

UNIT MATRIX

No.	Occupancy	Area	SINK	MICRO	FRIDGE	DW	W/D	COOKTOP
1	R-2	457	•	•	•	•	•	•
2	R-1	412	•	•	•	•	•	•
3	R-1	467	•	•	•	•	•	•
4	R-1	467	•	•	•	•	•	•
5	R-1	467	•	•	•	•	•	•
6	R-1	467	•	•	•	•	•	•
7	R-1	467	•	•	•	•	•	•
8	R-1	444	•	•	•	•	•	•
9	R-1	647	•	•	•	•	•	•

KITCHEN EQUIPMENT

FBC 2017 BUILDING TYPE DATA

TABLE 504.3 ALLOWABLE BUILDING HEIGHT IN FEET ABOVE GRADE PLANE

TYPE V-B	Allowed	Provided
Occupancy Class R Fully Sprinklered	70	18

TABLE 504.4 ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE

TYPE V-B	Allowed	Provided
Occupancy Class R1 Fully Sprinklered	3	1

TABLE 506.2 ALLOWABLE AREA FACTOR (At = NS, S1, S13R, or SM) IN SQUARE FEET

TYPE V-B	Allowed	Provided
Occupancy Class R1 Fully Sprinkled - S1	28000	4342

FBC 2017 TABLE 601

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)

BUILDING ELEMENT	TYPE V-B	Required	Provided
Primary structural frame			
BEARING WALLS			
Exterior		0	1
Interior		0	1
NON BEARING WALLS AND PARTITIONS			
Interior		0	1
Floor construction and associated secondary members		0	0
Roof construction and associated secondary members		0	0

2017 FBC TABLE 602

FIRE RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE = X (FEET)

FIRE SEPARATION DISTANCE = X (FEET)	TYPE OF CONSTRUCTION	OCCUPANCY "R"
X ≤ 5	V-B	1
5' < X < 10'	V-B	1

GENERAL NOTES:

- ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DECOR), ARE TO COMPLY WITH FBCB CHAPTER 8, FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION.
- PROVIDE INTERCONNECTED SMOKE ALARMS IN COMPLIANCE WITH FBCEB (WORK AREA ONLY) FBCE 804.4.3.
- GATE DOOR THAT REQUIRES A CARD READER TO ENTER SHALL HAVE FREE EGRESS HARDWARE.
- GATE/DOOR SHALL NOT REQUIRE A KEY OR SPECIAL KNOWLEDGE TO OPEN FOR EGRESS FOR SHOWER AS PER FBC PLB 424.5.
- PROVIDE WATER TEMPERATURE LIMITING DEVICE CONFORMING TO ASSE1070 OR CSA B125.3 FOR SHOWER AS PER FBC PLB 424.5.
- SHOW ALL FIXTURE CLEARANCES TO VERIFY COMPLIANCE WITH FBC PLB 405.3.1.
- FIXTURES SHALL COMPLY WITH REFERENCED STANDARDS AS PER FBC PLB 406 THROUGH 421.
- MAXIMUM WATER CONSUMPTION COMPLIANCE WITH MIAMI DADE ARTICLE LLL, SEC. 08-31 SHALL BE PROVIDED.

PROJECT TEAM

OWNER	226 JEFFERSON INC 5150 NW MIAMI AVE. MIAMI, FL 33127	ARCHITECT:	Arturo G. Fanjul, RA ARO017585 FANJUL & ASSOCIATES, LLC 165 Madeira Ave. Suite 7 Coral Gables, FL 33134 PH. 305.726.8313 FAX. 305.356.3686 arturo@fanjularchitects.com www.fanjulandassociates.com
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PROPERTY INFORMATION

ADDRESS	266 JEFFERSON AVE
FOLIO:	02-4203-009-5780
LEGAL DESCRIPTION:	OCEAN BEACH ADD NO 3 PB 2-81 LOT 5 BLK 81 LOT SIZE 50,000 X 140 OR 18809-1274 0999 3
LOT SIZE:	7,000
YEAR BUILT:	1940
ZONING:	R-SP1
TYPE OF CONSTRUCTION	TYPE V-B FULLY SPRINKLERED
CURRENT / PROPOSED OCCUPANCY:	R-2 RESIDENTIAL MULTI FAMILY / R1 PROPOSED

DESIGN CODES

Building	2017 FLORIDA BUILDING CODE - 6th Edition - Building
Mechanical	2017 FLORIDA BUILDING CODE - 6th Edition - Mechanical
Plumbing	2017 FLORIDA BUILDING CODE - 6th Edition - Plumbing
Electrical	FBC 2017 Refers to NFPA 70 NEC
Life Safety Code :	CHAPTER 29 Existing Hotels 2017 Florida Fire Prevention Code 6th Edition
Accessibility	2017 FLORIDA BUILDING CODE - 6th Edition - Accessibility Code

FINISH REQUIREMENTS (R-1 FULLY SPRINKLED REFER TO TABLE 803.11)

AREA	SPRINKLERED	UNSPRINKLERED
EXITS	CLASS B MINIMUM	CLASS A MINIMUM
EXIT ACCESS	CLASS C MINIMUM	CLASS B MINIMUM
OTHER SPACES	CLASS C MINIMUM	CLASS C MINIMUM

TENANT FLOOR FINISHES: CLASS I OR II

FIRE RESISTANT REQUIREMENTS TYPE V CONSTRUCTION

COLUMNS:	TABLE 601 OF FBC 2017
BEAMS & GIRDERS	TABLE 601 OF FBC 2017
ROOFS:	TABLE 601 OF FBC 2017



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SCOPE OF WORK

2017 FBCE - LEVEL 2 ALTERATION & CHANGE OF USE FROM R2 TO R1 WITH ACCESSIBLE RAMP.

CHANGE OF USE OF EXISTING 9 UNIT RESIDENTIAL GROUP R2 APARTMENTS TO R1 APARTMENT HOTEL. EXISTING UNIT#1 TO REMAIN GROUP R-2 AND UNITS #2-9 TO BECOME GROUP R-1 APARTMENT HOTEL

WORK TO BE COMPLETED UNDER THIS PERMIT:

BUILDING DIVISION:

- NEW METAL FRAME ADA RAMP TO PROVIDE ACCESS TO UNIT NO. 2. ACCESS SHALL BE FROM PUBLIC SIDEWALK AT MAIN ENTRY.
- MODIFICATIONS TO EXISTING UNIT 2 BATHROOM TO COMPLY WITH FBC 2017 ACCESSIBILITY CODE 806
- EXISTING KITCHEN COMPLIES WITH FBC 804
- ADDITION OF ADA NOTIFICATION DEVICES TO COMPLY WITH FBC 2017 ACCESSIBILITY CODE 806.3
- PROVIDE PRE-MANUFACTURED COVERED OPEN AIR RECEPTION AREA WITH FOUNDATIONS

ELECTRICAL DIVISION:

- RELOCATION OF UNIT NO. 2 ELECTRICAL PANEL REQUIRED TO ACCOMMODATE ACCESSIBLE ROUTE THROUGH UNIT.
- ADDITION OF FIRE ALARM - UNDER SEPARATE SUB-PERMIT

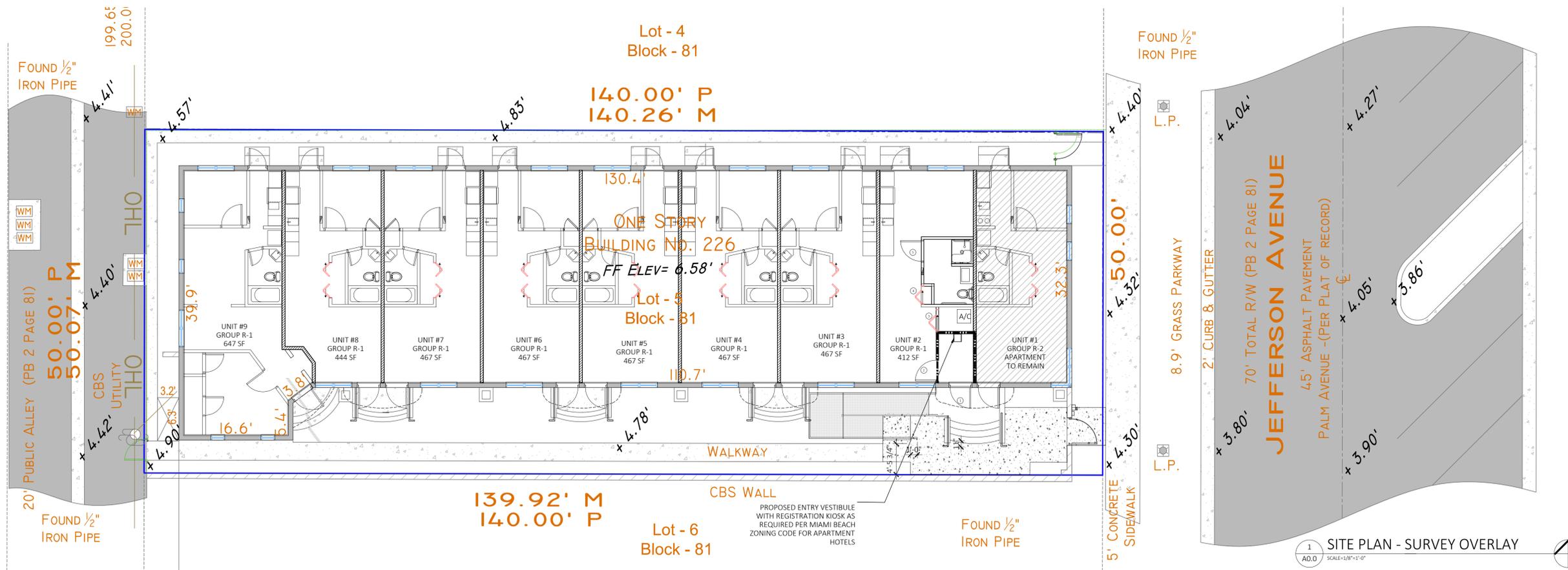
PLUMBING:

- MODIFICATION TO UNIT 2 BATHROOM SHOWER ONLY RESET SHOWER TO ADA COMPLIANT SHOWER.

MECHANICAL:

- RELOCATE EXISTING AHU TO NEW CLOSET TO ACCOMMODATE ADA BATHROOM MODIFICATIONS IN UNIT#2

FIRE SPRINKLERS TO BE PROVIDED UNDER SEPARATE PERMIT.



CONSTRUCTION DOCUMENTS FOR:

CHANGE OF USE R2 TO R1 APARTMENT HOTEL IMPROVEMENTS

226 JEFFERSON AVENUE
MIAMI BEACH, FL 33139
FOLIO:02-4203-009-5780

COVER SHEET

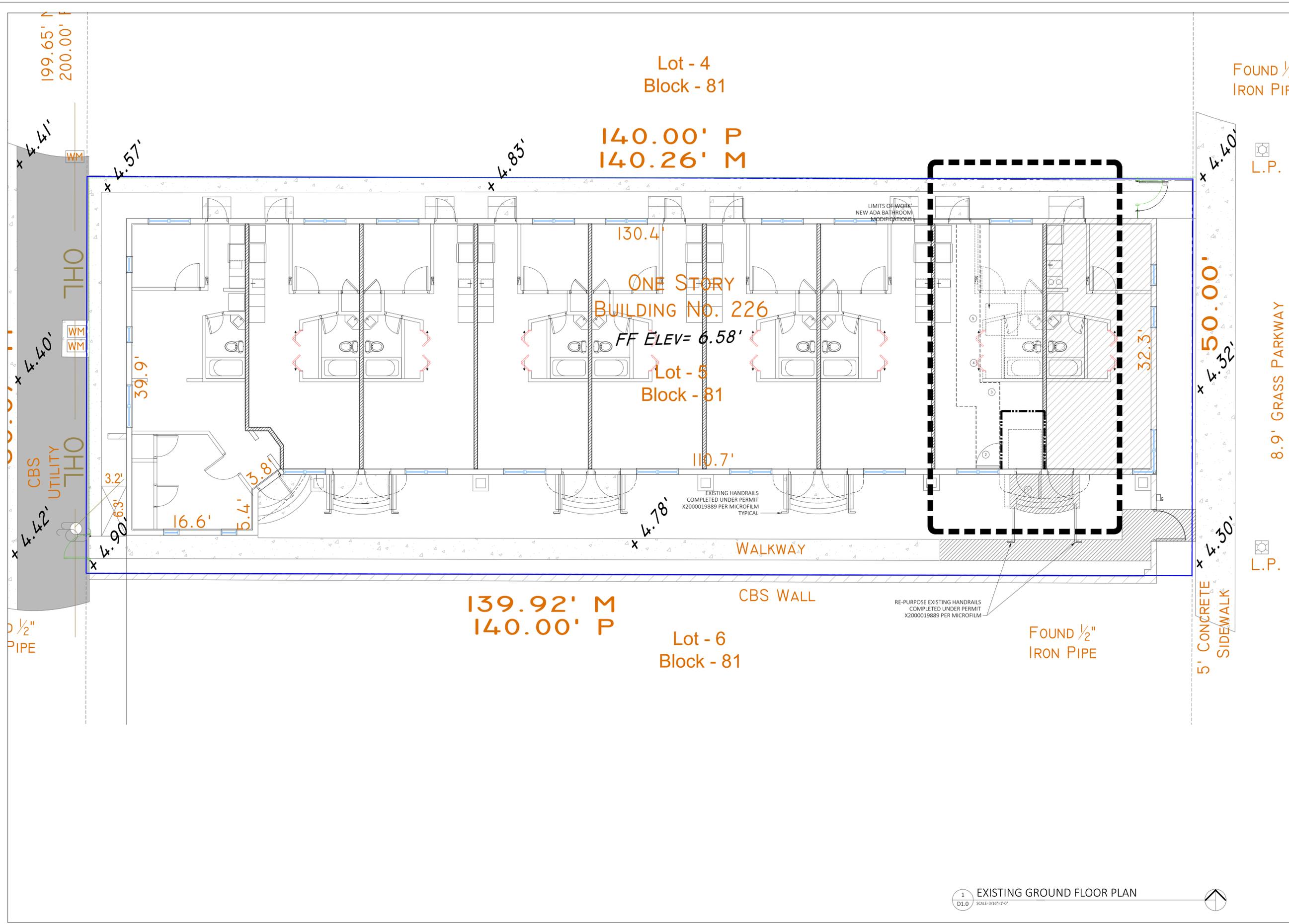
REVISION	NO.

DATE:	3/15/2019
SCALE:	AS NOTED
DRAWN:	AGF
CHECKED:	AGF
JOB NO.:	18-0902
PERMIT NO.:	

OWNERSHIP
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AO.O

1 SITE PLAN - SURVEY OVERLAY
A0.0 SCALE: 1/8"=1'-0"



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CONSTRUCTION DOCUMENTS FOR:
**CHANGE OF USE
 R2 TO R1
 APARTMENT HOTEL
 IMPROVEMENTS**
 226 JEFFERSON AVENUE
 MIAMI BEACH, FL 33139
 FOLIO:02-4203-009-5780

EXISTING CONDITIONS &
 DEMOLITION NOTES

REVISION	NO.

DATE: 3/15/2019
 SCALE: AS NOTED
 DRAWN: AGF
 CHECKED: AGF
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 PERMIT NO.

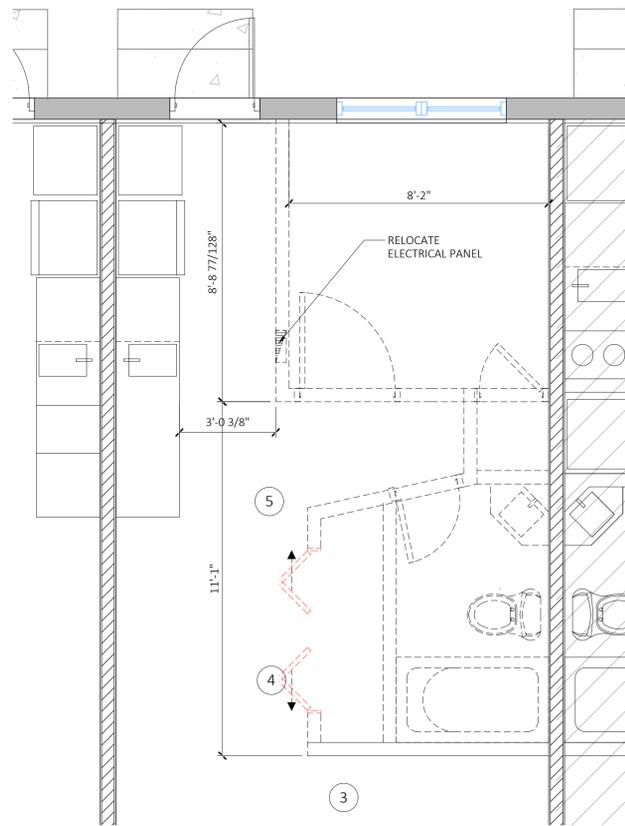
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D1.0

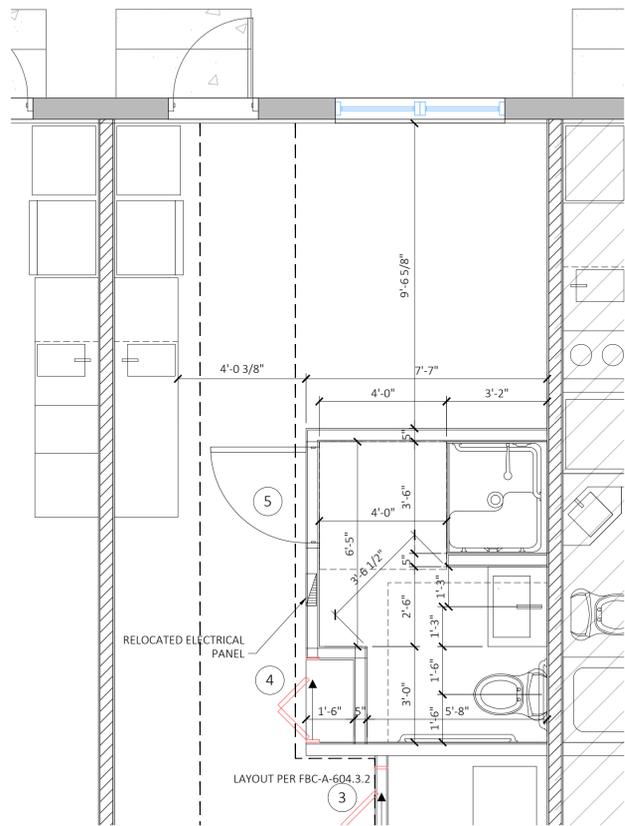
1 EXISTING GROUND FLOOR PLAN
 D1.0 SCALE=3/16"=1'-0"



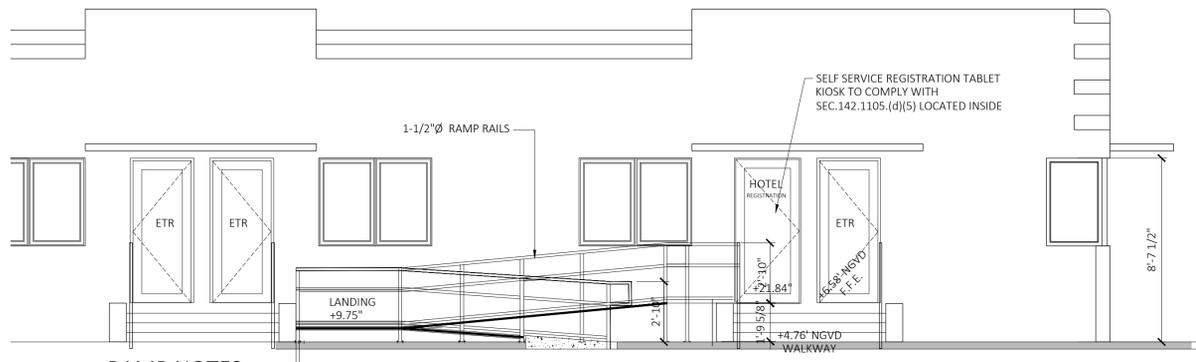
REWORK-1 6/6/2019



4 EXISTING CONDITIONS DEMO PLAN
SCALE: 3/8"=1'-0"



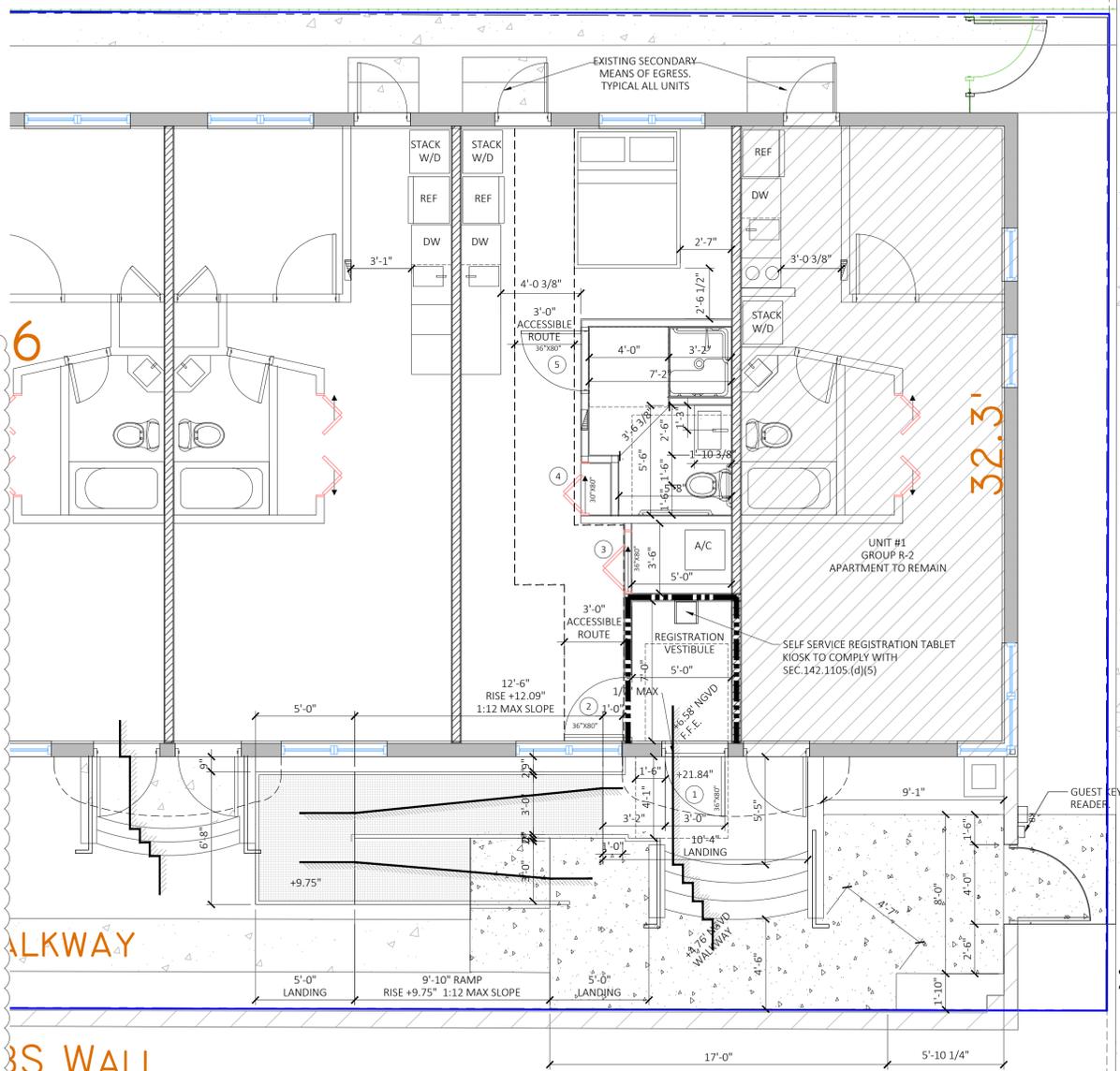
3 PROPOSED ADA BATHROOM
SCALE: 3/8"=1'-0"



RAMP NOTES:
 1. RAMP SHALL BE FABRICATED OF MARINE GRADE ALUMINUM POSTS AND RAILS.
 2. POSTS SHALL BE SURFACE MOUNTED TO CONCRETE SLAB OF CONCRETE PEDESTAL FOOTINGS.
 3. THE FIRST 4'-0" RUN, 4" RISE OF RAMP SHALL BE SLOPED CONCRETE TO ALLOW FOR ALUMINUM FRAME ATTACHMENT OF DECKING.
 4. RAMP DECK SHALL BE FABRICATED OF MARINE GRADE FIBERGLASS GRATING AS USED IN MARINA CONSTRUCTION WITH ADA COMPLIANT SLIP COEFFICIENT OF FRICTION.
 5. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
 6. MAX SLOPE 1:12 PER 2017 FBC-ACCESSIBILITY CODE

NO GUARD RAIL REQUIRED, RISE IS LESS THAN 30"

1 RAMP ELEVATION DETAIL
SCALE: 1/4"=1'-0"



2 GROUND FLOOR PLAN
SCALE: 3/16"=1'-0"

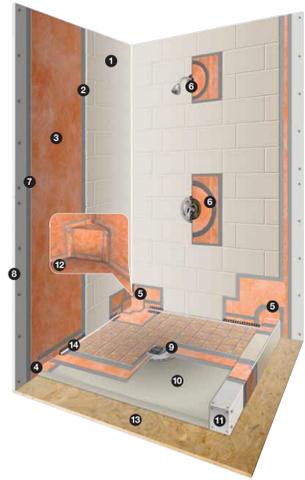
SHOWER ASSEMBLY
Beautiful, durable, and functional

The integrated Schluter®-Shower System eliminates leaks, reduces the potential for efflorescence and mold growth in the system, and dramatically reduces total installation time to ensure success and make shower installation easier than ever. The Schluter®-KERDI-DRAIN integrates seamlessly with portland cement mortar beds to provide a sound base for the Schluter®-KERDI waterproofing membrane. Mortar bases can be formed in virtually any shape to allow for custom configurations of tiled showers.

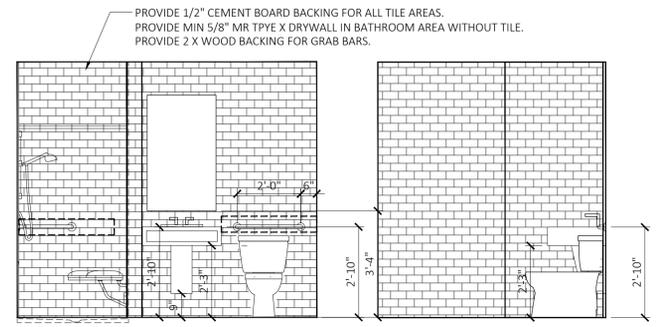
Showers - Ceramic or stone tile

Mortar base
K-SH-M-10

- 1 Ceramic or stone tile
- 2 Unmodified thin-set mortar
- 3 Schluter®-KERDI waterproofing membrane
- 4 Schluter®-KERDI-BAND waterproofing strips
- 5 Schluter®-KERDI-KERDECK-F waterproofing corners
- 6 Schluter®-KERDI-SEAL-PS/MV seals or Schluter®-KERDI-FIX sealant and bonding compound
- 7 Unmodified thin-set mortar
- 8 Solid backing
- 9 Schluter®-KERDI-DRAIN
- 10 Portland cement mortar bed
- 11 Built-up curb or Schluter®-KERDI-SHOWER-SC curb
- 12 Schluter®-KERDI-SHOWER-SB bench (optional)
- 13 Wood or concrete subfloor
- 14 Schluter®-DILEX profile (optional)



6 SHOWER CONSTRUCTION
SCALE: NTS



- GENERAL ADA NOTES:**
- GUEST BEDROOM NO. 2 SHALL COMPLY WITH 2017 FBC-A 806 TRANSIENT LODGING GUEST ROOMS SECTIONS 806.1 THRU 806.4
 - IN RESIDENTIAL BATHROOM SHALL COMPLY WITH 2017 FBC-A 604.5.2 EXCEPTION 1 AT A MINIMUM.
 - PROVIDE WALL TILES IN BATHROOM WET AREAS TO 6 FEET OR 72 INCHES MINIMUM ABOVE DRAIN IN COMPLIANCE WITH FBCB 1210.2.3
 - PROVIDE MIN 3/4" CEMENTITIOUS PANEL AS BACKING BOARD IN WET AREAS INSIDE BATHROOMS PER NOTE 8 ON DETAIL 6/A1.0 AND PER FBCB 2509.2. THICKNESS AND TYPE MUST MATCH THE COMPOSITION OF THE WALL DETAIL IF A (NRTL APPROVED SYSTEM) IS BEING USED IN WET AREAS.

5 PROPOSED BATHROOM ELEVATIONS
SCALE: 3/8"=1'-0"



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