



## EMOTIONS AP LLC

EIN 33-1227316  
927 Jefferson Av  
Miami Beach, FL33139  
Ph 786 372 1193  
[belvis@rent4days.com](mailto:belvis@rent4days.com)

Date: October 8<sup>th</sup> 2013

VIA FEDERAL EXPRESS

Mary-Kathryn Smith

Department of Business and Professional Regulation

Florida Building Commission

1940 North Monroe Street

Tallahassee, FL 32399-0772

RE: Request for waiver from vertical Accessibility Requirements

Emotions Ap Hotel/rooming house – 927 Jefferson Avenue, Miami Beach, FL

Dear Ms Smith,

Emotions Ap LLC (hereinafter, the “Applicant”), Hotel/rooming house, located at 927 Jefferson Avenue in the City of Miami Beach, Florida (the “Property”)

The Applicant is presently engaged in the permit review process with the City of Miami Beach Building Department for a minor interior remodeling of the property. This building was constructed in 1924 and it has 5 units. All the units are ground floor with the exception of one

apartment second floor. It's an open area with access directly to the street on ground floor. The design team has worked to meet Florida Accessibility Code requirements in connection with the renovation, including a bathroom adapted for handicaps. However, vertical accessibility was not contemplated at the time of original construction of the hotel/rooming house and complying with all aspects of the vertical accessibility requirements would be disproportionately costly for the project, only one apartment is fail to meet the vertical accessibility requirements following the renovations. As such, the Applicant is hereby requesting a waiver from the Florida Building Commission

The following documents are enclosed with this application:

- One (1) copy of Form 2012-1- Request for waiver, executed by Applicant and Agent
- One (1) copy of photograph depicting the existing apartment which elevator is requested for
- One (1) copy of a memorandum from ....., registered Architect, dated ....., detailing reason for waiver
- One (1) full size plan sheet entitled Overall Floor plan, prepared by...
- One (1) copy of total cost estimate for renovation

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS  
OF CHAPTER 553, PART II, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

**1. Name and address of project for which the waiver is requested.**

Name: Emotions AP LLC- hotel/rooming house

Address: 927 Jefferson Av Miami Beach FL 33139

**2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:**

Applicant's Name: Emotions Ap LLC

Applicant's Address: 927 Jefferson

Applicant's Telephone: 7863721193 FAX: 786 2167246

Applicant's E-mail Address: belvis@rent4days.com

Relationship to Owner: \_\_\_\_\_

Owner's/Tenant's Name: Emotions AP LLC

Owner's Address: 927 Jefferson

Owner's Telephone: 7863721193 FAX 786 2167246

Owner's E-mail Address: belvis@rent4days.com

Signature of Owner: \_\_\_\_\_

This application is available in alternate formats upon request.

Form No. 2012-01

3. Please check one of the following:

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

Emotions AP is an existing two (2) story historic hotel/rooming house currently consisting in 5 units and approximately 3600 sf of existing floor area

5. **Project Construction Cost (Provide cost for new construction, the addition or the alteration):**

\$31,275

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

- Under Design  Under Construction\*
- In Plan Review  Completed\*

\* Briefly explain why the request has now been referred to the Commission.

The Building Department Plans reviewer for the city of Miami Beach has identified that a waiver is required from vertical accessibility requirements of ADA (FL Accessibility Code Section 201.1. This waiver is required because only one unit have limited access

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

**Issue**

1: It's only 5 unit building with 4 units at the ground floor and 1 unit at the second floor affected by applicable FAC section is 201.1

**Issue**

2: \_\_\_\_\_

Issue

3: \_\_\_\_\_  
\_\_\_\_\_

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

[x] The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

The subject property is a historic hotel/rooming house constructed in 1924, prior to adoption of ADA accessibility requirements. Historic structures are often costly to retrofit to meet the current ADA standards whereas new construction is much easier to design in accordance with the standards

[x] Substantial financial costs will be incurred by the owner if the waiver is denied.

If the request is denied, the applicant will have to install an elevator plus work to accommodate the lift

[x] The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

See attached cost estimate from Modern Elevator INC plus preparatory work by others

9. **Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates.** For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. See attached cost estimate from Modern Elevator INC plus preparatory work by others

b. \_\_\_\_\_  
\_\_\_\_\_

c. \_\_\_\_\_  
\_\_\_\_\_

10. **Licensed Design Professional:** Where a licensed design has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

See attached statement from the project architect

\_\_\_\_\_  
**Signature**

\_\_\_\_\_  
**Printed Name**


**Phone number** \_\_\_\_\_

**(SEAL)**

**CERTIFICATION OF APPLICANT:**

I hereby declare that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 8th day of October, 2013     

  
\_\_\_\_\_  
Signature

MARIA-BELVIS MARTINEZ CUERDA  
Printed Name

I understand that if I falsify, misrepresent, or omit any material information on this document, the Commission may revoke any order and will notify the building official of the permitting jurisdiction.

KNOWINGLY MAKING A FALSE STATEMENT IN WRITING WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OFFICIAL DUTY IS A MISDEAMEANOR OF THE SECOND DEGREE PURSUANT TO SECTIONS 837.06, 775.082, AND 775.083, F.S.



RODRIGUEZ & ANGLIN

PROFESSIONAL DESIGN  
12735 SW 42 TERRACE  
MIAMI, FL 33175

CARLOS M. RODRIGUEZ PE: 55488

## MEMORANDUM

To: Florida Building Commission

Cc: Belvis Martínez

From: Carlos Rodríguez

Date: September 30, 2013

Re: Hotel 927 Jefferson Avenue, Miami Beach, Florida 33139

### Accessibility Waiver Request

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The purpose of this document is to provide an explanation from the design professional for the request of Waiver ("Waiver") for the vertical accessibility requirements from the Florida Building Code ("FBC") for a Hotel, located at 927 Jefferson Avenue in the City of Miami Beach, Florida. This building construction is a historic structure dated back in (1924) located in a historic District. I refer to a very small hotel with only five units, all the units are in the ground floor with the exception of one unit in the second floor. There's an open area with access directly to the units from the street on ground floor and in connection with Florida Accessibility Code requirements, as part of our renovation project we are converting in the ground floor a fully accessible room as per code requirements. Although all units are accessible there's one on the second floor with no elevator, if an elevator will need to be constructed the total cost will exceed three times the renovation cost forcing the owner to stop the project.

The City of Miami Beach Building Department has indicated that a waiver from Americans With Disabilities Act (ADA) vertical accessibility standards, and specifically from Florida Accessibility Code Section 201.1, must be issued by the FBC for this limited access to the second floor unit.

Compliance with the FAC vertical accessibility requirements are not mandated by ADA and represent a financial hardship for the applicant. If an elevator is constructed then is going to block access on ground floor because of the distance to adjacent properties and some windows have to be remove, so exterior access and light from ground floor would be much less and it will impact negatively.

Signature 

Printed Name Carlos M. Rodriguez

Phone Number 305 510 7322



**REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.**

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. Florida Statutes 553.509 Vertical Accessibility to all levels requirement. / 2010 FBC, Accessibility Code, 202 Requirements for existing buildings.

b. \_\_\_\_\_

c. \_\_\_\_\_

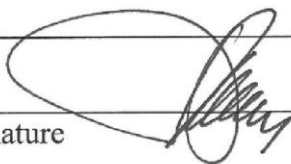
Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes  No Cost of Construction \$31,275.00 (B1303970-927 Jefferson Av, MB).

**Comments/Recommendation:** We recommend that the waiver be granted based in the Florida Building Code section 202.3 Exception 1. According with the documentation submitted by the applicant the cost of providing vertical accessibility will be disproportionate to the cost of construction. The facility has only five units. Nevertheless, one unit is accessible in compliance with FAC and a ramp is provided to connect accessible unit to public right of way.

Jurisdiction City of Miami Beach

Building Official or Designee

  
Signature

Mariano Fernandez, PE.  
Printed Name

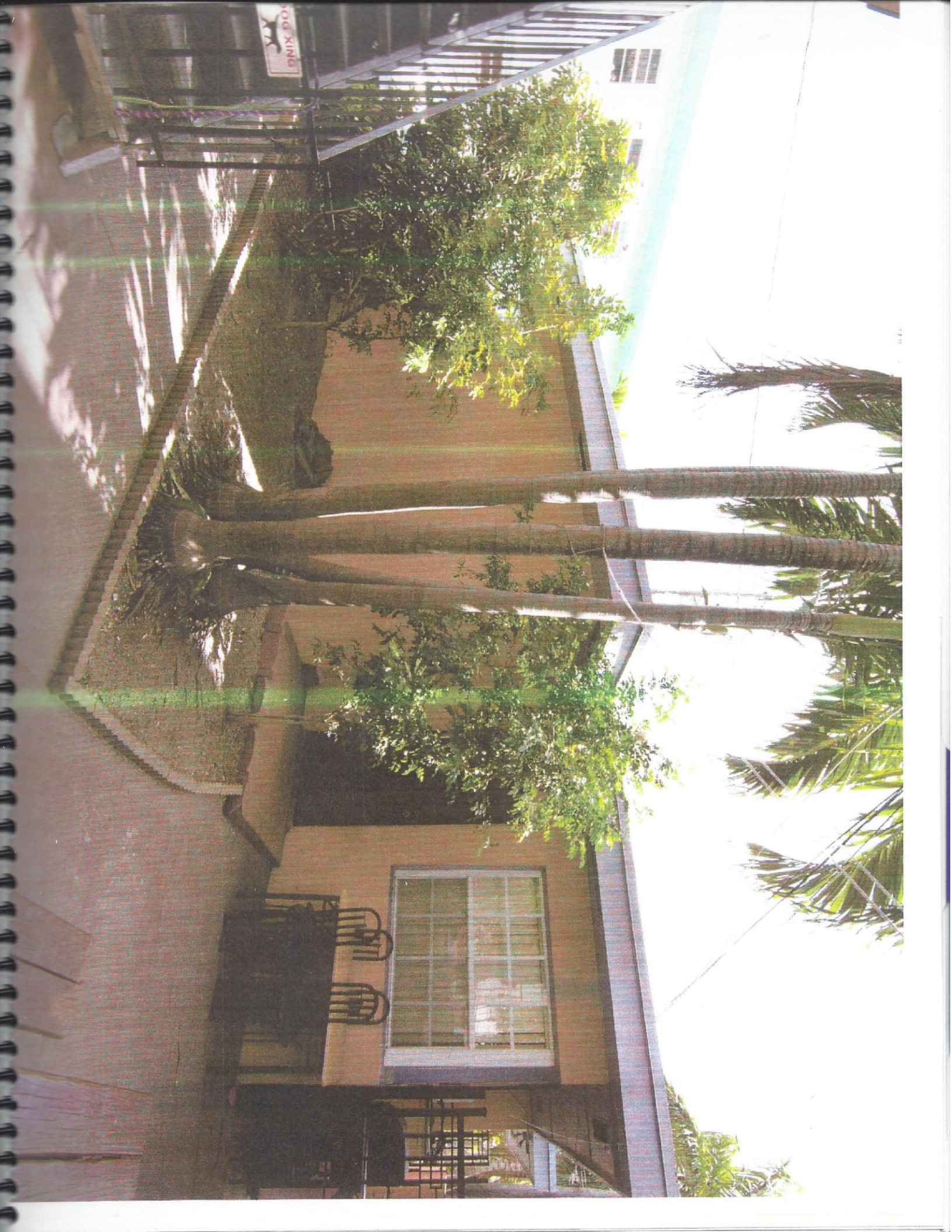
BU689  
Certification Number

305-673-7610 ext. 6288/ 305-535-7513  
Telephone/FAX

marianofernandez@miamibeachfl.gov  
Email Address

Address: 1700 Convention Center Dr. Miami Beach, FL 33139, 2<sup>ND</sup> Floor, Miami Beach, FL





DNIX DOG



**MAULINI CONSTRUCTION CORP.**  
 CERTIFIED GENERAL CONTRACTOR  
 LIC# CGC1515405

Engineering / New Construction/ Remodeling

PH: (786) 262-0016 (954) 678-8899 FAX: (305) 256-5679

Sold To: Emotion ap llc Date: 8/14/2013  
 Address: 927 Jefferson Ave  
 City: Miami Beach Phone: \_\_\_\_\_  
 State: FL Zip Code 33139

**Trabajo: Remodelacion Unidad 1**

We hereby propose to furnish the materials and perform the labor necessary for the completion of	
<u>Cocina:</u>	
* Demolicion Gavinetes de Cocina	\$300.00
* Instalacion de Tapa de Marmol Base Cocina ( 68 Sf)	\$1,500.00
roda pie 116 sf	\$350.00
<u>Baño Planta Baja No. 1 puntal alto</u>	
Demolicion de Paredes	
Desmontar bañera	
Instalar Paredes de Durox en todas las paredes hasta el techo	
Instalacion de Porcelana (19"x19") en todas las paredes hasta el techo	
Instalacion de toilet costo \$100.00,	
Instalacion de bañadera , y mezcladora (costo de mezcladora \$100.00)	
Instalacion de Gavinete (Madera)	
Plomeria Vanity (Mezcladora y valvula de salida) ,costo de mezcladora \$60.00	
Incluyen cambiar todos los accesorios del bano	\$1,875.00
Remover textura techo de toda la planta	
Electricidad Ref Plano ( se cambiarian todos los tomacorrientes e interruptores de la unidad no. 1)	\$1,615.00
<u>Baño Planta Baja No. 2 puntal alto</u>	
Las actividades del bano no. 2 son iguales a las actividades del bano no 1	
<b>Sub-Total Baño Planta Baja No. 2</b>	<b>\$1,875.00</b>
<b>Total</b>	<b>\$7,515.00</b>

Nota: Los trabajos no incluidos en los planos que requiera la ciudad, sera un costo adicional

Este estimado contempla solo el 10% de la madera defectuosa bajo el piso.

Nota: Todo incluye Labor y Material.  
 No incluye los Fee de la Ciudad

Less down payment.....(50%) \_\_\_\_\_  
 Delivery & beginning of installation.(40%) \_\_\_\_\_  
 Balance due upon completion.....(10%) \_\_\_\_\_

Approved and accepted  
 By \_\_\_\_\_ (x) \_\_\_\_\_  
 (purchase sign here)



**MAULINI** CONSTRUCTION CORP.

CERTIFIED GENERAL CONTRACTOR  
LIC# CGC1515405

Engineering / New Construction/ Remodeling

PH: (786) 262-0016 (954) 678-8899 FAX: (305) 256-5679

Sold To: Emotion ap llc Date: 8/14/2013  
Address: 927 Jefferson Ave  
City: Miami Beach Phone: \_\_\_\_\_  
State: FL Zip Code: 33139

**Trabajo: Presupuesto Oficina Unidad 2**

<b>We hereby propose to furnish the materials and perform the labor necessary for the completion of</b>	
<u>Demoler piso existente</u>	<b>\$300.00</b>
<u>instalar 100 SI de BaseBoard</u>	<b>\$318.00</b>
<u>Baño</u>	
<u>Remover e Instalar paredes</u>	
<u>Instalar Shower costo de mezcladora \$100.00</u>	
<u>Instalar Toilet, costo de toilet \$100.00</u>	
<u>Instalar Vanity, mezcladora 60.00</u>	
<u>Remover e Instalar Ventana</u>	
<u>Incluyen cambiar todos los accesorios del bano</u>	
<u>Cambiar puerta interior del bano</u>	<b>\$1,017.00</b>
<u>Remover e Instalar Pared existente (1 Hour Rated Wall)</u>	<b>\$500.00</b>
<u>Remover textura del techo</u>	<b>\$350.00</b>
<u>Electricidad Ref Plano ( se cambiaran todos los tomacorrientes e interruptores de la unidad no. 2)</u>	
<b>Total</b>	<b>\$2,485.00</b>

**Nota:**

Todo incluye Labor y Material.  
No incluye los Fee de la Ciudad  
Los trabajos no incluidos en los planos que requiera la ciudad, sera un costo adicional  
la electricidad de la unidad no. 2 esta incluida en la unidad 1

Opcion . Piso de Madera Solida \$ 4,050.00  
Este Estimado incluye solo el 10% de la madera defectuosa abajo del piso existente.

Less down payment.....(50%) \_\_\_\_\_  
Delivery & beginning of installation.(40%) \_\_\_\_\_  
Balance due upon completion.....(10%) \_\_\_\_\_

Approved and accepted  
By \_\_\_\_\_ (x) \_\_\_\_\_ (purchase sign here)  
Salesman \_\_\_\_\_ (x) \_\_\_\_\_ (purchase sign here)



**MAULINI CONSTRUCTION CORP.**

CERTIFIED GENERAL CONTRACTOR  
LIC# CGC1515405

Engineering / New Construction/ Remodeling

PH: (786) 262-0016 (954) 678-8899 FAX: (305) 256-5679

Sold To: Emotionap Ilc Date: 8/14/2013  
Address: 927 Jefferson Ave  
City: Miami Beach Phone: \_\_\_\_\_  
State: FL Zip Code: 33139

**Trabajo: Presupuesto Unidad 3**

<b>We hereby propose to furnish the materials and perform the labor necessary for the completion of</b>		
<b>Baño 1 Planta alta</b>		
Demoler y botar paredes		
Demoler bañera		
Instalar paneles de Durox en todas las paredes		
Instalar porcelana en el shower hasta el techo y las paredes exteriores a 4' de altura		
Hacer plomeria		
Instalar Bañadera\		
Instalar mezcladora bañera y vanity		
Instalar gabinete de Baño madera		
Incluyen cambiar todos los accesorios del bano		
	<b>Sub-Total:</b>	<b>2100,00</b>
<b>Baño 2 Planta alta</b>		
Demolar Paredes y Bañera		
Instalar paneles de Durox en Paredes		
Hacer Shower en Drenaje		
Instalar Porcelana		
Instalar mezcladora en shower y vanity costo mezcladora 100.00 y costo mescaldora vanity 60.00		
	<b>Sub-Total:</b>	<b>\$2,100.00</b>
Electricidad Ref Plano ( se cambiaran todos los tomacorrientes e interruptores de la unidad no. 3)		<b>\$1,300.00</b>
	<b>Total</b>	<b>\$5,500.00</b>

**Nota:**  
**Todo incluye Labor y Material.**  
**No incluye los Fee de la Ciudad**  
**Los trabajos no incluidos en los planos que requiera la ciudad, sera un costo adicional**

(Este estimado solo contempla el 10% de la madera defectuosa bajo el piso)

Less down payment.....(50%) \_\_\_\_\_  
Delivery & beginning of installation.(40%) \_\_\_\_\_  
Balance due upon completion.....(10%) \_\_\_\_\_

Approved and accepted  
By \_\_\_\_\_ (x) \_\_\_\_\_ (purchase sign here)  
Salesman \_\_\_\_\_ (x) \_\_\_\_\_ (purchase sign here)



**MAULINI CONSTRUCTION CORP.**  
 CERTIFIED GENERAL CONTRACTOR  
 LIC# CGC1515405

Engineering / New Construction/ Remodeling

PH: (786) 262-0016 (954) 678-8899 FAX: (305) 256-5679

Sold To: Emotion ap llc Date: 8/14/2013  
 Address: 927 Jefferson Ave  
 City: Miami Beach Phone: \_\_\_\_\_  
 State: FL Zip Code: 33139

**Trabajo: Apartamento No. 4**

<b>We hereby propose to furnish the materials and perform the labor necessary for the completion of</b>		
<b>Remover e Instalar Pared de la cocina (one Hr Rated Wall)</b>		<b>\$450.00</b>
<b>Baño Apt 1 (7' x 5') handycaps</b>		
<b>Remover Paredes, Bañera,</b>		
<b>Instalar Paredes Durox, Bañera</b>		
<b>Instalar Toilet, Vanity de 24"</b>		
<b>Repasar Plomeria General</b>		
<b>Incluyen cambiar todos los accesorios del bano</b>		
	<b>Total Baño:</b>	<b>\$5,000.00</b>
<b>Plomeria unidad 4 (Ref plano Ciudad)</b>		<b>\$1,700.00</b>
<b>instalar puertas 36 " acceso handy caps</b>		<b>\$500.00</b>
<b>Electricidad</b>		
<b>Instalar 2 New Smoke detector</b>		
<b>Instalar 6 new outlet</b>		
<b>Mover electric panel of posicion</b>		
<b>Electricidad Ref Plano ( se cambiarian todos los tomacorrientes e interruptores de la unidad no. 4)</b>		<b>\$1,775.00</b>
	<b>Total</b>	<b>\$9,425.00</b>

los costos de las mezcladoras y el sink son iguales a las unidades anteriores

**Nota:**

Todo incluye Labor y Material.  
 No incluye los Fee de la Ciudad  
 Los trabajos no incluidos en los planos que requiera la ciudad, sera un costo adicional

Less down payment.....(50%) \_\_\_\_\_  
 Delivery & beginning of installation.(40%) \_\_\_\_\_  
 Balance due upon completion.....(10%) \_\_\_\_\_

Approved and accepted  
 By \_\_\_\_\_ (x) \_\_\_\_\_  
 (purchase sign here)  
 Salesman \_\_\_\_\_ (x) \_\_\_\_\_  
 (purchase sign here)

**MAULINI** CONSTRUCTION CORP.

CERTIFIED GENERAL CONTRACTOR  
LIC# CGC1515405

Engineering / New Construction/ Remodeling

PH: (786) 262-0016 (954) 678-8899 FAX: (305) 256-5679

Sold To: emotion ap llc Date: 8/29/2013  
 Address: 927 Jefferson Ave  
 City: Miami Beach Phone: \_\_\_\_\_  
 State: FL Zip Code: 33139

**Trabajo: Apartamento No. 5**

We hereby propose to furnish the materials and perform the labor necessary for the completion of	
Instalar 115 SI de BaseBoard	\$371.00
<u>Baño Apt 2</u>	
Remover Paredes	
Instalar Paredes Durox,	
Remover e Instalar Banera	
Instalar Tile en las paredes de banera	
Remover e Instalar mexcladora de banera	
Remover e Instalar Vanity	
Instalar sink y mesacladora del vanity	
Incluyen cambiar todos los accesorios del bano	
<b>Total Baño:</b>	<b>\$3,814.00</b>
Plomeria Unidad 5 (Ref al plano de la Ciudad)	\$1,375.00
Pintura interior	
<u>Electricidad</u>	
Instalar new 2 Smoke detector	
Instalar new 6 outlet	
Electricidad Ref Plano ( se cambiarian todos los tomacorrientes e interruptores de la unidad no. 5)	\$790.00
<b>Total</b>	<b>\$6,350.00</b>

**Nota:**  
 Todo incluye Labor y Material.  
 No incluye los Fee de la Ciudad  
 Los trabajos no incluidos en los planos que requiera la ciudad, sera un costo adicional  
 Incluye Instalacion de 2 ventiladores de techo  
 Este estimado incluye todo lo referente al Plano de la Ciudad  
 Instalacion Hidraulica, Sanitaria y Electrica de Lavadora

Less down payment.....(50%) \_\_\_\_\_  
 Delivery & beginning of installation.(20%) \_\_\_\_\_  
 Balance due upon completion.....(30%) \_\_\_\_\_

Approved and accepted  
 By \_\_\_\_\_ (x) \_\_\_\_\_  
 Salesman \_\_\_\_\_ (x) \_\_\_\_\_  
 (purchase sign here)  
 (purchase sign here)



103 COPY

CITY OF MIAMI BEACH

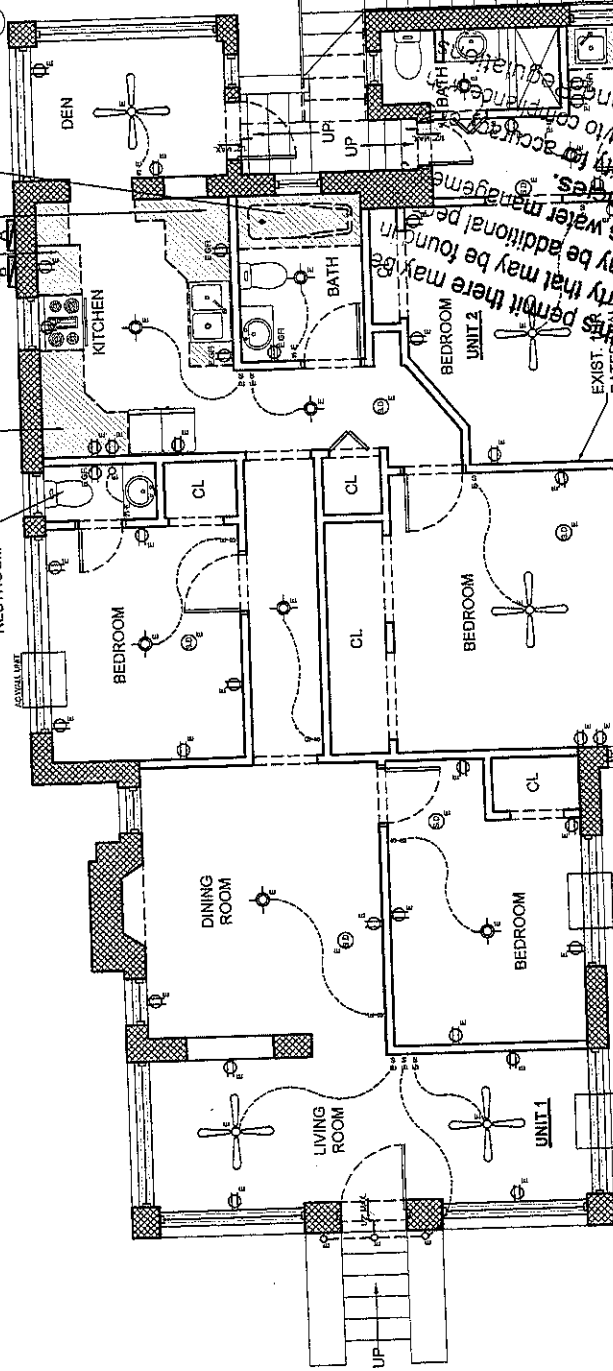
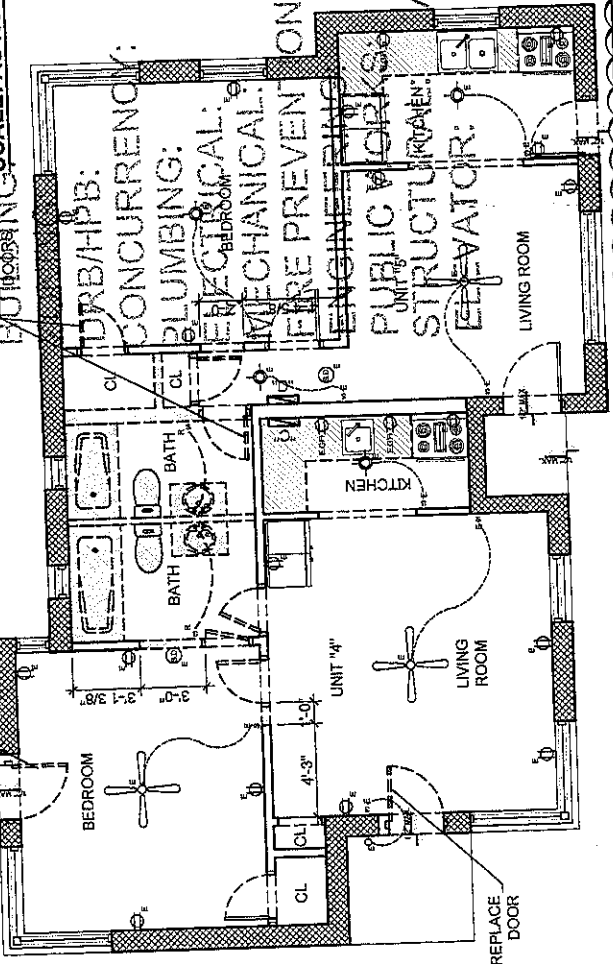
APPROVED FOR PERMIT BY

RELOCATE DOORS  
BUILDING SCALE: AS NOTED

BATH TUB TO BE REMOVED AND REPLACED WITH SHOWER

KITCHEN CABINETS AND COUNTERTOPS TO BE REPLACED

BATH TUB TO BE REMOVED AND REPLACED WITH SHOWER

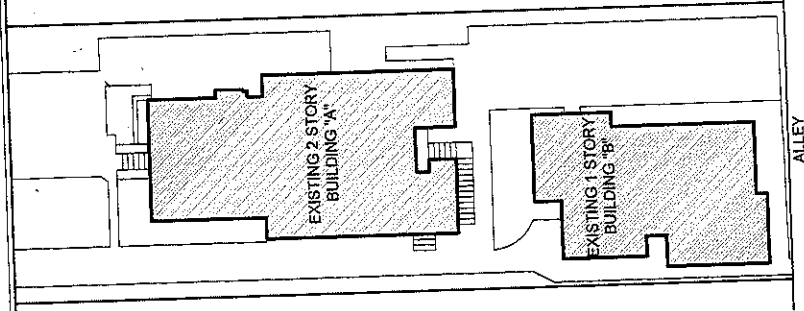


BUILDING "A" FIRST FLOOR - UNIT 1 & 2  
SCALE: AS NOTED

BUILDING "A" SECOND FLOOR - UNIT 3  
SCALE: AS NOTED

SCOPE OF WORK  
ALTERATION LEVEL II - OCCUPANCY GROUP: RESIDENTIAL R-2  
CHANGE OF USE FROM APARTMENT (R-2) TO HOTEL ROOMS (R-1)

- PROVIDE NEW SMOKE DETECTORS AS INDICATED IN PLAN.
- INSTALL NEW FULLY ACCESSIBLE RESTROOM FOR BUILDING "B" UNIT 4.
- REMOVE EXISTING INTERIOR WALLS AND DOORS AS INDICATED IN PLAN.
- REMOVE EXISTING INTERIOR WALLS AND DOORS AS INDICATED IN PLAN.
- PROVIDE NEW ADA RAMP AT UNIT 4.
- REMOVE AND REPLACE EXISTING FLOOR THROUGHOUT BUILDING "A" (FIRST AND SECOND FLOOR), 2,255 SQ. FT.
- INSTALL NEW TILE OVER EXISTING FLOOR TILE THROUGHOUT BUILDING "B", 838 SQ. FT.
- REMOVE AND REPLACE EXISTING KITCHEN CABINETS AND COUNTERTOPS WITH NEW, EXCEPT UNIT 3 IN BUILDING "A" (SECOND FLOOR) 300 SQ. FT.
- EXISTING OUTLETS TO REMAIN IN SAME LOCATION.
- REMOVE EXISTING BATH TUBS IN ALL UNITS EXCEPT UNIT #4; PROVIDE NEW ADA COMPLIANT SHOWER.
- REPLACE WITH NEW SHOWERS (60 SQ. FT.). PROVIDE NEW ANTI-SLIP SURFACE VALVE AS PER FBC 2010 SEC. 417.4.3 AND INSTALL NEW SAFETY GATE CATEGORY III PER FBC 2010 SEC. 2408.2



PROJECT LOCATION  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL

- LEGEND
- EXIST. CMU WALL
  - EXIST. INTERIOR WALL
  - EXIST. TO BE REMOVED
  - SMOKE DETECTOR
  - EXIST. / N/NEW
  - EXIST. LIGHT SWITCH
  - EXIST. CEILING LIGHT
  - EXIST. CEILING FAN
  - EXIST. WALL SCONCE
  - ELECTRICAL OUTLET
  - EXIST. / N/NEW / R/RELOC.
  - EXIST. GFI OUTLET
  - EXIST. / N/NEW / R/RELOC.
  - EXIST. ELEC. PANEL

NOTICE TO CONTRACTOR: ALL WORK TO BE PERFORMED WITHIN THIS PERMIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH AND LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH AND LOCAL, STATE, AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH AND LOCAL, STATE, AND FEDERAL AGENCIES.

APPLICABLE CODES & REGULATIONS

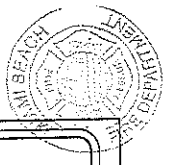
- JURISDICTION: MIAMI BEACH, FL.
- 2010 EXISTING FLORIDA BUILDING CODE (FBC).
- 2010 RESIDENTIAL FLORIDA BUILDING CODE (FBC).
- 2010 FLORIDA BUILDING CODE PLUMBING (FBCp).
- 2011 NATIONAL ELECTRICAL CODE (NEC).

SITE PLAN. SCALE: N.T.S.

EXISTING FLOOR PLANS 1/8" = 1'-0"



B1303970



CHANGE OF USE  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

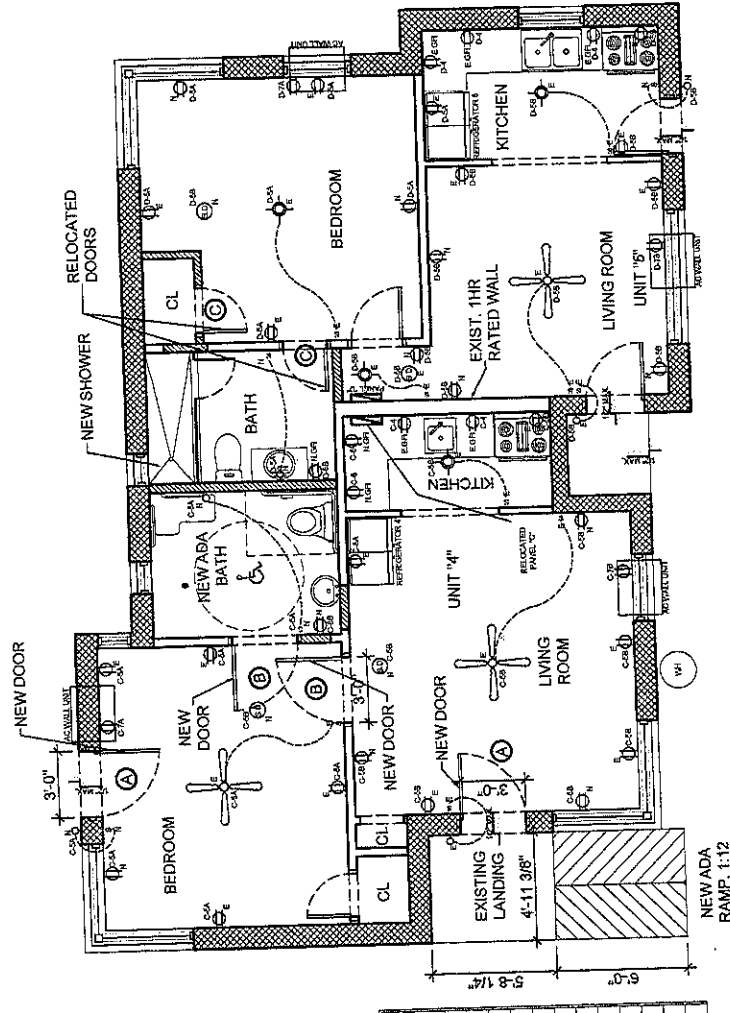
BY:	STAFF
SCALE:	AS SHOWN
REVISIONS:	
05.08.15-B.D COMMENTS	
06.04.15-B.D COMMENTS	
08.25.15-B.D COMMENTS	

Carlos N. Acuña  
PE 55488

*2/28/13*

SHEET NAME  
**Proposed Floor Plans**

SHEET NUMBER  
**Bo-A-2**

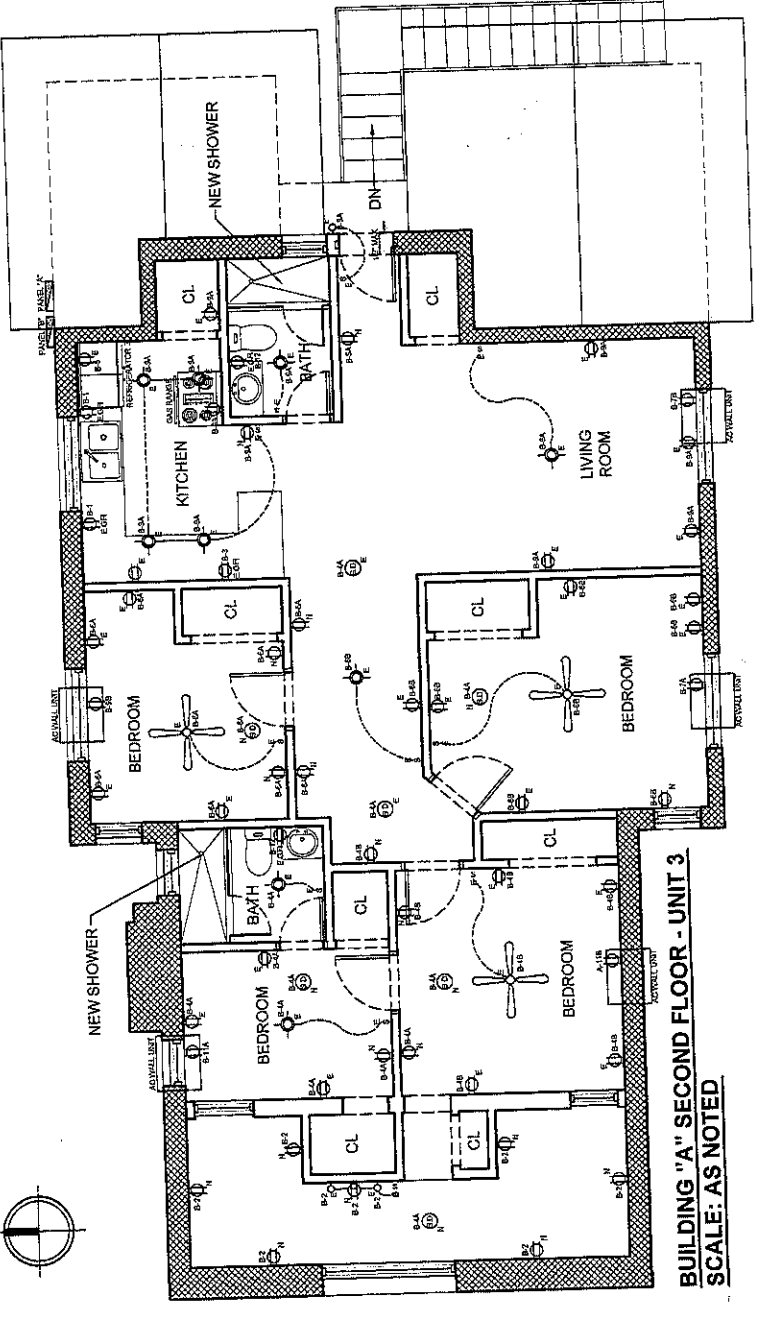
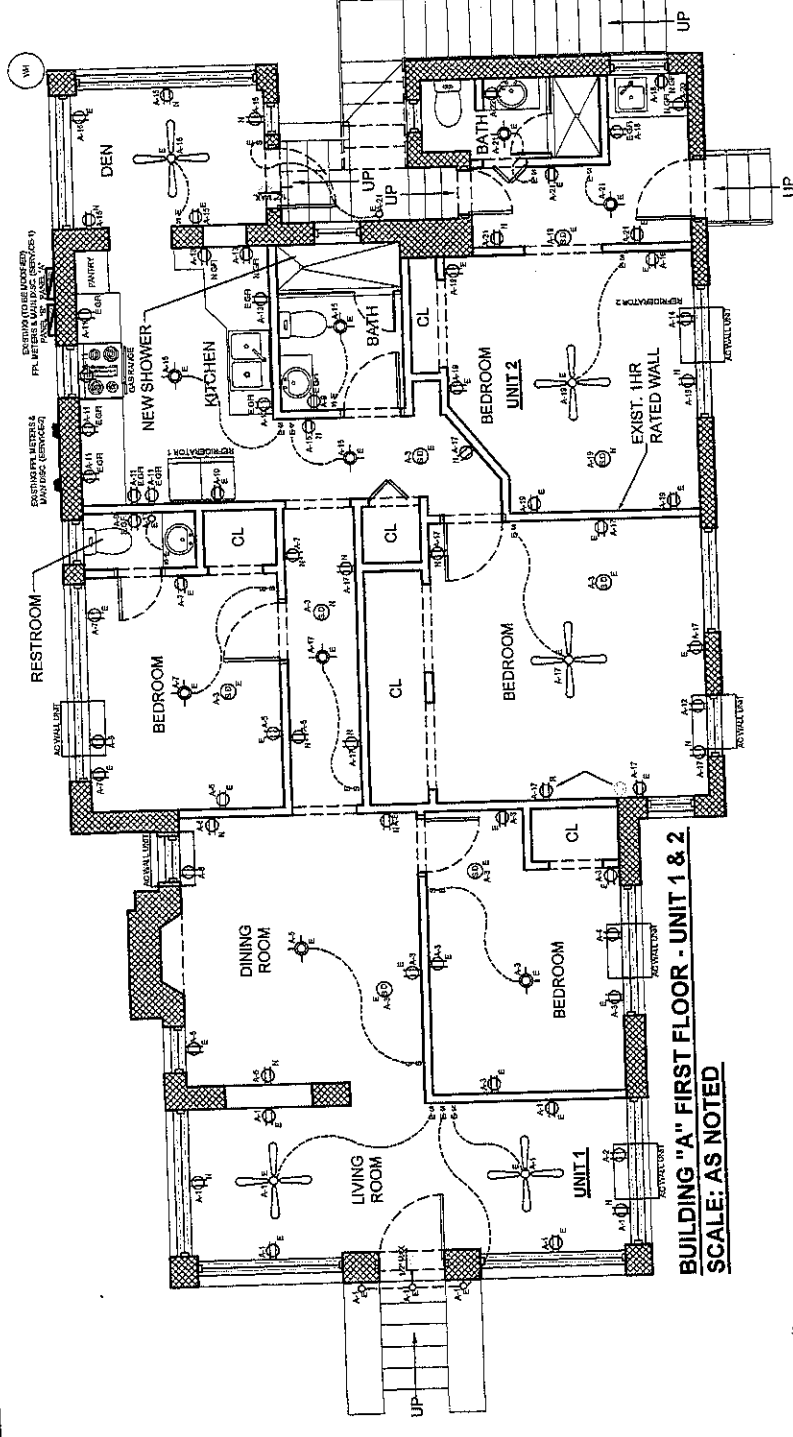
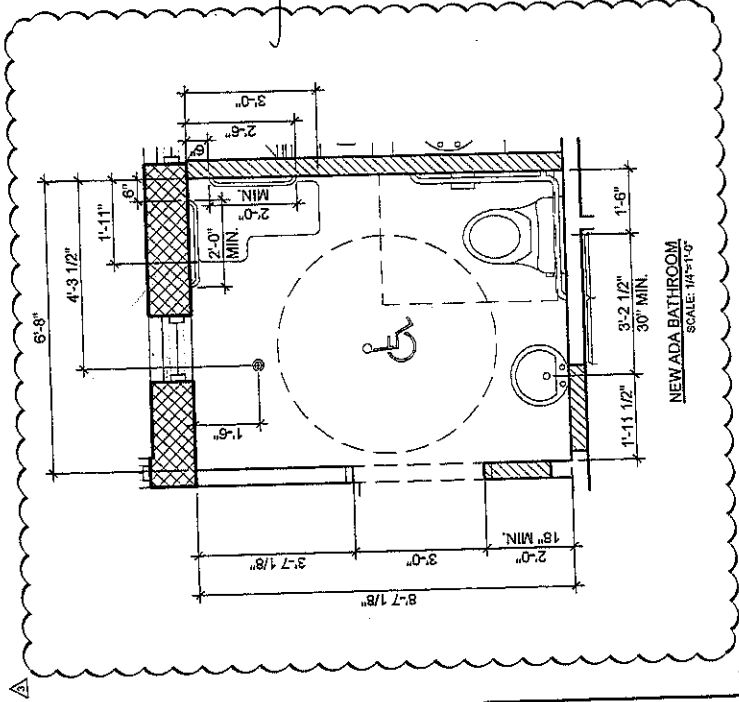


**LEGEND**

- EXIST. CMU WALL
- EXIST. INTERIOR WALL
- NEW INTERIOR WALL
- SMOKE DETECTOR
- E:EXIST / N:NEW
- E:EXIST / N:NEW
- EXIST. CEILING LIGHT
- EXIST. CEILING FAN
- EXIST. WALL SCONCE
- ELECTRICAL OUTLET
- E:EXIST / N:NEW / R:RELOC.
- E:EXIST / N:NEW / R:RELOC.
- EXIST. ELEC. PANEL

NOTE:  
\*ALL DEVICES SUB-MARKED "E" ARE EXISTING TO REMAIN.  
\*ALL DEVICES SUB-MARKED "N" ARE NEW.

- ELECTRICAL NOTES**
1. PROVIDE APPROVED FIRE STOPPING MATERIALS AT ALL PENETRATIONS THROUGH FIRE RATED WALLS TO PREVENT THE PASSAGE OF SMOKE, FIRE, TOXIC GAS OR WATER THROUGH THE PENETRATION EITHER BEFORE, DURING OR AFTER A FIRE.
  2. ALL LIGHT FIXTURES WILL BE PROVIDED BY THE OWNER.
  3. PROVIDED ARC-FAULT CIRCUIT INTERRUPTER TYPE BREAKER FOR ALL ADDED OUTLETS, AS PER NEC 2008, SECTION 210.12. ALL ADDED RECEPTACLES TO BE TAMPER RESISTANT AS PER NEC 2008 SECTION 408-11.
  4. PROVIDE MULTIPLE STATIONS, SMOKE DETECTORS, POWERED 120V WITH BATTERY BACKUP.
  5. NOW IN EFFECT NEC 2008 AND FCC 2010.
  6. ALL SMOKE DETECTORS SHALL BE MULTIPLE STATIONS TYPE, POWERED 120V WITH BATTERY BACKUP AND SHALL BE LOCATED AT A MINIMUM 36" FROM A/C DIFFUSERS.



City of Miami  
PLANS APPROVED

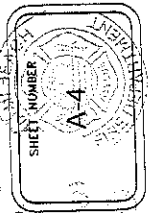
PROPOSED FLOOR PLANS 1/8" = 1'-0"

CHANGE OF USE  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL. 33139

PROJECT NAME	UL
BY: STAFF	AS SHOWN
REVISIONS	
05.09.15-B-D COMMENTS	
06.04.17-B-D COMMENTS	
06.25.17-B-D COMMENTS	

8/13/17  
Charles R. Robinson  
FE: SS488

SHEET NAME  
UL Notes  
& Details



PLANS  
UL NOTES & DETAILS

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

1 or 2 Hour Fire Rated Through Penetration Firestop for Single Metallic Pipe through Gypsum Walls using TREMstop IA.

F-Rating = 1 & 2 Hr.  
T-Rating = 3/4 Hr.

1 Pre-Rated Gypsum Wallboard/Stud Wall Assembly  
2 Metallic Pipe - A) Steel Pipe - 12" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - 12" diam. (or smaller) cast or ductile iron pipe.  
C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing  
D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe.  
E) The annular space shall be min. 0" to max. 1" within the firestop system.  
3 TREMstop IA - Min 1/2" thickness of sealant applied within opening. Min. 1/4" cont bead of sealant to be applied at point contact.

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

2 Hour Fire Rated Through Penetration Firestop for Single Metal Pipe through Concrete Floors or Walls using TREMstop IA.

F-Rating = 2 Hr.  
T-Rating = 0 Hr.

1 Pre-Rated Concrete Floors or Block Walls = Min. 4-1/2" thickness  
2 Metallic Pipe - A) Steel Pipe - 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - 8" diam. (or smaller) cast or ductile iron pipe.  
C) Conduit - 4" diam. (or smaller) EMT or steel conduit.  
D) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing  
E) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe.  
3 Packing Material - See table below for mineral wool insulation (min. 4.0 pcf) requirements  
4 TREMstop IA - See table below for minimum thickness of sealant. Apply sealant flush with top of floor surface or with both sides of the wall assembly.

Annular Space Range, in.	Min. Thickness, in.	F-Rating	T-Rating
1/2 to 1-3/8	4	1/2	2
1-3/8 to 1-7/8	4	1/2	2
1-7/8 to 2	4	1/2	2

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

1 or 2 Hour Fire Rated Through Penetration Firestop for Insulated Metal Pipe through Gypsum Walls using TREMstop IA.

F-Rating = 1 & 2 Hr.  
T-Rating = 3/4 Hr.

1 Pre-Rated Gypsum Wallboard/Stud Wall Assembly  
2 Metallic Pipe - A) Steel Pipe - 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - 8" diam. (or smaller) cast or ductile iron pipe.  
C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing  
D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe.  
3 Pipe Covering - Non. 1" thick (or less) fiberglass insulation.  
4 Packing Material (optional) - Foam Backer and firmly packed into opening as a permanent form.  
5 TREMstop IA - Min 1/2" thickness of sealant applied with annular, flush with both sides of wall assembly. Additional material to be installed such that a min. 3/8" cream is formed around the penetrating item.

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

2 Hour Fire Rated Through Penetration Firestop for Insulated Metal Pipe through Concrete Floors or Walls using TREMstop IA.

F-Rating = 2 Hr.  
T-Rating = 1/2 & 1 Hr.

1 Pre-Rated Concrete Floor or Wall Assembly - Min. 4-1/2" thickness  
2 Metallic Pipe - A) Steel Pipe - 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe.  
B) Iron Pipe - 8" diam. (or smaller) cast or ductile iron pipe.  
C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing  
D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe.  
E) Conduit - 4" diam. (or smaller) EMT or steel conduit.  
3 Packing Material - See table below for thickness and annular space requirements.  
4 TREMstop IA - See table below for minimum thickness of sealant. Apply sealant flush with top surface of floor or both surfaces of wall.

Annular Space Range, in.	Min. Thickness, in.	F-Rating	T-Rating
1/2 to 1-1/2	3-1/2	1/2	1
1-1/2 to 1-7/8	3-1/2	1/2	1
1-7/8 to 2	3-1/2	1/2	1

GYPSUM WALLS

CONCRETE WALLS AND FLOORS

GYPSUM WALLS

CONCRETE WALLS AND FLOORS

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

1 or 2 Hour Fire Rated Through Penetration Firestop for Single Vent Duct through Gypsum Walls using FIRE-SHIELD.

F-Rating = 1 & 2 Hr.  
T-Rating = 0 Hr.

1 Pre-Rated Gypsum Wallboard/Stud Wall Assembly  
2 Vent Duct - Nom. 4" diam. (or smaller) No. 26 gauge (or heavier) galv steel vent duct.  
3 Duct to be rigidly supported on both sides of wall assembly. The annular space shall be min. 1/4" to max. 3/8" within the firestop system.  
4 FIRE-SHIELD - Min 1/2" thickness of sealant applied within the opening. Flush with additional sealant to be installed such that a min. 1/4" cream is formed around the penetrating item.

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

2 Hour Fire Rated Through Penetration Firestop for Single Vent Duct through Concrete Floors or Walls using TREMstop IA.

F-Rating = 2 Hr.  
T-Rating = 0 Hr.

1 Pre-Rated Concrete Floors or Block Walls = Min. 4-1/2" thickness  
2 Vent Duct - Nom. 4" diam. (or smaller) No. 26 gauge (or heavier) galv steel vent duct.  
3 Duct to be rigidly supported on both sides of floor or wall assembly. The annular space shall be min. 1/2" to max. 1-3/8" within the firestop system requirements.  
4 Packing Material - See table below for mineral wool insulation (min. 4.0 pcf)  
5 TREMstop IA - See table below for minimum thickness of sealant. Apply sealant flush with top of floor surface or with both sides of the wall assembly.

Annular Space Range, in.	Min. Thickness, in.	F-Rating	T-Rating
1/2 to 1-3/8	4	1/2	2
1-3/8 to 1-7/8	4	1/2	2
1-7/8 to 2	4	1/2	2

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Gypsum Walls using TREMstop WS and TREMstop IA.

F-Rating = 2 Hr.  
T-Rating = 1-1/2 Hr.

1 Pre-Rated Gypsum Wallboard/Stud Wall Assembly  
2 Plastic Pipe - Nom. 3" diam. (or smaller) Sch. 40 PVC pipe for use in open or closed piping systems. A min. annular space of 1/8" is required within the system.  
3 TREMstop WS - Intumescent wrap sleeve, continuously wrapped around the outer circumference of the pipe four lines on both sides of wall assembly.  
4 TREMstop IA - Fabricated steel collar wrapped over the wrap strips (Items 3) and mechanically fastened to both sides of the wall assembly.  
5 FIRE-SH - Min. 1/4" thickness of sealant applied at the interface of the wall and collar, and the interface of the collar and pipe. Sealant applied on both sides of wall.

DETAILS BASED ON TRECOCO INC. EQUAL PRODUCTS BY JM, HILLI, OR PROSET WILL BE ACCEPTABLE

2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Concrete Floors or Walls using TREMstop D and TREMstop IA.

F-Rating = 2 Hr.  
T-Rating = 2 Hr.

1 Pre-Rated Concrete Floors or Block Walls = Min. 4-1/2" thickness. Max. diam of opening = 3" - The annular space shall be 1/4".  
2 Plastic Pipe - Nom. 3" diam. (or smaller) Sch. 40 collar or solid core PVC pipe for use in open or closed piping systems.  
3 TREMstop D - Property sized firestop device consisting of intumescent strips wrapped around pipe penetration and secured using the attached hose clamp. Mechanically fastened to both sides of floor assembly.  
4 In wall devices are installed on each side of wall assembly.  
5 TREMstop IA - Min. 1/2" diam. bead of sealant to be applied at slab/device end and collar/device interfaces.

METALLIC PIPE (NON-INSULATED)

CONCRETE WALLS AND FLOORS

GYPSUM WALLS

METALLIC PIPE (INSULATED)

City of Miami  
Fire Prevention Department

GYPSUM WALLS

CONCRETE WALLS AND FLOORS

GYPSUM WALLS

CONCRETE WALLS AND FLOORS

METAL VENT DUCT

PLASTIC (PVC) PIPE

NOTE: FOR PVC PIPE 2" AND SMALLER SYSTEM I CAJ 2104 (NOT SHOWN) MAY BE USED

N.T.S.

CHANGE OF USE  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

PROJECT NAME

BY: STAFF  
SCALE: AS SHOWN  
R.N. 301.3  
05.08.13-B-D COMMENTS  
06.04.13-B-D COMMENTS  
06.26.13-B-D COMMENTS  
07.15.13-B-D COMMENTS

PROFESSIONAL DESIGN  
RODRIGUEZ & ANGLIN  
1735 SW 42 TERRACE MIAMI, FL 33175  
REGISTERED ELECTRICAL ENGINEERING  
TEL. (305) 517-7222  
FAX (305) 222-6999  
cm\_rpad@yahoo.com

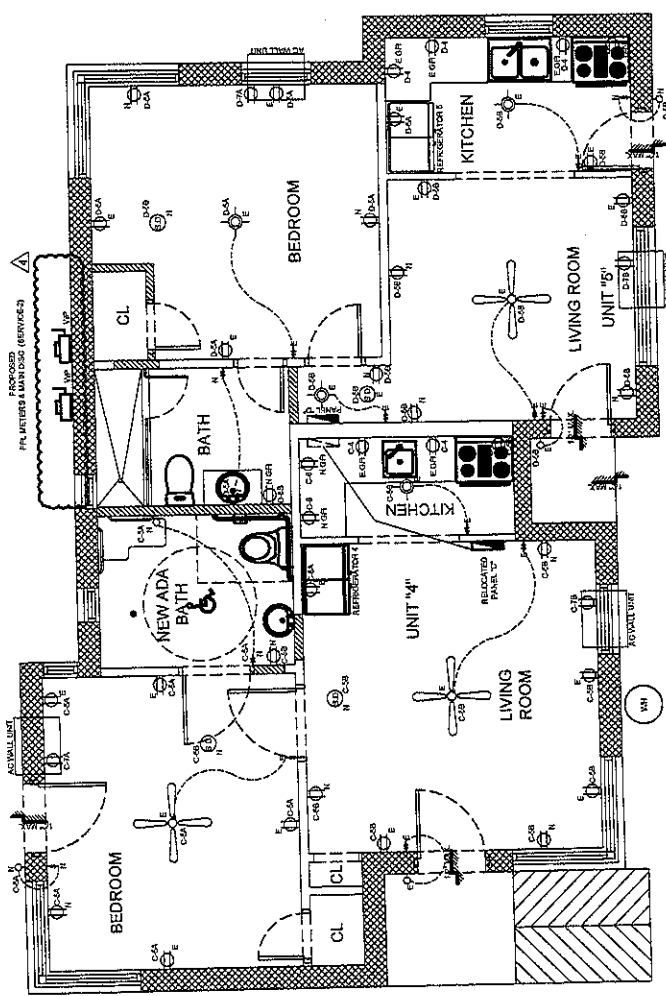
SHEET NAME  
7/17/13  
CARLOS M. RODRIGUEZ  
PE 55488

SHEET NUMBER  
E-1

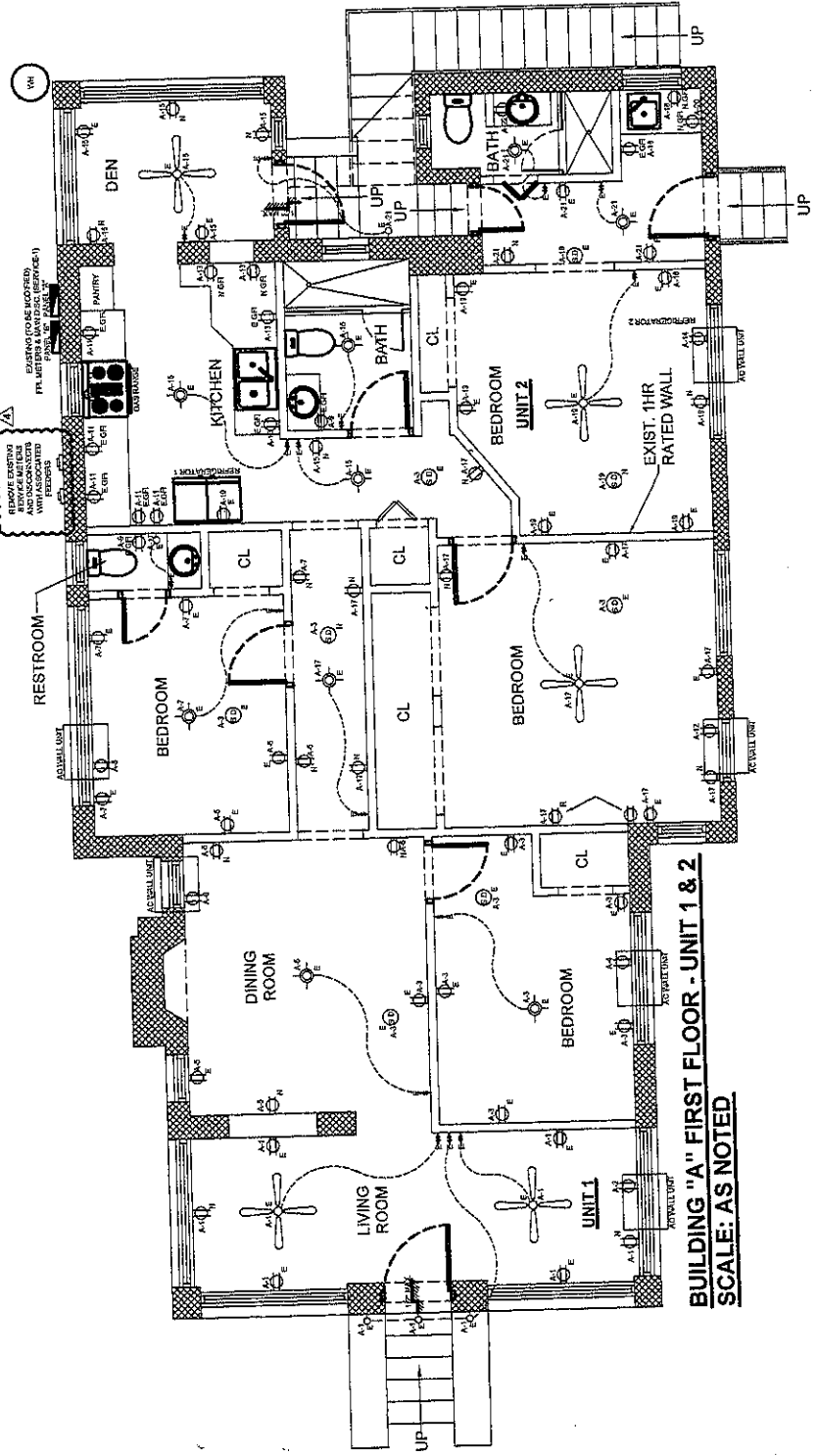
City of Miami  
Fire Prevention

ELECTRICAL PLANS 1/8" = 1'-0"

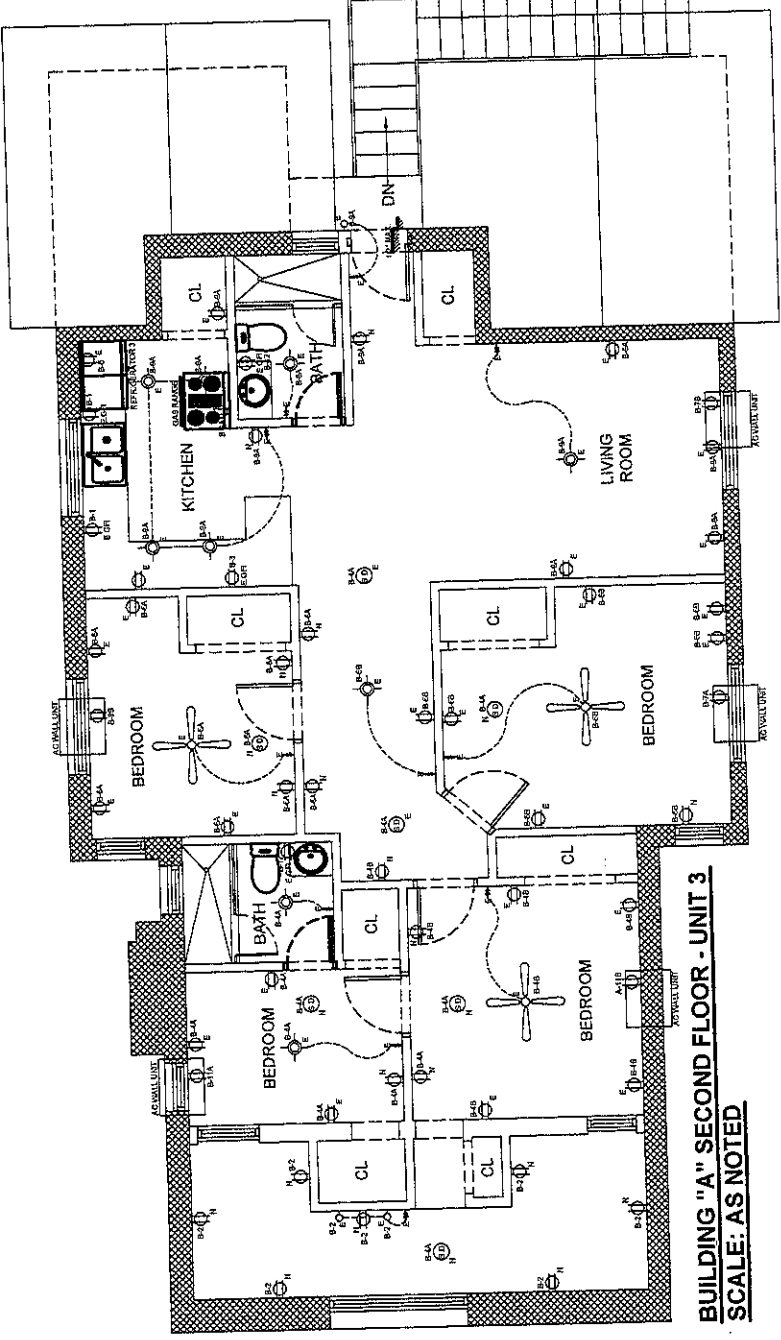
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**BUILDING "B" UNIT 4 & 5**  
SCALE: AS NOTED



**BUILDING "A" FIRST FLOOR - UNIT 1 & 2**  
SCALE: AS NOTED



**BUILDING "A" SECOND FLOOR - UNIT 3**  
SCALE: AS NOTED

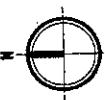
**LEGEND**

- EXIST. CMU WALL
- EXIST. INTERIOR WALL
- NEW INTERIOR WALL
- SMOKE DETECTOR
- EXIST./NEW
- EXIST. LIGHT SWITCH
- EXIST. CEILING LIGHT
- EXIST. CEILING FAN
- EXIST. WALL SCONCE
- ELECTRICAL OUTLET
- EXIST./NEW/R/RELOC.
- EXIST. GFI OUTLET
- EXIST./NEW/R/RELOC.
- EXIST. ELEC. PANEL

**NOTE:**  
\*ALL DEVICES SUB-MARKED 'E' ARE EXISTING TO REMAIN.  
\*ALL DEVICES SUB-MARKED 'N' ARE NEW.

**ELECTRICAL NOTES**

1. PROVIDE APPROVED FIRE STOPPING MATERIALS AT ALL PENETRATIONS THROUGH FIRE RATED WALLS TO PREVENT THE PASSAGE OF SMOKE, FIRE, TOXIC GAS OR WATER THROUGH THE PENETRATION EITHER BEFORE, DURING OR AFTER A FIRE.
2. ALL LIGHT FIXTURES WILL BE PROVIDED BY THE OWNER.
3. PROVIDE ARC-FAULT INTERRUPTER TYPE BREAKER FOR ALL ADDED OUTLETS, AS PER NEC 2008, SECTION 210-12. ALL ADDED RECEPTACLES TO BE TAMPER RESISTANT AS PER NEC 2008 SECTION 408-11.
4. PROVIDE MULTIPLE STATIONS, SMOKE DETECTORS, POWERED 120V WITH BATTERY BACKUP.
5. ALL SMOKE DETECTORS SHALL BE MULTIPLE STATIONS TYPE, POWERED 120V WITH BATTERY BACKUP AND SHALL BE LOCATED AT A MINIMUM 36" FROM A.C. DIFFUSERS.
7. ALL NEW ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE FLOOD LEVEL.



PROJECT NAME: CHANGE OF USE  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

BY: [Signature]  
SCALE: AS SHOWN  
REVISIONS:  
06.08.13-8.0 COMMENTS  
06.04.13-8.0 COMMENTS  
07.18.13-8.0 COMMENTS  
08.18.13-8.0 COMMENTS

PROFESSIONAL DESIGN  
RODRIGUEZ & ANGLIN  
12725 SW 42 TERRACE MIAMI, FL 33175  
ELECTRICAL & FIRE PROTECTION  
MECHANICAL PLUMBING  
PLUMBING  
P.O. BOX 33343  
MIAMI, FL 33133  
TEL: (305) 222-8855  
FAX: (305) 222-8852  
E-MAIL: rpa@rda.com

SHEET NAME: [Signature]  
8/5/13  
CARLOS M. RODRIGUEZ  
REGISTERED PROFESSIONAL ENGINEER  
NO. 15848  
SHEET NUMBER: [Signature]  
E-2

70 9/9/13  
ELECTRICAL PLANS 1/8" = 1'-0" 11

**PANEL B**  
"EXISTING"  
(PANEL SERVED UNIT 3)

TYPE: GENERAL ELECTRIC  
SERVICE: 120/240V, 1Ø, 3W.  
MOUNTING: SURFACE  
POLES: 12/24

MAIN BUS: J25A  
NEUTRAL: FULL  
MAINS: MLO  
A.I.C 10,000A

DEM KVA	NO DEM KVA	TRIP POLE	CON. DUIT	WIRE	REMARKS	CKT NO	REMARKS	CKT NO	CON. DUIT	TRIP POLE	NO DEM KVA	DEM KVA
1.5	1.5	20-1	1/2	12	SMALL APPLIANCES	1	GENERAL LIGHTING	2	1/2	15-1	0.5	0.5
1.5	1.5	20-1	1/2	12	SMALL APPLIANCES	3	GENERAL LIGHTING	4A	1/2	15-1	0.5	0.5
0.8	0.8	20-1	1/2	12	REFRIGERATOR	5	GENERAL LIGHTING	6A	1/2	20-1	0.5	0.5
1.2	1.2	20-1	1/2	12	AC WALL UNIT	7A	1WH	8	3/4	80-2	11.8	11.8
1.2	1.2	20-1	1/2	12	AC WALL UNIT	7B		10				
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	9A	BATHROOM GFI REC.	12	1/2	20-1	0.5	0.5
1.2	1.2	20-1	1/2	12	AC WALL UNIT	11A						
1.2	1.2	20-1	1/2	12	AC WALL UNIT	11B						

DEMAND LOAD BY NEC (UNIT 3)  
GENERAL LIGHTING LOAD = 1,230 FT<sup>2</sup> AT 3VA ..... = 3,880 VA  
SMALL APPLIANCES (2 CIRCUITS AT 1,500VA) ..... = 3,000 VA  
REFRIGERATOR ..... = 800 VA  
LAUNDRY LOAD ..... = 1,500 VA  
INSTANT WATER HEATER ..... = 11,800 VA  
SUB TOTAL = 20,780 VA  
FIRST 10 KVA AT 100% ..... = 10,000 VA  
REST 10,780 VA AT 40% ..... = 4,316 VA  
AC WALL UNITS (FIVE) ..... = 14,316 VA  
SUB TOTAL = 50,000 VA  
TOTAL = 20,316 VA  
I<sub>L</sub> = 20,316 VA % 240V = 84.7 A

**PANEL D**  
"EXISTING"  
(PANEL SERVED UNIT 5)

TYPE: LOAD CENTER  
SERVICE: 120/240V, 1Ø, 3W.  
MOUNTING: SURFACE  
POLES: 8/16

MAIN BUS: J25A  
NEUTRAL: FULL  
MAINS: MLO  
A.I.C 10,000A

DEM KVA	NO DEM KVA	TRIP POLE	CON. DUIT	WIRE	REMARKS	CKT NO	REMARKS	CKT NO	CON. DUIT	TRIP POLE	NO DEM KVA	DEM KVA
4.5	4.5	30-2	1/2	10	WATER HEATER	1	GENERAL LIGHTING	2A	1/2	20-1	0.5	0.5
						3	GENERAL LIGHTING	2B	1/2	20-1	0.5	0.5
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	5A	SMALL APPLIANCES	4	1/2	20-1	1.5	1.5
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	5B	SMALL APPLIANCES	6	1/2	20-1	1.5	1.5
1.2	1.2	20-1	1/2	12	AC WALL UNIT	7A	REFRIGERATOR	12	1/2	20-1	0.8	0.8
1.2	1.2	20-1	1/2	12	AC WALL UNIT	7B	BATHROOM GFI REC.	12	1/2	20-1	0.5	0.5

DEMAND LOAD BY NEC (UNIT 4)  
GENERAL LIGHTING LOAD = 475 FT<sup>2</sup> AT 3VA ..... = 1,425 VA  
SMALL APPLIANCES (2 CIRCUITS AT 1,500VA) ..... = 3,000 VA  
REFRIGERATOR ..... = 800 VA  
LAUNDRY LOAD ..... = 1,500 VA  
WATER HEATER ..... = 4,500 VA  
SUB TOTAL = 11,225 VA  
FIRST 10 KVA AT 100% ..... = 10,000 VA  
REST 1,225 VA AT 40% ..... = 490 VA  
AC WALL UNITS (TWO) ..... = 10,490 VA  
SUB TOTAL = 20,980 VA  
TOTAL = 12,880 VA  
I<sub>L</sub> = 12,880 VA % 240V = 54 A

**PANEL A**  
"NEW TO REPLACE EXISTING"  
(PANEL SERVED UNITS 1 & 2)

TYPE: GENERAL ELECTRIC  
SERVICE: 120/240V, 1Ø, 3W.  
MOUNTING: FLUSH  
POLES: 30

MAIN BUS: J25A  
NEUTRAL: FULL  
MAINS: MLO  
A.I.C 10,000A

DEM KVA	NO DEM KVA	TRIP POLE	CON. DUIT	WIRE	REMARKS	CKT NO	REMARKS	CKT NO	CON. DUIT	TRIP POLE	NO DEM KVA	DEM KVA
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	1	AC WALL UNIT	2	1/2	20-1	1.2	1.2
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	3	AC WALL UNIT	4	1/2	20-1	1.2	1.2
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	5	AC WALL UNIT	6	1/2	20-1	1.2	1.2
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	7	AC WALL UNIT	8	1/2	20-1	1.2	1.2
0.2	0.2	20-1	1/2	12	BATHROOM GFI REC.	9	REFRIGERATOR-1	10	1/2	20-1	0.8	0.8
1.5	1.5	20-1	1/2	12	SMALL APPLIANCES	11	AC WALL UNIT	12	1/2	20-1	1.2	1.2
1.5	1.5	20-1	1/2	12	SMALL APPLIANCES	13	AC WALL UNIT	14	1/2	20-1	1.2	1.2
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	15	REFRIGERATOR-2	16	1/2	20-1	0.8	0.8
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	17	SMALL APPLIANCES	18	1/2	20-1	1.5	1.5
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	19	SMALL APPLIANCES	20	1/2	20-1	1.5	1.5
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	21	BATHROOM GFI REC.	22	1/2	20-1	0.5	0.5
11.8	11.8	60-2	3/4	6	1WH	23	SPACE	24				
					SPACE	25	SPACE	26				
					SPACE	27	SPACE	28				
					SPACE	29	SPACE	30				

DEMAND LOAD BY NEC (UNITS 1 & 2)  
GENERAL LIGHTING LOAD = 1,470 FT<sup>2</sup> AT 3VA ..... = 4,410 VA  
SMALL APPLIANCES (4 CIRCUITS AT 1,500VA) ..... = 6,000 VA  
REFRIGERATOR (TWO) ..... = 1,600 VA  
LAUNDRY LOAD ..... = 1,500 VA  
INSTANT WATER HEATER ..... = 11,800 VA  
SUB TOTAL = 25,310 VA  
FIRST 10 KVA AT 100% ..... = 10,000 VA  
REST 15,310 VA AT 40% ..... = 6,124 VA  
AC WALL UNITS (SIX) ..... = 7,200 VA  
SUB TOTAL = 23,324 VA  
TOTAL = 23,324 VA  
I<sub>L</sub> = 23,324 VA % 240V = 97.2 A

**PANEL C**  
"EXISTING"  
(PANEL SERVED UNIT 4)

TYPE: LOAD CENTER  
SERVICE: 120/240V, 1Ø, 3W.  
MOUNTING: SURFACE  
POLES: 8/16

MAIN BUS: J25A  
NEUTRAL: FULL  
MAINS: MLO  
A.I.C 10,000A

DEM KVA	NO DEM KVA	TRIP POLE	CON. DUIT	WIRE	REMARKS	CKT NO	REMARKS	CKT NO	CON. DUIT	TRIP POLE	NO DEM KVA	DEM KVA
4.5	4.5	30-2	1/2	10	WATER HEATER	1	GENERAL LIGHTING	2A	1/2	20-1	0.5	0.5
						3	GENERAL LIGHTING	2B	1/2	20-1	0.5	0.5
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	5A	SMALL APPLIANCES	4	1/2	20-1	1.5	1.5
0.5	0.5	15-1	1/2	14	GENERAL LIGHTING	5B	SMALL APPLIANCES	6	1/2	20-1	1.5	1.5
1.2	1.2	20-1	1/2	12	AC WALL UNIT	7A	REFRIGERATOR	12	1/2	20-1	0.8	0.8
1.2	1.2	20-1	1/2	12	AC WALL UNIT	7B	BATHROOM GFI REC.	12	1/2	20-1	0.5	0.5

DEMAND LOAD BY NEC (UNIT 4)  
GENERAL LIGHTING LOAD = 525 FT<sup>2</sup> AT 3VA ..... = 1,575 VA  
SMALL APPLIANCES (2 CIRCUITS AT 1,500VA) ..... = 3,000 VA  
REFRIGERATOR ..... = 800 VA  
LAUNDRY LOAD ..... = 1,500 VA  
WATER HEATER ..... = 4,500 VA  
SUB TOTAL = 11,375 VA  
FIRST 10 KVA AT 100% ..... = 10,550 VA  
REST 1,375 VA AT 40% ..... = 550 VA  
AC WALL UNITS (TWO) ..... = 10,000 VA  
SUB TOTAL = 21,100 VA  
TOTAL = 12,850 VA  
I<sub>L</sub> = 12,850 VA % 240V = 54 A

City of Miami  
The Department of Public Works  
PLANS AND PERMITS SECTION



70 9/9/13

ELECTRICAL PLANS 1/8" = 1'-0" 11

CHANGE OF USE  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

PROJECT NAME

DATE

SCALE AS SHOWN

REVISIONS

- 05.08.15-B-D COMMENTS
- 06.04.15-B-D COMMENTS
- 08.28.15-B-D COMMENTS
- 07.15.15-B-D COMMENTS
- 06.15.15-B-D COMMENTS

PROFESSIONAL DESIGN  
12735 SW 42 TERRACE MIAMI, FL 33175  
MECHANICAL, PLUMBING,  
ELECTRICAL & PIPE PROTECTION  
TEL: (305) 222-8855  
FAX: (305) 222-8855  
enr\_rodriguez@mecc.com

SHEET NAME

8/15/13  
CARLOS M. RODRIGUEZ  
REGISTERED PROFESSIONAL ENGINEER  
NO. 12489

SHEET NUMBER

E-3

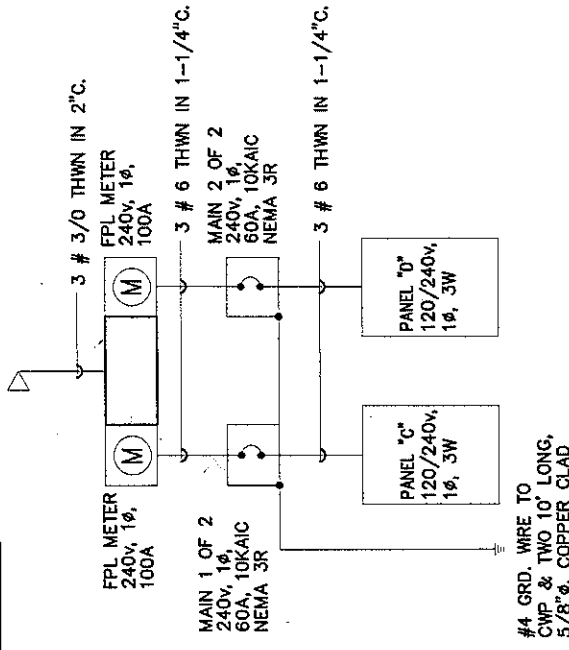
ELECTRICAL PLANS 1/8" = 1'-0" 1

20/9/13

- SCOPE OF WORK (SERVICE-2):**
- \* CURRENTLY SERVICE FOR BUILDING-2 IS LOCATED IN BUILDING-1 WITH NOT MEANS OF DISCONNECTS IN BUILDING-2.
  - \* REMOVE EXISTING SERVICE FOR PANELS "C" & "D" WITH ASSOCIATED FEEDERS.
  - \* PROVIDE NEW SERVICE DROP, FPL METERS & MAIN DISCONNECTS FOR PANELS "C" & "D".
  - \* RELOCATE PANEL "C" AS SHOWN ON PLANS.
  - \* ON SHEET E-2.
  - \* PROVIDE MAIN FEEDERS FOR EACH ONE OF THE PANEL "C" & "D" AS SHOWN ON PLANS.

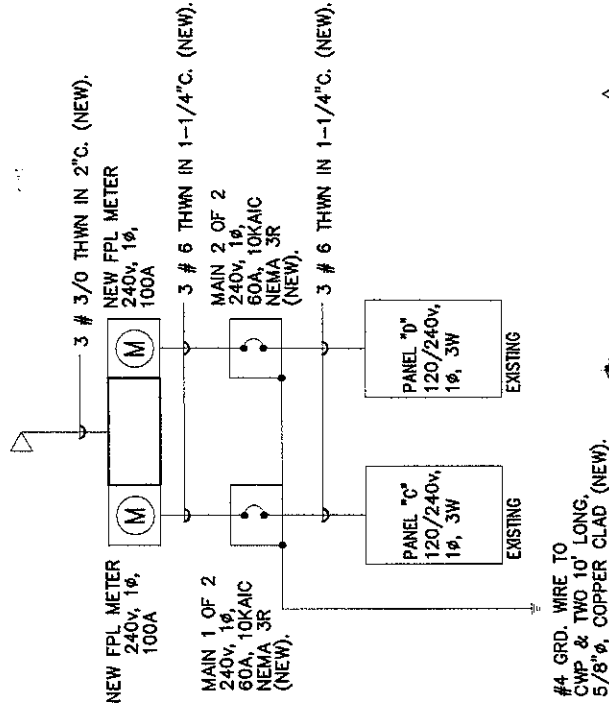
**SERVICE-2**

CHANGE OF USE FROM APARTMENTS TO ROOMING HOUSE.



**EXISTING ONE LINE DIAGRAM.  
SERVICE FOR UNITS 4 & 5. BLDG-2.**

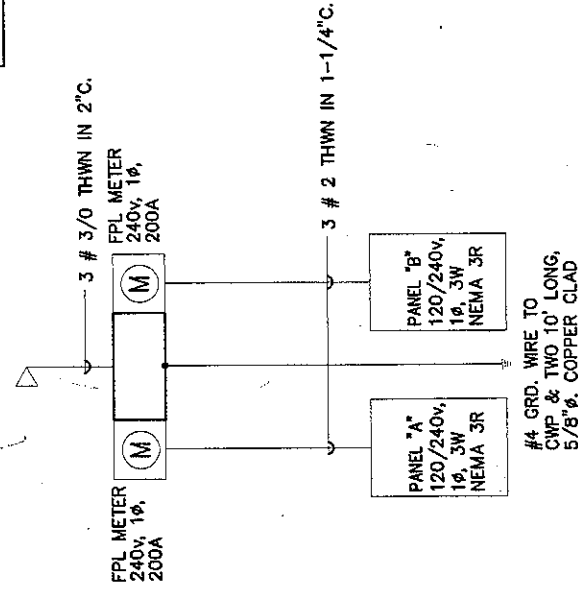
N.T.S.



**PROPOSED ONE LINE DIAGRAM.  
SERVICE FOR UNITS 4 & 5. BLDG-2.**

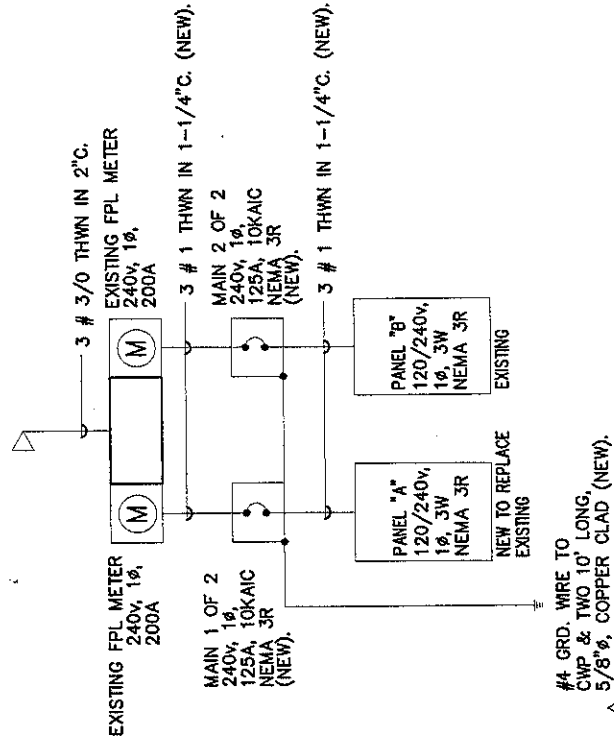
N.T.S.

**SERVICE-1**



**EXISTING ONE LINE DIAGRAM.  
SERVICE FOR UNITS 1, 2 & 3. BLDG-1.**

N.T.S.



**MODIFIED ONE LINE DIAGRAM.  
SERVICE FOR UNITS 1, 2 & 3. BLDG-1.**

N.T.S.

- SCOPE OF WORK (SERVICE-1):**
- \* CURRENTLY SERVICE FOR BUILDING-1 NOT PROVIDED WITH MAIN DISCONNECTS. THE TWO ELECTRICAL PANELS "A" & "B" LOCATED OUTSIDE.
  - \* PANEL "A" SERVING UNITS 1 & 2 IN GROUND FLOOR (PROPERTY WILL BE A ROOMING HOUSE).
  - \* PROVIDE NEW MAIN DISCONNECTS FOR PANELS "A" & "B" AS SHOWN ON PLANS.
  - \* REPLACE EXISTING PANEL "A" AS INDICATED ON SHEET E-2.
  - \* REPLACE MAIN FEEDERS FOR EACH ONE OF THE PANEL "A" & "B" AS SHOWN ON PLANS.

City of Miami  
Pre-Permitting  
ELECTRICAL APPROVAL

CHANGE OF USE  
 527 JEFFERSON AVENUE  
 MIAMI BEACH, FL. 33139

PROJECT NAME

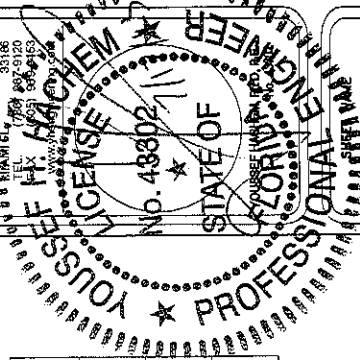
BY: STAFF

SCALE: AS SHOWN

REVISIONS

**HCE**

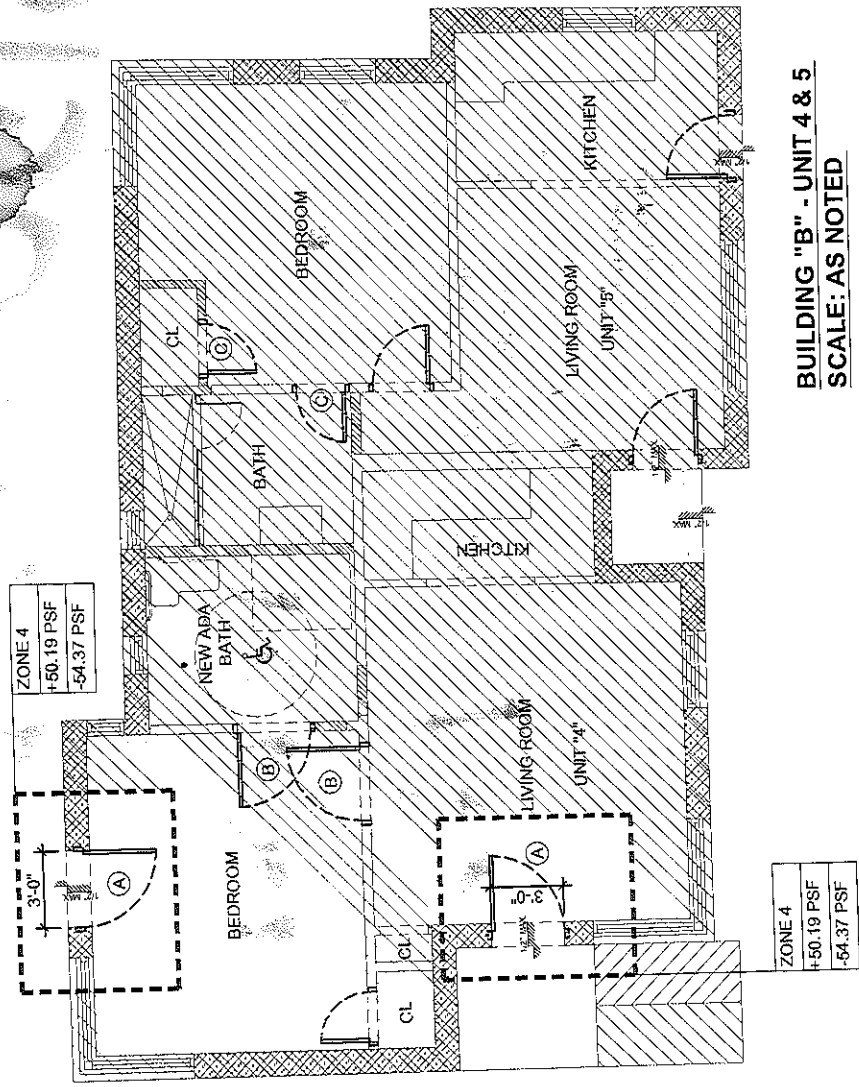
YOUSSEF HACHISE  
 CONSULTING ENGINEERS  
 12151 SW 128 COURT  
 SUITE 105  
 MIAMI, FL 33186  
 TEL: (305) 897-9120  
 FAX: (305) 897-9125  
 WWW.HCE-FL.COM



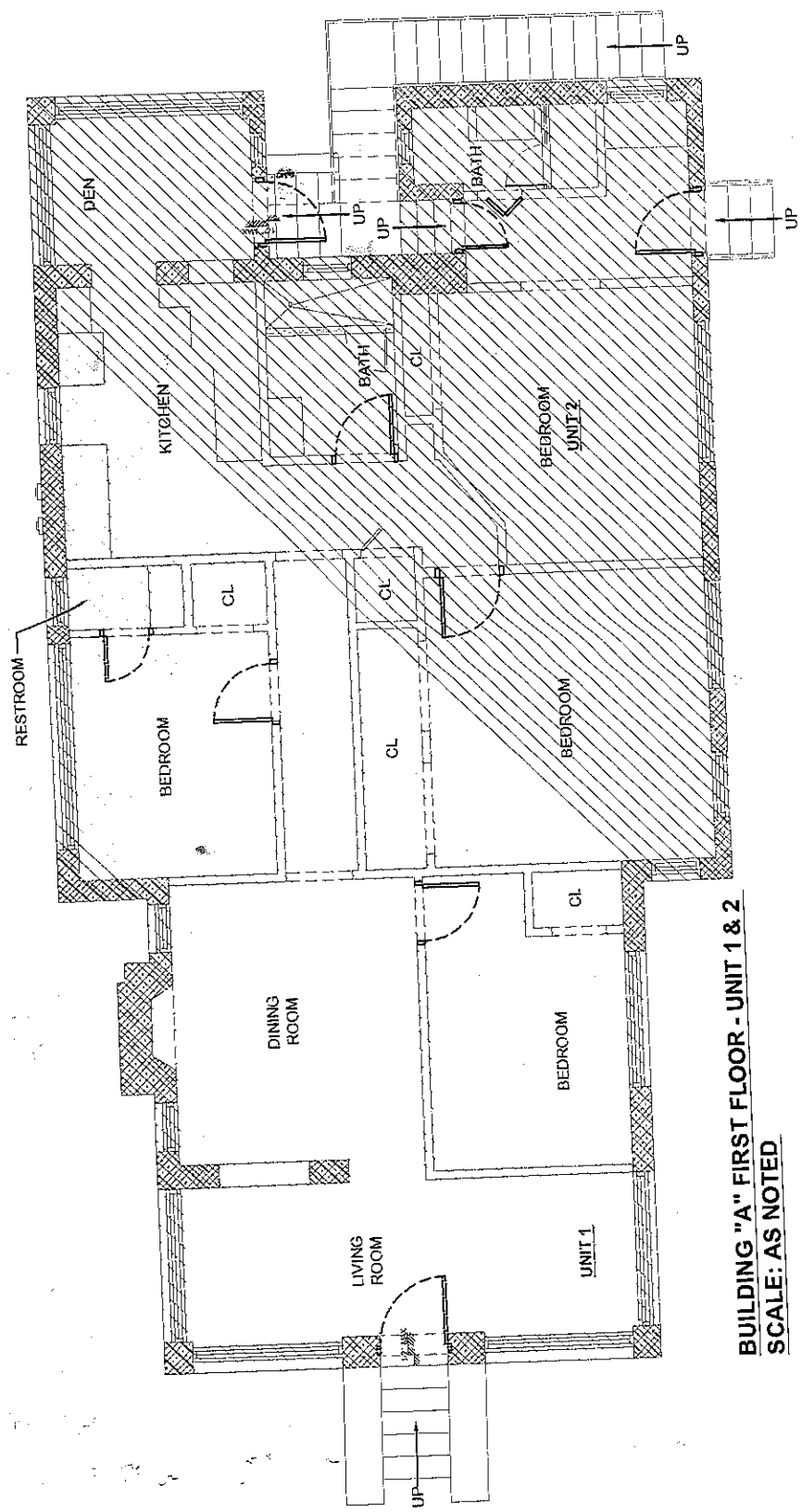
DATE: 12/15/11  
 SHEET NUMBER  
 TOTAL SHEETS

City of Miami Beach  
 Fire Prevention Division  
 PLANS APPROVED

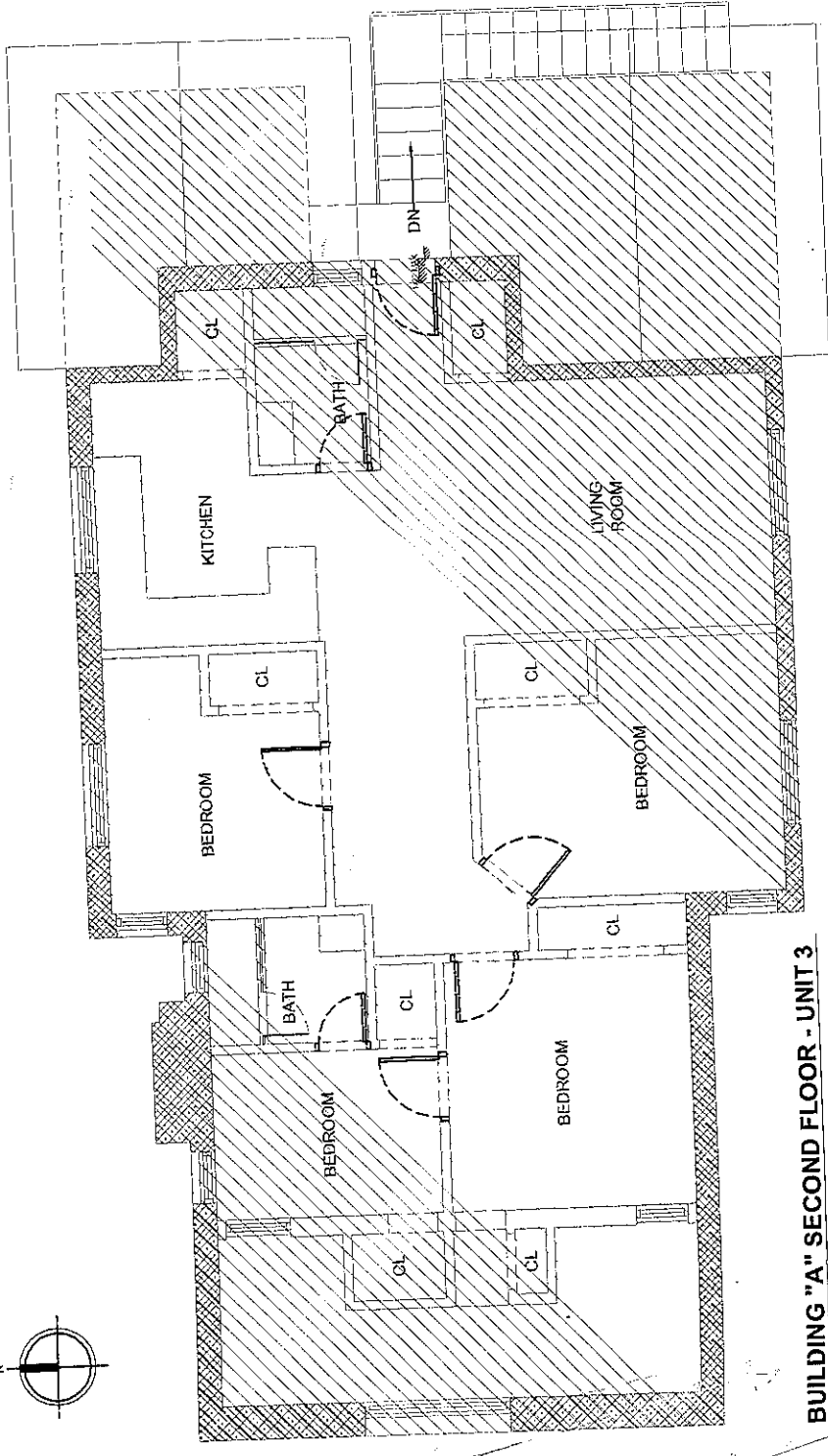
PROPOSED FLOOR PLANS 1/8" = 1'-0" 1



**BUILDING "B" - UNIT 4 & 5**  
 SCALE: AS NOTED



**BUILDING "A" FIRST FLOOR - UNIT 1 & 2**  
 SCALE: AS NOTED



**BUILDING "A" SECOND FLOOR - UNIT 3**  
 SCALE: AS NOTED

DOOR SCHEDULE / ALL DOORS SHALL COMPLY WITH NFPA 101 CAP 7.2.1.4.4. EDIT. 2010

MARK	QUANT.	DIMENSIONS		MANUF.	TYPE	REMARKS	MATERIAL	N.O.A.
		OPEN.	HEIGHT					
(A)	2 (NEW)	36"	82"	BLACK MOUNTAIN DOOR	EXTERIOR INSWING	IMPACT	STEEL	12-0323.11
(B)	2 (NEW)	36"	80"	N/A	INTERIOR	N/A	WOOD	N/A
(C)	2 (EXIST.)	24"	80"	N/A	INTERIOR	N/A	WOOD	N/A

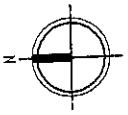
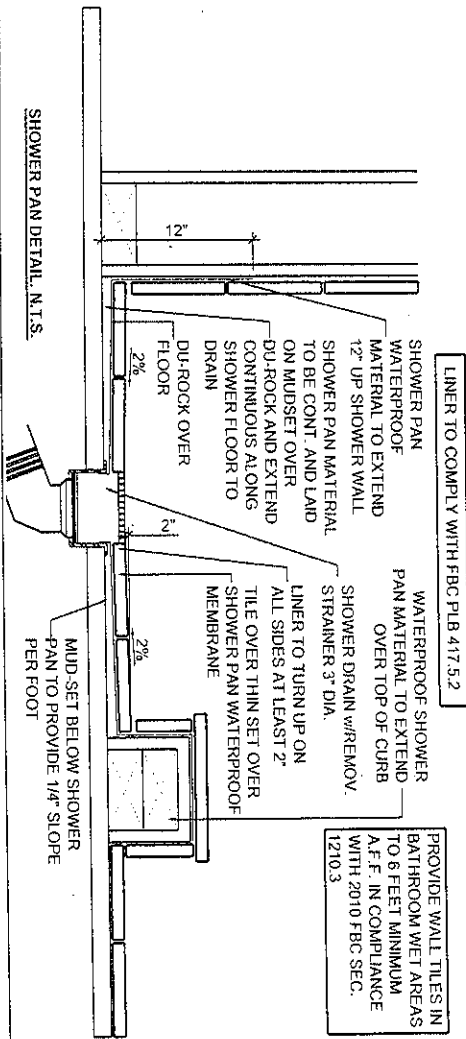


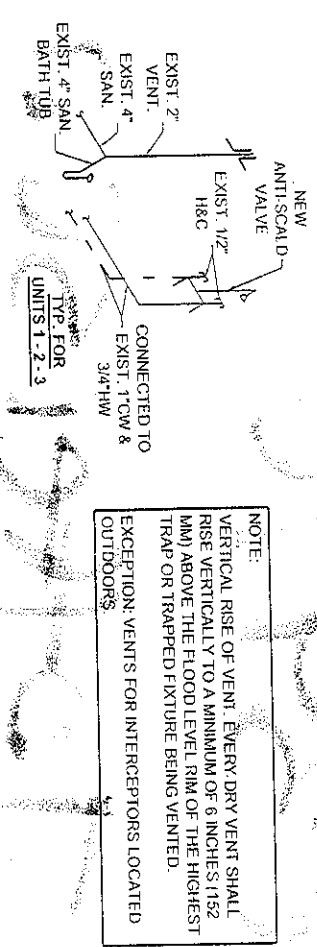
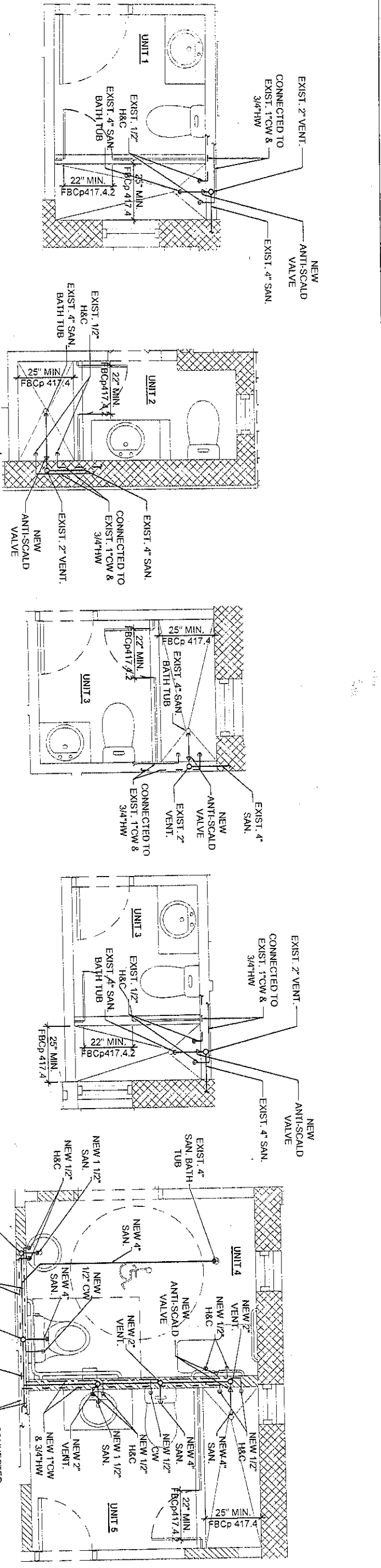
TABLE 604.4 MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES, FITTINGS AND APPLIANCES	
PLUMBING FIXTURE OR FITTING OR FIXTURE FLOW RATE	PLUMBING FIXTURE OR FITTING FLOW RATE
LAVATORY FAUCET	1.0 GPM AT 60 PSI
SINK FAUCET	1.0 GPM AT 60 PSI
SHOWER HEAD	1.5 GPM AT 80 PSI
WATER CLOSET	1.28 GALLONS PER FLUSHING CYCLE

NOTE: THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES, FITTINGS AND APPLIANCES SHALL BE IN ACCORDANCE WITH TABLE 604.4 EFFECTIVE JANUARY 1, 2009.



**PLUMBING NOTES**

- 1) ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE W/ THE LATEST EDITION OF THE FBC, LOCAL ORDINANCES AND IN COMPLIANCE W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BLDG. CONSTRUCTION.
- 2) CONTRACTOR TO VERIFY AT SITE LOCATION, ELEVATION AND SIZE OF ALL EXISTING MAIN, WATER AND SEWER FOR CONNECTION OF NEW SERVICE BEFORE INSTALLATION OF ANY PIPING OR SEPTIC TANK.
- 3) UNDERGROUND METAL PIPING SHALL BE PROTECTED BY A COAT OF BITUMINOUS COMPOUND BEFORE COVERING WITH BITUMASTIC OR EQUAL.
- 4) PROVIDE SHUT-OFF AND VACUUM BREAKER TO ALL HOSE BIBBS AND FAUCETS W/ HOSE-END CONNECTION.
- 5) ALL FIXTURES SHALL BE PROTECTED AGAINST WATER HAMMER W/ AIR CHAMBER OR SHOCK ABSORBERS AS INDICATED ON PLAN.
- 6) VENT LINES TO EXTEND 9" MIN. ABOVE ROOF AND FLASH W/ LEAD OR CONNECT TO EXISTING VENT SYSTEM.
- 7) PROVIDE CONTROL VALVE TO ALL MAIN ENTERING THE BUILDING RISER, BRANCHES, GROUP OF FIXTURE, AND TO EACH PIECE OF EQUIPMENT.
- 8) PLUMBING FIXTURE SHALL BE CHROME PLATED, FIXTURE SHALL BE PROVIDED W/ SUPPLEMENT HANGERS, ETC.
- 9) WASTE LINES TO SLOPE MIN. 1/4" PER FT. UNLESS OTHERWISE NOTED.
- 10) PROVIDE FULLY ACCESSIBLE CLEANOUTS ON SANITARY AND ANY WASTE PIPING AT EVERY CHANGE OF DIRECTIONS, AND AT BOTTOM OF STACKS, CLEAN OUTS LOCATIONS AND SIZES ON HORIZONTAL LINES SHALL BE ACCORDING TO CODES.
- 11) FEED ALL PLUMBING FIXTURES W/ TYPE "M" COPPER ABOVE GROUND AND TYPE "L" COPPER BELOW GROUND.
- 12) ALL SANITARY WASTE TO BE PVC SCHEDULE 40.
- 13) CLEANOUTS SHALL BE PROVIDED AT THE BASE OF ALL STACKS AND ALL BLDG. DRAIN OUTSIDE THE BUILDING WALL.
- 14) NO SOLDERING JOINTS BELOW THE SLAB.
- 15) ANTI SCALD PREVENTATIVE VALVES REQUIRED FOR ALL SHOWERS AS PER FBC.
- 16) WATER HEATER AS PER FBC.
- 17) 2" MIN. DRAIN UNDER SLAB AT MIN. 1/4" DROP.
- 18) ALL FLOOR DRAIN SHALL HAVE TRAP PRIMER TO PROTECT THE SEAL OF THE TRAP.
- 19) PROVIDE 1" RESEAL LINE FROM WATER SUPPLY TO EACH FLOOR DRAIN.
- 20) ALL PLUMBING PENETRATIONS IN FIRE RESISTANT RETED WALLS, PARTITIONS, FLOORS AND CEILING SHALL BE FIRE STOPPED W/ APPROVED FIRE STOP FOAM.



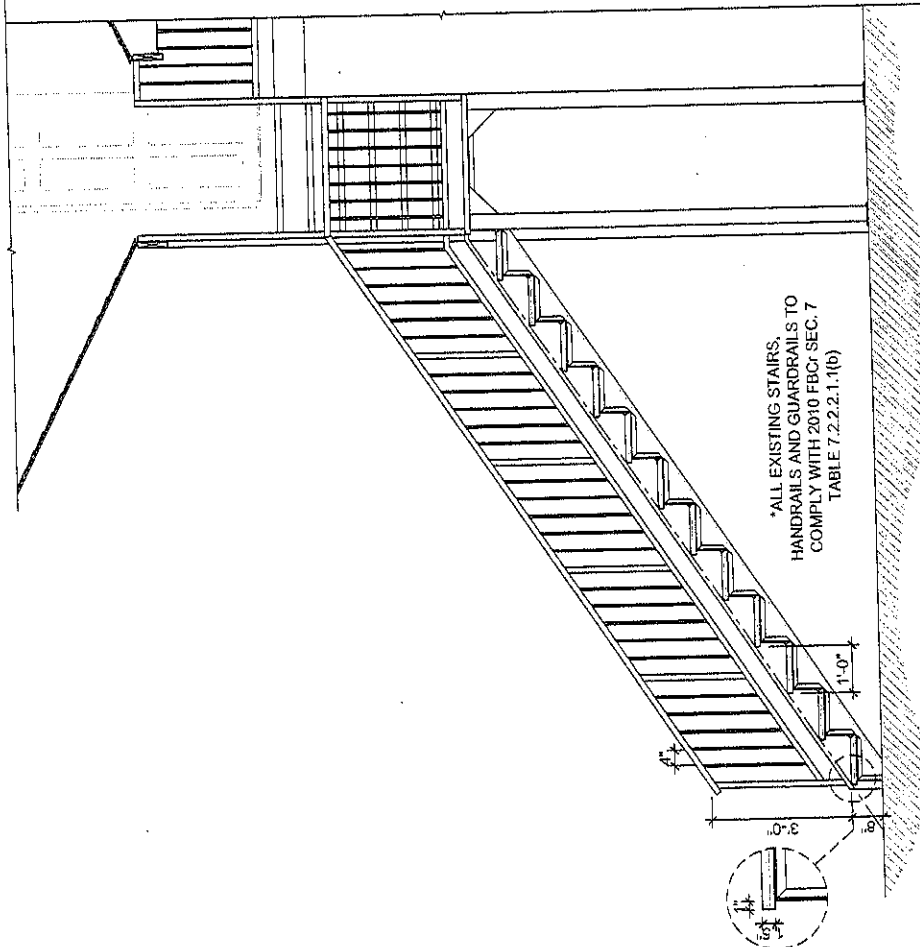
City of Miami  
Office of Public Works  
PLUMBING PLAN 1/4" = 1'-0"

<p>Carlos A. Rodriguez 81913 PE 55498</p>	<p>PROJECT NAME <b>CHANGE OF USE 927 JEFFERSON AVENUE MIAMI BEACH, FL 33139</b></p>												
<p>SHEET NAME <b>Plumbing Plan</b></p>	<p>REVISIONS</p> <table border="1"> <tr> <td>NO.</td> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td>1</td> <td>05.08.13-9.0</td> <td>COMPLIANCE</td> </tr> <tr> <td>2</td> <td>06.04.13-9.0</td> <td>COMPLIANCE</td> </tr> <tr> <td>3</td> <td>06.26.13-9.0</td> <td>COMMENTS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	05.08.13-9.0	COMPLIANCE	2	06.04.13-9.0	COMPLIANCE	3	06.26.13-9.0	COMMENTS
NO.	DATE	DESCRIPTION											
1	05.08.13-9.0	COMPLIANCE											
2	06.04.13-9.0	COMPLIANCE											
3	06.26.13-9.0	COMMENTS											

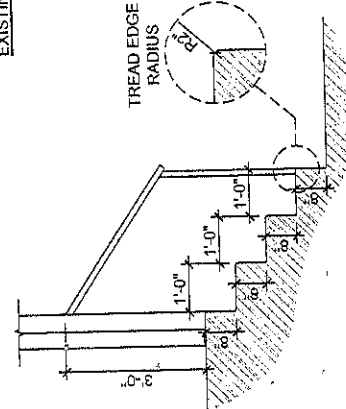


DOOR SCHEDULE / ALL DOORS SHALL COMPLY WITH NFPA 101 CAP 7.2.1.4.4 EDIT. 2010

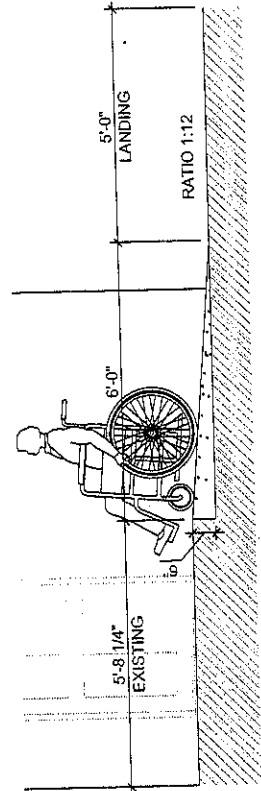
MARK	QUANT.	DIMENSIONS		MANUF.	TYPE	REMARKS	MATERIAL	N.O.A.
		OPEN	HEIGHT					
(A)	2 (NEW)	36"	82"	BLACK MOUNTAIN DOOR	INTERIOR INSWING	IMPACT	STEEL	12-0323-11
(B)	2 (NEW)	36"	80"	N/A	INTERIOR	N/A	WOOD	N/A
(C)	2 (EXIST.)	24"	80"	N/A	INTERIOR	N/A	WOOD	N/A



EXISTING STAIR & HANDRAIL 'UNIT 3'  
SCALE: 1/4"=1'-0"

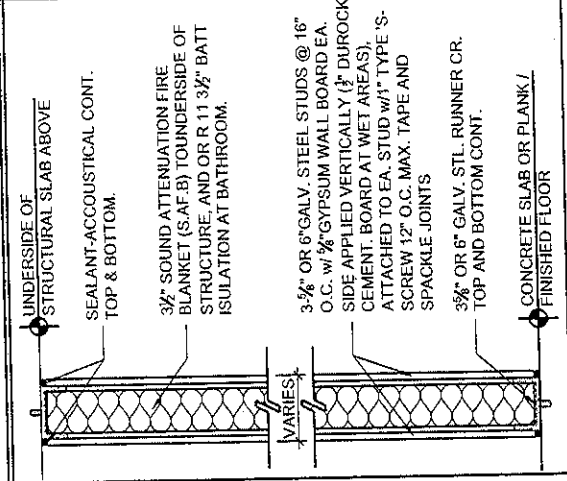


EXISTING STAIR & HANDRAIL 'UNIT 2'  
SCALE: 1/4"=1'-0"

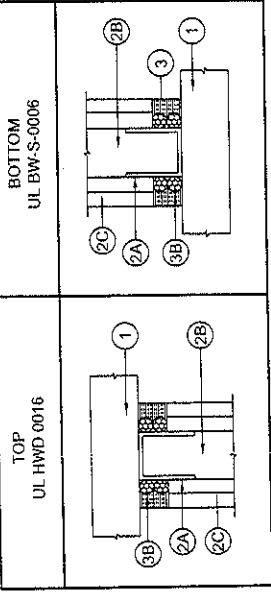
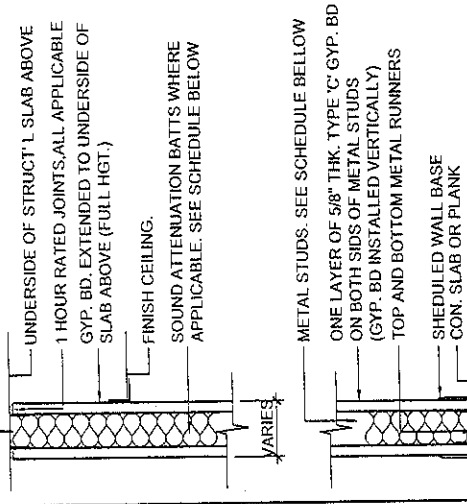


NEW ADA RAMP @ 'UNIT 4'  
SCALE: 1/4"=1'-0"

NON RATED PARTITION (N.T.S)



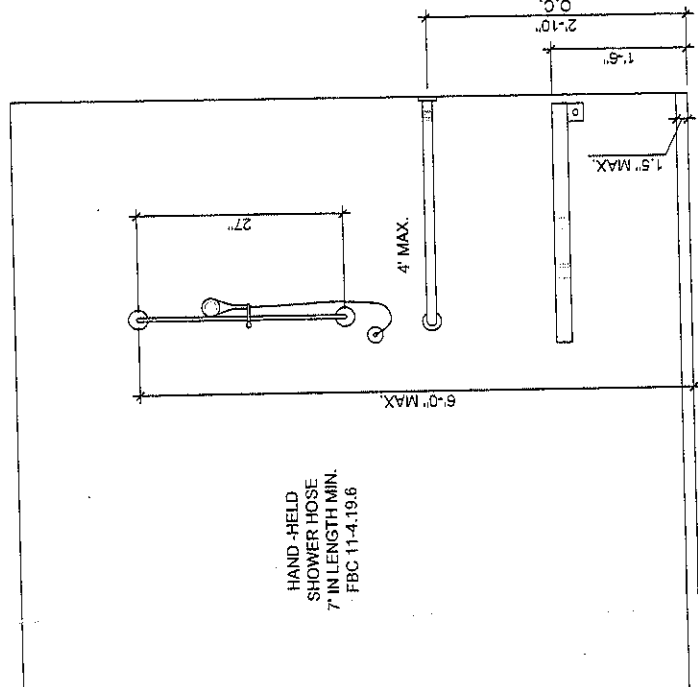
1 HOUR RATED PARTITION UL DESIGN U430



1. Floor Assembly - Min 4-1/2 in. (114 mm) thick reinforced lightweight or normal weight (100 - 150 pcf (1600-2400 kg/cu meter)) structural concrete. Floor may also be constructed of any 6 in. (152 mm) thick UL Classified hollow-core Precast Concrete Units\*. See Precast Concrete Units category in the Fire Resistance Directory for names of manufactures.

2. Wall Assembly - The 1 or 2 hr fire-rated gypsum board/steel stud wall assembly shall be constructed of the materials and in the manner specified in the individual U400 or V400 Series Wall or Partition Design in the UL Fire Resistance Directory. In addition, the wall may incorporate a head-of-wall joint system constructed as specified in the HW Series Joint Systems in the UL Fire Resistance Directory. The wall shall include the following construction features:  
 A. Steel Floor Runner - Floor runners of wall assembly shall consist of min No. 25 gauge galvanized steel channels sized to accommodate steel studs (Item 2B). Floor runners to be provided with min 1-1/4 in. (32 mm) flanges. Runners secured with steel fasteners spaced 12 in. (305 mm) O.C.  
 B. Studs - Steel studs to be min 2-1/2 in. (64 mm) wide. Studs cut 1/2 to 3/4 in. (13 to 19 mm) less in length than assembly height with bottom nesting in, resting on and fastened to floor runner with sheet metal screws. Stud spacing not to exceed 24 in. (610 mm) O.C.  
 C. Gypsum Board\* - Gypsum board installed to a min total thickness of 5/8 in. (16 mm) or 1-1/4 in. (32 mm) on each side of wall for a 1 or 2 hr rated wall, respectively. Wall to be constructed as specified in the individual U400 or V400 Series Design in the UL Fire Resistance Directory except that a max 1 in. (25 mm) gap shall be maintained between the bottom of the gypsum board and the top of the concrete floor. The hourly fire rating of the joint system is equal to the hourly fire rating of the wall.

3. Joint System - Max separation between top of floor and bottom of gypsum board is 1 in. (25 mm). The joint system consists of a packing material and a fill material, as follows:  
 A. Packing Material - (Optional, Not Shown) - Foam backer rod firmly packed into the gap between the bottom of the gypsum board and the top of the concrete floor and recessed from each surface of the wall to accommodate the required thickness of fill material.  
 B. Fill, Void or Cavity Material\* - Sealant - Min 1/2 in. (13 mm) thickness of fill material installed on each side of the wall between the bottom of the gypsum board and the top of the concrete floor, flush with each surface of the wall.



ADA SHOWER ELEVATION DETAIL  
SCALE: N.T.S.

CHANGE OF USE  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

PROJECT NAME

BY: STAFF

DATE: 8/13/15

REVISIONS

AS SHOWN

REVISIONS

05-07-11-B-D COMMENTS

06-04-13-B-D COMMENTS

06-25-13-B-D COMMENTS

SHEET NAME

Notes & Details

SHEET NUMBER

A-3

NOTES & DETAILS SCALE AS NOTED 1

TREMO CO INC - TREMstop Acrylic, TREMstop Mountscant Acrylic, PLANKS

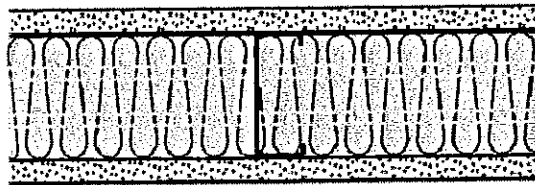
## Fire Assembly Detail - UL Design U407

Interior Partitions / Steel Stud (Non-loadbearing)

### Fire Assembly Detail - UL Design U407

View More Info on UL.com ([http://database.ul.com/cgi-bin/XYV/template/LISEXT/1FRAME/showpage.html?name=BXUV\\_U407&conshorhtitle=Fire+Resistance+Ratings+-+ANSI/UL+263&objid=1074330467&ctgid=1073741824&version=versionless&parent\\_id=1073984818&sequence=1](http://database.ul.com/cgi-bin/XYV/template/LISEXT/1FRAME/showpage.html?name=BXUV_U407&conshorhtitle=Fire+Resistance+Ratings+-+ANSI/UL+263&objid=1074330467&ctgid=1073741824&version=versionless&parent_id=1073984818&sequence=1))

Fire Rating	1 hr
STC / Sound Test	N/A
System Thickness	4-3/4"
Limiting Height	9'-1"-19'-11"



Cement Board Face Layer, 5/8 in. thick cement board

USG Products

DUROCK® Cement Board Next Gen (products.asp?id=45) (type DCB)

Steel Studs

Min. 3-1/2 in. wide, fabricated from min 20 gauge galv. steel space @ max 16 in. OC

Generic stud

350S125-30

362S125-30

400S125-30

600S125-30

Batts and

Blankets Min. 3 in. mineral wool batt insulation

Cement Board

Face Layer, 5/8 in. thick cement board

USG Products

DUROCK® Cement Board Next Gen (products.asp?id=45) (type DCB)

Joint Tape and

Compound Setting-type joint compound and paper tape on both sides

(selector.asp)

Related Fire Assemblies - Wall Selectors (wall-

Detail Test Number Rating STC Thickness

# Planning Guide



**SERENUS**  
LULA Elevator

This planning guide is designed to assist architects, contractors, home owners and elevator professionals in planning for a **SERENUS LULA Elevator** to meet the requirements of CAN/CSA B44.

*We strongly recommend that you contact the code authority having jurisdiction in the area(s) where the elevator will be installed to become familiar with all the legal requirements governing the installation and use of elevators in private residences. It is extremely important for you to know and adhere to all regulations pertaining to the installation and use of elevators*

**This Planning Guide provides nominal dimensions and specifications useful for the initial planning of an elevator project. Before beginning actual construction make sure to receive application drawings customized with specifications and dimensions for your specific project.**

**DO NOT CONSTRUCT THE RETURN WALLS ON EITHER SIDE OR ABOVE ENTRANCES UNTIL AFTER WE HAVE ALIGNED THE DOORS AND FRAME ON SITE.**

#### **General Specifications**

G1 The design and construction of all work is to conform to the local applicable building code.

G2 Read these drawings in conjunction with all related architectural, mechanical, electrical, and elevator drawings as well as any other contract documents.

G3 The wall drawings have been prepared using engineering principles and the design loads that are applied by the elevator rails to the wall. However, the details and member sizes and the

attachments to the structure should not be construed as a complete design of the wall system. The contractor and/or the project engineer is responsible to evaluate the other loads that are applied to the wall from the floor or roof system and modify member sizes or connections as required by their analysis.

The fused disconnect switch rating and fuse rating for the lift will be shown on the shop drawings forwarded for your project. **FOR ALL HYDRAULIC ELEVATORS WHERE EMERGENCY POWER IS SUPPLIED FROM A SECOND SOURCE FOR LOWERING THE CAR ONLY. THE DISCONNECTION MEANS SHALL BE PROVIDED WITH AN AUXILIARY CONTACT THAT IS POSITIVELY OPENED MECHANICALLY, (i.e. the opening not being solely dependent on springs), AND CONNECTED IN THE CONTROL CIRCUIT TO PREVENT MOVEMENT OF THE CAR WHEN THE DISCONNECTING MEANS IS OPEN.** Refer also to SECTION 38036 (3) OF THE **CSA STANDARD C221-1990, ELECTRICAL CODE.**

**LOCKABLE FUSE DISCONNECT WITH AUXILIARY CONTACT AND A 110V DISCONNECT**  
**When considering such items as tile flooring or other custom add-ons, care should be taken not to add more than 150 pounds to the overall weight of the lift.**

**Shop drawings take 1 -2 weeks after you place your order with us; the unit will be shipped 8-10 weeks.**

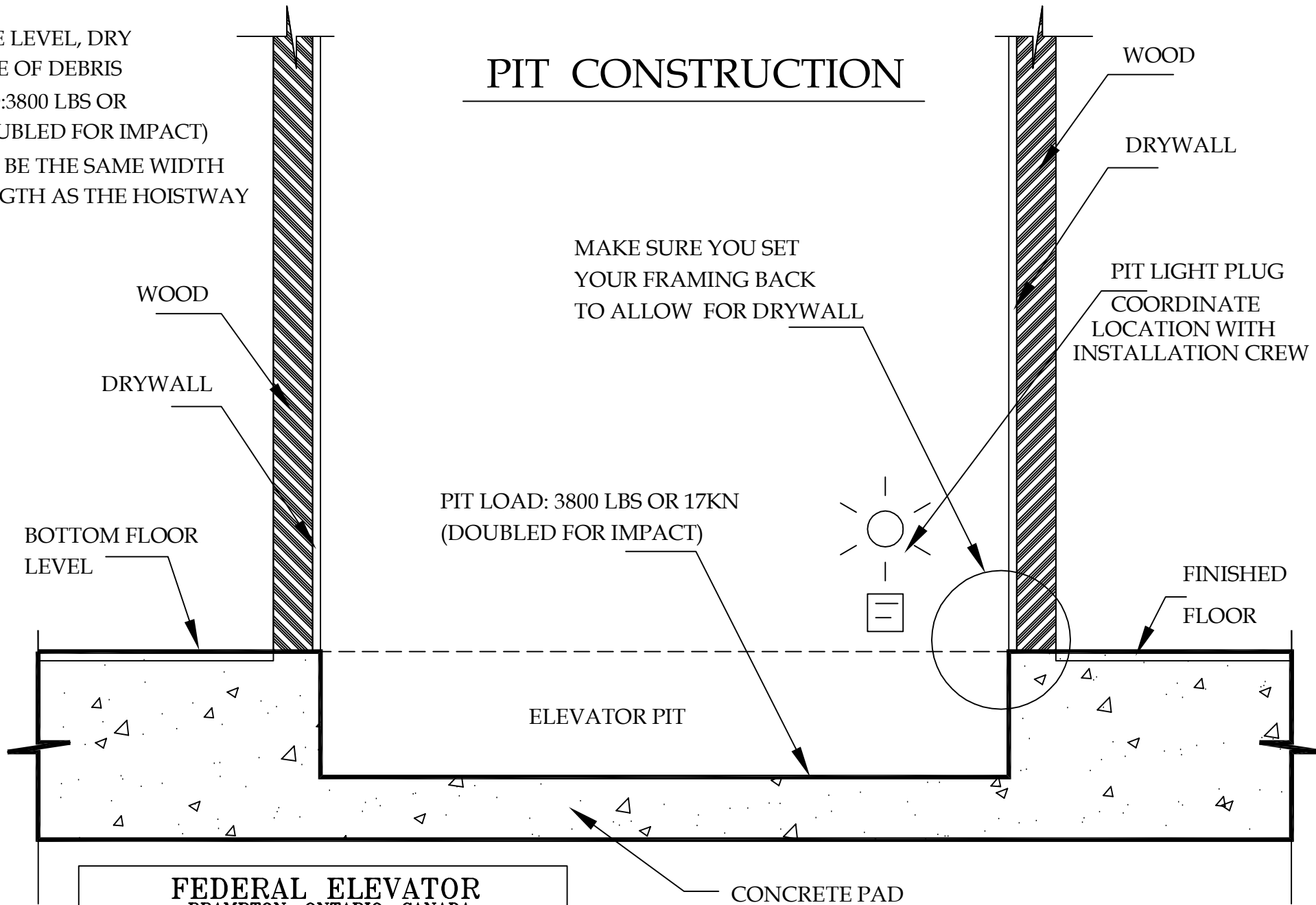
We trust the above will be useful, but please contact us by phone or e-mail if you have any further questions.

# LULA, CARELIFT, COMMERCIAL

## PIT CONSTRUCTION

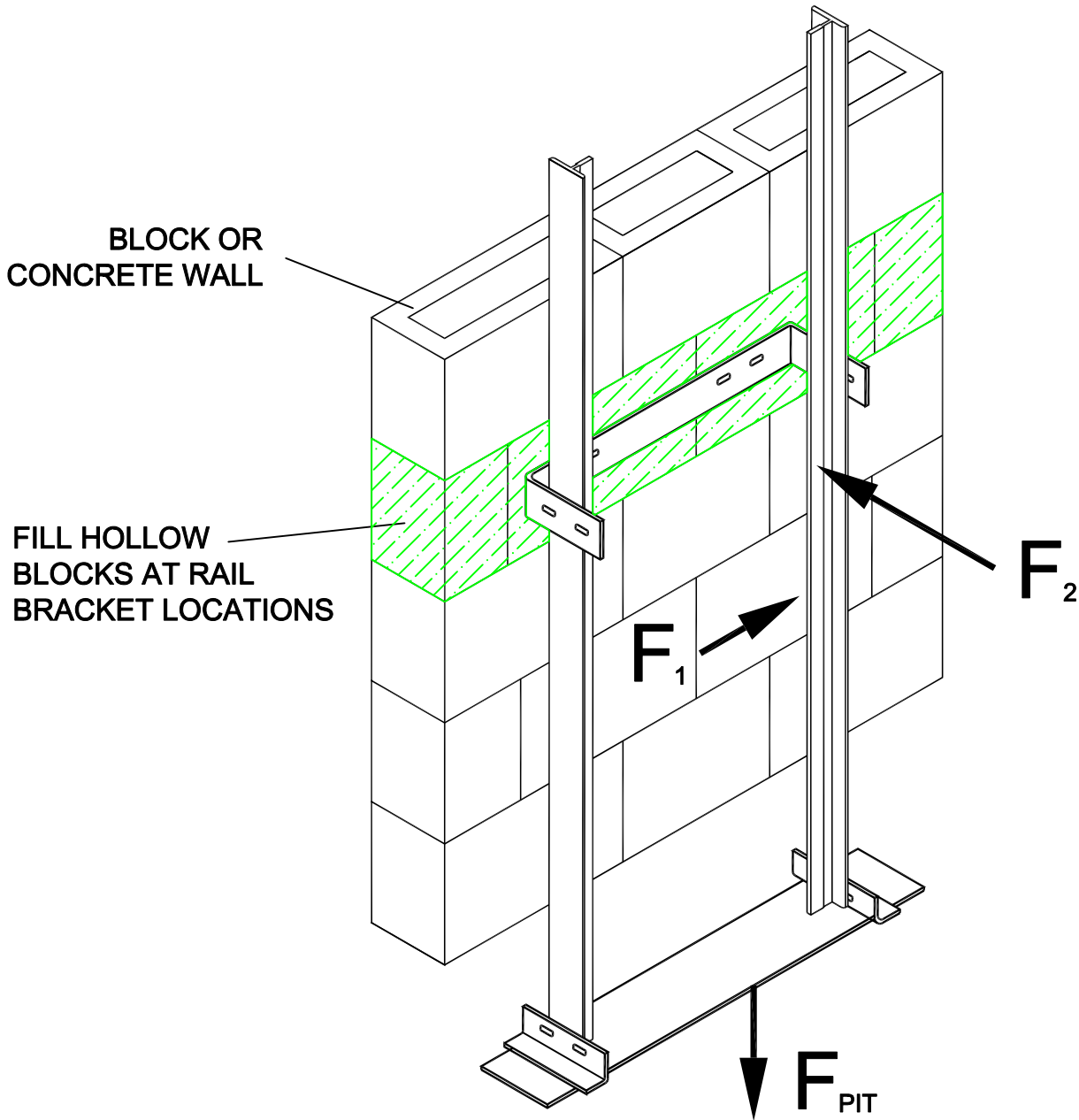
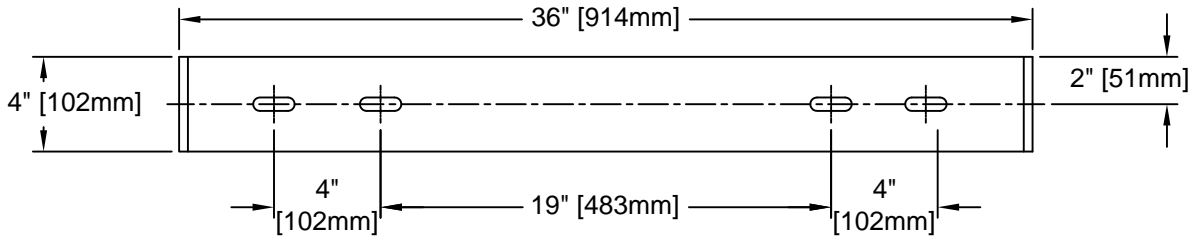
### NOTES:

1. PIT TO BE LEVEL, DRY AND FREE OF DEBRIS
2. PIT LOAD: 3800 LBS OR 17KN (DOUBLED FOR IMPACT)
3. PIT MUST BE THE SAME WIDTH AND LENGTH AS THE HOISTWAY



**FEDERAL ELEVATOR**  
BRAMPTON, ONTARIO, CANADA  
WEBSITE: [www.federalevators.com](http://www.federalevators.com)  
Tel: (905) 458-4015 Fax: (905) 458-0680

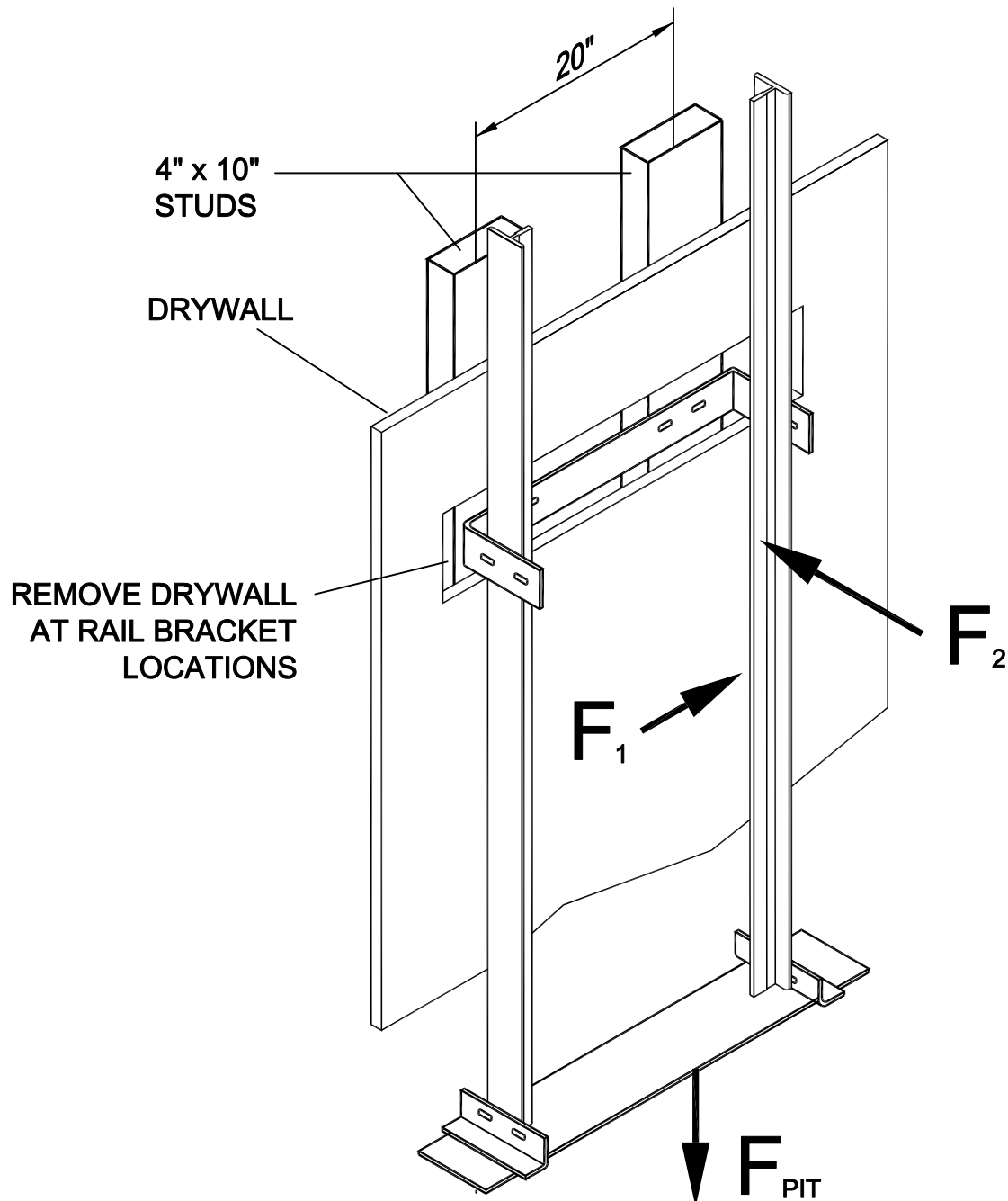
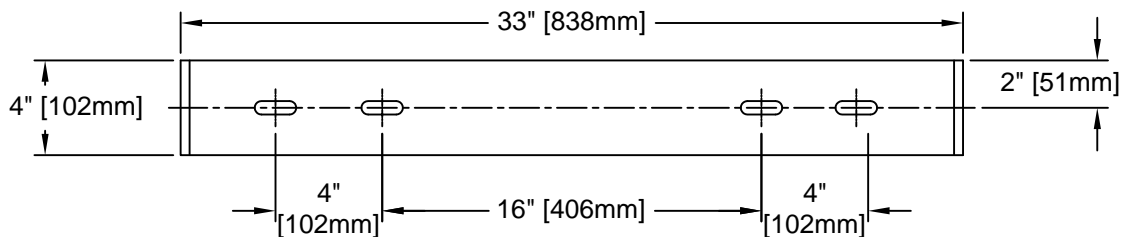
### 30" D.B.G. RAIL BRACKET



43 WENTWORTH COURT  
 BRAMPTON, ONTARIO, CANADA L6T 5L4  
 TEL: (905) 458-4015  
 1 (888) 785-5438 (LIFT)  
 FAX: (905) 458-0680  
 www.federalelevator.com  
 E-MAIL: sales@federalelevator.com

LOAD	DESCRIPTION	LB <sub>f</sub> [KN]
$F_{PIT}$	Load Imposed on Pit Floor (Including Impact)	3825 [17.0]
$F_1$	Force on Rail	225 [1.0]
$F_2$	Force on Rail	675 [3.0]

## 27" D.B.G. RAIL BRACKET



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**LOAD**

**DESCRIPTION**

**LB<sub>f</sub> [KN]**

**F<sub>PIT</sub>**

Load Imposed on Pit Floor  
(Including Impact)

3825 [17.0]

**F<sub>1</sub>**

Force on Rail

225 [1.0]

**F<sub>2</sub>**

Force on Rail

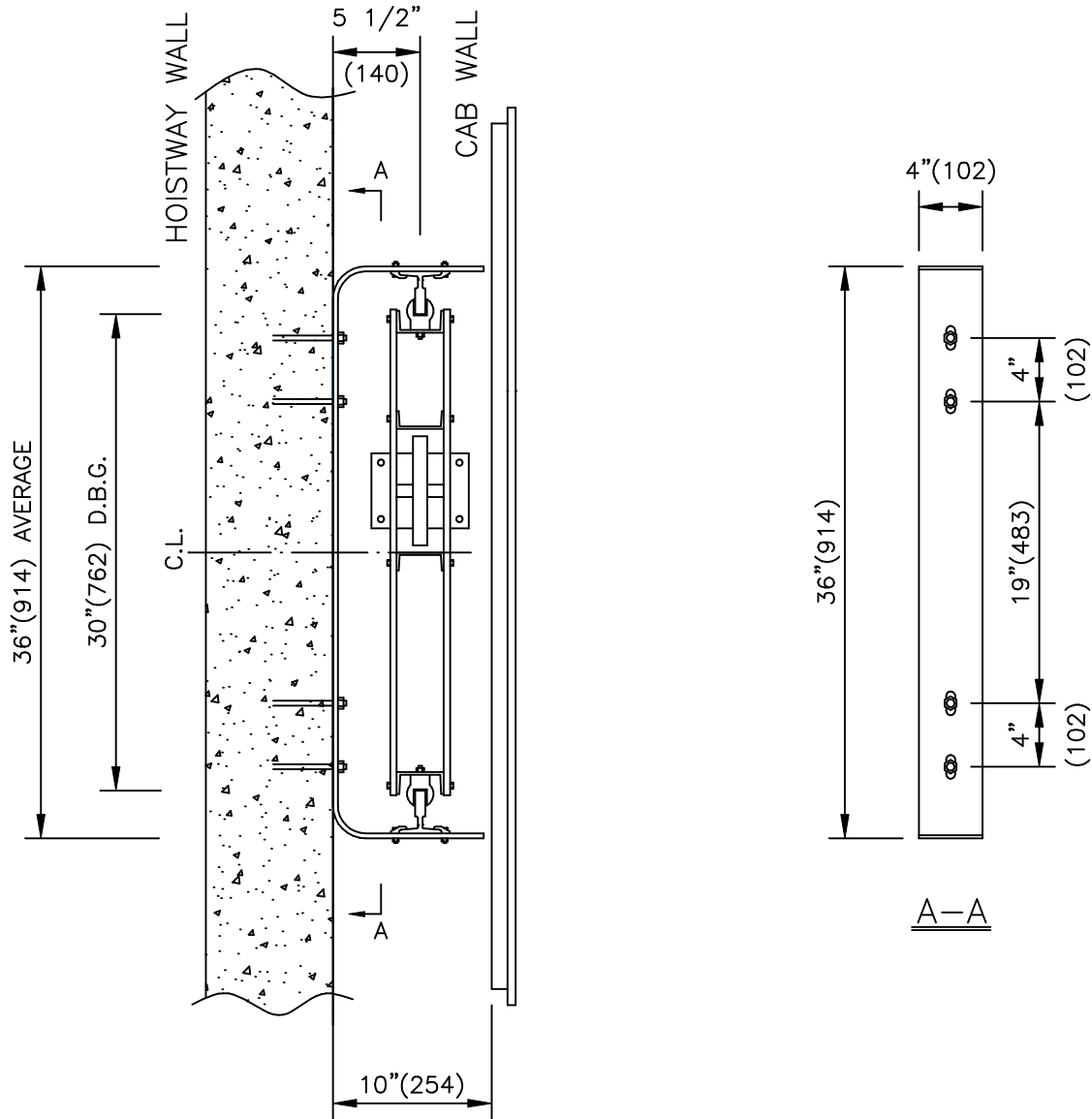
675 [3.0]

# RAIL BRACKET DETAIL ROPED

DIMENSIONS SHOWN BELOW ARE CORRECT FOR INSTALLATION PURPOSES.

CRITICAL DIMENSIONS ARE:

- 1) WALL TO CENTRE OF CYL. = 5 1/2" (140)
- 2) WALL TO CENTRE OF RAIL = 5 1/2" (140)
- 3) WALL TO CAB = 10" (254)



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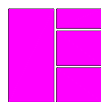
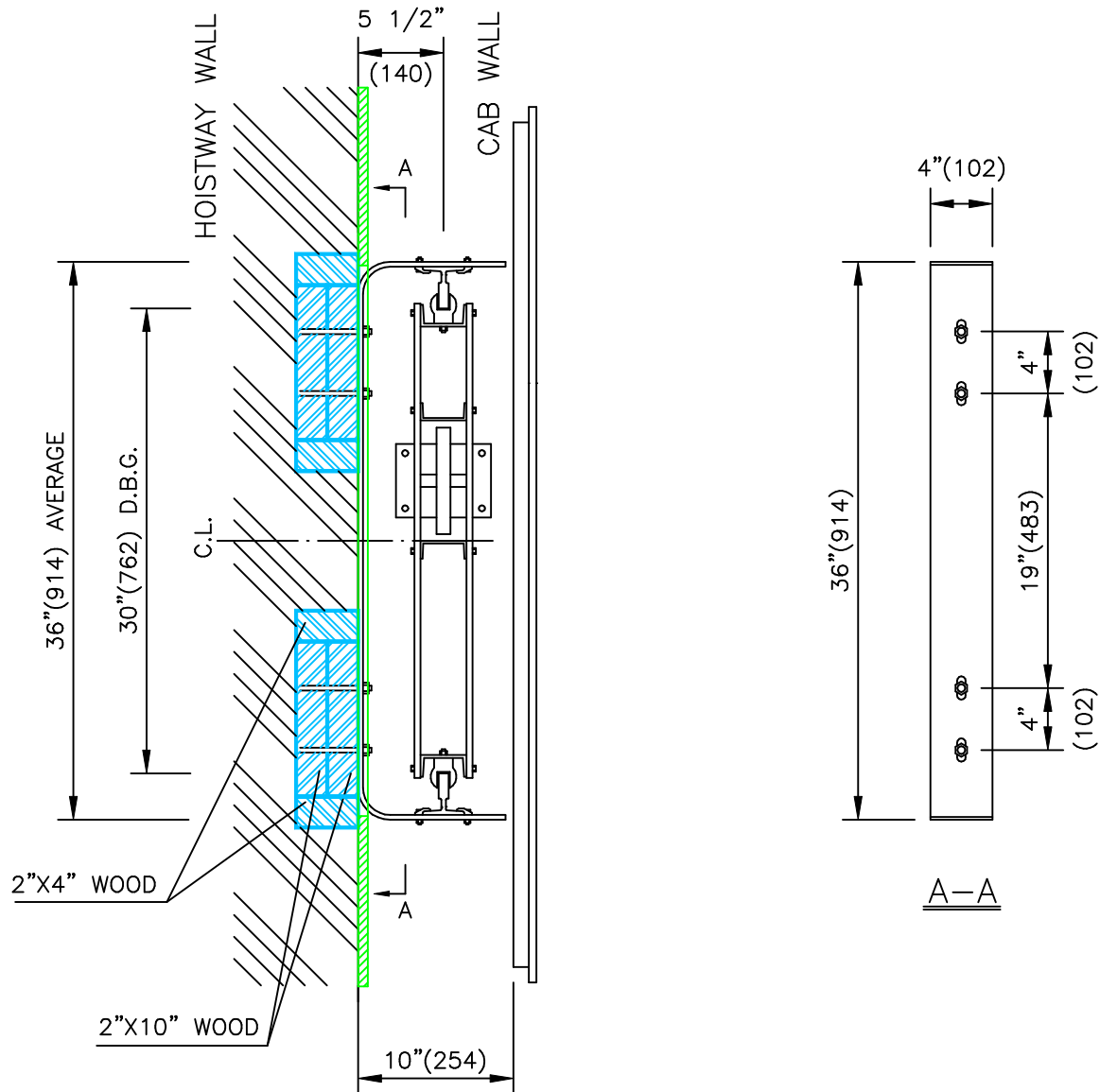


## RAIL BRACKET DETAIL ROPED

DIMENSIONS SHOWN BELOW ARE CORRECT FOR INSTALLATION PURPOSES.

CRITICAL DIMENSIONS ARE:

- 1) WALL TO CENTRE OF CYL. = 5 1/2" (140)
- 2) WALL TO CENTRE OF RAIL = 5 1/2" (140)
- 3) WALL TO CAB = 10" (254)

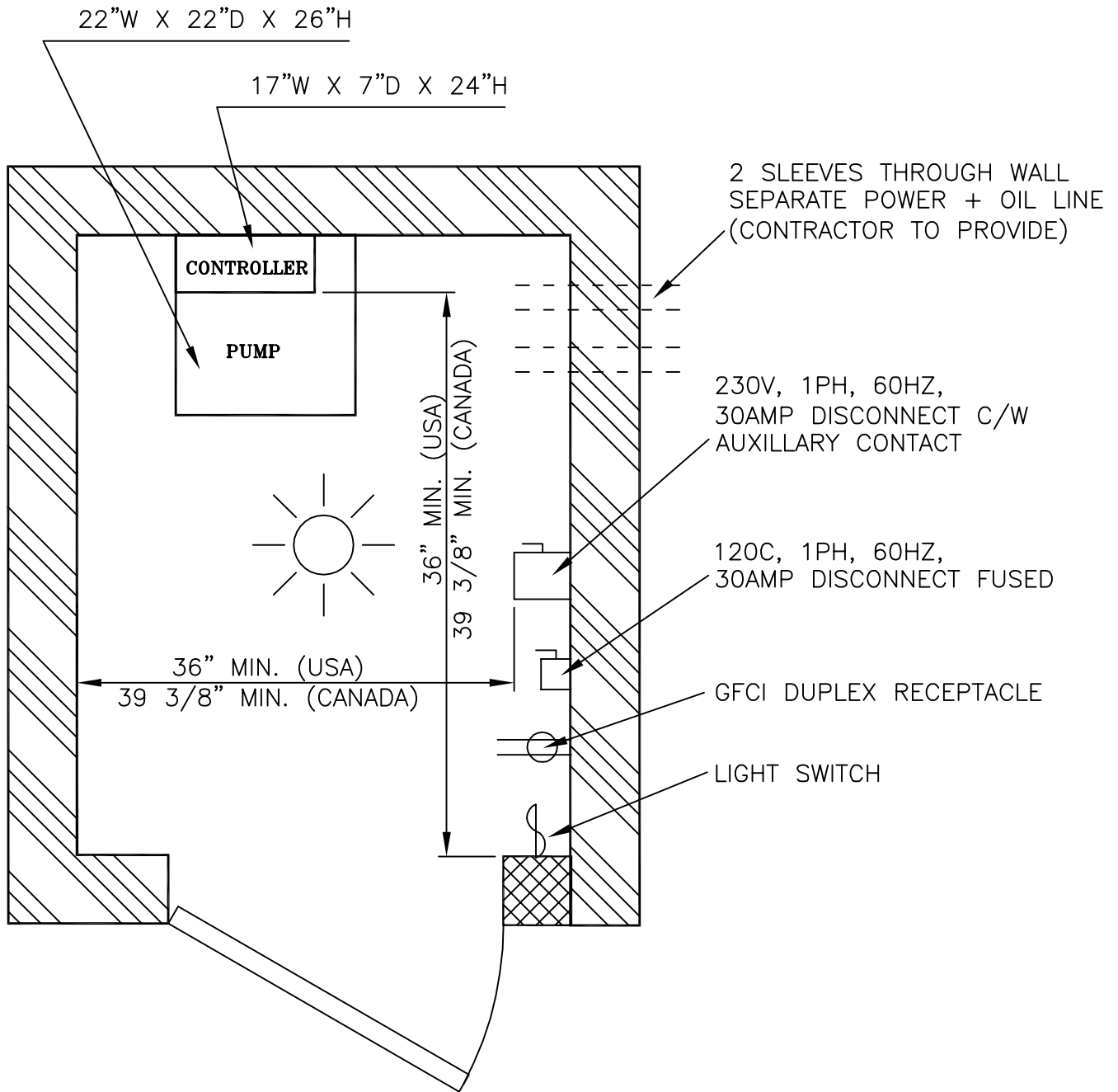


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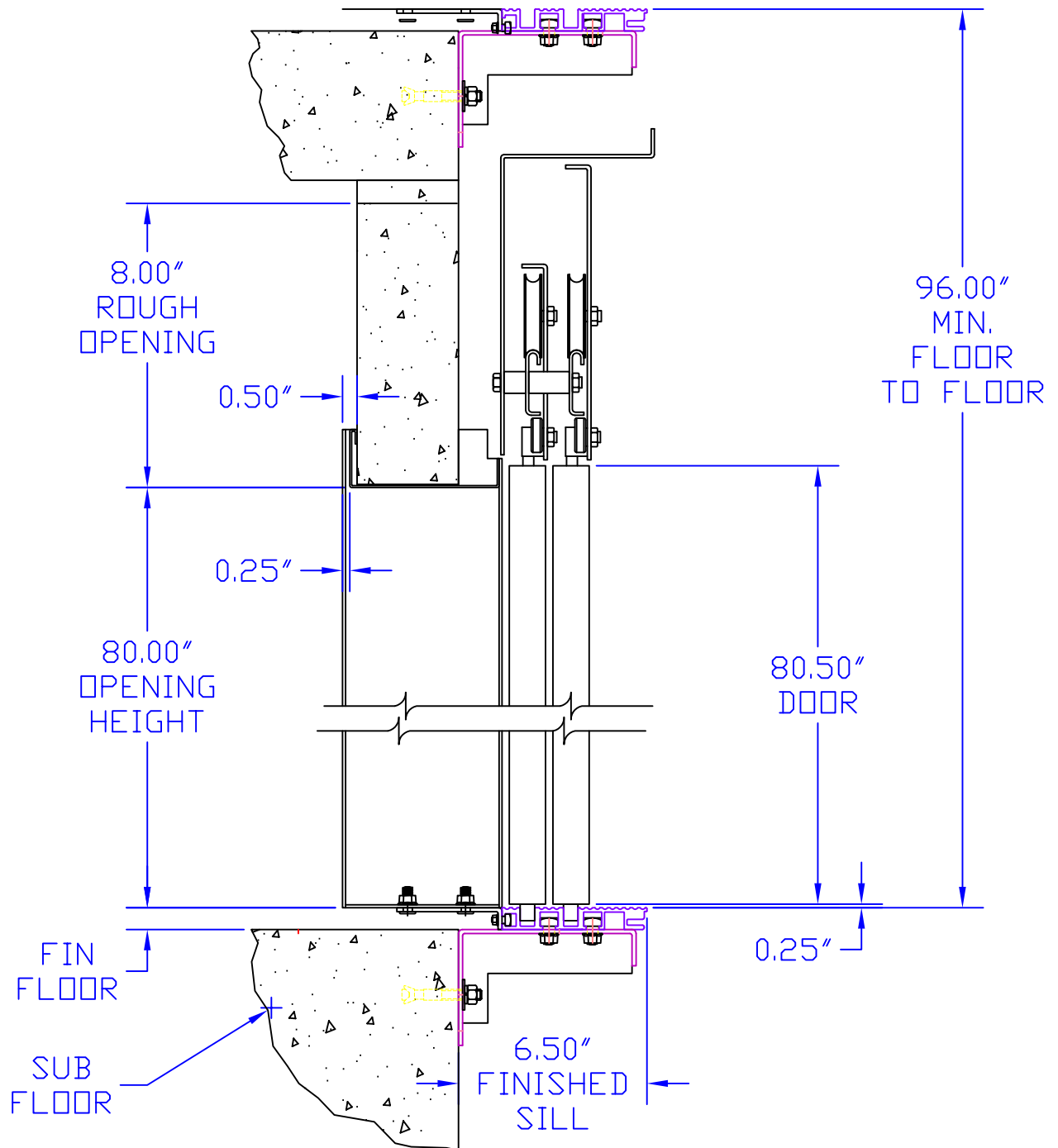
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**ELEVATOR**  
Advanced Elevator Systems

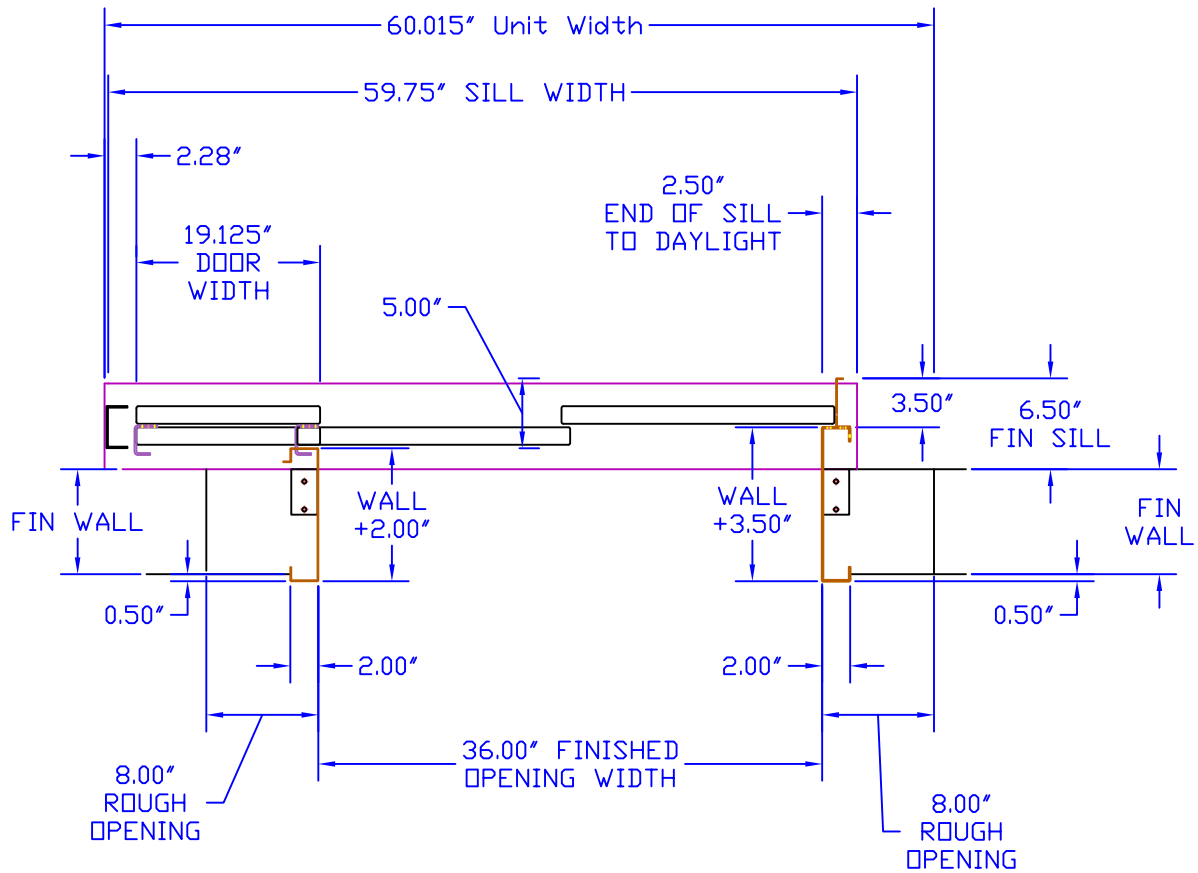
43 Wentworth Court  
Brampton, Ontario  
Canada, L6T 5L4  
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Fax: (905) 458-0680  
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# ENTRANCE MOUNTING DETAILS FOR 2 SPEED DOORS WITH MASONRY CONSTRUCTION

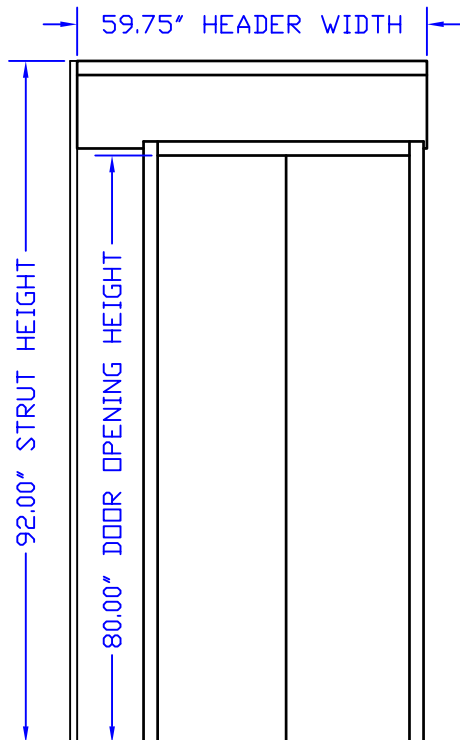


TYPICAL SECTION  
(SILL ASSEMBLY FOR CONCRETE)

# ENTRANCE MOUNTING DETAILS FOR 2 SPEED DOORS WITH MASONRY CONSTRUCTION



PLAN VIEW AT ENTRANCE  
 (RIGHT HAND ENTRANCE SHOWN)



CORRIDOR ELEVATION

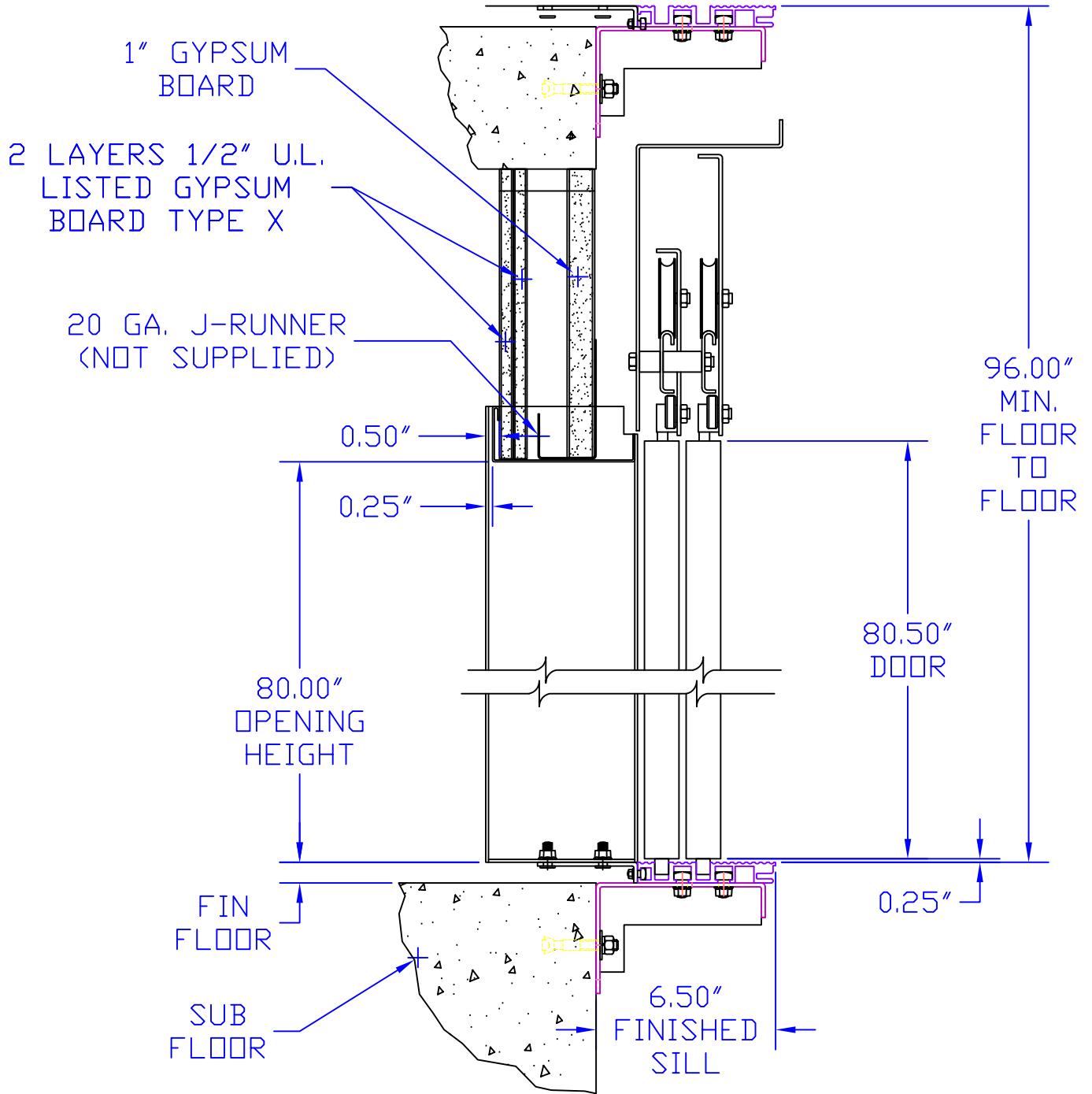
**CONTRACTOR NOTE:**

**DO NOT CONSTRUCT  
 FRONT WALLS UNTIL  
 DOOR FRAMES ARE SET  
 - OR - LEAVE ROUGH  
 OPENINGS AS SHOWN**



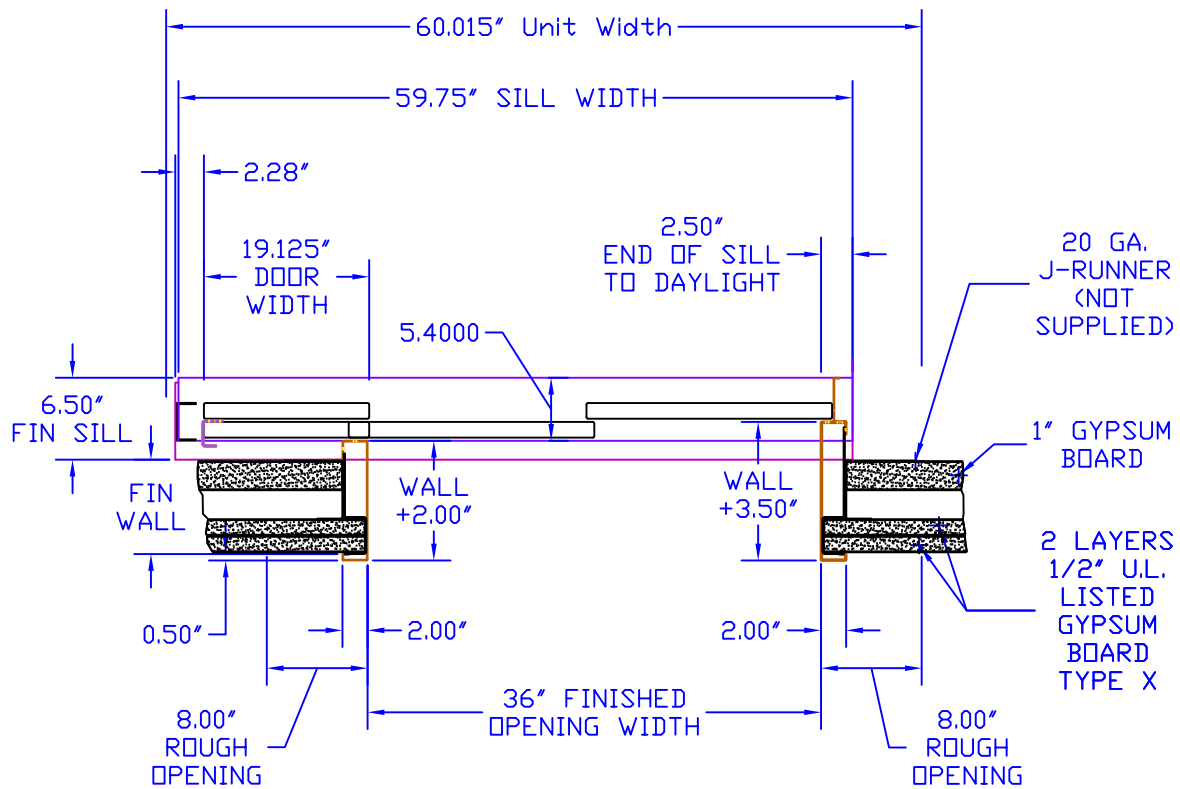
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# ENTRANCE MOUNTING DETAILS FOR 2 SPEED DOORS WITH DRYWALL CONSTRUCTION

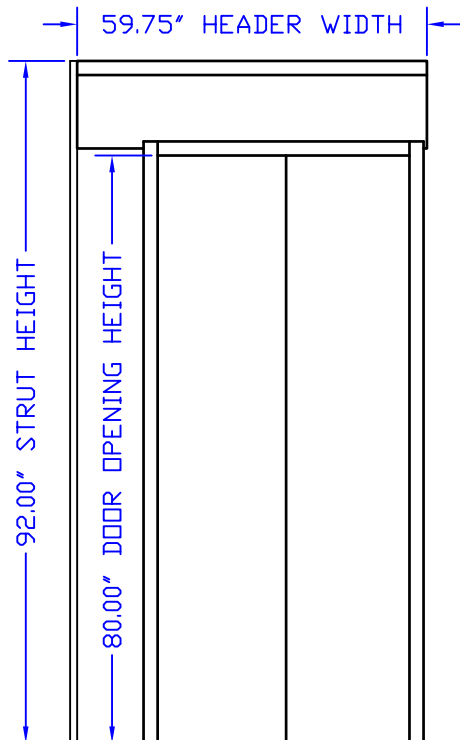


TYPICAL SECTION  
(SILL ASSEMBLY FOR DRYWALL)

# ENTRANCE MOUNTING DETAILS FOR 2 SPEED DOORS WITH DRYWALL CONSTRUCTION



PLAN VIEW AT ENTRANCE  
 (RIGHT HAND ENTRANCE SHOWN)



CORRIDOR ELEVATION

**CONTRACTOR NOTE:**

**DO NOT CONSTRUCT  
 FRONT WALLS UNTIL  
 DOOR FRAMES ARE SET  
 - OR - LEAVE ROUGH  
 OPENINGS AS SHOWN**



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## Part 4- Product Data

### 4.1 MANUFACTURER/ PRODUCT

Elevator shall be the FEDERAL SERENUS Commercial LU/LA Elevator manufactured by Federal Elevator Systems Inc. Toll Free Number (888) 785-5438 and (905) 458-4015, Fax (905) 458-0680

**Rated Load:** 1,400 lbs. (635 kg.)

**Rated Speed:** 30 fpm (0.15 m/s)

**Car Dimensions:** 48" W x 54" L Depth (1220 mm x 1372 mm)

**Operation:** Single Automatic Push Button

**Power Supply:** 220-Volt, Single Phase, 30 Amp or 208-Volt, 3 Phase, 60Amp.

**Travel Distance:** \_\_\_\_\_, Ft (Maximum as per local code)

**Levels Served:** \_\_\_\_\_, Maximum 4

**Number of Openings:** Maximum 2

**Lighting Supply:** 110-Volt, Single Phase, 60 cycle, 15 amps

**Door Opening:** 36" x 6' 8" (890 x 2030 mm) Nominal

**Jack Type:** 1:2 cable hydraulic

**Pump Type:** Submersible with Variable Speed Valve

**Hoistway Door/Cab Door:** 2-Speed Horizontal Sliding Hoistway Door with 2-Speed Horizontal Sliding Cab Door

**Car Controller Type:** Non-Propriety Programmable Logic Control (PLC)

**Leveling Device Type:** Magnetic Sensor

### 4.2 SIGNAGE

#### 4.2.1

The elevator shall have all necessary signs, capacity plates, and data signs as per the local and national Codes and Standards.

### 4.12 SAFETY DEVICE

A "slack/broken cable" safety device shall be supplied, which will stop and sustain the elevator and its rated load, if either of the hoisting cables becomes slack or breaks. The safety device shall be resettable by the operation of the elevator in the upward direction. A switch shall be mounted in such a position to sense the operation of the safety device, and will open the safety circuit to the controller to prevent operation of the elevator in either direction.

Provide pit ladder for pits 3'-0" (914 mm) or more in depth.

#### 2.1.12

Provide finish grouting and masonry around doorframes.

#### 2.1.13

Provide finish painting of landing entrances.

## Preparatory Work by Others

### 2.1

The following preparatory work to accommodate/receive the elevator is to be done by others:

#### 2.1.1

Power unit machine room to meet applicable codes and standards.

#### 2.1.2

Permanent power to operate the elevator to be provided to a lockable fused/cartridge type disconnect switch with auxiliary contact/switch for emergency battery lowering. Provide 110-volt lighting supply and disconnect. Refer to architectural drawings for permanent power specifications and location of the disconnects.

#### 2.1.3

Provide appropriate sleeves for both the electrical conduit and hydraulic line from the power unit enclosure to the hoistway (as shown on drawings). Trenching may be required if the machine room is not adjacent to hoistway.

#### 2.1.4

Provide machine room light and light switch, located to comply with applicable codes and standards.

#### 2.1.5

Provide an enclosed, plumb and square hoistway with smooth interior surfaces. Include for fascias or furring of hoistway interior where applicable.

#### 2.1.6

Suitable lintels over landing entrances are to be provided and provide rough openings as per elevator contractors' shop drawings.

#### 2.1.7

Provide substantially level pit floor slab to support loads indicated on the elevator contractors' shop drawings.

#### 2.1.8

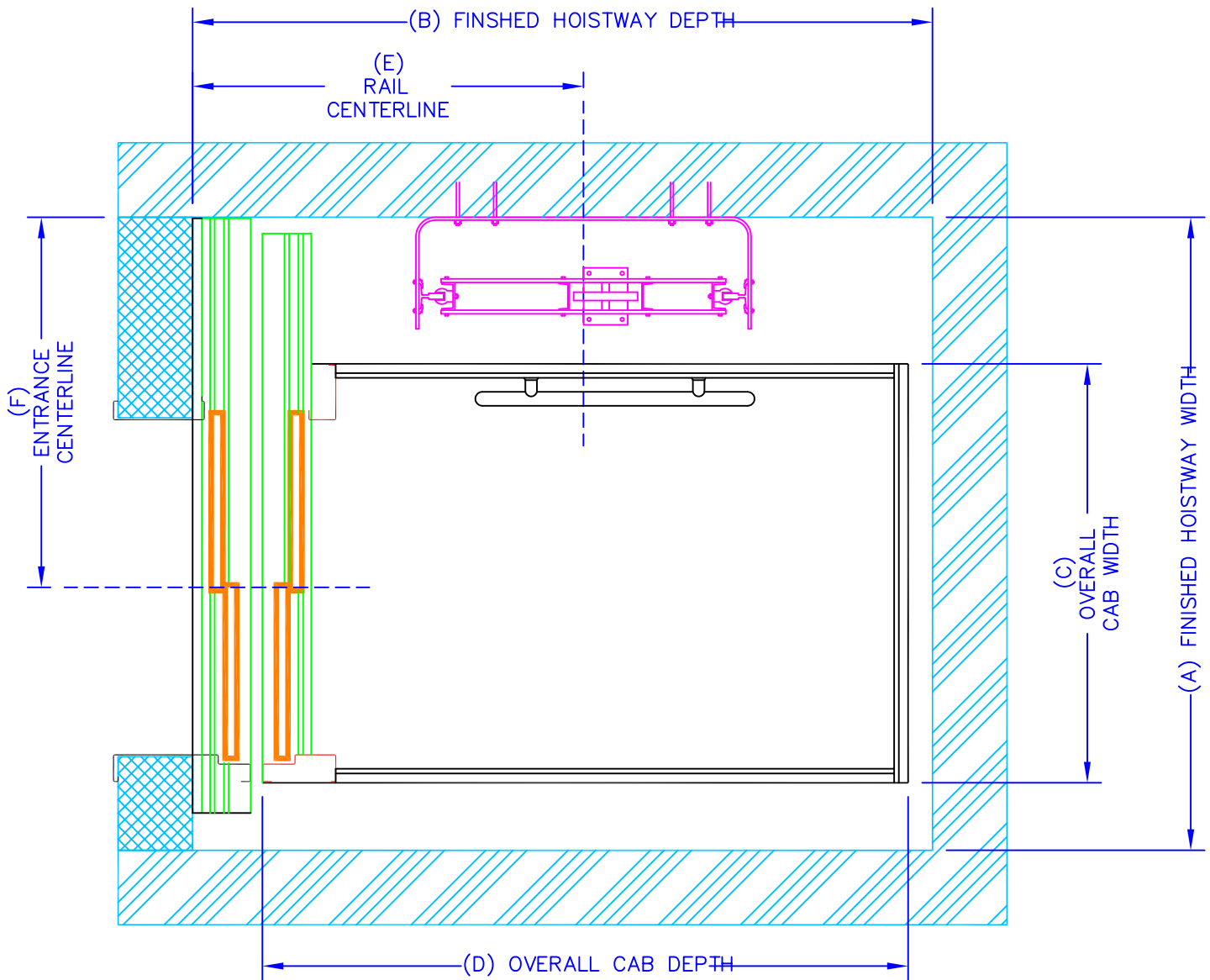
Provide adequate support for guide rail fastenings.

#### 2.1.9

Provide light, receptacle and switch in the pit, located to comply with applicable code.

#### 2.1.10

Provide pit water proofing or sump pump, if required, as allowed by code.



## SERENUS TYPE A LEFT 2 SPEED DOOR

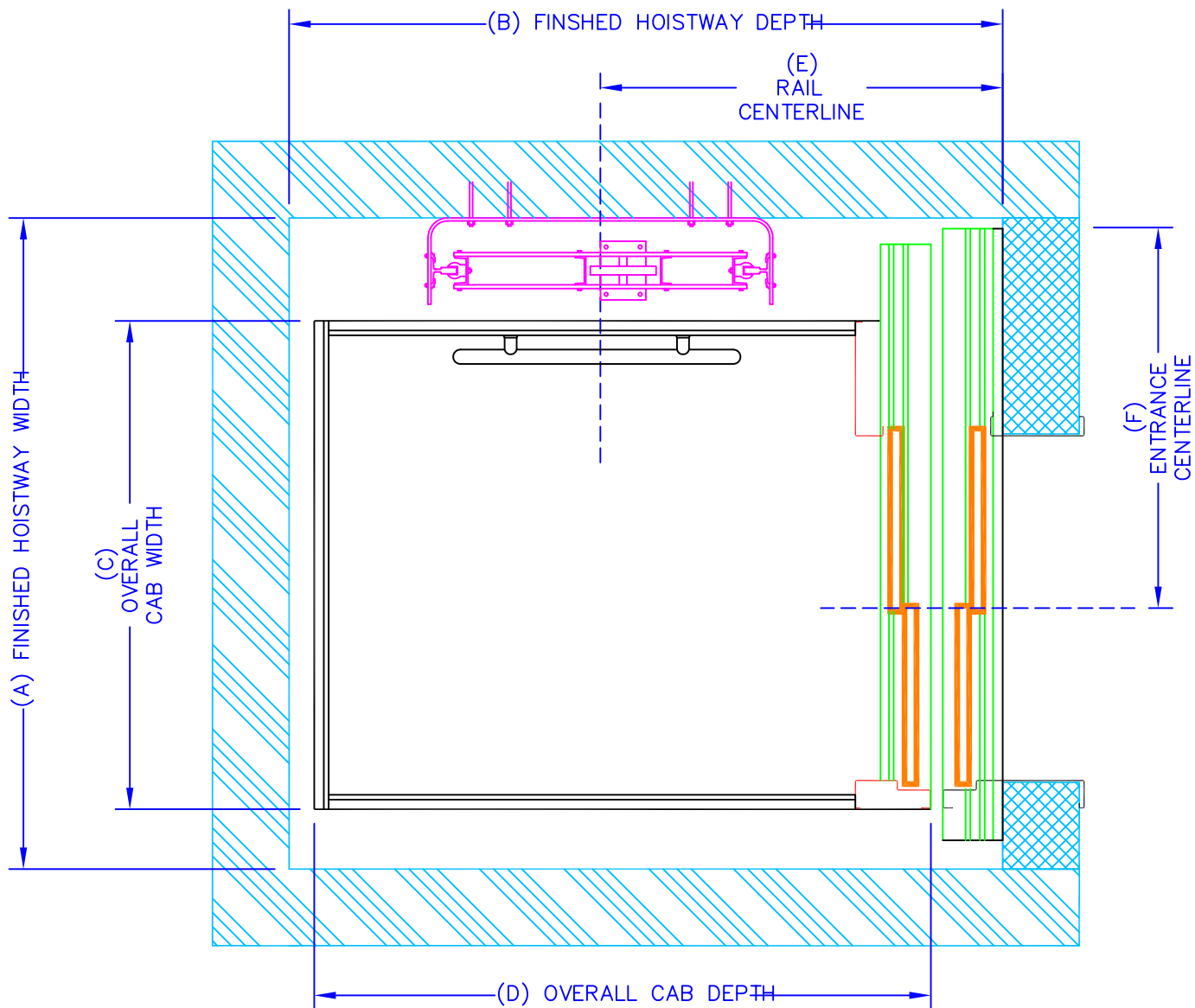
CAB SIZE	A	B	C	D	E	F
** 36"x60" (915x1525)	57" (1450)	82" (2085)	40" (1015)	70 1/4" (1785)	44 3/8" (1125)	33 1/2" (850)
42"x60" (1065x1525)	68" (1730)	79 1/2" (2020)	45" (1140)	69 3/8" (1760)	42" (1065)	39 3/4" (1010)
48"x54" (1220x1375)	68" (1730)	74 1/2" (1895)	51" (1295)	64 3/8" (1635)	42" (1065)	40 3/4" (1035)

**\*\* REQUIRES THREE SPEED DOOR**



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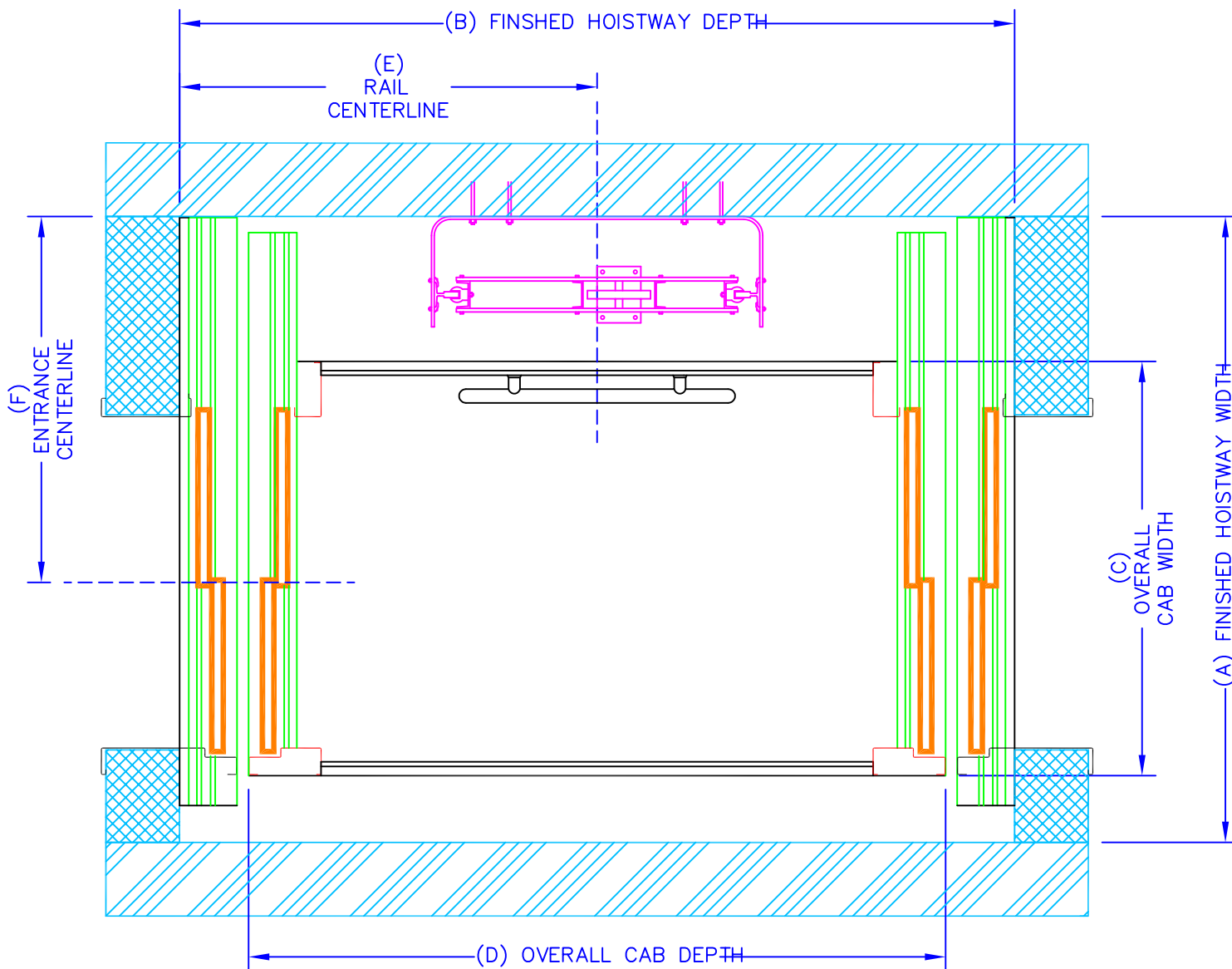
## SERENUS TYPE A RIGHT 2 SPEED DOOR

CAB SIZE	A	B	C	D	E	F
<b>** 36"x60"</b> (915x1525)	<b>57"</b> (1450)	<b>82"</b> (2085)	<b>40"</b> (1015)	<b>70 1/4"</b> (1785)	<b>44 3/8"</b> (1125)	<b>33 1/2"</b> (850)
<b>42"x60"</b> (1065x1525)	<b>68"</b> (1730)	<b>79 1/2"</b> (2020)	<b>45"</b> (1140)	<b>69 3/8"</b> (1760)	<b>42"</b> (1065)	<b>39 3/4"</b> (1010)
<b>48"x54"</b> (1220x1375)	<b>68"</b> (1730)	<b>74 1/2"</b> (1895)	<b>51"</b> (1295)	<b>64 3/8"</b> (1635)	<b>42"</b> (1065)	<b>40 3/4"</b> (1035)

**\*\* REQUIRES THREE SPEED DOOR**



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## SERENUS TYPE B 2 SPEED DOOR

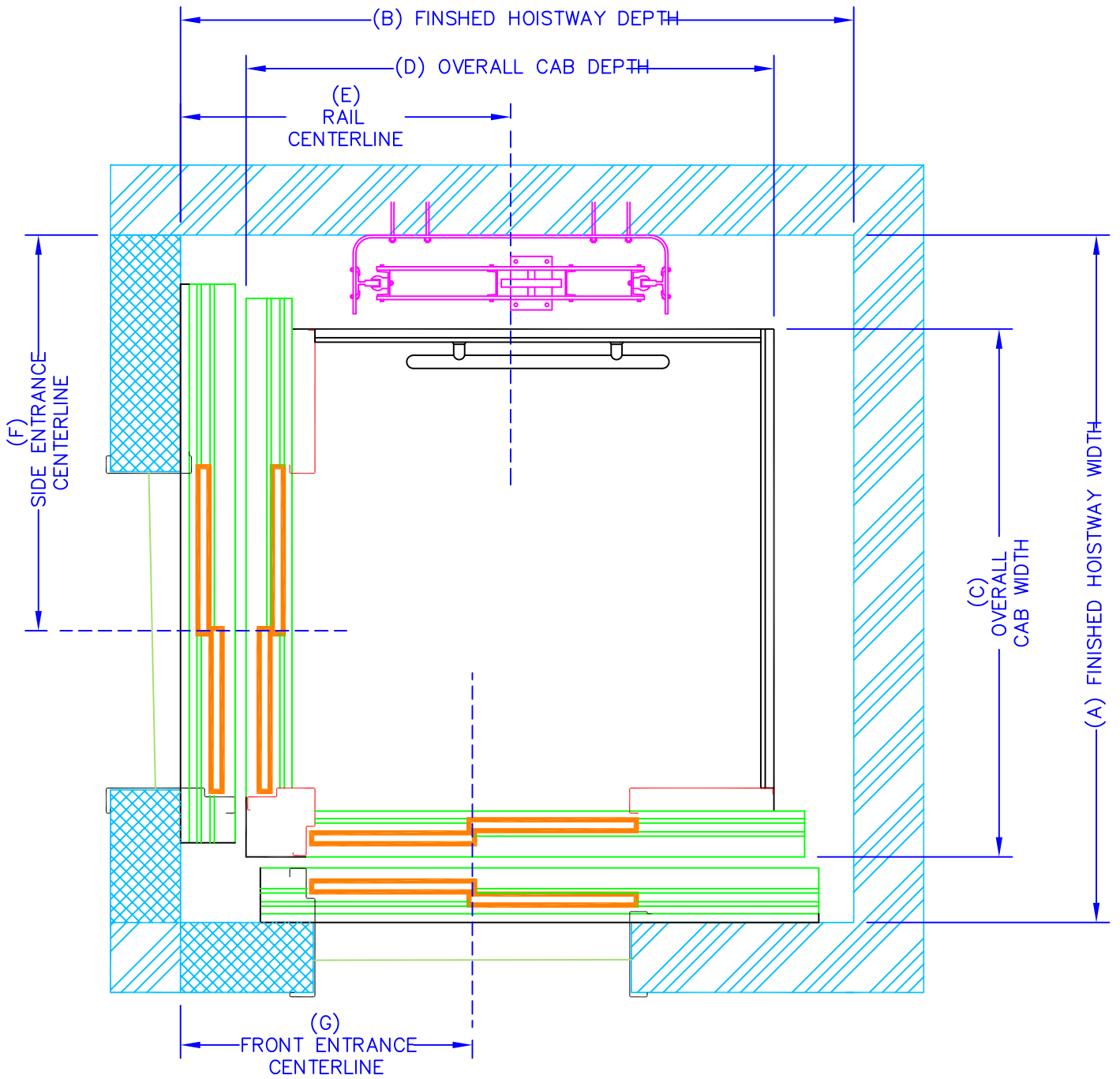
CAB SIZE	A	B	C	D	E	F
** 36"x60" (915x1525)	57" (1450)	96" (2440)	40" (1015)	77 1/2" (1970)	48" (1220)	33 1/2" (850)
42"x60" (1065x1525)	68" (1730)	90 3/4" (2305)	45" (1140)	75 3/4" (1925)	45 3/8" (1155)	39 3/4" (1010)
48"x54" (1220x1375)	68" (1730)	84 3/4" (2155)	51" (1295)	69 3/4" (1770)	42 3/8" (1075)	40 3/4" (1035)

**\*\* REQUIRES THREE SPEED DOORS**



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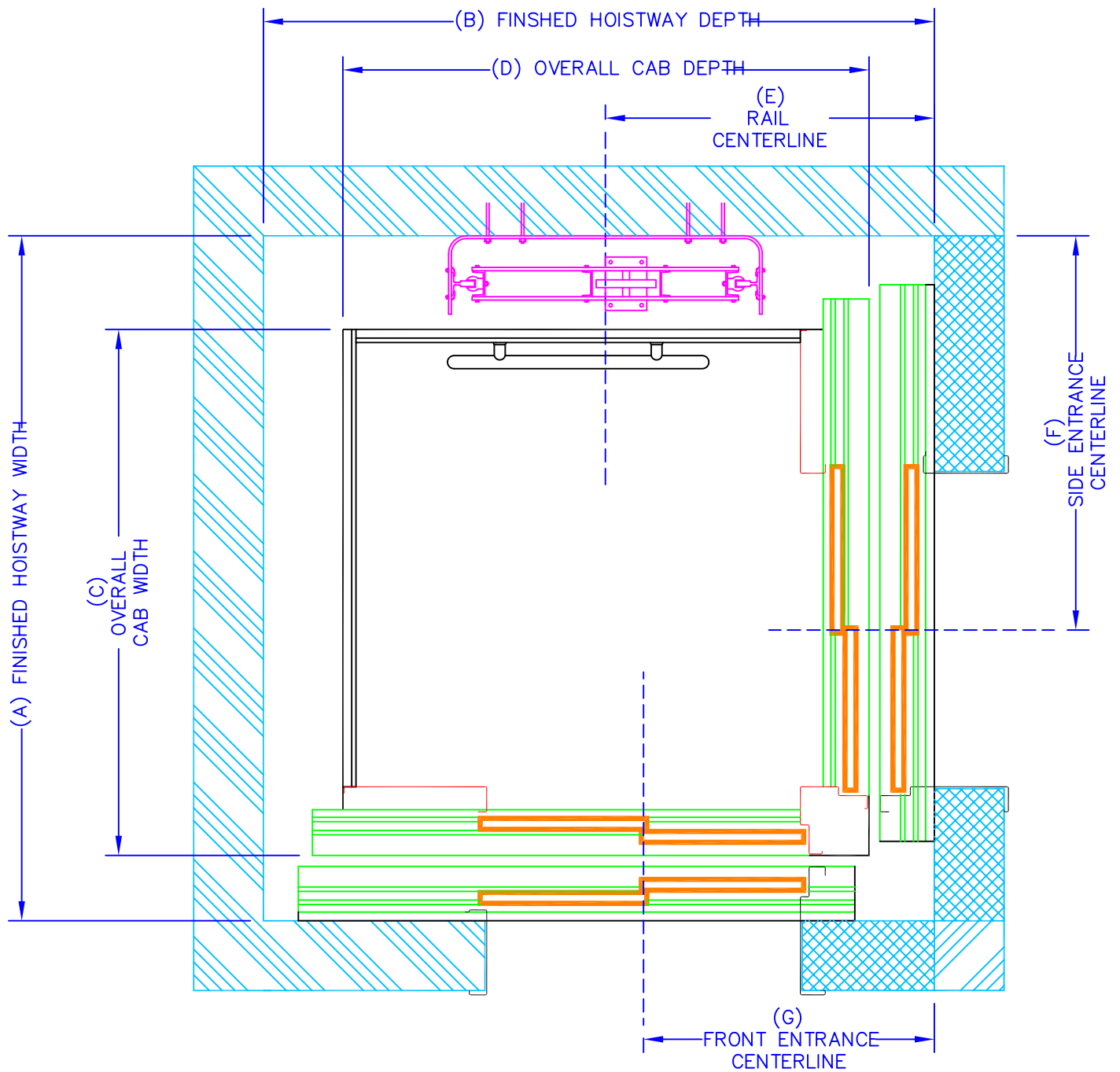


## SERENUS TYPE D 2 SPEED DOOR

CAB SIZE	A	B	C	D	E	F	G
51"x51" (1295x1295)	78 5/8" (2000)	77" (1955)	60 3/8" (1535)	60 3/8" (1535)	37 3/4" (960)	45 1/4" (1150)	33 3/8" (850)



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## SERENUS TYPE C 2 SPEED DOOR

CAB SIZE	A	B	C	D	E	F	G
51"x51" (1295x1295)	78 5/8" (2000)	77" (1955)	60 3/8" (1535)	60 3/8" (1535)	37 3/4" (960)	45 1/4" (1150)	33 3/8" (850)



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# Part 1- General

## 1.1 SCOPE

To furnish all labor, materials and equipment necessary or required to fully complete the installation of the elevator as shown on the drawings and specifications. This suggested specification is intended to cover the complete installation of the Federal Serenus Commercial LU/LA Elevator design.

## 1.2 SYSTEM DESCRIPTION

The elevator assembly shall consist of a power unit, car, rail guide system, 1:2 cable hydraulic lifting device, hoistway doors, car doors, control system, signals and alarms, electrical wiring, and parts and accessories necessary to provide required performance, operation, code and safety requirements.

## 1.3 QUALITY ASSURANCE

### 1.3.1

The elevator shall meet or exceed the applicable regulations of all governing agencies and be in compliance with the applicable sections of the most current edition of the following codes and standards:

- a) ASME A17.1 "Safety Code for Elevators and Escalators, Section 5.2 Limited Use/Limited Application Elevators".
- b) CSA B44-07 "Safety Code for Elevators, Section 5.2 Limited Use/Limited Application Elevators"
- c) ICC/ANSI A117.1-1998 "Accessible and Usable Buildings and Facilities".
- d) ANSI/NFPA 70-1999 "The National Electric Code" (NEC).
- e) ADAAG "Americans with Disabilities Act Accessibility Guidelines" (where applicable).
- f) CSA B44.1/ASME A17.5 "Elevator and Escalator Electrical Equipment".
- g) Local codes and regulations, as applicable.

### 1.3.2

Requirements of the Regulatory Agencies:

- a) Fabricate and install Work in compliance with all applicable jurisdictional authorities.
- b) File shop drawings and submissions to local authorities as the information is made available. Company pre-inspection and jurisdictional authority inspections and permits are to be made on a timely basis as required. Work will include all inspections and re-inspections that are required to ensure licenses are issued.

Subcontractor Qualifications:

- a) Execute work of this specification only by a contractor/company who has adequate product and public liability insurance in excess of five million dollars.
- b) Skilled tradesmen must be employees of the contractor to perform the work on a timely basis. Employees must be trained by the manufacturer and be supervised by the elevator contractor.

### 1.3.4

Substitutions:

No substitutions will be considered unless written request for approval has been submitted by the bidder and received by the architect at least 10 days before the date of receipt of bids. Each such request shall include a complete description of the proposed substitute including drawings, test data, photographs, and any other information needed for consideration.

# Part 2 - Preparatory Work by Others

## 2.1

The following preparatory work to accommodate/receive the elevator is to be done by others:

### 2.1.1

Power unit machine room to meet applicable codes and standards.

### 2.1.2

Permanent power to operate the elevator to be provided to a lockable fused/cartridge type disconnect switch with auxiliary contact/switch for emergency battery lowering. Provide 110-volt lighting supply and disconnect. Refer to architectural drawings for permanent power specifications and location of the disconnects.

### 2.1.3

Provide appropriate sleeves for both the electrical conduit and hydraulic line from the power unit enclosure to the hoistway (as shown on drawings). Trenching may be required if the machine room is not adjacent to hoistway.

### 2.1.4

Provide machine room light and light switch, located to comply with applicable codes and standards.

### 2.1.5

Provide an enclosed, plumb and square hoistway with smooth interior surfaces. Include for fascias or furring of hoistway interior where applicable.

#### **2.1.6**

Suitable lintels over landing entrances are to be provided and provide rough openings as per elevator contractors' shop drawings.

#### **2.1.7**

Provide substantially level pit floor slab to support loads indicated on the elevator contractors' shop drawings.

#### **2.1.8**

Provide adequate support for guide rail fastenings.

#### **2.1.9**

Provide light, receptacle and switch in the pit, located to comply with applicable code.

#### **2.1.10**

Provide pit water proofing or sump pump, if required, as allowed by code.

#### **2.1.11**

Provide pit ladder for pits 3'-0" (914 mm) or more in depth.

#### **2.1.12**

Provide finish grouting and masonry around doorframes.

#### **2.1.13**

Provide finish painting of landing entrances.

## **Part 3- Submittals**

### **3.1 Shop Drawings**

The shop drawings shall show a complete layout of the elevator equipment detailing dimensions, clearances and location of machinery. Including, but not limited to, the following:

#### **3.1.1**

Drawings showing the dimensions including plans, elevations, and sections to show equipment locations.

#### **3.1.2**

Load and reaction drawings shall be provided by the elevator manufacturer and detailed on drawings.

### **3.2**

SAMPLES

## **Part 4- Product Data**

### **4.1 MANUFACTURER/ PRODUCT**

Elevator shall be the FEDERAL SERENUS Commercial LU/LA Elevator manufactured by Federal Elevator Systems Inc. Toll Free Number (888) 785-5438 and (905) 458-4015, Fax (905) 458-0680

**Rated Load:** 1,400 lbs. (635 kg.)

**Rated Speed:** 30 fpm (0.15 m/s)

**Car Dimensions:** 48" W x 54" L Depth (1220 mm x 1372 mm)

**Operation:** Single Automatic Push Button

**Power Supply:** 220-Volt, Single Phase, 30 Amp or 208-Volt, 3 Phase, 60Amp.

**Travel Distance:** \_\_\_\_\_, Ft (Maximum as per local code)

**Levels Served:** \_\_\_\_\_, Maximum 4

**Number of Openings:** Maximum 2

**Lighting Supply:** 110-Volt, Single Phase, 60 cycle, 15 amps

**Door Opening:** 36" x 6' 8" (890 x 2030 mm) Nominal

**Jack Type:** 1:2 cable hydraulic

**Pump Type:** Submersible with Variable Speed Valve

**Hoistway Door/Cab Door:** 2-Speed Horizontal Sliding Hoistway Door with 2-Speed Horizontal Sliding Cab Door

**Car Controller Type:** Non-Propriety Programmable Logic Control (PLC)

**Leveling Device Type:** Magnetic Sensor

### **4.2 SIGNAGE**

#### **4.2.1**

The elevator shall have all necessary signs, capacity plates, and data signs as per the local and national Codes and Standards.

#### **4.2.2**

A capacity plate indicating the rated load in pounds and kilograms and operating instructions shall be furnished by the manufacturer and fastened in a prominent place at each landing and in the cab. The capacity plate and operating instructions will be engraved on non-glare, micro-surface, white letters on a blue background, self-adhesive, flexible plastic material. The letters and figures stating the capacity shall not be less than 1/4" in height.

#### **4.3 FULLY AUTOMATIC OPERATION**

The operation shall be single automatic push button. Each landing shall be equipped with a single light up button/digital floor indicator and audible arrival chime. Upon momentary pressure of the landing or car button, the call shall register in the control system and remain in memory until answered.

#### **4.4 CAR ENCLOSURE**

##### **4.4.1 WALLS**

Steel cab with 3/4" (19 mm) clip-on fire rated laminated panels. Painted cab frame reveal to be Federal standard black or architectural white. Clip-on Panel selected from Concord's Standard plastic laminate selection.

##### **4.4.2 CEILINGS**

Non-removable Hi Gloss Architectural white painted baked enamel steel ceiling with 4 incandescent down lights

##### **4.4.3 FLOOR**

Steel frame and flooring with plywood sheeting.

##### **4.4.4 HANDRAIL**

One (1) stainless steel handrail shall be located on control wall of the cab.

##### **4.4.5 EMERGENCY OPERATION**

The car will be equipped with a battery powered emergency lowering and door opening device and alarm which is automatically actuated in the event of failure of the normal building power supply. Battery will be rechargeable with an automatic recharging system.

##### **4.4.6 EMERGENCY LIGHTING**

In the event of a main power supply failure, an integral, battery powered emergency light will provide cab lighting.

##### **4.4.7 Tactile Plates**

Provide metal tactile plates 1 1/4" X 1 1/4" on the cab control panel beside the appropriate button indicating the floor number and/or function. Also provide metal tactile plates 3" X 4" at each floor located on the doorjamb indicating the appropriate floor number.

##### **4.4.8 CAR OPERATING PANEL**

Car operating panel shall be hinged and shall consist of metal push button with halo lighting for each landing, emergency alarm, keyed stop switch, door open and close buttons all mounted on (#4 finished). Stainless steel panel. The car-operating panel will be engraved with Fireman Service instructions.

##### **4.4.9 Car Travel Lanterns**

Provide a visual indicator to indicate the direction of travel of the car and audio signal upon floor arrival, if required by local code.

##### **4.4.10 DIGITAL FLOOR INDICATOR**

A digital floor indicator located in the control panel will display the location (floor number) of the elevator in the shaft.

##### **4.4.11 CAR LIGHTING**

The car lighting shall consist of four- (4) low voltage incandescent down lights.

The failure of one lamp shall not cause the remaining lamps to extinguish.

##### **4.4.12 AUTOMATIC LIGHTS**

Overhead lights in the car compartment shall turn ON automatically when the elevator door is opened and stay ON while the elevator is in use. The elevator lights will shut OFF by a timer when the elevator is not in use.

#### **4.5 PLATFORM TOE GUARD**

A platform toe guard shall be provided at each car entrance opening to extend below car entrance opening for safety.

#### **4.6 LEVELING DEVICE**

##### **4.6.1**

The elevator shall be provided with a 2 way-leveling device, which will maintain the car within 1/2" (13 mm) of the landing, by magnetic sensor.

##### **4.6.2**

Leveling device switches shall be located in a position to be inaccessible to unauthorized persons.

##### **4.6.3**

Hoistway car position signals shall be magnetically sensed for quiet operation.

#### **4.7 TWO SPEED HORIZONTAL SLIDING HOISTWAY DOOR/CAB GATE**

#### **4.7.1 Cab Door Operation**

- a) Power operated, two speed horizontal sliding, zinc wipe coated, steel panels providing a clear opening of 36" x 80" (914 mm x 2032mm) shall be provided.
- b) Doors on the car and at the hoistway entrances shall be power operated by means of a solid-state 24 volt D.C. operator with smooth quiet belt drive transmission, operable during power failure.
- c) Door operation shall be automatic at each landing with door opening being initiated as the car arrives at the landing and closing taking place after expiration of an adjustable time interval.
- d) All control adjustments shall be potentiometer regulated.
- e) The door shall be equipped with an infrared self-contained light curtain that will stop and reverse the doors should it detect an obstacle.
- f) The car doors shall be equipped with a master door clutch to control the individual landing door electrical-mechanical interlocks.
- g) The car door electric contact shall prevent the elevator from moving away from the landing unless the car door is in the closed position and the controller will monitor the door contacts and register a fault if any have been bypassed
- h) The car doorsill shall be extruded aluminum.

#### **4.7.2 Hoistway Doors**

- a) Two speed horizontal sliding, zinc wipe coated, steel panels providing a clear opening of 36" (914 mm) x 80" (2032 mm) shall be provided at each landing.
- b) Frames shall be of bolted construction for a one-piece unit assembly comprised of head and side jamb sections.
- c) The door assembly shall be 1 1/2 UL/ULC labeled and provided with approved electrical mechanical interlocks.
- d) The landing doorsill shall be extruded aluminum with non-slip wearing surfaces and grooves for door guides.

#### **4.8 HYDRAULIC POWER UNIT**

- a) The pump and motor shall be the submersible type installed inside the oil tank.
- b) The controller shall be integrally mounted on the power unit frame.
- c) Control circuitry to be Programmable Logic Controls and be located on the pump unit.
- d) The power unit control valve shall be a variable speed proportional valve type that includes all hydraulic control valving inherently.

This valve shall incorporate the following features:

- (i) Up and down acceleration and deceleration speed adjustment for a smooth starts and stops.
- (ii) Smooth stops at each landing shall be an inherent feature of the valve.
- (iii) Adjustable pressure relief valve.
- (iv) Manually operating DOWN valve to lower elevator in an emergency.
- (v) Pressure gauge indicating in P.S.I. and Bars.
- (vi) Gate valve to isolate cylinder from pump unit.
- (vii) Negative pressure switch

#### **4.9 NEGATIVE PRESSURE SWITCH**

In addition to the standard operating features of the hydraulic control valve, there shall be a pressure sensitive check valve that will activate when negative pressure is sensed in the hydraulic system. The check valve will close and stop the hydraulic jack from descending immediately on sensing negative pressure.

#### **4.10 CYLINDER AND PLUNGER**

##### **4.10.1**

The cylinder shall be constructed of steel pipe of a sufficient thickness and suitable safety margin. The top of the cylinder shall be equipped with a cylinder head with an internal guide ring and self-adjusting packing.

##### **4.10.2**

The plunger shall be constructed of a steel shaft of a proper diameter machined true and smooth. The plunger shall be provided with a stop electrically welded to the bottom to prevent the plunger from leaving the cylinder.

#### **4.11 CABLE**

Minimum of two 3/8" (10 mm).

#### **4.12 SAFETY DEVICE**

A "slack/broken cable" safety device shall be supplied, which will stop and sustain the elevator and its rated load, if either of the hoisting cables becomes slack or breaks. The safety device shall be resettable by the operation of the elevator in the upward direction. A switch shall be mounted in such a position to sense the operation of the safety device, and will open the safety circuit to the controller to prevent operation of the elevator in either direction.

#### **4.13 GUIDE YOKE**

The 1:2 guide yoke/sheave arrangement shall be supplied with a sheave, guide shoes, roller bearings and adjustable cable guards. The sheave shall be finished with rounded grooves to fit the cables.



#### **4.14 NORMAL TERMINAL STOPPING DEVICES**

Normal terminal stopping devices shall be magnetically sensed at the top and bottom of runway to stop the car automatically.

#### **4.15 GUIDE RAILS AND BRACKETS**

##### **4.15.1**

Steel 8lb/ft" T" guide rails and brackets shall be securely fastened to the building structure.

##### **4.15.2**

Brackets shall securely hold the guides in a plumb and true position regardless of car loading.

##### **4.15.3**

Guides shall be bolted through the hoistway enclosure with "back-up" plates, washers and nuts. Subject to architects' alterations and approvals.

#### **4.16 CAR SLING**

##### **4.16.1**

Car sling shall be fabricated from steel members with adequate bracing to support the platform and cab.

##### **4.16.2**

The buffer-striking member on the underside of the car must stop the elevator before the plunger reaches its down limit of travel.

##### **4.16.3**

Guide shoes to be solid slipper type with polyurethane inserts.

#### **4.17 OVERSPEED GOVERNOR**

Elevator to be equipped with an overspeed governor complete with tension weight and brackets; high strength wire rope and attachment fittings, all in conformance with the applicable code sections. The governor shall be traction driven, self-resetting, field adjustable and be provided with a means to seal the tripping speed.

#### **4.18 CAR TOP INSPECTION STATION**

Provide a car top inspection station consisting of a stop button and constant pressure Up and DOWN button. The car top control will override all other controls. Also provide a 110-volt GFI outlet socket and light.

#### **4.19 WIRING**

All wiring and electrical connections shall comply with applicable Codes, insulated wiring shall have flame retardant and moisture proof outer covering and shall be run in a conduit or electrical wireways. Traveling cables shall be flexible and suitably suspended to relieve strain.

#### **4.20 FINISH**

Electrostatically applied baked polyester gloss powder coating paint finish.

## **Part 5- Execution**

#### **5.1 EXAMINATION**

All site dimensions shall be taken to ensure that tolerances and clearances have been maintained and meet local regulations.

#### **5.2 PREPARATION**

Pre-inspect the construction and service requirements for "Work by Others." These requirements will be included in drawings, diagrams, engineering data sheets and special instructions before the work commences.

## **Part 6- Warranty**

#### **6.0 WARRANTY**

The elevator contractor shall provide three (3) months free service from date of approval by local authorities. The entire elevator and all component parts shall carry a LIMITED WARRANTY for a period of One (1) Year. The warranty shall be for the replacement at no cost of defective parts but shall not include the labor costs required to replace the defective part or parts.

## **Part 7 - Owner's Instruction & Manual**

#### **7.0 OWNER'S INSTRUCTION & MANUAL**

After installation is completed, the contractor shall instruct the owner in the proper use, operation and maintenance requirements of the elevator. Instructions to also include emergency procedures and safety rules and precautions. The contractor shall also supply the owner with an Owner's Manual detailing the operating, safety, and maintenance procedures of the elevator.



# MODERN ELEVATOR COMPANY, INC.

ELEVATOR SALES & SERVICE..  
2435 NW 7<sup>TH</sup>. Court Miami, Florida 33127  
Telephone: (305) 638-4030: Fax (305) 638-5092  
Email : modernelevator@bellsouth.net

## PROPOSAL / ESTIMATE

<b>TO:</b>	Rent4days. 927 JEFFERSON AVENUE. MIAMI BEACH, FLORIDA 33139	<b>DATE:</b>	OCT. 04, 2013
<b>ATTN:</b>	Belvis Martinez	<b>PHONE:</b>	786-372-1193
<b>JOB ADDR:</b>	927 JEFFERSON AVENUE. MIAMI BEACH, FL 33139		

MODERN ELEVATOR COMPANY INC. HEREBY SUBMIT SPECIFICATION AND ESTIMATE FOR WORK AS FOLLOWS: TO FURNISH AND INSTALL ONE (2) STOP FEDERAL SERENUS COMMERCAL LULA ELEVATOR AS PER CODE.(ASMEE A17.1)

Note: Please see addendum pages for details.

We will furnish all material, labor, and permits required to perform the work at the above building, as outlined herein.

**TOTAL MATERIAL & LABOR COST IS: \$41,450.00**

**PAYMENT TERMS:** 50% .UPON SIGNING: 25 % UPON DELIVERY&STARTING OF WORK:25 % UPON COMPLETION AND FINAL INSPECTION. (Price doe not include Permit Cost)

DELIVERY OF MATERIAL WILL TAKE 10-12 WEEKS FROM THE DATE THIS CONTRACT IS SIGNE AND RETURNED TO OUR OFFICE. COMPLETION OF WORK WILL TAKE 16 DAYS FROM THE DATE MATERIAL IS DELIVERED TO THE JOB SITE.

**WARRANTY:** The entire lift and all component parts shall carry a two (2) year limited warranty .The warranty shall be for the replacement at no cost of defective parts but shall not include the labor or shipping costs required to replace the defective part or parts. Modern Elevator Co., Inc will provide 3 months free service from the date of approval by local authorities.

Customer acceptance of this proposal / contract and its approval by an authorized representative of Modern Elevator Company Inc. will constitute exclusively the entire agreement for the service described herein. No change or addition to this agreement will be recognized, unless made in writing and properly executed by both parties.

I hereby authorize MODERN ELEVATOR CO., INC. to perform the work as outlined herein.

**CUSTOMER ACCEPTANCE:**

**MODERN ELEVATOR CO., INC**

\_\_\_\_\_  
Authorized representative

\_\_\_\_\_  
Authorized representative

**TITLE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

**TITLE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

## ADDENDUM PAGE #2

Rent 4 days  
927 JEFFERSON AVENUE  
MIAMI BEACH, FL 33139

**SCOPE OF WORK:** To furnish all labor material, and equipment necessary or required to fully complete the installation of one(1) FEDERAL SERENUS LULA ELEVATOR at 927 Jefferson Avenue Miami Beach, FL 33139

**TRAVEL:** \_ 10'-10" Estimated.

**CAPACITY :** 1400 lbs.

**SPEED:** 30 fpm approx.

**HOISTWAY:** 56" width by 72" deep

**PLATFORM SIZE:** 41wide by 68" deep.

**CAB SIZE:** 48" by 54" deep

**CAB CONFIGURATION:** Type A LEFT :CAB SIZE: 48x54" STANDARD.

**STOPS:** 2

**CAB OPENINGS:** 2- front opening IN LINE.

**CAB DOOR:** 2 speed sliding car door #4 stainless steel finish.  
30" wide by 84" high (SEE NOTE 2 )

**TYPE OF DRIVE:** Cable Hydraulic 2:1

**OPERATION:** Single Call Automatic.

### LANDING

**ENTRANCES:** 2 speed. Sliding doors #4 stainless steel finish.  
30" wide by 84" high (SEE NOTE 2)

**TRAVEL:** 10'-10" . Minimum overhead required 120"

**CAB FINISH:** ½" unvarnished Oak veneer walls, stainless steel handrail, solid ceiling  
With 2 pot lights, 90" clear inside high. Front return, slam post and  
Transom in brushed stainless steel. Car station and all limit switches  
Prewired to traveling cable.

**PIT:** 14"

**POWER:** 220 Single phase

ADDENDUM PAGE #3

Rent 4 days  
927 JEFFERSON AVENUE  
MIAMI BEACH, FLORIDA 33139

**MOTOR:** 4 HP SUPER HUSH

**VALVE:** 4-Coil with soft start and soft stop

**EMERGENCY:** Emergency Battery Lowering and light.

**LANDING SYSTEM:** Tape selector landing system for proper leveling and slowdown.

**NOTE:**

1. Delivery of material will take 12 weeks from date of approved drawings
2. The available hoistway width of 56 inches only permits 30" door to be installed. In order to provide 35 ½ inches wide entrances as specified, hoistway will have to be increased to 64 inches.

**QUALITY ASSURANCE:** The Lift shall meet all applicable regulations of all governing agencies and be in conformance with American with Disabilities Act and Accessibility guidelines.

Florida Department of Community Affairs-. Florida Accessibility Code for Building Construction (DCA)

Bureau of Elevators of the Department of Business Regulation as per Chapter 339 of the Florida Statutes.

National Electrical Code (NEC)

ANSI/ASME 17.1 , Elevators and Escalators.

#### ADDENDUM PAGE #4

Rent 4 days  
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MIAMI BEACH, FL 33139

#### **PREPARITORY WORK**

##### **BY OTHERS:**

The following preparatory work to accommodate the lift is to be done by others. Permanent 220 Volts 1 phase power to operate the lift to be provided from a lockable Fused/Cartridge Type Disconnect Switch with auxiliary contact/ switch for battery operation. Refer to architectural drawings for permanent power specifications and location of disconnect. Provide a substantial level floor (pit) slab as indicated on shop drawings.

Provide adequate lighting at lift area as required by code.

Provide finish grouting and masonry around walls, ceiling and doors

Provide telephone line to elevator controller.

Provide 15 amps cab light circuit in elevator equipment room.

Provide fire extinguisher in machine room.

Provide suitable guide rail mounting supports

Provide self closing and self locking machine room door.

Provide smoke detectors as required by Code.