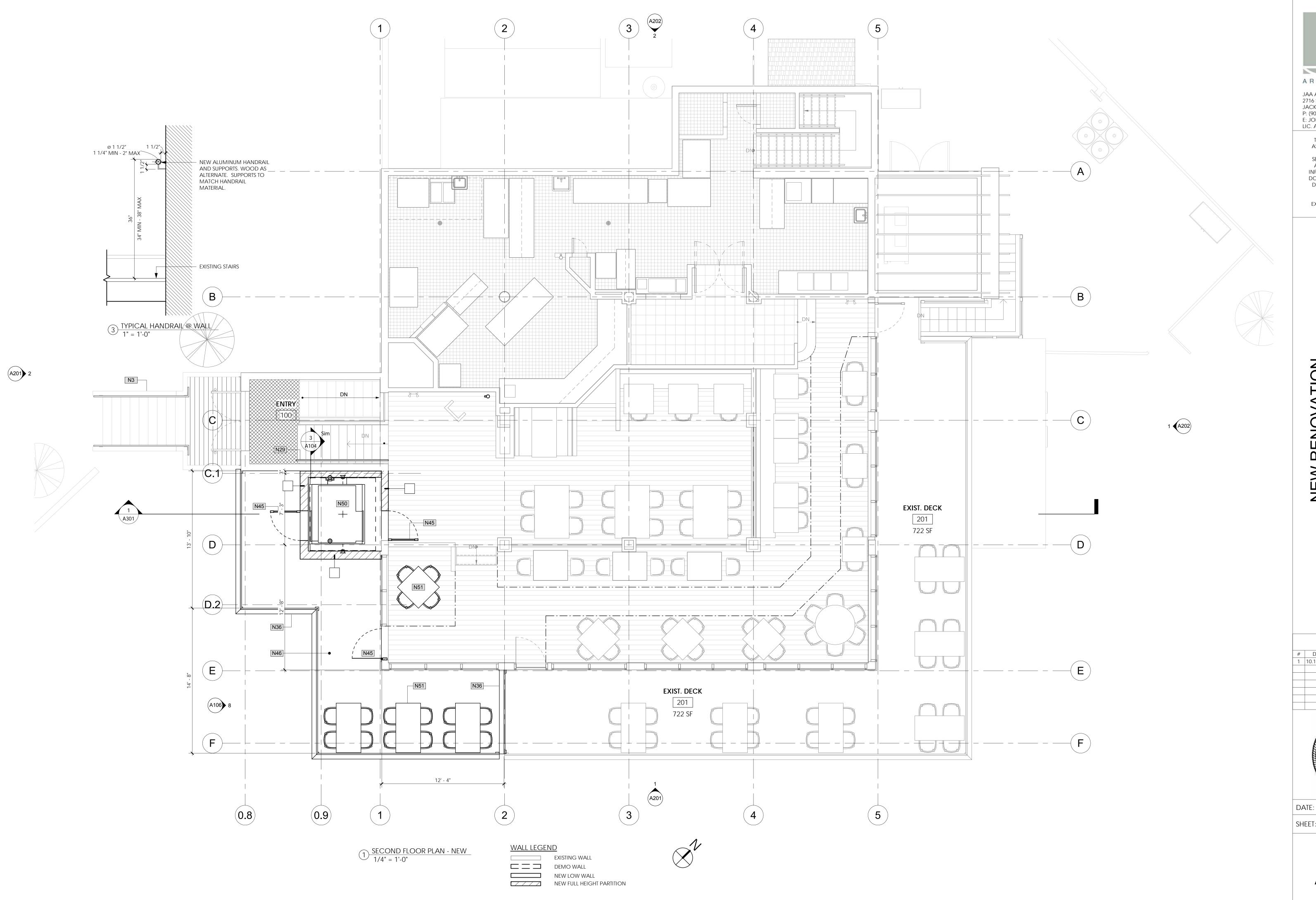
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5.3.2017 DATE: NEW PLAN - FIRST FLOOR

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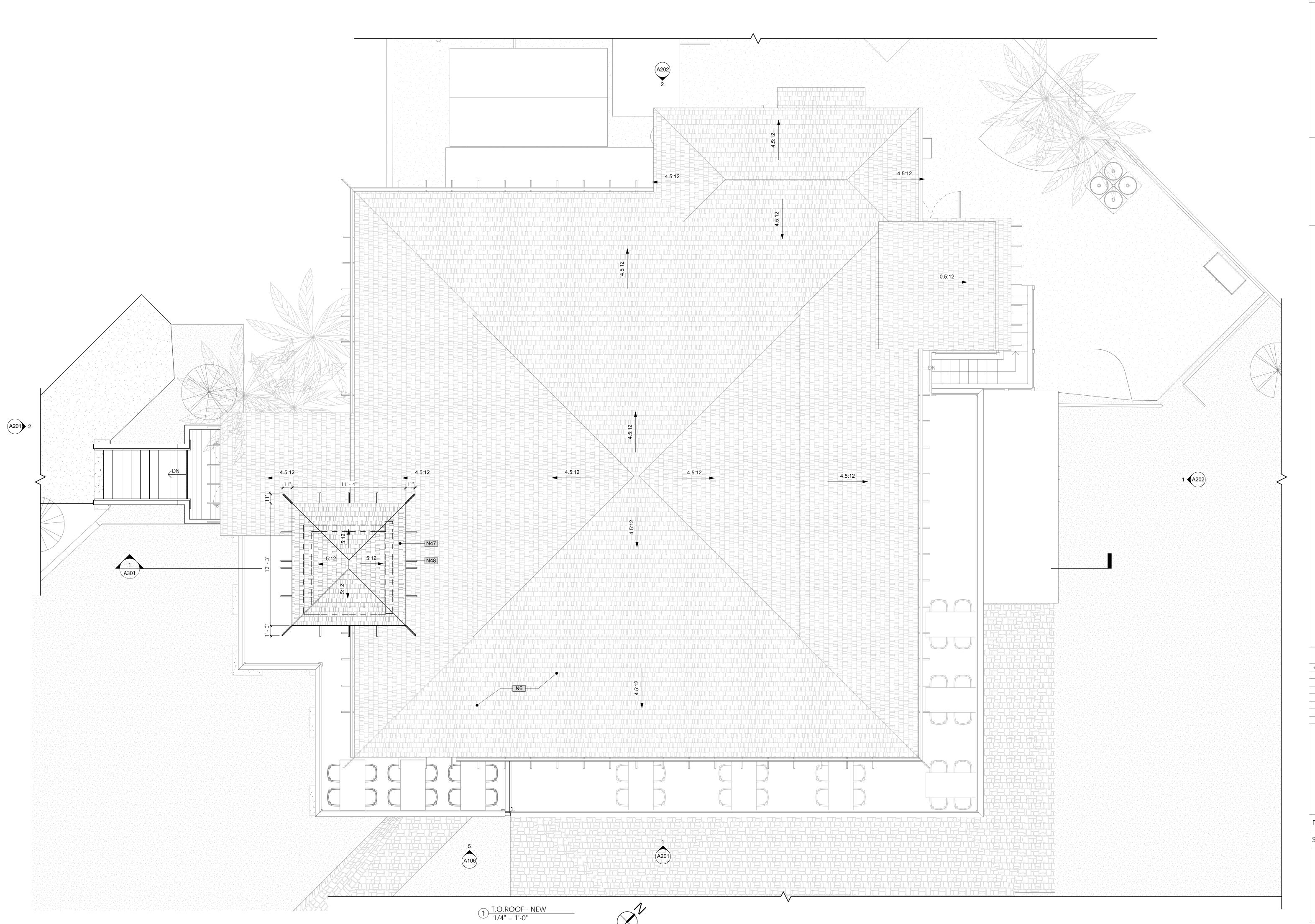


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5.3.2017 NEW PLAN - SECOND FLOOR





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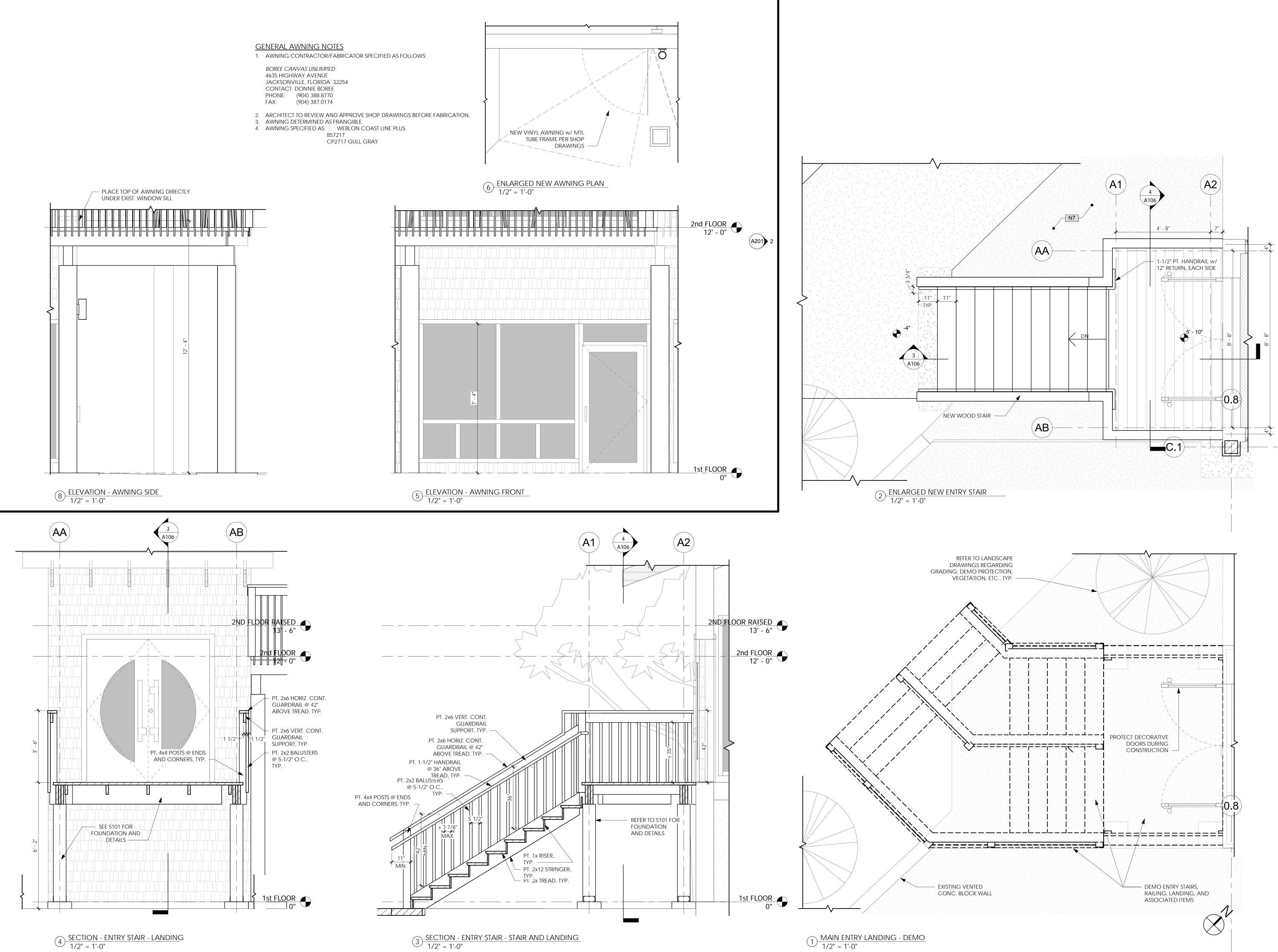
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5.3.2017 ROOF PLAN SHEET:

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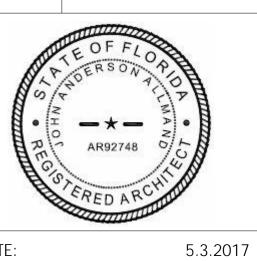
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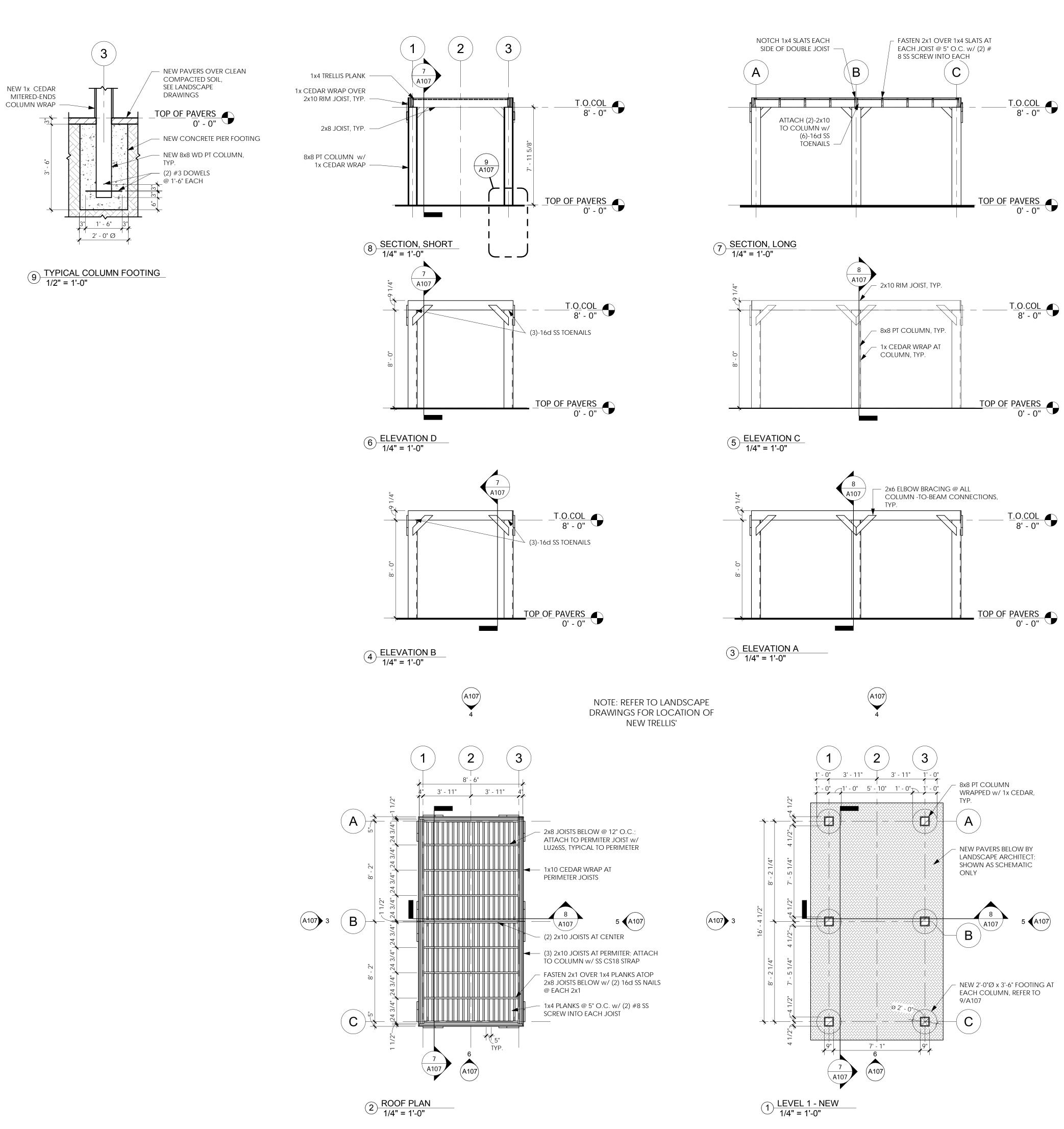


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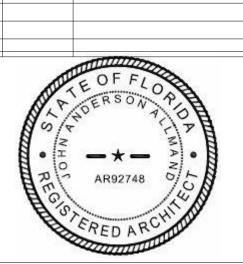
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PLANS, ELEVATIONS, SHEET: -SECTIONS-

5.3.2017



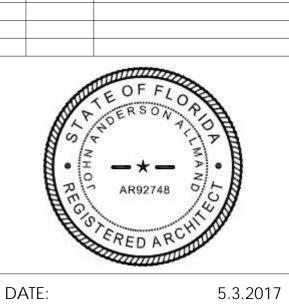


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DATE: ADA UNISEX RESTROOM

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PERMIT SET

PLUMBING NOTES GENERAL REQUIREMENTS:

1. GENERAL AND SPECIAL CONDITIONS: GENERAL AND SPECIAL CONDITIONS ARE HEREBY MADE AN INTERGAL PART OF THIS DIVISION OF THE SPECIFICATIONS INSOFAR AS SAME ARE APPLICABLE TO THE WORK UNDER THIS DIVISION AND UNLESS OTHERWISE SPECIFIED.

2. SCOPE: PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WOTH ALL APPLICABLE CODES.

3. PERMITS: APPLY FOR AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION.

4. WARRANTY: PROVIDE ALL MATERIALS AND EQUIPMENT UNDER THIS SECTION OF THE SPECIFICATIONS WITH A ONE YEAR WARRANTY FROM THE DATE OF ACCEPTANCE OF WORK BY THE OWNER.

5. COORDINATION: VERIFY ALL ROUGH IN LOCATIONS AND COORDINATE PIPING AND EQUIPMENT LOCATIONS WITH WORK UNDER OTHER DIVISIONS OF THE SPECIFICATIONS TO AVOID CONFLICTS. CONTRACTOR MUST COORDINATE WITH OTHER TRADES FOR ALL STRUCTURES, CONDUIT, PIPING, DUCTWORK, LIGHTING, ETC. TO PROPERLY BE INSTALLED. ANY CONFLICTS SHALL BE RESOLVED AT NO CHARGE TO THE OWNER. COORDINATE INSTALLATION OF ALL PLUMBING LINES AT CMU WALLS SO THAT PLUMBING LINES ARE PLACED IN WALL DURING CMU WALL CONSTRUCTION .

6. FIELD VERIFICATION: FIELD VEREFY EXISTING CONDITION BEFORE STARTING CONSTRUCTION AND NOTIFY THE ARCHITECT/ENGINEER OF RECORD OF ANY DISCREPENCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS AND/OR POTENTIAL PROBLEMS OBSERVED BEFORE CONTINUING WORK IN THE EFFECTED AREAS.

7. PLUMBING SYSTEMS INCLUDE BUT ARE NOT LIMITED TO: - PLUMBING FIXTURES AND EQUIPMENT -FIRE STOPPING

-DOMESTIC WATER SYSTEM

-SANITARY WASTE AND VENT SYSTEM

8. WHERE APPLIED, PIPE TO PENETRATE CONCRETE FLOOR.

1. PROVIDE COMPLETE FIXTURES AND INCLUDE SUPPLIES, STOPES, VALVES, FAUCETS, DRAINS, TRAPS, TAIL PIECES, ESCUTCHEONS, ETC.

DOEMSTIC WATER PIPING

1. FURNISH AND INSTALL A COMPLETE SYSTEM OF COLD WATER AND WASTE PIPING FROM EXISTING SUPPLIES TO ALL FIXTURES AND/OR EQUIPMENT REQUIRING THIS SERVICE. VERIFY LOCATION OF BEGINNING POINTS.

2. DOMESTIC WATER PIPING BELOW GRADE:

SOFT ANNEALED SEAMLESS COPPER TUBING, TYPE 'K' WITH NO JOINTS (ASTM B 88). (PVC ACCEPTABLE ALTERNATIVE)

3. DOMESTIC WATER PIPING AND JOINTS ABOVE GRADE: HARD DRAWN SEAMLESS COPPER TUBING TYPE 'L' WITH 95-5 SILVER SOLDERED JOINTS (ASTM B 88). (PVC ACCEPTABLE ALTERNATIVE)

4. STERELIZE THE DOMESTIC WATER PIPING IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATION'S SPECIFICATIONS AND LOCAL HEALTH DEPARTMENT REGULATIONS.

5. INSULATE DOMESTIC WATER PIPING ABOVE GRADE (EXCEPT EXPOSED CONNECTIONS TO PLUMBING FIXTURES) WITH ENGINEERED POLYMER FOAM INSULATION OR FIBERGLASS WITH FITTING INSRTS AND PVC COVERS. FOLLOW THIS SCHEDULE:

DOMESTIC COLD WATER ALL

7. DOMESTIC WATER PIPING INSTALLATION, JACKETS COVERING SEALERS, MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAM-

SPREADING RATING OF 25 OR LESS AND A SMOKE-DEVELOPED RATING OF 50 OR LESS, AS TESTED BY ASTM E84 (NFPA 255) METHOD 8. DO NOT INSTALL DOMESTIC WATER PIPING IN AREAS SUBJECT TO FREEZING TEMPERATURES. INSTALL WATER PIPING IN EXTERIOR

ELECTRICAL NOTES

GENERAL NOTES:

G1: ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL AND STATE CODES.

G2: ALL MATERIAL, EQUIPMENT AND APPLIANCES SHALL BE NEW AND SHALL CONFORM TO THE STANDARDS OF THE UNDERWRITER'S LABORATORIES, INC., AND THE NATIONAL MANUFACTURERS ASSOCIATION.

G3: ALL ELECTRICAL PERMITS AND INSPECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE ELECTRICAL CONTRACTOR.

G4: ELECTRICAL CONTRACT DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT. DO NOT SCALE ELECTRICAL PLANS. OBTAIN ALL DIMENSIONS FROM THE ARCHITECT'S DIMENSIONED DRAWINGS AND FIELD MEASUREMENTS. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL PLANS FOR DOOR SWINGS AND BUILT-IN EQUIPMENT; CONDITIONS INDICATED ON THOSE PLANS SHALL GOVERN FOR THIS WORK.

G5: VERIFY ALL REQUIREMENTS AND COORDINATE EXACT LOCATION OF INCOMING ELECTRICAL SERVICE WITH LOCAL POWER COMPANY PRIOR TO PROJECT START. NOTIFY ENGINEER OF ANY CHANGES.

G6: ELECTRICAL CONTACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR ONE YEAR EFFECTIVE FROM THE DATE OF SUBSTANTIAL COMPLETION.

G7: A COMPLETE GROUNDING SYSTEM SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH ARTICLE 250 OF THE NEC, AND AS SHOWN ON THE DRAWINGS.

G8: ALL CUTTING AND PATCHING REQUIRED FOR INSTALLATION OF ELECTRICAL EQUIPMENT SHALL BE THE RESPONSIBILITY OF GTHE ELECTRICAL CONTRACTOR. DO NOT CUT ANY MATERIAL THAT WILL WEAKEN THE STRUCTURE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. PATCHING SHALL BE ACCOMPLISHED TO MATCH ADJACENT SURFACES IN EVERY RESPECT. ENGAGE ORIGINAL INSTALLER FOR CUTTING/PATCHING OF ROOFS.

G9: PROVIDE A TYPED DIRECTORY IN ALL PANELBOARDS CLEARLY DESCRIBING THE LOCATION AND TYPE OF LOAD SERVED FOR ALL CIRCUITS.

G10: PROVIDE ENGRAVED PHENOLIC NAMEPLATES FOR ALL PANELBOARDS AND DISCONNECT SWITCHES, WHITE LETTERS ON BLACK BACKGROUND. NAMEPLATE SHALL CONTAIN EQUIPMENT DESIGNATION, VOLTAGE, FEEDER SOURCE & DATE INSTALLED.

G11: PROVIDE "FLASH HAZARD" LABELS FOR ALL PANELBOARDS IN ACCORDANCE WITH NEC REQUIREMENTS.

G12: ALL TERMINALS/LUGS SHALL BE 60 DEGREE/75 DEGREE RATED.

G13: FUSES 0-600 AMPS SHALL BE UL CLASS "RK-5" LOW PEAK DUAL ELEMENT TIME DELAY WITH 200,000 AMPERE INTERRUPTING RATING AS MANUFACTURED BY BUSSMAN UNLESS NOTED OTHERWISE.

G14: ALL WATER HEATERS SHALL HAVE DISCONNECT SIZED PER 422.11(E)(3).

G15: ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL ELECTRICAL CONNECTIONS TO EQUIPMENT REGARDLESS OF WHO SUPPLIES THE EQUIPMENT. THIS INCLUDES ALL HVAC, PLUMBING AND OWNER FURNISHED EQUIPMENT CONNECTIONS OF 120V OR HIGHER.

G16: RACEWAYS SHALL BE INSTALLED CONCEALED IN NEW WALL CONSTRUCTION, ABOVE CEILINGS, BELOW FLOOR, AND IN OTHER CAVITIES TO THE GREATEST EXTENT POSSIBLE. WHERE EXPOSED RACEWAYS MUST BE USED, LAYOUT RACEWAYS TO MINIMIZE THE NUMBER OF VERTICAL RUNS.

G17: ALL EXPOSED RACEWAY SHALL BE RUN PARALLEL OR PERPENDICULAR TO THE BUILDING SURFACES AND SHALL BE PAINTED AS DIRECTED BY THE ARCHITECT. NO EXPOSED CONDUIT SHALL BE ALLOWED IN FINISHED SPACES EXCEPT AS PERMITTED BY OWNER OR ARCHITECT. EXPOSED RACEWAY IN FINISHED SPACES SHALL BE WIREMOLD TYPE.

G18: BEFORE COMMENCING WITH ANY ROUGH-IN, COORDINATE THE EXACT LOCATION AND MOUNTING HEIGHT OF ALL WALL MOUNTED DEVICES WITH THE ARCHITECTURAL INTERIOR ELEVATIONS, CASEWORK SHOP DRAWINGS, AND EXISTING CONDITIONS. IF ANY DISCREPENCIES ARE DISCOVERED, NOTIFY THE ARCHITECT FOR FURTHER DIRECTION. MINOR ADJUSTMENTS IN DEVICE LOCATION, I.E. 5'0" IN ANY DIRECTION SHALL BE DONE AT NO ADDITIONAL COST TO THE CONTRACT.

G19: ALL WIRING SHALL BE INSTALLED IN IMC, RMC, EMT, OR TYPE AC FLEXIBLE CABLE. RNC CONDUIT (PVC), SHALL ONLY BE USED UNDERGROUND AND OUTDOORS, WHERE NOT SUBJECT TO PHYSICAL DAMAGE. MINIMUM SIZE CONDUIT SHALL BE 1/2". AC FLEXIBLE CALBE SHALL BE USED ONLY IN AREAS PERMITTED BY CODE.

G20: ALL FLEX SHALL BE LIQUID TIGHT FLEXIBLE METAL.

G21: PROVIDE A PULL WIRE OR FISH TAPE IN ALL EMPTY CONDUITS, PROVIDE A BLANK COVER PLATE OVER ALL UNUSED BOXES INCLUDING DATA/COMM BOXES.

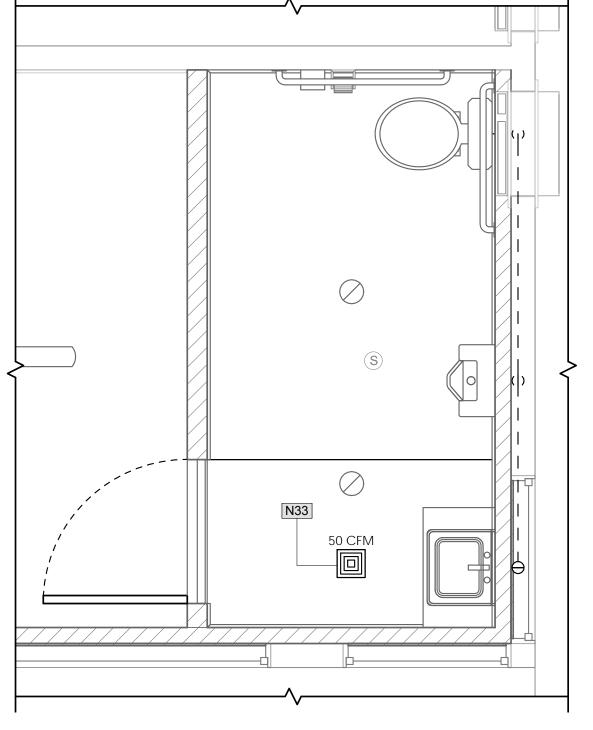
G22: WHERE A HOMERUN IS SHOWN THE CIRCUIT SHALL BE INSTALLED IN A DEDICATED CONDUIT, DO NOT COMBINE WITH OTHER CIRCUITS, WHERE A CIRCUIT HOMERUN IS NOT SHOWN THE CONTRACTOR SHALL COMBINE CIRCUITS AS FOLLOWS AND IN ACCORDANCE WITH THE NEC:

A MAXIMUM OF THREE 20A, 1 POLE BRANCH CIRCUITS MAY BE COMBINED IN A COMMON HOMERUN SHARING A COMMON NEUTRAL OR WITH SEPARATE NEUTRALS, FOR A TOTAL OF SIX CURRENT CARRYING CONDUCTORS. ALL BRANCH CIRCUITS LARGER THAN 20A SHALL BE SEPARATELY HOMERUN TO PANEL.

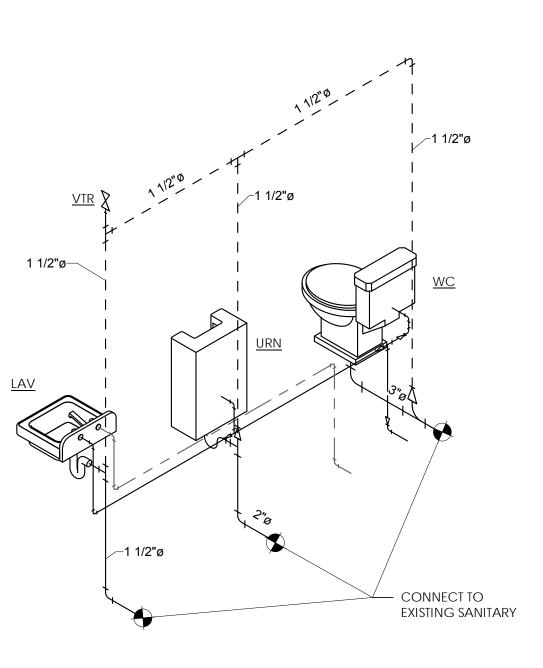
> **EXISTING COLD** WATER SUPPLY

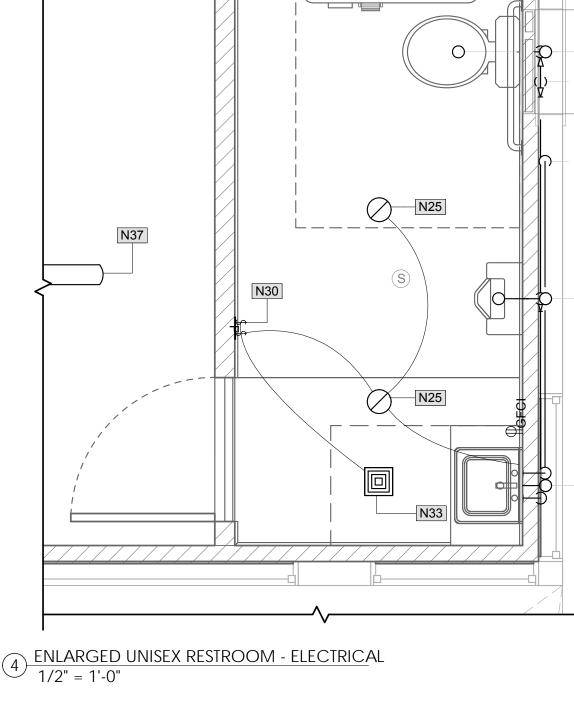
EXISTING HOT WATER

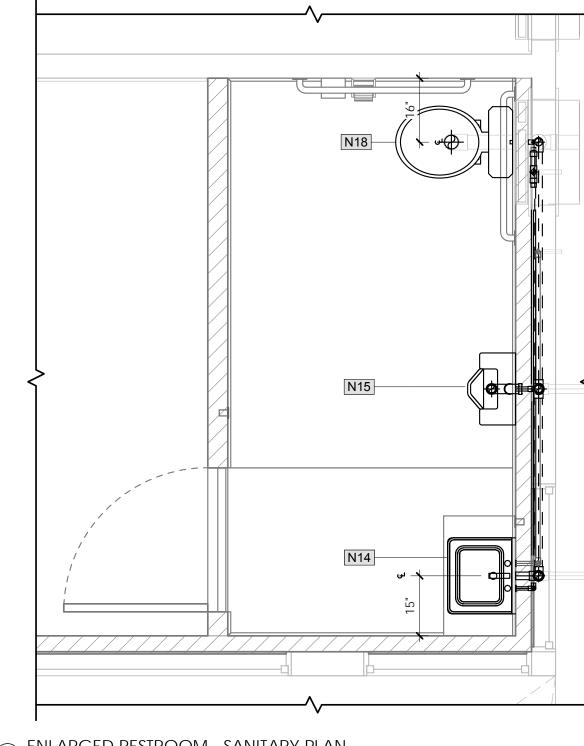
G23: ALL OUTLETS ARE 18" ABOVE FINISHED FLOOR (AFF) UNLESS NOTED OTHERWISE.



5 ENLARGED UNISEX RESTROOM - MECHANICAL 1/2" = 1'-0"







____ENLARGED RESTROOM - SANITARY PLAN

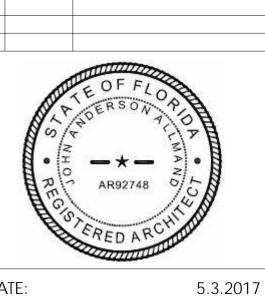


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REVISIONS DESCRIPTION 10.18.2016 OWNER COMMENTS 11.22.2016 REVIEW COMMENTS 11.22.2016 OWNER COMMENTS

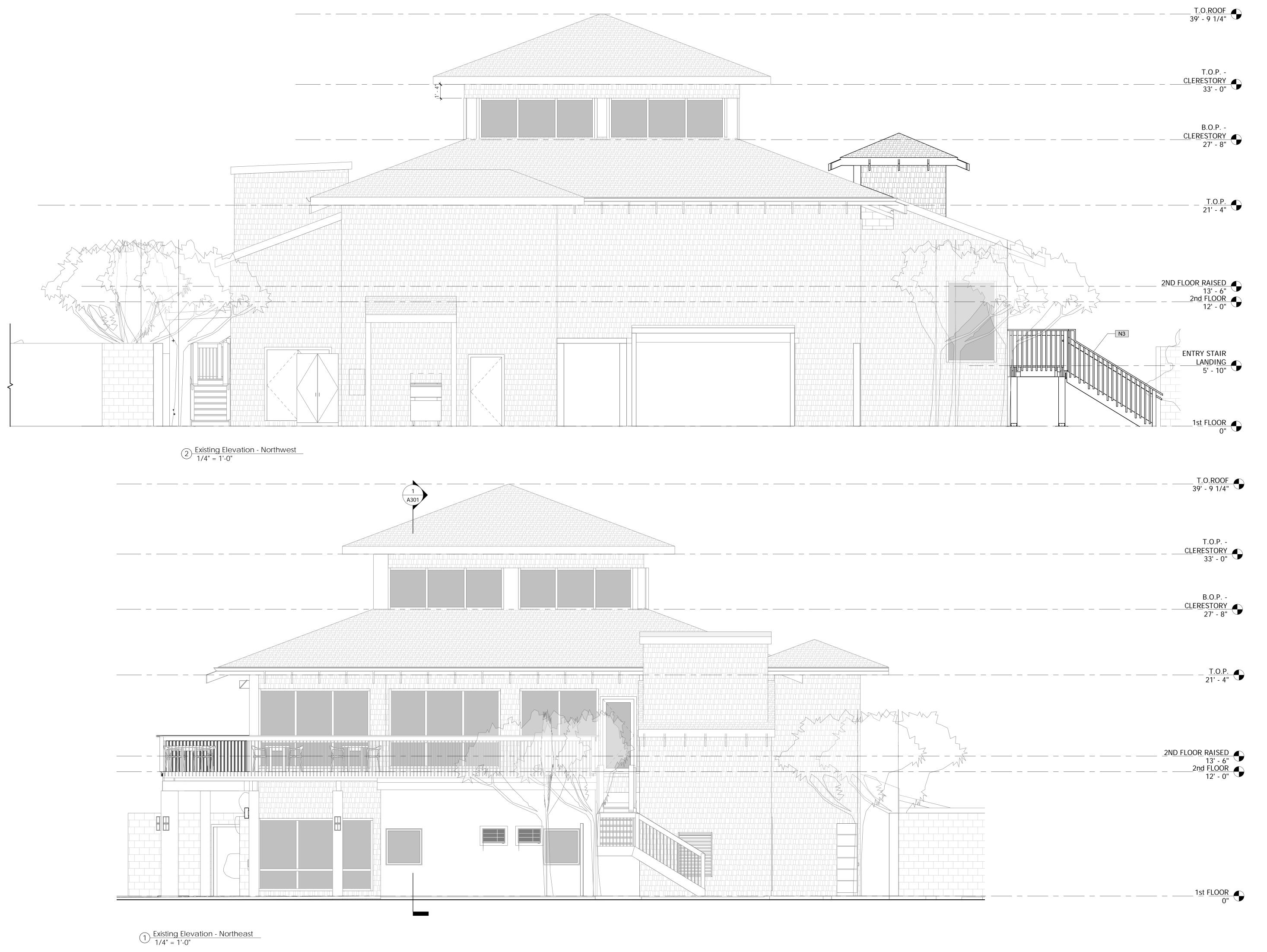


ADA UNISEX RESTROOM

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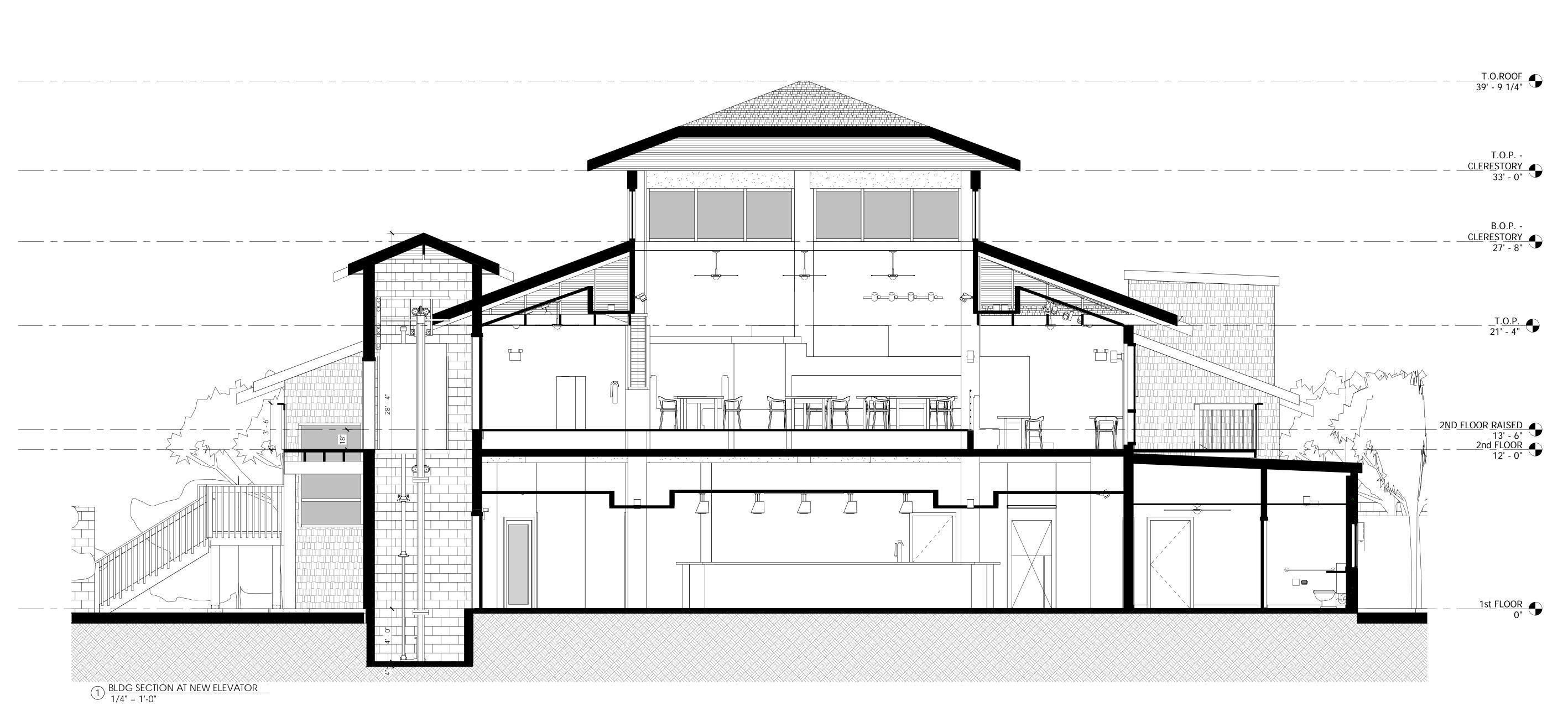
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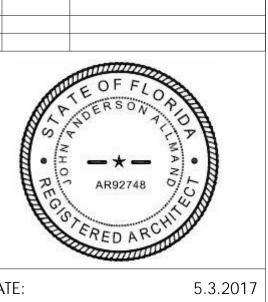
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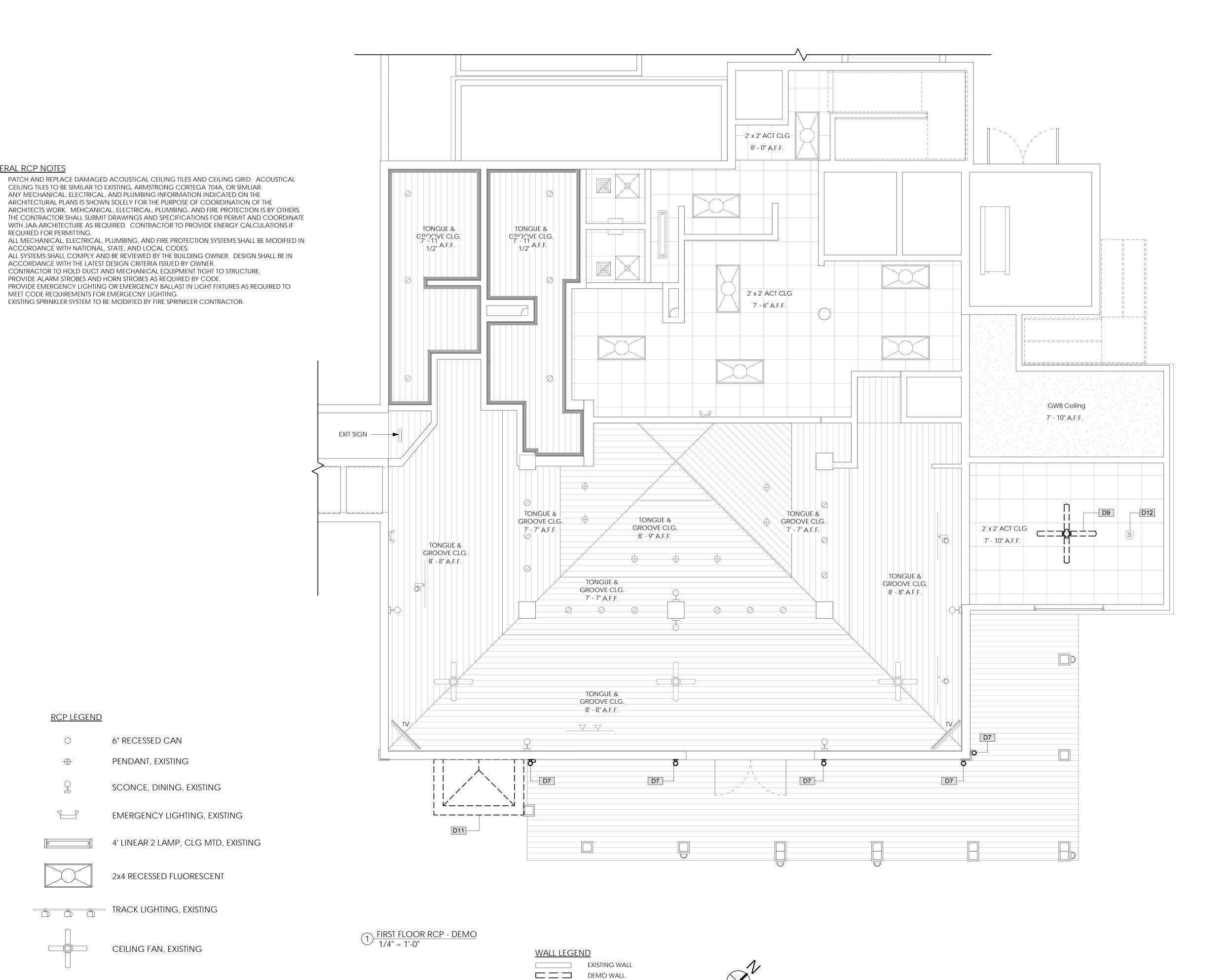
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NEW LOW WALL NEW FULL HEIGHT PARTITION

GENERAL RCP NOTES

REQUIRED FOR PERMITTING.

CEILING TILES TO BE SIMILAR TO EXISTING, ARMSTRONG CORTEGA 704A, OR SIMLIAR.

ANY MECHANICAL, ELECTRICAL, AND PLUMBING INFORMATION INDICATED ON THE

CONTRACTOR TO HOLD DUCT AND MECHANICAL EQUIPMENT TIGHT TO STRUCTURE.

ACCORDANCE WITH NATIONAL, STATE, AND LOCAL CODES.

MEET CODE REQUIREMENTS FOR EMERGECNY LIGHTING.

RCP LEGEND

6" RECESSED CAN

PENDANT, EXISTING

SCONCE, DINING, EXISTING

2x4 RECESSED FLUORESCENT

CEILING FAN, EXISTING

FLATSCREEN TV, CLG MTD, EXISTING

TRACK LIGHTING, EXISTING

EMERGENCY LIGHTING, EXISTING

4' LINEAR 2 LAMP, CLG MTD, EXISTING

ACCORDANCE WITH THE LATEST DESIGN CRITERIA ISSUED BY OWNER.

PROVIDE ALARM STROBES AND HORN STROBES AS REQUIRED BY CODE.

EXISTING SPRINKLER SYSTEM TO BE MODIFIED BY FIRE SPRINKLER CONTRACTOR.

ARCHITECTURE-INC

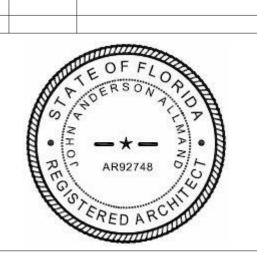
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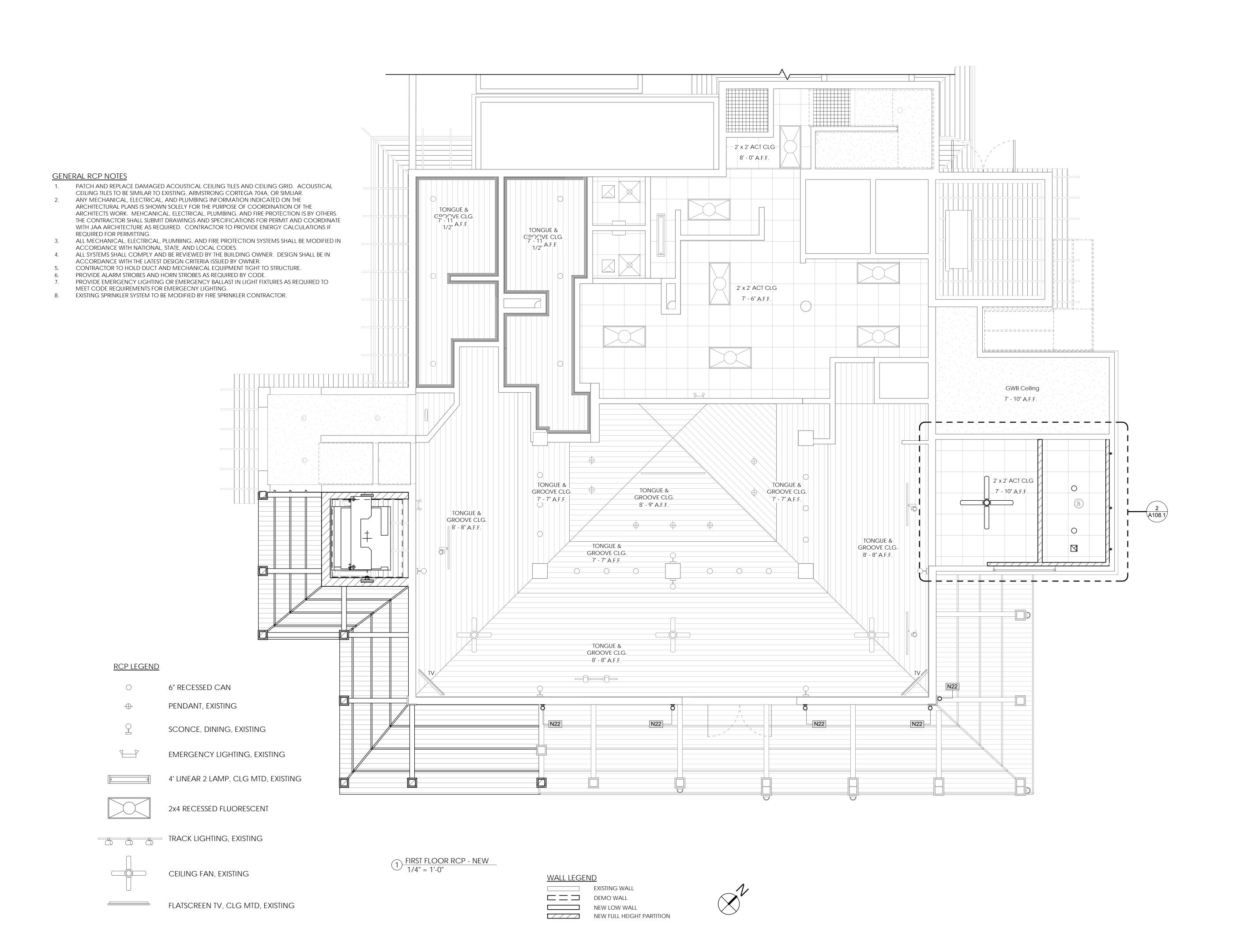
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5.3.2017 SHEET: DEMO REFLECTED CEILING PLAN - FIRST FLOOR





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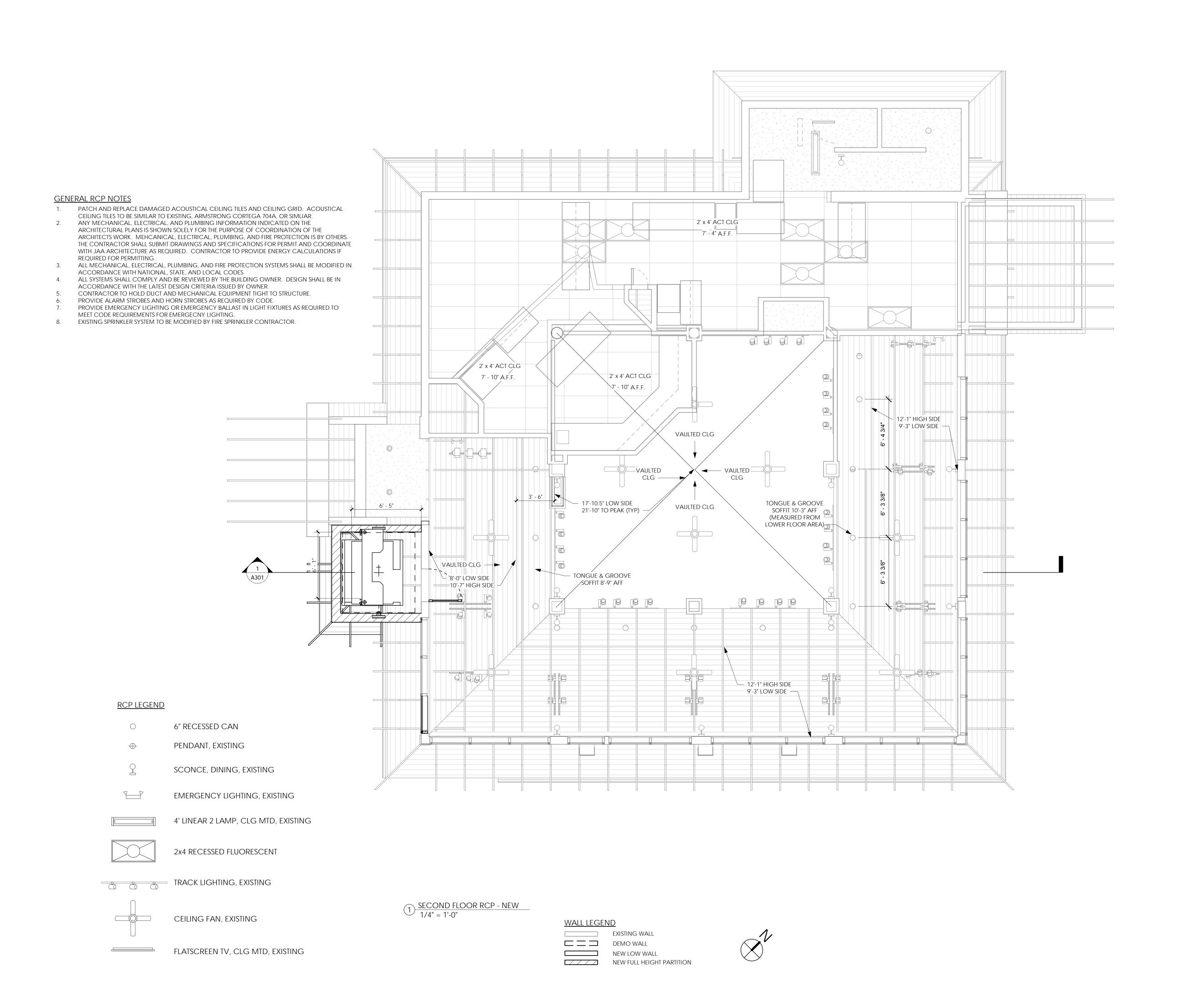
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NEW REFLECTED CEILING PLAN - FIRST FLOOR

15-050



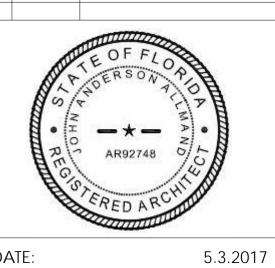


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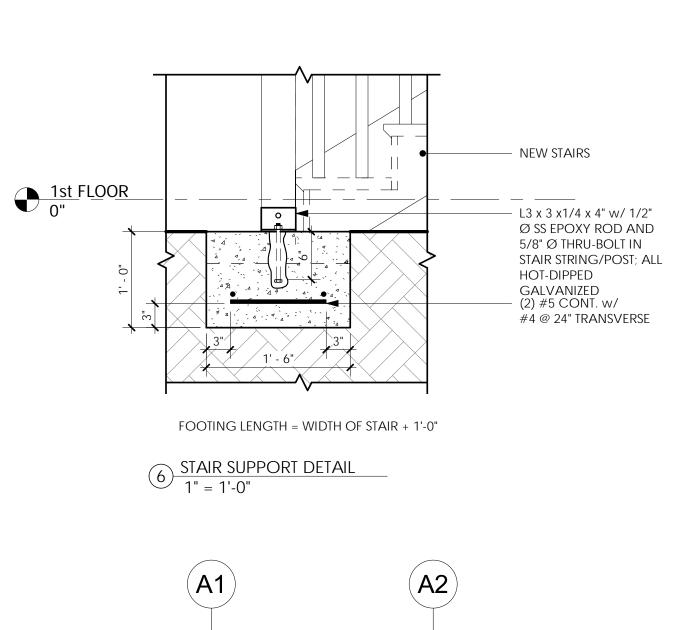
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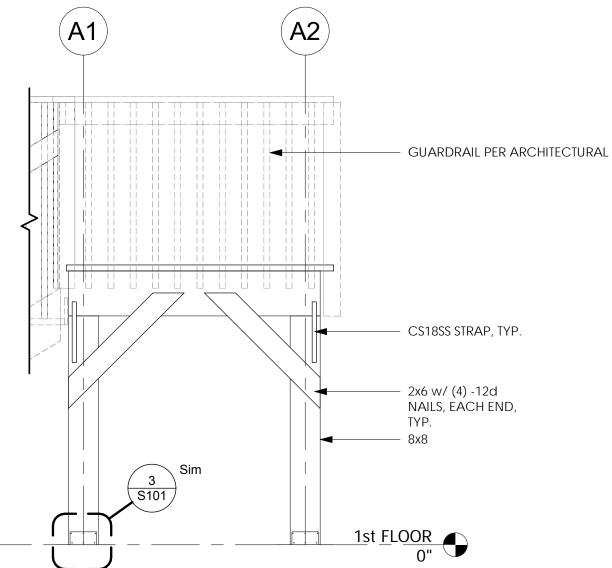
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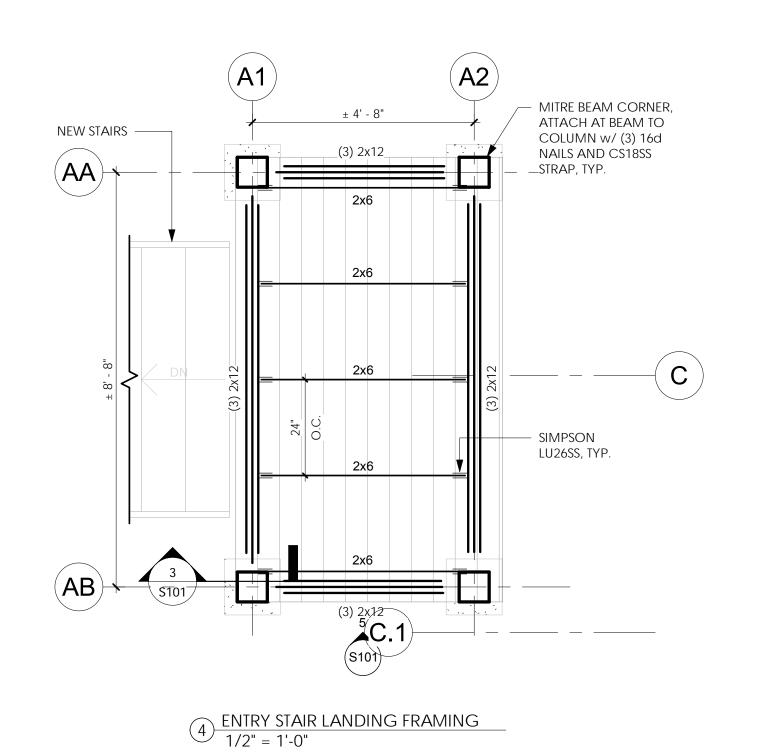


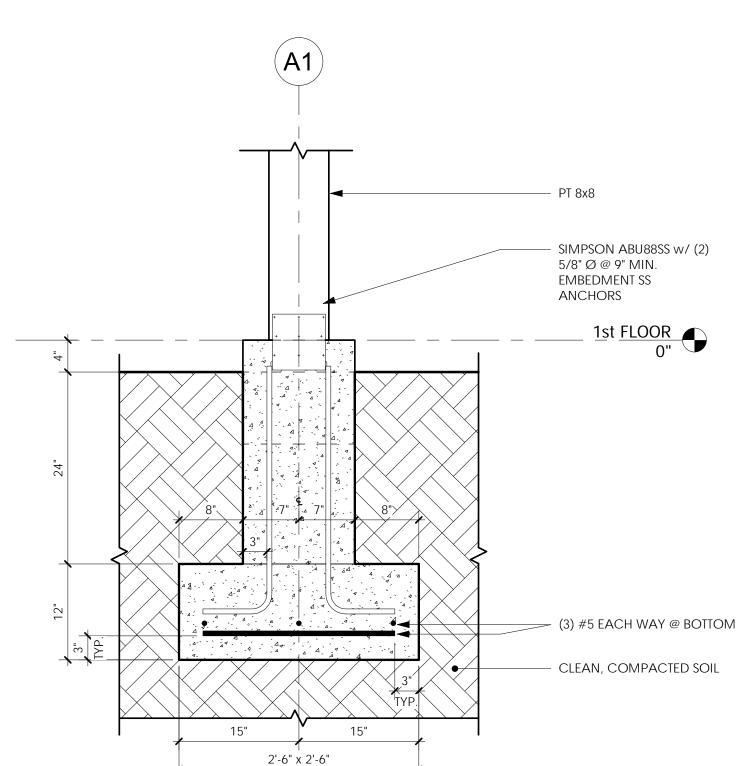
NEW REFLECTED CEILING PLAN - SECOND FLOOR



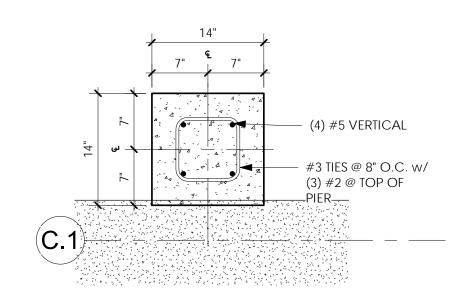


5 ENTRY STAIR FRAMING ELEVATION 1/2" = 1'-0"

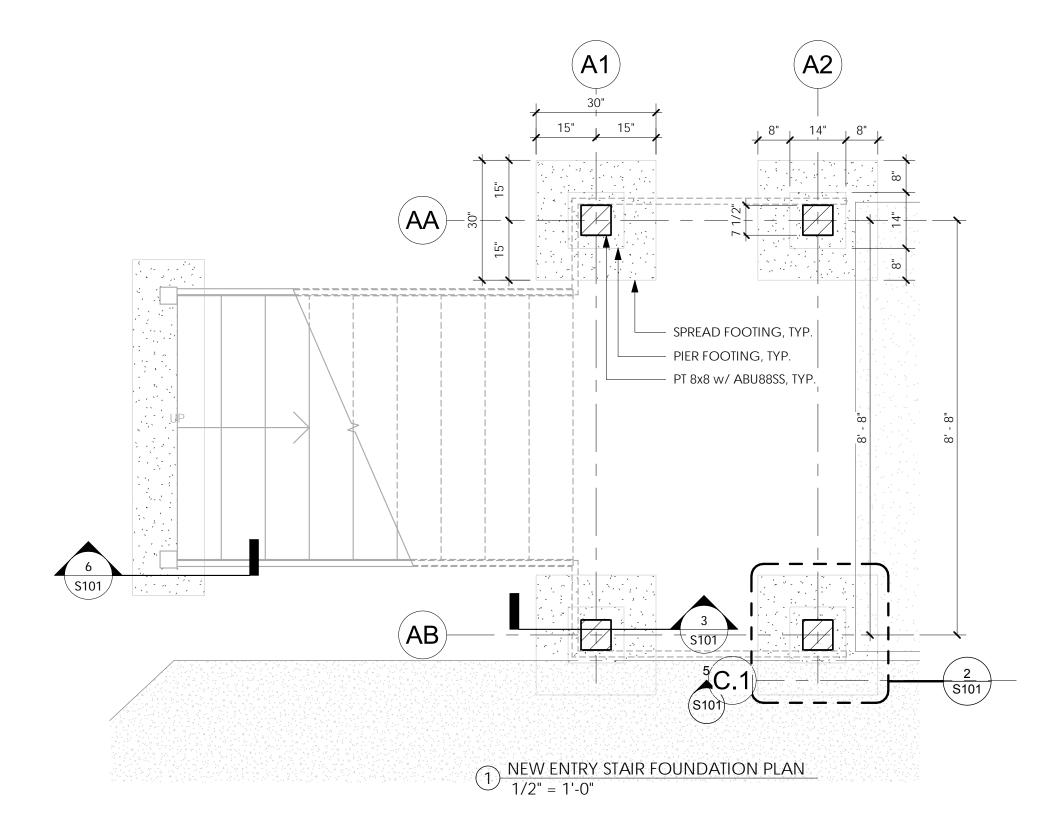




 $3 \frac{\text{TYPICAL PT 8x8 FOOTING SECTION}}{1" = 1'-0"}$



2 TYPICAL PIER FOOTING @ PT 8x8 COLUMN 1" = 1'-0"





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> 5.3.2017 ENLARGED FOUNDATION
> PLANS AND DETAILS

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