

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART II, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: _____ DEWEY'S INDOOR GOLF & SPORTS GRILL _____

Address: _____ 7720 TURKEY LAKE ROAD, Orlando, FL 32819 _____

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: _____ Mark Nasrallah _____

Applicant's Address: _____ 3920 Edgewater Drive, No. 101, Orlando, FL 32804 _____

Applicant's Telephone: _____ (407) 647 0938 _____ FAX: _____ (407) 647 2499 _____

Applicant's E-mail Address: _____ Mark@Nasrallah.com _____

Relationship to Owner: _____ Architect _____

Owner's/Tenant's Name: _____ Dewey Tomko _____

Owner's Address: _____ 2054 Southern Dunes Blvd, Haines City, FL 33844 _____

Owner's Telephone: _____ 863-207-2539 _____ FAX _____ 863-421-4311- _____

Owner's E-mail Address: _____ beautyonesa@hotmail.com _____

Signature of Owner: _____ *Dewey Tomko* _____ *11/6/13* _____

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

Indoor golf with dining facilities.

5. **Project Construction Cost (Provide cost for new construction, the addition, or the alteration):**

_____ \$1,400,000 _____ land and improvements _____

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

The project has been referred to the Commission because of a code conflict in the Florida Accessibility Code at the direction of Orange County Building Department.

This project has a mezzanine for the support of the building operations and is used by employees of the business. The mezzanine is not open to the public. The mezzanine provides the following functions: refrigerated beverage and food storage, food preparation, liquor storage, general storage, computer server, and office for management.

Code Conflict:

Florida Accessibility Code 2012 (FAC) requires buildings to have vertical accessibility in accordance with "FAC 201.1.1 Vertical Accessibility". This section of the code has two conflicting exceptions (as directed by Orange County):

- a. FAC 201.1.1 Exception (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.
- b. FAC 201.1.1 Exception (6) All employee areas as exempted by 203.9.

The project was designed with a platform lift using the exception FAC 201.1.1 Exception (6) because the mezzanine is for employee use only and the mezzanine meets the accessibility requirements of

FAC 203.9.

It is the opinion of Orange County that the mezzanine is required to have an elevator installed because the occupant load is greater than five persons per architectural sheet "A LS1.1"

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1. :We request that the following code section be waived:
 - a. FAC 201.1.1 Exception (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

The architect and Building Official have different opinions in the code interpretation. It is the opinion of the Architect's that because the mezzanine is designed to be accessible in accordance with FAC 203.9, then FAC 201.1.1 Exception (6) this is the applicable exception to use.

If the mezzanine *was not compliant* with FAC 203.9 then FAC 201.1.1 Exception (3) would apply.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The mezzanine business functions include the following: (1) refrigerated food and beverage which is to be prepared and sold at the main level; (2) liquor storage; (3) general supplies; (4) computer server room; (5) accounting office, and (6) owner and general manager office.

These functional elements and their proximity to the preparation of food and support of the business operation are critical for the business to function. The business will not be able to go forward without them.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

This waiver request is submitted in a short time frame and we are not able to procure appropriate bids which typically take 2-3 weeks. The following is a list of elements that will be required to be modified to add an elevator in the current constructed condition:

The construction is well underway. The requirement to install an elevator would have a significant cost impact for the project and would extend the budget beyond the bank loan amount.

The associated cost to add an elevator at this point would include the following scopes of work:

- a. Platform Lift: this equipment has been purchased but not installed. The cost is \$23,750. See “Appendix A” for the cost from the subcontractor.
- b. Elevator: the cost for the elevator including installation is \$70,000. See “Appendix A” for the cost from the subcontractor.
- c. Modification of the existing building:
 - a. Concrete Foundation: Installation of a 4-foot depth elevator pit, removal of concrete for a new foundation for the elevator shaft.
 - b. Modification of the 80-foot span roof bar joist: The roof truss bottom chord is 10’-8” above the mezzanine floor. The elevator requires a minimum clear height (over-travel) of 12’-2” and additional room for the hoist beam and shaft cap. The roof trusses are spaced at four feet on center and will conflict with the elevator and therefore require modification.
 - c. New Elevator Shaft: A new shaft could be constructed from either masonry or metal.
 - d. Mezzanine Floor Structure: the existing mezzanine floor is framed with four steel columns that are at the four corners of the platform lift. These columns align with beams and the beams have bar joist supporting the mezzanine floor with an existing concrete floor slab on a metal deck system. The elevator shaft is larger and the floor system including beams and bar joist will require removal and replacement with a new system.
 - e. Electrical: it is not known if the building has the capacity for a hydraulic elevator
- d. Plan configuration – the elevator and equipment room is larger than a platform lift with integrated motorization.



9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

- a. Platform Lift: the cost for the platform lift is \$23, 750 and documentation is located at Appendix A.
- b. Elevator: the cost for the elevator is \$70,000 and documentation is located in Appendix A
- c. Building modification Cost: the total cost of the modification of the building for the addition for an elevator is not known.

10. **Licensed Design Professional:** Where a licensed design has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

Signature

Printed Name

Phone number (407) 619-3043

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby declare that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 7 day of November, 2013

Signature

Mark Nasrallah

Printed Name

I understand that if I falsify, misrepresent, or omit any material information on this document, the Commission may revoke any order and will notify the building official of the permitting jurisdiction.

KNOWINGLY MAKING A FALSE STATEMENT IN WRITING WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OFFICIAL DUTY IS A MISDEAMEANOR OF THE SECOND DEGREE PURSUANT TO SECTION 837.06 F.S. AND SECTION 775.083, F.S.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. _____

b. _____

c. _____

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction _____

Comments/Recommendation _____

Jurisdiction _____

Building Official or Designee _____

Signature

Printed Name

Certification Number

Telephone/FAX

Email Address

Address: _____

Certification of Licensed Design Professional for Replicated Designs to be Placed on Consent Agenda

Note: Fill out pages _____ only for cases in which design documents are duplicates of previously approved waivers and the project can be placed on a Consent Agenda.

I, Mark Nasrallah, a licensed architect/engineer in the state of Florida, whose Florida license number is AR0008136, hereby state as follows:

1. I am the architect/engineer of record for the project known as (name of project) DEWEY'S INDOOR GOLF & SPORTS GRILL, for which the Owner seeks a waiver of one or more accessibility requirements in an application to which this Certification is attached.

2. I hereby certify that to the best of my knowledge and belief to the Florida Building Commission that the design documents for the DEWEY'S INDOOR GOLF & SPORTS GRILL are the same as the design documents previously submitted to the Commission and referenced in paragraph 3 below, except that the two projects are built or to be built on different parcels of land at different locations.

3. The licensed design professional of record (identify the licensed design professional of record), Mark Nasrallah, prepared the design documents for the project known as DEWEY'S INDOOR GOLF & SPORTS GRILL, for which the majority of the Accessibility Advisory Council recommended approval and the Commission granted a waiver of one or more accessibility requirements in Final Order No. _____.

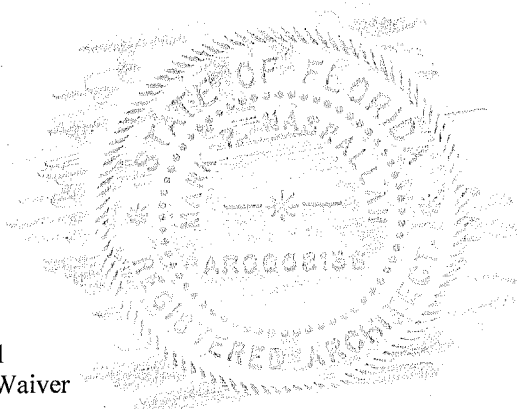
Printed Name: Mark Nasrallah Affix certification seal below:

Address: 3920 Edgewater Drive, Suite 101, Orlando, FL 32804

Telephone: office (407) 647-0938, Cel (407) 619-3043

Fax: (407) 647-2499

E-Mail Address: Mark@Nasrallah.com



SOUTHEAST ELEVATOR, INC.

811 EDWARDS ROAD FT. PIERCE, FL. 34982
PHONE (772) 461-0030 FAX (772) 461-9008
www.seelevator.com

November 7, 2013

John Brandies

Nasrallah Design Group
3920 Edgewater Drive
Orlando, FL 32804
(407)647-0938ext208

RE: Dewey Golf Elevator

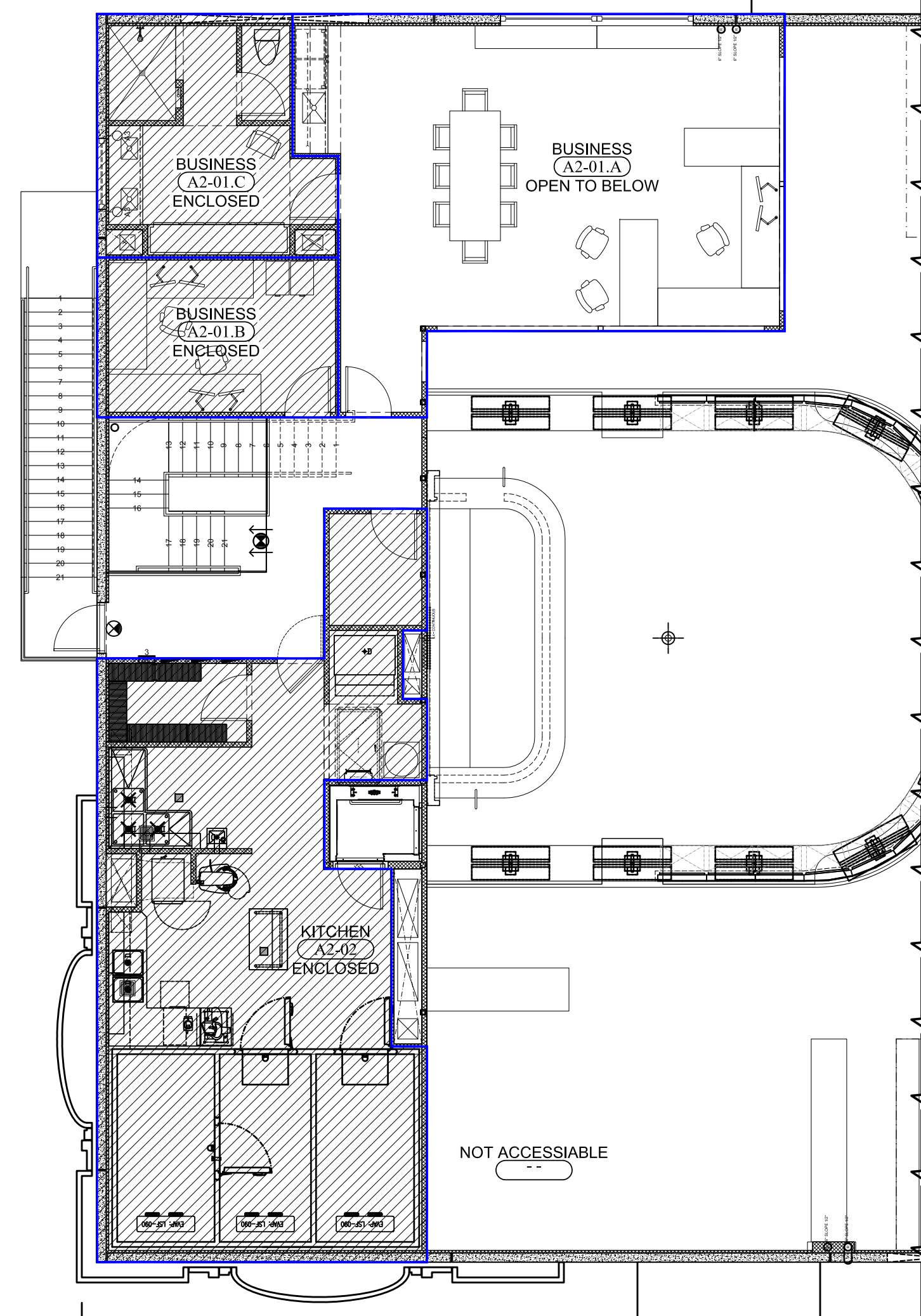
John,

The cost to install a 2100Lb elevator for this project would be \$70,000.00. It would require a custom corner post elevator with adjacent opening which is not a product that is pre-engineered and will require custom fabrication to achieve.

Currently the owner has already purchased a wheelchair lift for this project. The cost for the wheelchair lift is \$23,750.00 and is non-refundable.

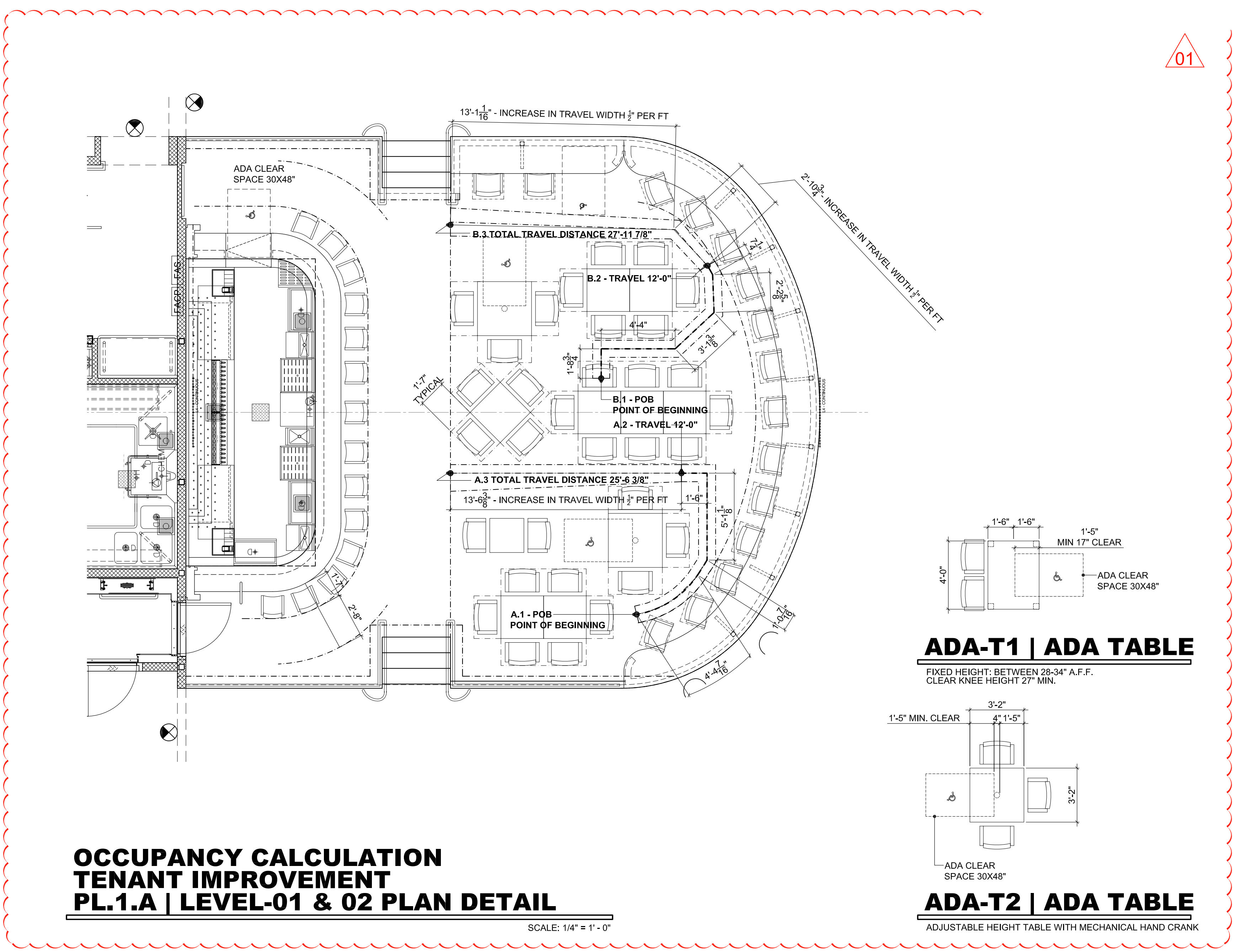
Sincerely,

Charles S McGee
President, Southeast Elevator, Inc.



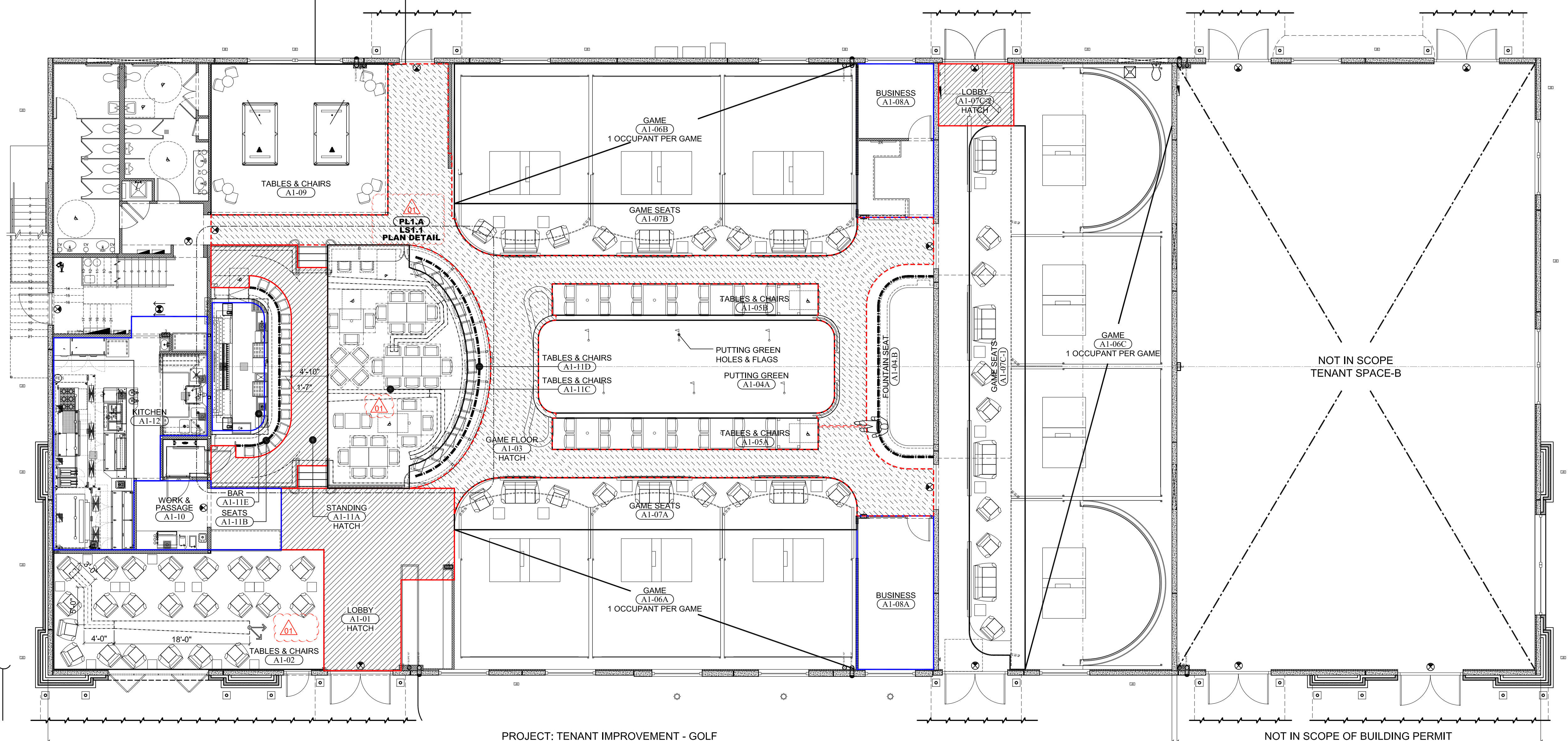
**OCCUPANCY CALCULATION
TENANT IMPROVEMENT
PL.1 | LEVEL-03 PLAN MEZZANINE**

SCALE: 1/8" = 1'-0"



**OCCUPANCY CALCULATION
TENANT IMPROVEMENT
PL.1.A | LEVEL-01 & 02 PLAN DETAIL**

SCALE: 1/4" = 1'-0"



**OCCUPANCY CALCULATION
TENANT IMPROVEMENT
PL.1 | LEVEL-01 & 02 PLAN**

SCALE: 1/8" = 1'-0"

REV	ITEM	DESCRIPTION	AREA	FACTOR AREA / LENGTH	OCC. LOAD
TENANT-A					
LEVEL-01& LEVEL-02					
A1-01	FOYER		380.8 SQ. FT.	5	76.3
A1-02	TABLES & CHAIRS		570.6 SQ. FT.	15	38.0
A1-03	ASSEMBLY GAMING FLOOR		1169.1 SQ. FT.	11	106.3
A1-04A	PUTTING GREEN		480.4 SQ. FT.	11	43.7
A1-04B	FOUNTAIN SEAT		35'-3"	18" PER OCC.	23.5
A1-05A	TABLES & CHAIRS			BY COUNT	16.0
A1-05B	TABLE & CHAIRS			BY COUNT	16.0
A1-06A	GOLF GAME			BY COUNT	3.0
A1-06B	GOLF GAME			BY COUNT	3.0
A1-06C	GOLF GAME			BY COUNT	4.0
A1-07A	GAME SEATS		358.9 SQ. FT.	15	23.9
A1-07B	GAME SEATS		358.9 SQ. FT.	15	23.9
A1-07C-1	GAME SEATS		521.1 SQ. FT.	15	34.7
A1-07C-2	FOYER		82.3 SQ. FT.	5	16.5
A1-08A	BUSINESS OFFICE		207.4 SQ. FT.	100	2.0
A1-08B	BUSINESS OFFICE		207.4 SQ. FT.	100	2.0
A1-09	TABLES & CHAIRS		471.5 SQ. FT.	15	31.5
A1-10	WORK & PASSAGE		170.2 SQ. FT.	100	1.7
A1-11A	BAR STANDING		246.0 SQ. FT.	5	38.2
A1-11B	BAR SEATS		27'-4"	18" PER OCC.	18.2
A1-11C	COUNTER SEAT		36'-2"	18" PER OCC.	24
A1-11D	TABLES & CHAIRS		505.9 SQ. FT.	15	33.7
A1-11E	BAR SERVICE		115.9 SQ. FT.	100	1.2
A1-12A	KITCHEN		476.1 SQ. FT.	200	2.4
LEVEL-03 MEZZANINE					
A2-01.A	BUSINESS (OPEN TO BELOW)		672.2 SQ. FT.	100	10.6
A2-01.B	(ENCLOSED) BUSINESS		166.3 SQ. FT.	100	1.7
A2-01.C	(ENCLOSED) BUSINESS TOILET		225.3 SQ. FT.	100	2.3
A2-02	(ENCLOSED) KITCHEN		852.1 SQ. FT.	200	4.2
MEZZANINE OCCUPANTS IN ENCLOSED SPACES = 8.5					
TOTAL OCCUPANT LOAD					
602.5					
TENANT-B					
1st Floor					
B-01	NOT IN BUILDING PERMIT SCOPE				

DATE	MARK	REMARK	BY
2013-10-01	01	AHJ COMMENTS	JB

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Ph: 407-647-0938 Fax: 407-647-2499
email: info@nasrallah.com
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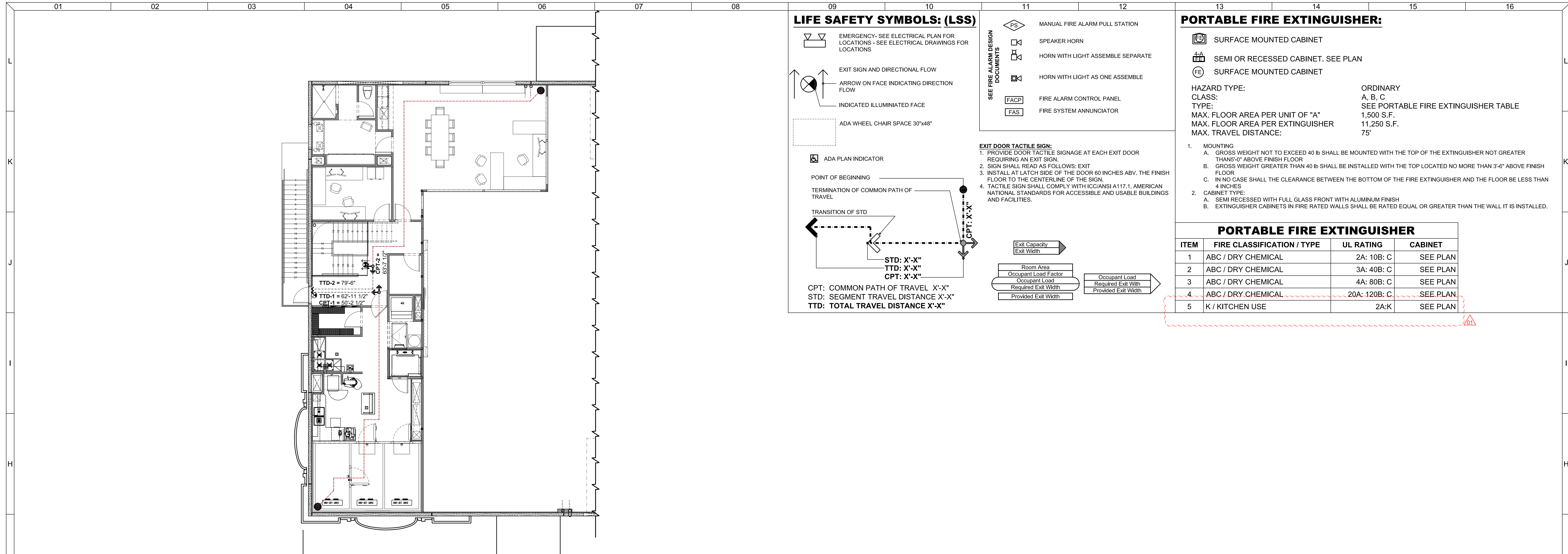
A COMMERCIAL PROJECT FOR:
DEWEY GOLF
ORLANDO, FLORIDA

DATE: 2013-10-01
DRAWN BY: []
CHECKED BY: []
PROJECT NO: 1282
SCALE: AS INDICATED

SHEET NO
**A
LS
1.1**

not valid without signature & seal

Designer, architect, contractor, and other parties shall be responsible for their own work. These plans and drawings are not to be reproduced, copied or used in any way without the written permission of the architect. No portion of these plans and drawings shall be used for any other project without the written permission of the architect. No portion of these plans and drawings shall be used for any other project without the written permission of the architect.

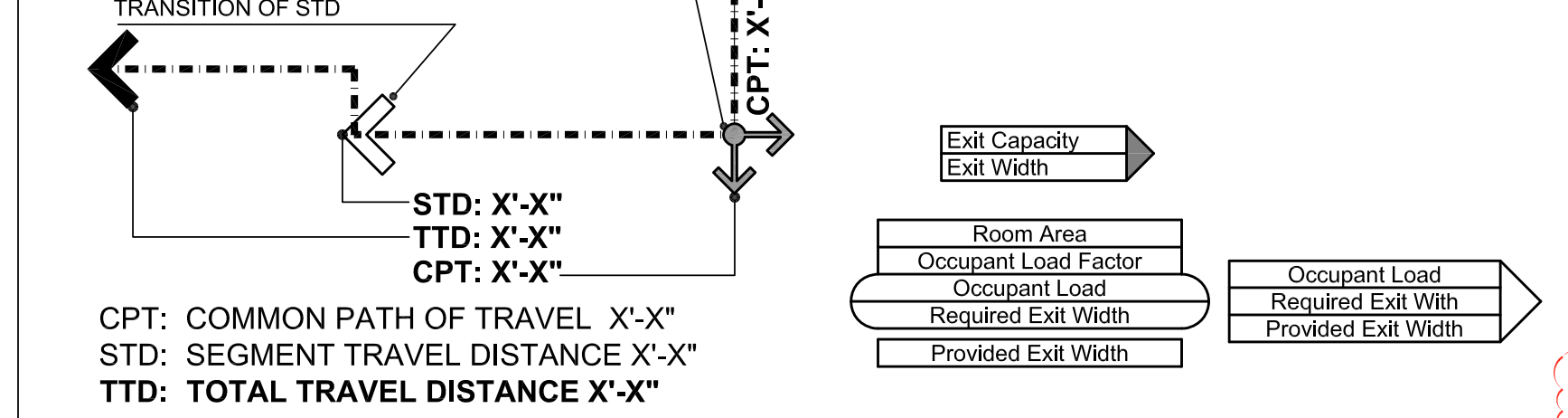


LIFE SAFETY SYMBOLS: (LSS)

- EMERGENCY - SEE ELECTRICAL PLAN FOR LOCATIONS - SEE ELECTRICAL DRAWINGS FOR LOCATIONS
- EXIT SIGN AND DIRECTIONAL FLOW
- ARROW ON FACE INDICATING DIRECTION FLOW
- INDICATED ILLUMINATED FACE
- ADA WHEEL CHAIR SPACE 30"x48"

- SEE FIRE ALARM DESIGN DOCUMENTS
- MANUAL FIRE ALARM PULL STATION
 - SPEAKER HORN
 - HORN WITH LIGHT ASSEMBLY SEPARATE
 - HORN WITH LIGHT AS ONE ASSEMBLY
 - FIRE ALARM CONTROL PANEL
 - FIRE SYSTEM ANNUNCIATOR

- EXIT DOOR TACTILE SIGN:**
- PROVIDE DOOR TACTILE SIGNAGE AT EACH EXIT DOOR REQUIRING AN EXIT SIGN.
 - SIGN SHALL READ AS FOLLOWS: EXIT
 - INSTALL AT LATCH SIDE OF THE DOOR 60 INCHES ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.
 - TACTILE SIGN SHALL COMPLY WITH ICC/ANSI A117.1, AMERICAN NATIONAL STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.



CPT: COMMON PATH OF TRAVEL X'-X"
 STD: SEGMENT TRAVEL DISTANCE X'-X"
 TTD: TOTAL TRAVEL DISTANCE X'-X"

PORTABLE FIRE EXTINGUISHER:

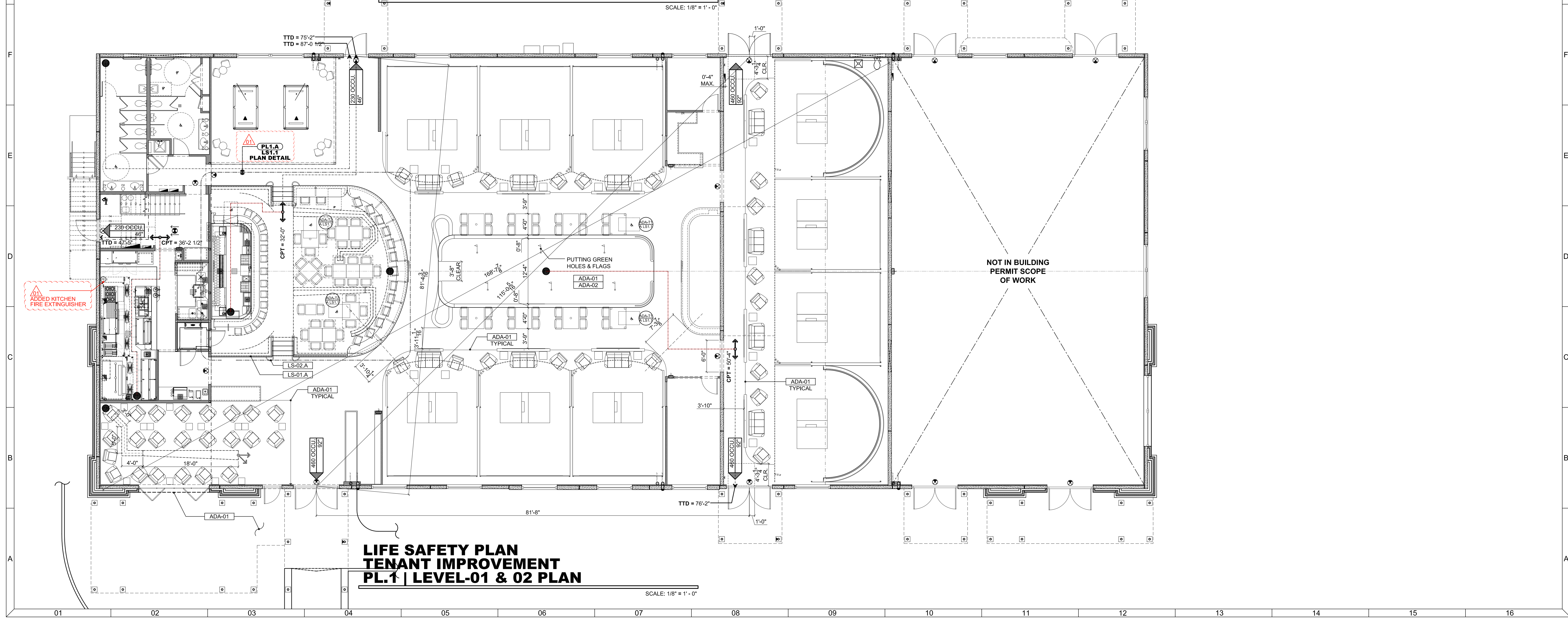
- SURFACE MOUNTED CABINET
 - SEMI OR RECESSED CABINET. SEE PLAN
 - SURFACE MOUNTED CABINET
- HAZARD TYPE: ORDINARY
 CLASS: A, B, C
 TYPE: SEE PORTABLE FIRE EXTINGUISHER TABLE
 MAX. FLOOR AREA PER UNIT OF "A": 1,500 S.F.
 MAX. FLOOR AREA PER EXTINGUISHER: 11,250 S.F.
 MAX. TRAVEL DISTANCE: 75'

- MOUNTING
 - GROSS WEIGHT NOT TO EXCEED 40 LB SHALL BE MOUNTED WITH THE TOP OF THE EXTINGUISHER NOT GREATER THAN 5'-0" ABOVE FINISH FLOOR
 - GROSS WEIGHT GREATER THAN 40 LB SHALL BE INSTALLED WITH THE TOP LOCATED NO MORE THAN 3'-6" ABOVE FINISH FLOOR
 - IN NO CASE SHALL THE CLEARANCE BETWEEN THE BOTTOM OF THE FIRE EXTINGUISHER AND THE FLOOR BE LESS THAN 4 INCHES
- CABINET TYPE:
 - SEMI RECESSED WITH FULL GLASS FRONT WITH ALUMINUM FINISH
 - EXTINGUISHER CABINETS IN FIRE RATED WALLS SHALL BE RATED EQUAL OR GREATER THAN THE WALL IT IS INSTALLED.

PORTABLE FIRE EXTINGUISHER

ITEM	FIRE CLASSIFICATION / TYPE	UL RATING	CABINET
1	ABC / DRY CHEMICAL	2A: 10B: C	SEE PLAN
2	ABC / DRY CHEMICAL	3A: 40B: C	SEE PLAN
3	ABC / DRY CHEMICAL	4A: 80B: C	SEE PLAN
4	ABC / DRY CHEMICAL	20A: 120B: C	SEE PLAN
5	K / KITCHEN USE	2A:K	SEE PLAN

**LIFE SAFETY
 TENANT IMPROVEMENT
 PL.2 | LEVEL-03 PLAN MEZZANINE**



**LIFE SAFETY PLAN
 TENANT IMPROVEMENT
 PL.1 | LEVEL-01 & 02 PLAN**

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 Orlando, FL 32804
 Ph: 407-647-0938 Fax: 407-647-2499
 email: info@nasrallah.com AA26001471

DATE	MARK	REMARK
2013-10-01	01	AHJ COMMENTS

DATE: 2013-10-01
 DRAWN BY: JB
 PROJECT NO: 1282
 AS INDICATED
 SCALE: 1/8" = 1'-0"

A COMMERCIAL PROJECT FOR:
DEWEY GOLF
 ORLANDO, FLORIDA

SHEET NO
**A
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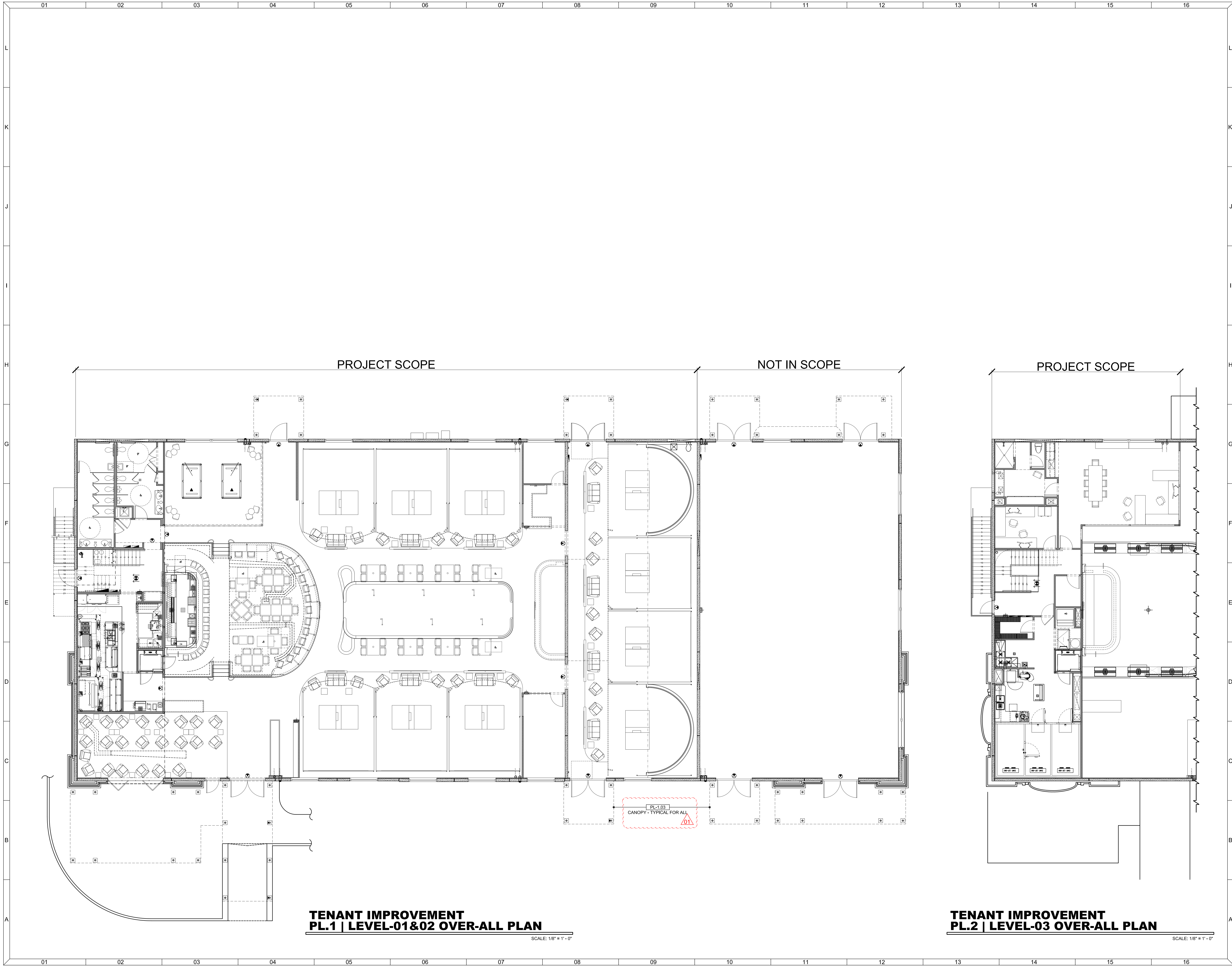
2013-10-01

not valid without signature & seal

TI GOLF

SITE PERMIT No. DP-12-09-185 | SHELL BUILDING PERMIT No. B13900145 | TI-GOLF BUILDING PERMIT No.

Designer hereby certifies that the design and construction of the project complies with the applicable codes and regulations. These plans and drawings are the responsibility of the designer. The client is responsible for obtaining all necessary permits and approvals. The client is responsible for obtaining all necessary permits and approvals. The client is responsible for obtaining all necessary permits and approvals.



**TENANT IMPROVEMENT
PL.1 | LEVEL-01&02 OVER-ALL PLAN**
SCALE: 1/8" = 1'-0"

**TENANT IMPROVEMENT
PL.2 | LEVEL-03 OVER-ALL PLAN**
SCALE: 1/8" = 1'-0"

DATE	MARK	REMARK	BY
2013-10-01	01	AJH COMMENTS	JB

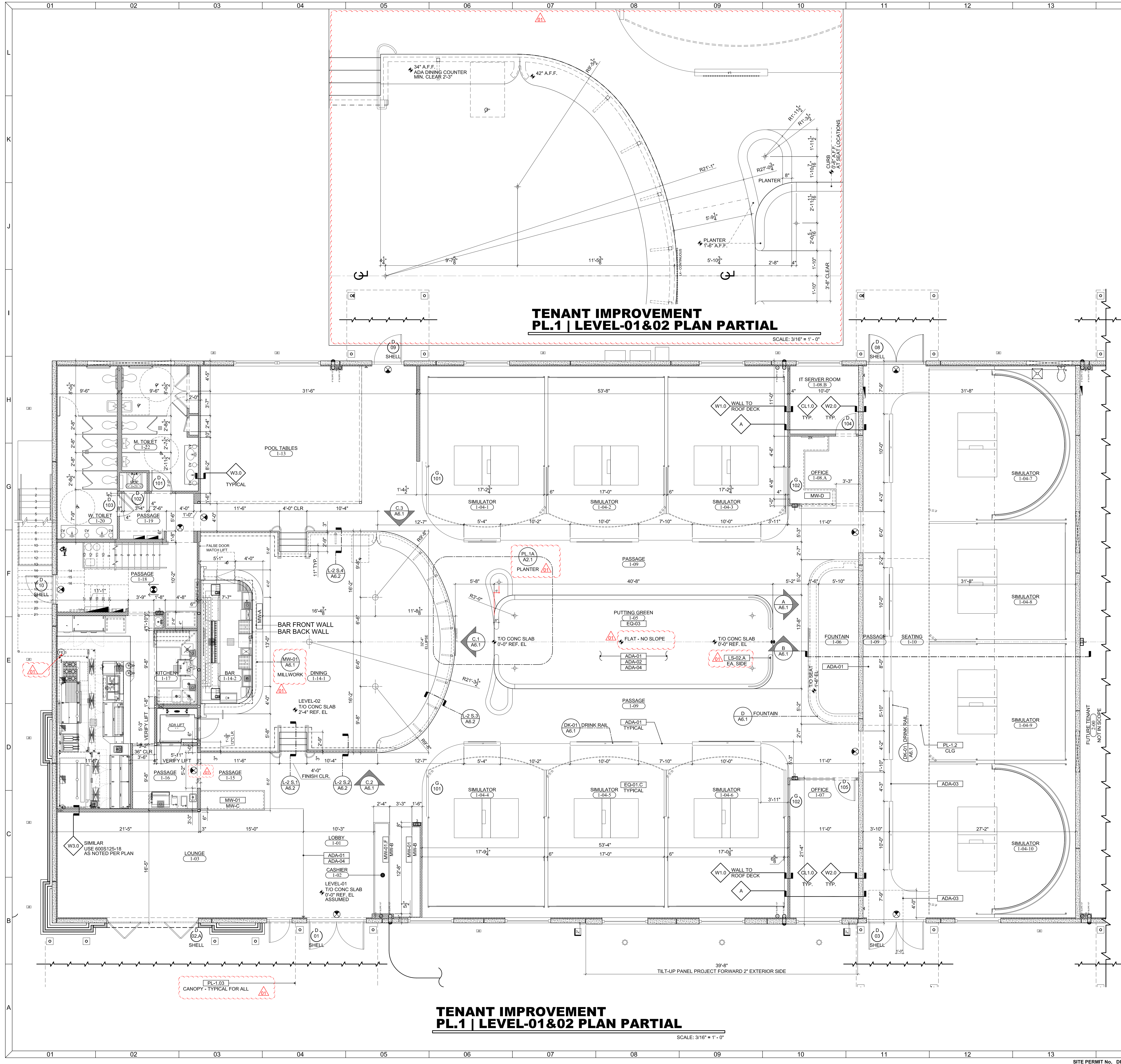
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Orlando, FL 32804
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email: info@nasrallah.com
AA26001471

A COMMERCIAL PROJECT FOR:
DEWEY GOLF
ORLANDO, FLORIDA

DATE	DESIGNED BY	DATE	CHK BY
2013-10-01			
PROJECT NO.	1262	AS INDICATED	
SCALE			

SHEET NO
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2.0**

TI GOLF
not valid without signature & seal
Mark P. Nasrallah
Fla. Reg. AR 0008136



**TENANT IMPROVEMENT
PL.1 | LEVEL-01&02 PLAN PARTIAL**

SCALE: 3/16" = 1'-0"

**TENANT IMPROVEMENT
PL.1 | LEVEL-01&02 PLAN PARTIAL**

SCALE: 3/16" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- PL-1.01 NOT USED
 - PL-1.02 (REV. 4/1) LINE OF FABRIC CEILING SEE ROOM FINISH SCHEDULE - MATERIAL SPEC IS PER 'ABOUTGOLF'; SEE ATTACHED TESTING DATA SUBMITTED WITH REVISION-01
 - PL-1.03 (REV. 4/1) EXTERIOR CANOPIES: (1) METAL STRUCTURAL SYSTEM COVERED WITH CANVAS-NYLON MATERIAL MEETING THE FLAME PROTRIGATION PERFORMANCE CRITERIA OF NFPA 701; (2) THE CONTRACTOR IS REQUIRED TO SUBMIT DIGITAL PDF SHOP DRAWINGS AND MATERIAL TEST DATA TO THE ARCHITECT'S OFFICE FOR REVIEW AND SUBMISSION TO THE AHJ.
- PL-2 NOTES, LEVEL-03 MEZZANINE**
- PL-2.01 SUB-SLAB CHASE - SEE SHELL BUILDING PERMIT DOCUMENTS
- S - STRUCTURAL - SEE STRUCTURAL SPECIFICATION**
- S-01 STEEL COLUMN
 - S-02 STEEL BEAM
 - S-03 METAL STUD WALL
 - S-04 CONCRETE SLAB ON METAL DECK
 - S-05 MTL. JOISTS & FRAMING
 - S-06 FOUNDATION
 - S-07 CONCRETE SLAB ON GRADE - CLEAN, COMPACTED, TERMITE TREATED FILL
 - S-08 CONCRETE TILT-UP WALL PANEL
 - A. 1/2" X 2" REVEAL IN THE TILT-UP PANEL - UNLESS NOTED OTHERWISE
 - B. 1" EXPANSION JOINT
 - S-09 STEEL BAR JOIST / ROOF TRUSS
 - S-10 METAL DECK ON BAR JOIST
 - S-11 MECHANICAL SCREEN STRUCTURE
 - S-12 STRUCTURAL ATTACHMENT CLIP

DATE	MARK	REMARK	BY
2013-10-01	01	AHJ COMMENTS	JB

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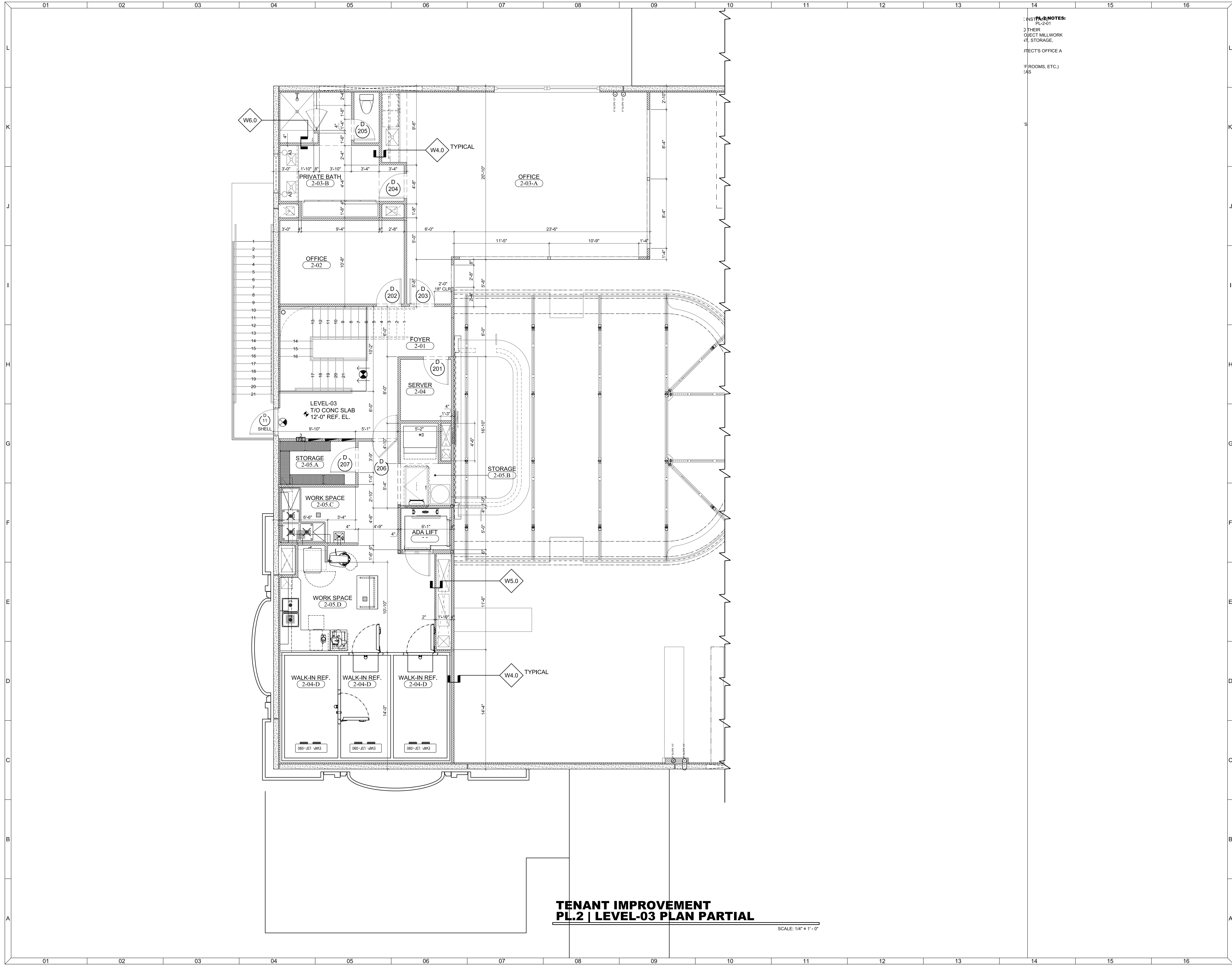
A COMMERCIAL PROJECT FOR:
DEWEY GOLF
ORLANDO, FLORIDA

DATE	DRAWN BY	CHK BY	SCALE
2013-10-01	JB	MN	AS INDICATED

SHEET NO
**A
2.1**

not valid without signature & seal

Mark P. Nasrallah
Fla. Reg. AR 0008136



PL.2 NOTES:
 1. INST. MILLWORK
 2. THEIR
 3. OBJECT MILLWORK
 4. STORAGE.
 5. DIRECTOR'S OFFICE A
 6. (OFFICES, ETC.)
 7. AS

**TENANT IMPROVEMENT
 PL.2 | LEVEL-03 PLAN PARTIAL**

SCALE: 1/4" = 1'-0"

DATE	MARK	REMARK

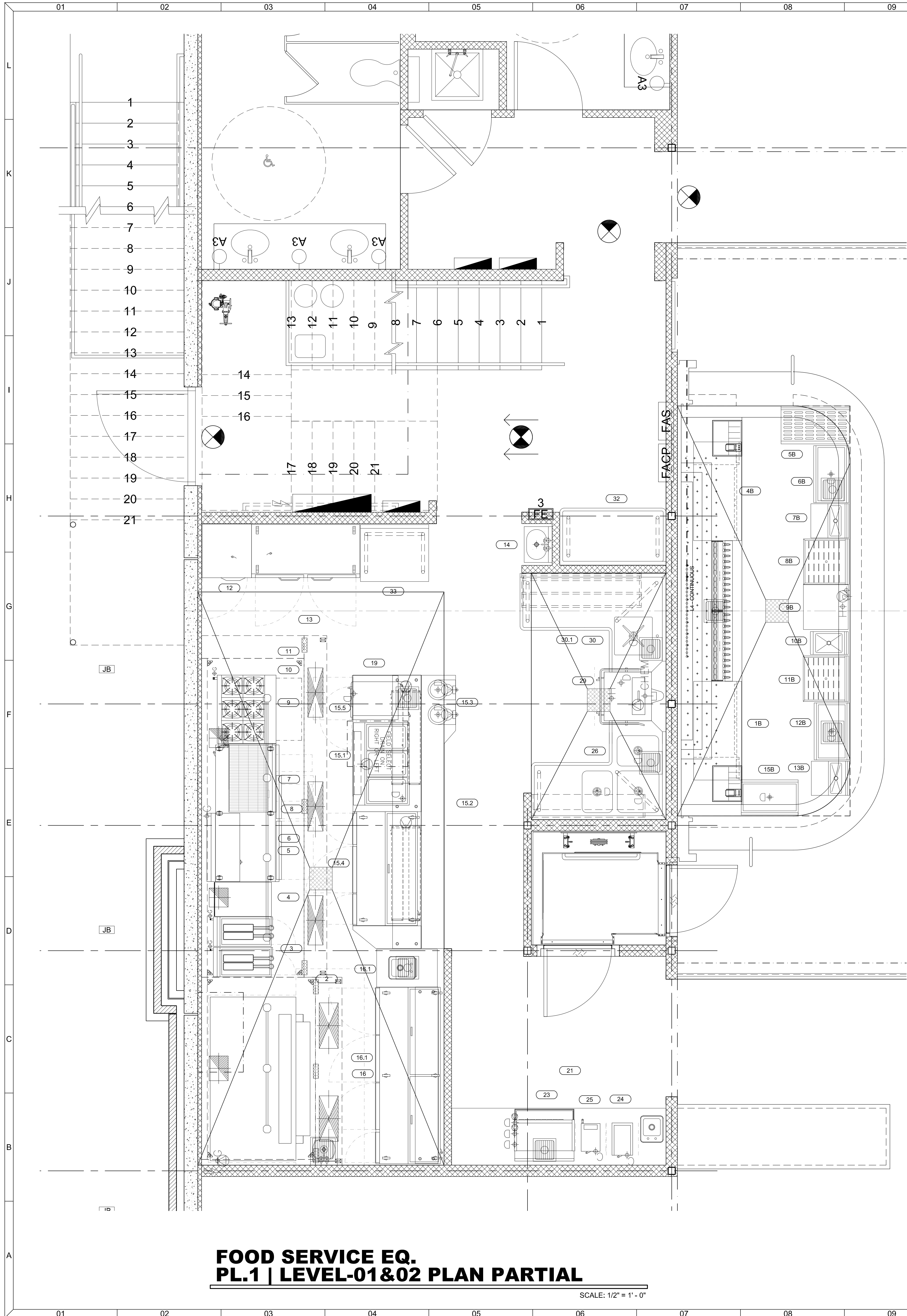
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A COMMERCIAL PROJECT FOR:
DEWEY GOLF
 ORLANDO, FLORIDA

DATE	DRAWN BY	CHK BY
PROJECT NO		
AS INDICATED		
SCALE		

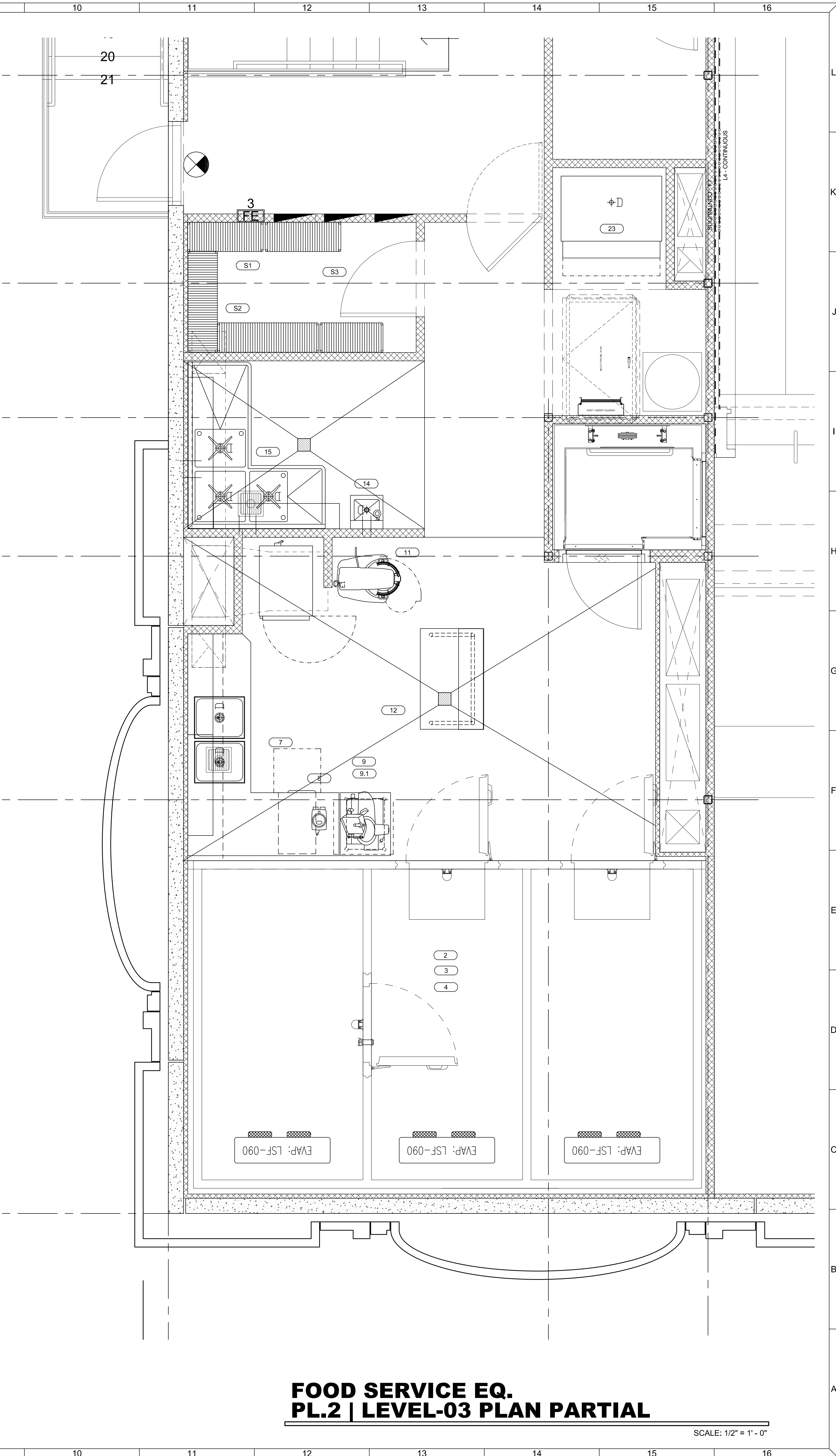
SHEET NO
**A
 2.2**

TI GOLF
 not valid without
 signature & seal



**FOOD SERVICE EQ.
PL.1 | LEVEL-01&02 PLAN PARTIAL**

SCALE: 1/2" = 1' - 0"



**FOOD SERVICE EQ.
PL.2 | LEVEL-03 PLAN PARTIAL**

SCALE: 1/2" = 1' - 0"

TI GOLF

SHEET NO
**A2.
3A**

DATE	2013-06-30
PROJECT NO	1252
AS INDICATED	MIN. JB
SCALE	

A COMMERCIAL PROJECT FOR:
DEWEY GOLF
ORLANDO, FLORIDA

NASRALLAH
Architectural Group Inc
3920 Edgewater Drive, Suite 101
Orlando, FL 32804
Ph: 407-647-0938 Fax: 407-647-2499
email: info@nasrallah.com
AA26001471

DATE	MARK	REMARK	BY

FINISH SCHEDULE											
REVISION	ROOM #	SPACE	FIRE RATING (A,B,C)	FLOOR	BASE	WALLS	WAIN	CEILING	DOOR SYMBOL	H.W. NO	FINISH SCHEDULE GENERAL NOTES / REMARKS:
		EQ-01 GOLF SIMULATOR	A OR B								CLASS A: FLAME SPREAD 00-25; SMOKE -DEVELOPED 0-450 CLASS B: FLAME SPREAD 26-75; SMOKE -DEVELOPED 0-450 CLASS C: FLAME SPREAD 76-200; SMOKE -DEVELOPED 0-450 FINISH SCHEDULE NOTES: 01. COEFFICIENT OF FRICTION MINIMUM WET OR DRY - LEVEL - 0.6; SLOPED - 0.8 02. WET LOCATIONS W/P (WATERPROOF) FOR WALL/FLOOR. 03. DOOR AND HARDWARE - SEE ARCHITECTURAL SPECIFICATIONS FOR FIRE AND SMOKE RATINGS, DOOR THICKNESS, HARDWARE OPERATION TYPE ECT. 04. SAFETY GLASS 05. CORNER GUARDS 06. WALL BUMPS 07. WALL BASE PREFORMED COVE TRANSITION TO FLOOR AND AT INSIDE AND OUTSIDE CORNERS. 08. ADJACENT TO FOUNTAINS - WATER RESISTANT DRYWALL WILL EXTEND 24 INCHES HORIZONTALLY. 09. SHOWER WALL AND FLOOR FINISH - TILE OVER WATER PROOFING MEMBRANE; ON CEMENT BOARD; SHOWER PAN; CEILING - WATER RESISTANT DRYWALL THROUGHOUT. CARPET TRANSITION IS A MAXIMUM 1/2" EXPANSION JOINT. 10. VERTICAL MATERIAL TRANSITIONS - 1" MAXIMUM. 11. CERAMIC /PORCELAIN/QUARRY/SOLID SURFACING /RESINOUS FLOORING-WALL BASE APPLICATION OVER CONCRETE BACKER BOARD. 12. WALL COVERING TO BE INSTALLED OVER MOLD RESISTANT GWB. 13. TOILET PARTITIONS: 1. DOOR - MIN. 32" CLEAR OPENING, ADA ACCESSIBLE 2. MATERIAL - SOLID SURFACE NON-ABSORBANT SURFACE. ROOM FINISH MATERIAL ABBREVIATIONS: CEILING: AT ACOUSTICAL CEILING TILE AT(SP) ACOUSTICAL CEILING TILE W/ SPRAY FINISH (CLEANABLE) RES-C RESINOUS / EPOXY CEILING FLOOR: AF ACCESS FLOORING C CONCRETE WSF WELDED SEAM SHEET FLOORING CPT CARPET CT CERAMIC TILE EPY EPOXY FLOORING LN LINOLEUM PC PRECAST CONCRETE PAVERS PT PORCELAIN TILE (TILE AND BASE) QT QUARRY TILE RAF RESILIENT ATHLETIC FLOORING RB RESILIENT BASE (RUBBER OR VINYL) RES RESINOUS FLOORING RF RUBBER FLOORING RRF RAISED RUBBER FLOORING RSF RESILIENT SHEET FLOORING (CHEMICAL WELDED SEAMS) ST STONE SVT SOLID VINYL FLOOR TILE (LUXURY VINYL TILE) TER TERRAZZO, POURED TT TERRAZZO TILE (PLASTIC MATRIX) VCT RESILIENT TILE FLOORING (VINYL COMPOSITION TILE) WALLS: CBB CONCRETE BACKER BOARD CMU CONCRETE MASONRY UNIT FRP FIBERGLASS REINFORCED PANEL GL GLASS / GLAZING GWB GYPSUM WALL BOARD GWB-P GYPSUM WALL BOARD, PAINT FINISH P PAINT PRB PROFILE BASE RES-W RESINOUS / EPOXY WALL SS STAINLESS STEEL W WALL COVERING (VINYL COATED FABRIC) WD WOOD WV WOOD VINYL OTHER: ADO AUTOMATIC DOOR OPERATOR EFTR EXISTING FINISH TO REMAIN EX EXISTING EXP EXPOSED HW HARDWARE SET NO NUMBER S SOLID SURFACE SC HIGH BUILD GLAZE COATING SD STATIC DISSIPATIVE SP SPECIAL FACED

EQUIPMENT SCHEDULE															
Item No	Qty	Manufacturer	Model Number	Volts	Cycle	Phase	Amps	NEMA	HP	MBTUH	Gas Size (in)	Cold Water Size (in)	Hot Water Size (in)	Direct Drain Size (in)	Indir Drain Size (in)
1B	1	Glastender	ND52-L	120	60	1	8.8	5-15P	0.33						
2	1	Captive Aire	Hood - TBD												
3	2	Bakers Pride	BPF-4050												
4	1	Select Stainless	18SUB-32												
4B	1	Glastender	ND52-R	120	60	1	8.8	5-15P	0.33						
5	1	AccuTemp Products	GGF1201A3600-T1	120	60	1	4.0	5-15P		70	0.75				
5B	1	Select Stainless	BE-DB-36												
6	1	Bakers Pride	BPCM-36							30	0.75				
6B	1	Select Stainless	BE-CS-30												1
7	1	Bakers Pride	L-36R							120	0.75				
7B	1	Select Stainless	BE-BS-18S												
8	1	Continental Refrigerator	DL72G	120	60	1	6.1	5-15P							
8B	1	Select Stainless	BE-2TCB-24-GS-T												
9	1	Bakers Pride	36-BP-6B-S30												
9B	1	Electrolux Professional North America	502315 - WT30H208DU	208	60	1	33.0					0.75	1.5625		
10	1	Captive Aire	Hood - TBD												
10B	1	Select Stainless	BE-HS-12												
11	1	Ansul	Fire Suppression System												
11B	1	Select Stainless	BE-2TCB-24-GS-T												
12	1	Continental Refrigerator	DL1F-SA-HD	115	60	1	7.6	5-15P	0.33						
12B	1	Select Stainless	BE-CS-30												1
13	1	Continental Refrigerator	2RES-SA	115	60	1	6.5	5-20P	0.33						
13B	1	Select Stainless	BE-BS-18S												
14	1	Select Stainless	SHS-1-ST-SK												
15.1	1	APW Wyott	SHFWEZ-3D	208	60	1	18.0					0.375			0.5
15.2	2	APW Wyott	FDD-48H	120	60	1	21.1								
15.3	2	APW Wyott	SM-50-7D	120	60	1	6.7								0.5
15.4	1	Continental Refrigerator	CPA60	120	60	1	11.0	5-15P							
15.5	1	APW Wyott	HDDS-2B	120	60	1	10.8	5-15P							
15B	1	Select Stainless	BE-CS-30												1
16	1	Continental Refrigerator	CPA93	120	60	1	15.2	5-15P							
16.1	1	Select Stainless	12TCD-30												
16.1	1	Select Stainless	DS-12-93-CUS												
19	1	AccuTemp Products	S32081D060	208		1	29.0	L6-30P							
21	1	Select Stainless	Custom												
23	1	Lancer Corp	85-2308C-122	115	60	1	4.4	5-15P							0.75
24	1	Bloomfield	8748	120	60	1	12.5	5-15P				0.25			
25	1	Bloomfield	1082	120	60	1	15.0	5-15P				0.25			
26	1	Select Stainless	CD-R-CS-CUS												
29	1	CMA Dishmachines	AH	115	60	1	16.0						0.75		2
30	1	Select Stainless	SD-L-CS-CUS												
30.1	1	Select Stainless	60E298												
32	1	Select Stainless	3CD-CUS												
33	1	Select Stainless	3GLB-30												

EQUIPMENT SCHEDULE															
Item No	Qty	Manufacturer	Model Number	Volts	Cycle	Phase	Amps	NEMA	HP	MBTUH	Gas Size (in)	Cold Water Size (in)	Hot Water Size (in)	Direct Drain Size (in)	Indir Drain Size (in)
2	12	Advance Tabco	EC-1848												
3	3	Advance Tabco	EC-1842												
4	3	Advance Tabco	EC-1836												
7	1	Select Stainless	PL-6KDWT-30-G												
8	1	Waring Commercial	WFP16SCD	120	60	1	6.0								
9	1	Globe Food Equipment	3600N	115	60	1	7.0	5-15P	0.5						
9.1	1	Select Stainless	PL-2.5KDWT-24G												
10	1	Cres Cor	CD-151-H-189-STK	208	60	1	23.0	6-30P							
				208	60	1	22.8	6-30P							
11	1	MVP Group	AX-M30	200-240	60	3	2.8		0.75						
12	1	Select Stainless	4GL-30												
14	1	Select Stainless	SHS-1-ST-SK												
15	1	Select Stainless	3BC1824-2D18												
23	1	Manitowoc Ice	F-1300												1

not valid without signature & seal

A2. 3B

SHEET NO

DATE: 12/22/13

PROJECT NO: 1252

AS INDICATED

SCALE

2013-06-30

DATE: 12/22/13

PROJECT NO: 1252

AS INDICATED

SCALE

2013-06-30

A COMMERCIAL PROJECT FOR:

DEWEY GOLF

ORLANDO, FLORIDA

NASRALLAH

Architectural Group Inc

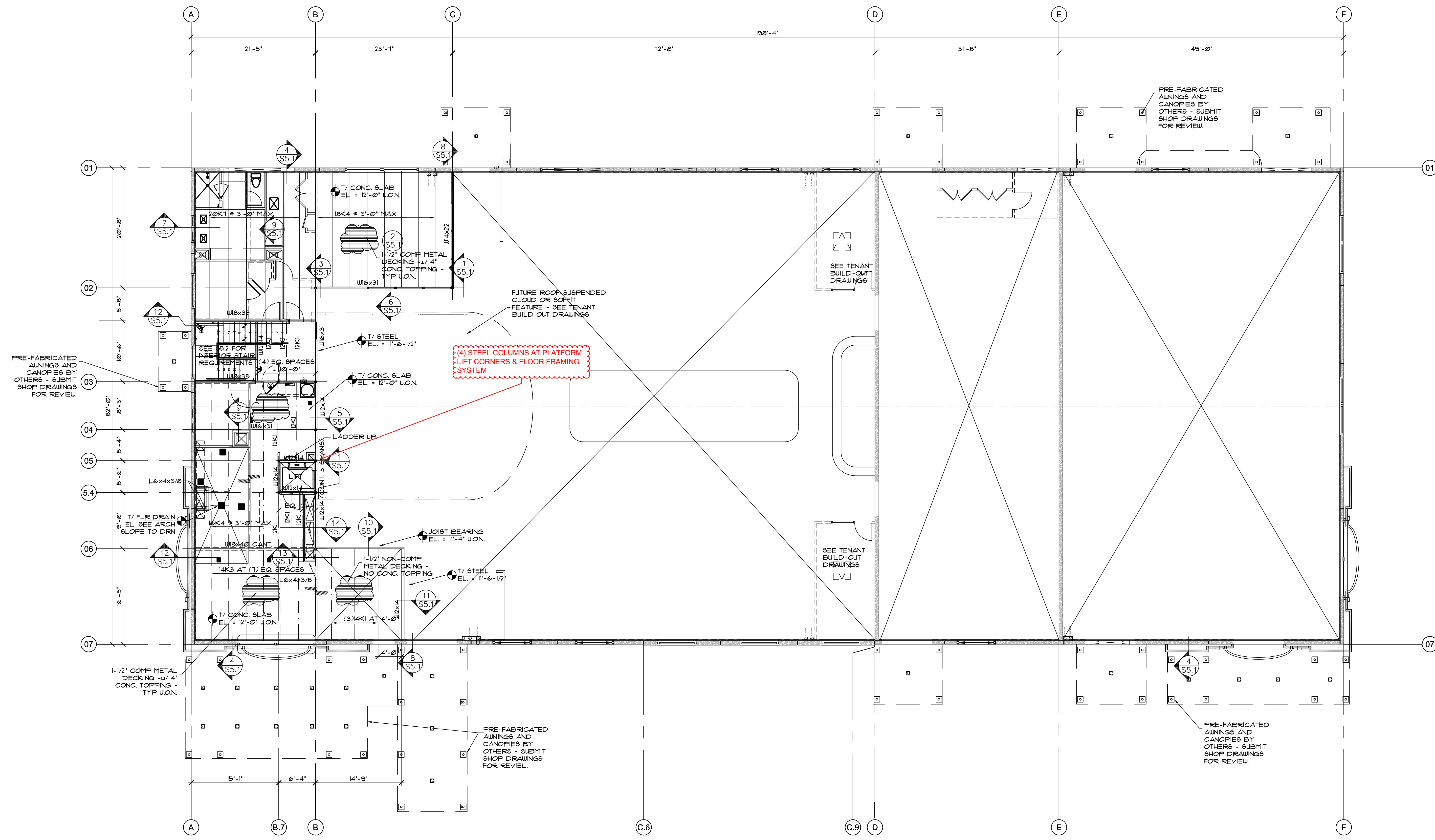
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email: info@nasrallah.com AA26001471

DATE MARK REMARK

BY



MEZZANINE FRAMING PLAN
SCALE: 1/8" = 1'-0" TYP

NOTES:
1. SEE GENERAL STRUCTURAL NOTES FOR METAL DECKING REQUIREMENTS.
2. PROVIDE JOIST BRIDGING PER SJI SPEC'S.

WORCESTER ENGINEERING, Inc.
1036 Kingfisher Way, Rockledge, FL 32955
1500 South Mountain Road, Dillsburg, PA 17019
407-496-6884 FL 717-432-9436 PA
Project No. 2012-046 jbw@jw-engr.com
State of Florida Certificate of Authorization No. 27852

SHELL BLD

SHEET NO
S
2.2

DATE	DRAWN BY	CHK BY
PROJECT NO	1252	AS INDICATED
SCALE		

2013-01-18

Seal:
not valid without signature & seal
Joseph B. Worcester PE
Fl. Prof. Reg. No. 35308

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AA26001471

A COMMERCIAL PROJECT FOR:
DEWEY GOLF
ORLANDO, FLORIDA
MEZZANINE LEVEL FRAMING PLAN

DATE	MARK	REMARK	BY