

**Department of Community Affairs
FLORIDA BUILDING COMMISSION
2555 Shumard Oak Boulevard
Tallahassee, Florida 32399-2100**

NOTICE TO WAIVER APPLICANTS

Please make certain you comply with the following:

- ☞ The person submitting the waiver request application as the Applicant **MUST** sign the application. Should you fail to do so, your application will be returned.
- ☞ If a licensed design professional (architect or engineer) has designed the project, his or her comments **MUST** be included as a part of this application.
- ☞ Be as explicit as possible. The more information provided to the Florida Building Commission, the more informed its decisions can be. If you are claiming financial hardship, please specify why and to what degree.
- ☞ If at all possible, **PLAN TO ATTEND the Accessibility Advisory Council and the Florida Building Commission meetings**. Sometimes pertinent facts are inadvertently omitted, or information provided/presented in the Request for Waiver application is not clear. Your attendance at the meetings to answer questions will enhance the possibility of the waiver being approved, since the Council and the Commission will receive the most complete information – from you. When we receive the completed application, we will send you a notice of the time, date, and place for both the Council and the Commission meetings.

Enclosed is a **List of Required Information** and the **Request for Waiver** application.

If you have any questions or would like additional information, please call the Codes and Standards Section at (850) 487-1824.

Please mail this application to the Department of Community Affairs at the address above. **As well as a hard copy, please include a copy of the application and drawings or plans on a CD in PDF format. NOTE: Please do not send CAD files, but rather scan the CAD files and save as a pdf. Must be in Microsoft Compatible format.**

NOTE: Failure to submit electronically will not have any bearing on whether your petition is heard by the Commission, however, electronic filing will facilitate the Commission's movement toward utilizing CD technology to display the waiver application and attached floor plans to the Counsel and Commission.

This application is available in alternate formats upon request.

LIST OF REQUIRED INFORMATION:

1. _____ Drawings that will clearly present your project and that identify the issue(s) that relate to the waiver you are requesting. As a minimum, the following drawings must be submitted:
 - a. Project site plan
 - b. 24" x 36" minimum size drawings
 - c. Building/project sections (if necessary to assist in understanding the waiver request)
 - d. Enlarged floor plan(s) of the area in question
2. _____ One set of reduced scale (11" x 17") versions of the drawings submitted in item one above.
3. _____ One set of overhead transparencies (8 ½" x 11") of the drawings submitted in item one above. When numerous features are shown on the drawings, please designate the location of the waiver items by highlighting or outlining in color the affected areas.
4. _____ When substantial financial cost of compliance is alleged, supporting cost estimates with quotes from at least two vendors or contractors and catalog information.
5. _____ If you feel photographs and/or renderings are necessary for your presentation, provide 40 legible color photocopies of the photographs and/or renderings. If color photocopies of photographs are provided, use a minimum size of 4" x 6" photographs with a maximum of two photographs per photocopied page.
6. _____ Please submit a hard copy of this application to the Department of Community Affairs. PLEASE NOTE: Although not required by Rule 9B-7, F.A.C., in addition to the hard copy please include a copy of the application and drawings or plans on a CD in PDF format.

General Information:

- a. **Equipment:** A CD projector is provided at the Accessibility Advisory Council and Florida Building Commission meetings. Any other equipment necessary for your presentation, such as an overhead projector, TV/VCR, slide or LCD projectors, etc., is the responsibility of the applicant.
- b. **Verbal Descriptions:** Presentations may be to sight or hearing impaired persons; visual presentations should consider adequate verbal and text descriptions of charts and pictures.

Your application will be reviewed by the Accessibility Advisory Council. You will have the opportunity to answer questions and/or make a short presentation **not to exceed 15 minutes**. The Council will provide recommendations to the Florida Building Commission. The Commission will review the application. You will have another opportunity to answer questions and /or give a short presentation **not to exceed 15 minutes**. The Commission will consider all information and the Council's recommendation before voting on the waiver.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: CASANOVA SUITES MIAMI

Address: 524 Ocean Drive Miami Beach, FL 33139

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: Roberto C. Mataraz

Applicant's Address: 524 Ocean Drive Miami Beach, FL 33139

Applicant's Telephone: (305) 531-0101 **FAX:** 305-575-1499

Applicant's E-mail Address: camilo@casanovasuitesmiami.com

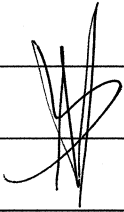
Relationship to Owner: Hotel General Manager

Owner's Name: Frederic Boers

Owner's Address: 524 Ocean Drive Miami Beach, FL 33139

Owner's Telephone: (305) 531-0101 EXT. 14 **FAX:** (305) 575-1499

Owner's E-mail Address: 250257@gmail.com

Signature of Owner: _____


Contact Person: Roberto C. Mataraz

Contact Person's Telephone: (305) 531-0101 **E-mail Address:** camilo@casanovasuitesmiami.com

This application is available in alternate formats upon request.
Form No. 2001-01

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

This is an interior build-out of seven (7) hotel rooms located on first floor previously used as a nightclub (assembly occupancy) in an existing hotel building "CASANOVA SUITES". The proposed construction work shall include interior build-out including partition wall, mechanical, electrical and plumbing systems, millwork and finishes.

Areas for each floor and area of work as follows:

| | |
|---------------------------|------------------------|
| BASEMENT AREA: | 3,169 (SQ. FT.) |
| FIRST FLOOR AREA: | 3,298 (SQ. FT.) |
| 3RD, 4TH, 5TH FLOOR AREA: | 12,165 (SQ. FT.) |
| ROOF AREA: | 4,055 (SQ. FT.) |
| TOTAL BUILDING AREA | 22,687 (SQ. FT.) |
| <i>AREA OF WORK:</i> | <i>3,037 (SQ. FT.)</i> |

No new area to be proposed.

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):

Construction cost between 175,000.00 and 225,000.00

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

Project has not been referred yet to the commission by city of Miami Beach Building Department. Architect and owner identify project need to be reviewed by the Florida Building Commission due to infeasible vertical accessibility.

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: Chapter 553.509 (Vertical Accessibility) of the 2011 Florida Statutes Part II

Chapter 201.1.1 (Vertical Accessibility) 2010 Florida Building Code Accessibility states: “Sections 553.501-553.513, F.S., and the ADA Standards for Accessible Design do not relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the Standards require an elevator to be installed in such building, structure or facility”

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

Chapter 202.3 (Exception 2) 2010 Florida Building Code Accessibility states: “In alterations, where compliance with applicable requirements is technically infeasible, the alteration shall comply with the requirements to the maximum extent feasible”.

Two (2) of the seven (7) rooms to be built during alteration do not comply with vertical accessibility because, of a concrete header supporting the ceiling for two rooms below (existing basement floor). Architect recommended not removing the existing concrete header as it may affect the structural conditions of the building.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. The hardship basis for this waiver request is based primary on a "technically infeasible" condition. Please see Licensed Design Professional Statement.

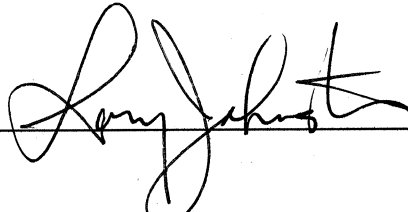
b. _____

c. _____

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

To make these rooms accessible the exiting raised floors would have to be removed. This would require removing as well the existing concrete header making it structurally infeasible as this concrete header is an important part of the structural envelope of the building.
On the other hand, 2 (one existing and one to be built) of the 22 guest rooms are fully accessible offering the same amenities as the other rooms.

Signature



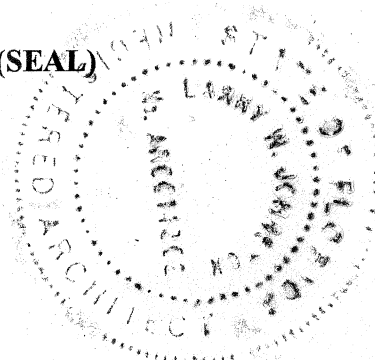
Printed Name

Larry Johnston

Phone number

(305) 944-6966

(SEAL)



CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this _____ day of _____, 20_____

Signature

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

- a. _____
- b. _____
- c. _____

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction _____

Comments/Recommendation _____

Jurisdiction _____

Building Official or Designee _____
Signature

Printed Name

Certification Number

Telephone/FAX

Address: _____

Consent Agenda

Note: This form is to be used only for cases in which design documents are duplicates of previously approved waivers and the project can be placed on a Consent Agenda pursuant to Rule 9B-7.003(3), Florida Administrative Code.

I, _____, a licensed architect/engineer in the state of Florida, whose Florida license number is _____, hereby state as follows:

1. I am the architect/engineer of record for the project known as (name of project) _____, for which the Owner seeks a waiver of one or more accessibility requirements in an application to which this Certification is attached.

2. I hereby certify that to the best of my knowledge and belief to the Florida Building Commission that the design documents for the (insert project described in paragraph 1 above) _____ are the same as the design documents previously submitted to the Commission and referenced in paragraph 3 below, except that the two projects are built or to be built on different parcels of land at different locations.

3. The licensed design professional of record (identify the licensed design professional of record), _____, prepared the design documents for the project known as _____, for which the majority of the Accessibility Advisory Council recommended approval and the Commission granted a waiver of one or more accessibility requirements in Final Order No. _____.

Printed Name: _____ Affix certification seal below:

Address: _____

Telephone: _____

Fax: _____

E-Mail Address: _____

Form No.: 2001-02, Page 2 of 2

Certification of Applicant for Replicated Designs to be Placed on Consent Agenda

Note: This form is to be used only for cases in which design documents are duplicates of previously approved waivers and the project can be placed on a Consent Agenda pursuant to Rule 9B-7.003(3), Florida Administrative Code.

I, _____, am applying for placement on the Consent Agenda pursuant to Rule 9B-7.003(3), Florida Administrative Code. I (check one of the following and complete blanks):

am the owner of this Project (name of project) _____,

and was the owner of the project known as _____,

am the franchisee of this Project (name of project) _____,

am under the same franchiser (name of franchiser) _____

who was the franchiser of the project known as _____,

am the licensee of this Project (name of project) _____,

am under the same licensor (name of licensor) _____,

who was the licensor of the project known as _____,

for which the majority of the Accessibility Advisory Council recommended approval, and the Florida Building Commission granted a waiver of one or more accessibility requirements in Final Order No. _____.

I hereby swear or affirm that the above information to the best of my knowledge is true and correct.

Dated this _____ day of _____, 20 _____

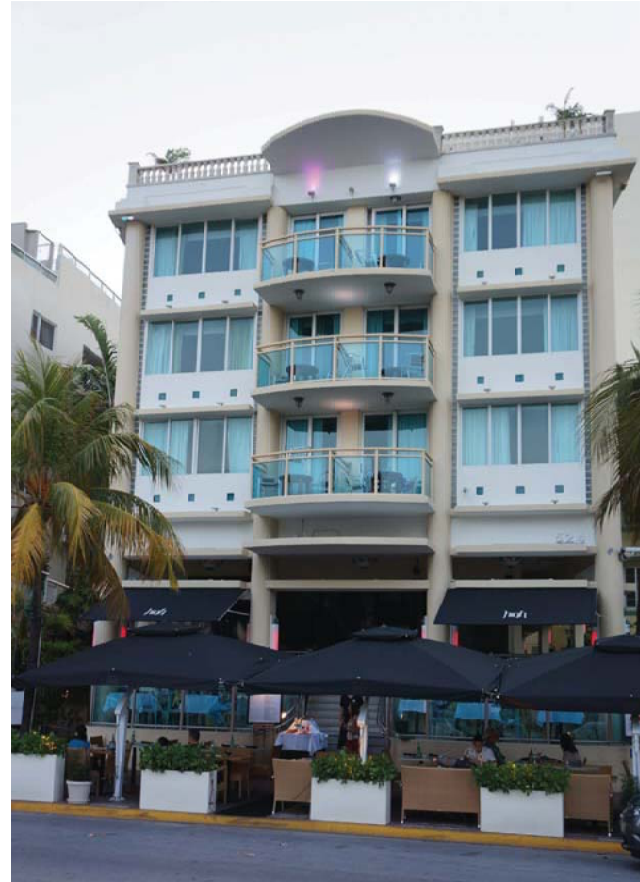
Signature

Printed Name

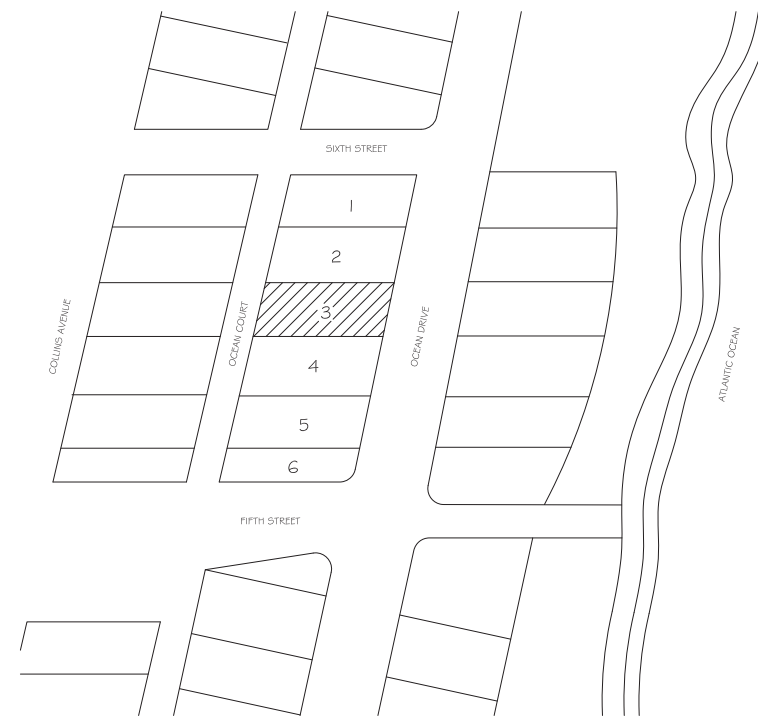
Providing false information to the Florida Building Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

CASANOVA SUITES MIAMI

"1ST FLOOR" SUITE ROOMS
 INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139



1 EXTERIOR EAST PHOTOGRAPHY
 SCALE: N.T.S.



1 LOCATION MAP
 SCALE: 1/64" = 1'-0"



| REVISIONS |
|-----------|
| |
| |
| |
| |
| |

CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No:
 1202

DRAWN BY:
 V.D.

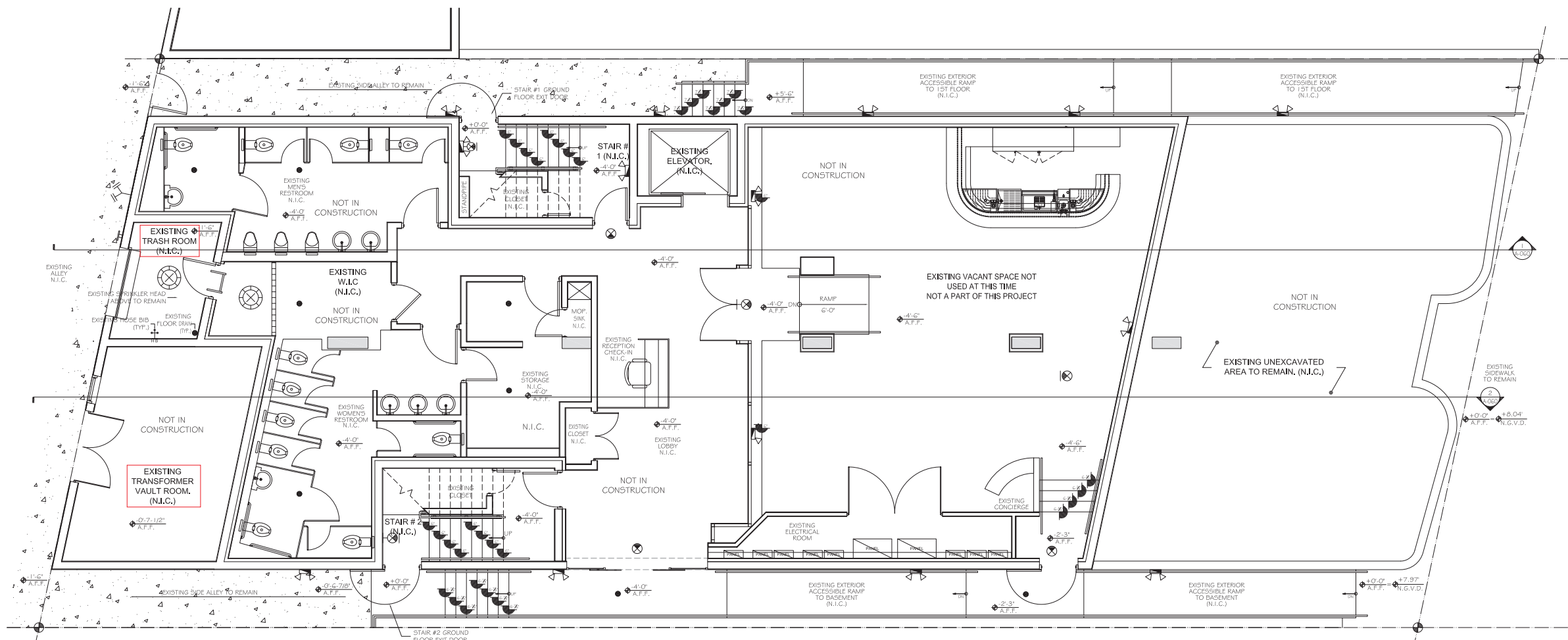
CHECKED BY:
 L.J.

DATE:
 BUILDING PERMIT
 06-04-2012

L LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
 FLORIDA REGISTRATION # AROO14302
 PHONE: 305-944-6966 FAX: 305-944-6935

TITLE SHEET
 LOCATION MAP
 INDEX OF
 DRAWINGS

T-000
 DRAWING No. 0 OF 27



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

**FLOOR PLAN AS A
REFERENCE ONLY
NOT IN CONSTRUCTION**

| REVISIONS | |
|-----------|-----------------------------|
| 1 | BLDG. DEP. COMM. 06-15-2012 |
| | |
| | |
| | |

CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No:
1202

DRAWN BY:
V.D.

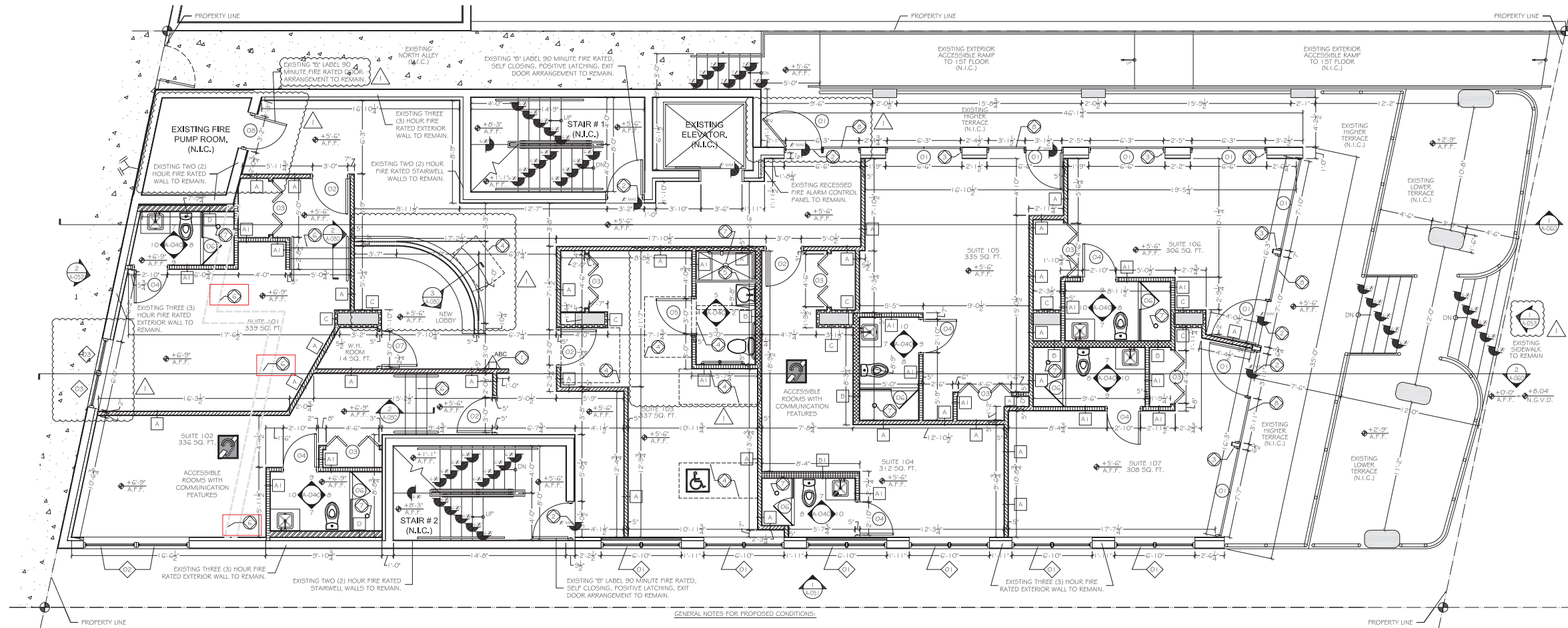
CHECKED BY:
L.J.

DATE:
BUILDING PERMIT
06-04-2012

LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
 FLORIDA REGISTRATION # AROO14302
 PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING
BASEMENT
FLOOR
PLAN

A-010
DRAWING No. 5 OF 27



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ACCESSIBLE UNITS CHART FOR SLEEPING UNITS (SECTION 224 FLORIDA BUILDING CODE ACCESSIBILITY)

| NUMBER OF ROOMS | REQUIRED ACCESSIBLE ROOMS | PROVIDED ACCESSIBLE ROOMS | REQUIRED ROOMS WITH ROLL-IN SHOWERS | PROVIDED ROOMS WITH ROLL-IN SHOWERS | REQUIRED GUEST ROOMS WITH COMMUNICATION FEATURES | PROVIDED GUEST ROOMS WITH COMMUNICATION FEATURES |
|-----------------|---------------------------|---------------------------|-------------------------------------|-------------------------------------|--|--|
| 1 TO 25 | 1 | 1 | 0 | 1 | 2 | 2 |
| 26 TO 50 | 2 | 1 | 0 | 1 | 2 | 2 |
| 51 TO 75 | 3 | 1 | 0 | 1 | 2 | 2 |
| 76 TO 100 | 4 | 1 | 0 | 1 | 2 | 2 |

NEW WALL LEGEND (SEE A-070 & A-071 FOR DETAILS)

| TYPE | PATTERN | DESCRIPTION | RATING |
|------|-----------|---|--------|
| | [Pattern] | EXISTING EXTERIOR WALL TO REMAIN | 3 |
| | [Pattern] | EXISTING INTERIOR WALL TO REMAIN. (@ PUMP ROOM) | 2 |
| A | [Pattern] | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN NO. U419) | 1 |
| A1 | [Pattern] | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. "NO RATED REQUIRED / NO SOUND ATTENUATION" | 0 |
| B | [Pattern] | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN NO. U450) | 1 |
| B1 | [Pattern] | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. "NO RATED REQUIRED / NO SOUND ATTENUATION" | 0 |
| C | [Pattern] | NEW 2 5/8" OR 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |
| D | [Pattern] | NEW 6" METAL STUD PLUMBING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |

GENERAL NOTES:

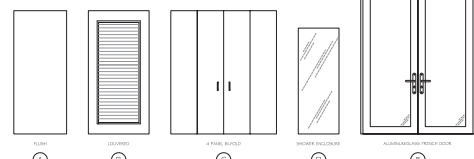
- DIMENSIONS SHOWN ARE NOMINAL. ACTUAL DIMENSIONS MAY VARY.
- ANY CUTTING OF EXISTING DEMISING PARTITIONS SHALL BE PATCHED TO RESTORE FIRE RATING LEVEL. SEE A-071 FOR U.L. DETAILS.
- ALL MISSING, BROKEN, CRACKED, AND UNLIFTED CONCRETE FLOORS SHALL BE RECONSTRUCTED.
- SEE A-050 TO A-052 FOR WIND LOAD PRESSURES AND NOTICE OF ACCEPTANCE FOR NEW WINDOWS.
- SEE A-040 FOR RESTROOM ENLARGED PLANS, INTERIOR ELEVATIONS, AND PLUMBING SCHEDULE.
- ALL DOORS IN A MEANS OF EGRESS TO BE EQUIPPED W/LOCKING AND LATCHING HARDWARE THAT DOES NOT REQUIRE A KEY. ALL DOORS TO COMPLY WITH NFPA 101.
- 5'-0" AFF. TO BE EQUAL TO AFF. TO CEILING.
- SEE PROJECT SUMMARY ON SHEET T-1001 FOR INTERIOR FLOOR, WALL & CEILING FINISHES.
- SEE SHEET A-090 FOR FURNITURE PLAN.
- EXTERIOR WINDOWS TO BE UNDER SEPARATE PERMIT.
- FIRE PROTECTION CONTRACTOR SHALL PROVIDE FULLY DESCRIPTIVE SHOP DRAWINGS WITH HYDRAULIC CALCULATIONS TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION PRIOR TO ANY WORK BEING PERFORMED.
- FIRE ALARM CONTRACTOR SHALL SUBMIT COMPLETE WIRING DIAGRAM SHOP DRAWINGS INCLUDING BATTERY CALCULATIONS FOR APPROVAL BY THE AUTHORITY HAVING JURISDICTION PRIOR TO ANY WORK BEING PERFORMED.
- NO WORK TO BE PERFORMED IN EXISTING STAIRWELL.
- SEE A-010 FOR STAIRWELL BUILDING DOOR EXITS AT GROUND FLOOR LEVEL.
- NO PIPING OR CONDUIT RUNNING THROUGH AN EXIT ENCLOSURE SHALL BE ALLOW AS PER FLORIDA FIRE PREVENTION CODE 7.1.3.2

PUBLIC WORKS DEPARTMENT NOTES:

- NO ENCROACHMENTS ABOVE AND UNDER GROUND ARE ALLOWED INTO THE RIGHT-OF-WAY
- LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY, IF ANY, MUST BE APPROVED BY THE CITY OF MIAMI BEACH PARKS & RECREATION GREEN SPACE PRIOR TO A CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT.
- IMPROVEMENTS AND WORK WITHIN THE RIGHT-OF-WAY REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.

GENERAL NOTES FOR PROPOSED CONDITIONS:

- PROVIDE FIRE EXTINGUISHER MODEL PRO 4 BY KIDDE OR SIMILAR, MOUNTED @ 5'-0" MAX. A.F.F. TO TOP OF EXTINGUISHER. "UL=2A:10B-C"
- FLOOR LEVEL CHANGES IN EXCESS OF 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1 IN 2. (NFPA 101-7.2.1.3.4)
- USE SINGLE PANE, 1/2" GLASS 3" AIR SPACE MINIMUM "SLIDING GLASS DOOR SYSTEM" BY SOUNDPROOF WINDOWS INC. OR SIMILAR TO ACT AS A SOUND BARRIER FOR EXISTING STOREFRONT. SEE DETAIL 4 ON SHEET A-071.
- DENOTES ACCESSIBLE CLEAR FLOOR SPACE.
- NEW 2-1/4" WIDE REVEAL BY 60" LONG STAINLESS STEEL SLOTTED CHANNEL DRAIN MODEL "289" BY ZURN OR SIMILAR.
- INFEASIBLE VERTICAL ACCESSIBILITY AT THIS ROOMS DUE EXISTING CONCRETE HEADER FOR TRASH ROOM AND TRANSFORMER VAULT ROOM. SEE SHEET A-010 (EXISTING BASEMENT PLAN) FOR ROOMS LOCATION AND A-060 FOR BUILDING SECTIONS AT THIS AREA. OWNER TO REQUEST WAIVER FROM ACCESSIBILITY REQUIREMENTS OF CHAPTER 553, PART V, FLORIDA STATUTES ALONG WITH THIS PERMIT TO FLORIDA BUILDING COMMISSION.
- NEW BODY ASSEMBLY SHOWER DRAIN WITH "TYPE SC" STRAINER MODEL "24155C" BY ZURN OR SIMILAR. SEE DETAIL 11 ON SHEET A-040 FOR SHOWER PAN SECTION DETAIL.
- EXISTING DOOR PANEL TO BE PERMANENTLY CLOSE AT ALL TIMES.



DOOR SCHEDULE

| NO. | QUANTITY | DOOR # | DOOR SIZES | | | DOOR TYPE (SEE 2 ON THIS SHEET) | DESCRIPTION | DOOR MATERIAL | FRAME | THRESHOLD | GLASS | TINT | HARDWARE | RATING LABEL | REMARKS |
|-----|----------|--------|------------|--------|-----------|---------------------------------|-------------|---------------|-------|-----------|-------|------|----------|--------------|---------|
| | | | WIDTH | HEIGHT | THICKNESS | | | | | | | | | | |
| 1 | 1 | 101 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 2 | 1 | 102 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 3 | 1 | 103 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 4 | 1 | 104 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 5 | 1 | 105 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 6 | 1 | 106 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 7 | 1 | 107 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |

DOOR NOTES:

- THE GENERAL CONTRACTOR SHALL SILICONE CAULK THE DOOR JAMBS TO THE WALL ON WHICH THEY ARE INSTALLED.
- THE GENERAL CONTRACTOR SHALL INSTALL WEATHER STRIPPING AND SWEEPS ON ALL DOORS IN A MANNER TO INSURE THAT THE DOORS ARE LIGHT-TIGHT ON ALL FOUR SIDES.
- ALL THRESHOLDS TO BE SET IN DOUBLE FACED CAULKING TAPE AND PER ADA SLOPE AND HEIGHT.
- PROVIDE SPRAY FOAM AT ALL DOOR JAMBS AND HEAD SHIMS PRIOR TO FINAL TRIM.
- ALL DOORS IN COMMON AREAS SHALL RECEIVE ADA COMPLIANT SIGNS STATING THE ROOMS USE.
- THE GENERAL CONTRACTOR SHALL VERIFY THE ABILITY TO REUSE EXISTING DOORS AND COORDINATE THEIR RELIABILITY WITH THE OWNER.
- DOORS IN ALL CLOSETS SHALL BE OF NON-COMBUSTIBLE MATERIALS WHICH SHALL BE TREATED IN ORDER TO ACHIEVE COMPLIANCE WITH A FLAME SPREAD RATING NOT GREATER THAN 25 AND A SMOKE DEVELOPMENT RATING NOT GREATER THAN 50.
- ALL EGRESS DOORS SHALL HAVE PANIC HARDWARE AS REQUIRED.
- EGRESS GATES AT PATIOS SHALL HAVE FREE SWING HARDWARE AND/OR SHALL NOT HAVE PREVENTATIVE LATCH FOR EXITING.

HARDWARE NOTES:

- THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL HARDWARE AT ENTRY/EXIT DOORS COMPLIES WITH 2010 I.F.C. AND THE 2010 F.B.C.
- ALL DOOR ACTIVATING HARDWARE SHALL BE INSTALLED BETWEEN 2'-6" AND 3'-8" A.F.F.
- ALL DOORS TO BE KEYPED PER DIRECTIONS FROM OWNER.
- ALL CLOSERS TO BE ADJUSTED TO 5 LB. MAX. FORCE/3 SECONDS.
- EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE OR EFFORT.
- PROVIDE DOOR SILENCERS (3 PER DOOR) AT ALL DOORS. SILENCERS BY BALDWIN, #4035 FOR METAL FRAMES, #4036 FOR WOOD FRAMES.
- ONLY PANIC HARDWARE APPROVED BY THE LOCAL FIRE MARSHAL SHALL BE INSTALLED.

WINDOW SCHEDULE

| NO. | QUANTITY | WINDOW # | WINDOW SIZES | | | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.P. ALLUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|----------|----------|--------------|--------|-----------|-------|-------------|-----------------|---------------------|-------|------|--------------|---------|
| | | | WIDTH | HEIGHT | THICKNESS | | | | | | | | |
| 1 | 1 | 101 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 2 | 1 | 102 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 3 | 1 | 103 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 4 | 1 | 104 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 5 | 1 | 105 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 6 | 1 | 106 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |
| 7 | 1 | 107 | 3'-0" | 7'-0" | 1-3/4" | SWING | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |

VERIFY QUANTITY AND HARDWARE REQUIREMENTS. COMPLY WITH ALL PREVAILING STATE AND LOCAL CODES.

REVISIONS

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|---|-----------------------------|
| 1 | BLDG. DEP. COMM. 08-15-2012 |
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CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

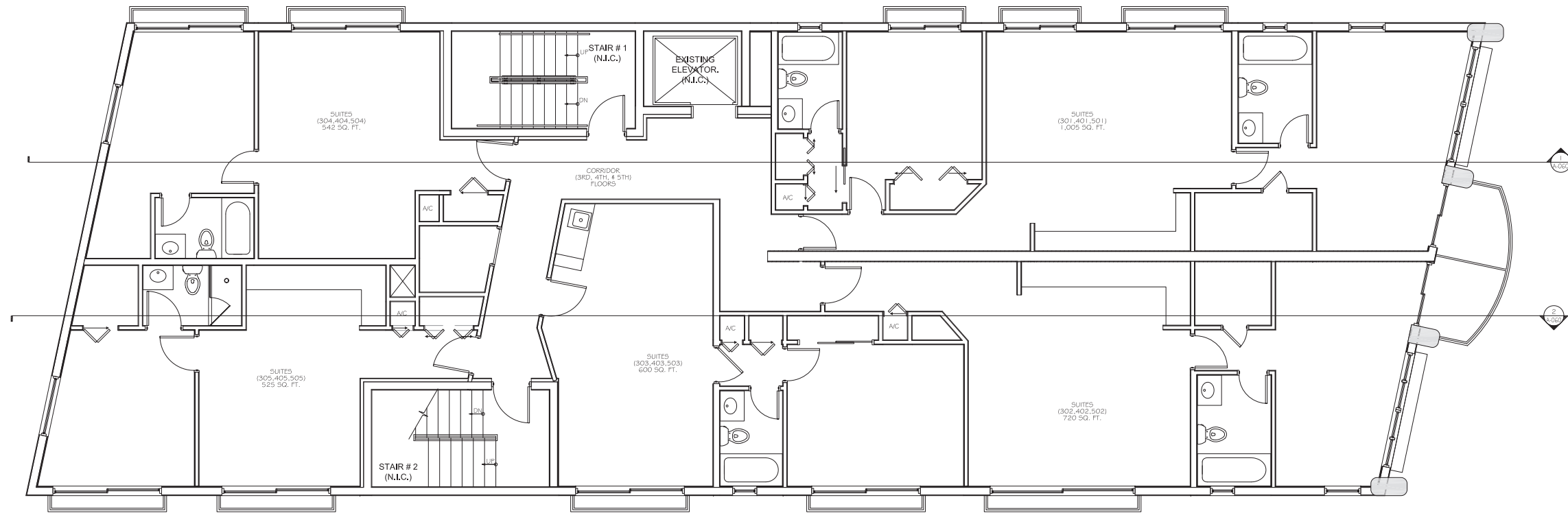
PROJECT No: 1202
DRAWN BY: V.D.
CHECKED BY: L.J.
DATE: BUILDING PERMIT 06-04-2012

LARRY JOHNSTON ARCHITECT
ARCHITECTURE - PLANNING
15555 NE 5TH COURT MIAMI, FL 33162
FLORIDA REGISTRATION # AROO14302
PHONE: 305-944-6966 FAX: 305-944-6935

PROPOSED FIRST FLOOR PLAN

A-011

DRAWING No. 6 OF 27



1 EXISTING (3RD, 4TH, 5TH) TYPICAL FLOOR PLANS
SCALE: 1/4" = 1'-0"

**FLOOR PLAN AS A
REFERENCE ONLY
NOT IN CONSTRUCTION**

| REVISIONS |
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CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

PROJECT No: 1202

DRAWN BY: V.D.

CHECKED BY: L.J.

DATE: BUILDING PERMIT
06-04-2012

LARRY JOHNSTON ARCHITECT
ARCHITECTURE - PLANNING
15555 NE 5TH COURT MIAMI, FL 33162
FLORIDA REGISTRATION # ARO014302
PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING (3RD, 4TH, 5TH)
TYPICAL FLOOR PLANS

A-012
DRAWING No. 7 OF 27

| REVISIONS | |
|-----------|-----------------------------|
| ▲ | BLDG. DEP. COMM. 06-15-2012 |
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CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No:
1202
 DRAWN BY:
V.D.
 CHECKED BY:
L.J.
 DATE:
BUILDING PERMIT
06-04-2012

LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
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PROPOSED
 SOUTH
 EXTERIOR
 ELEVATION

A-051

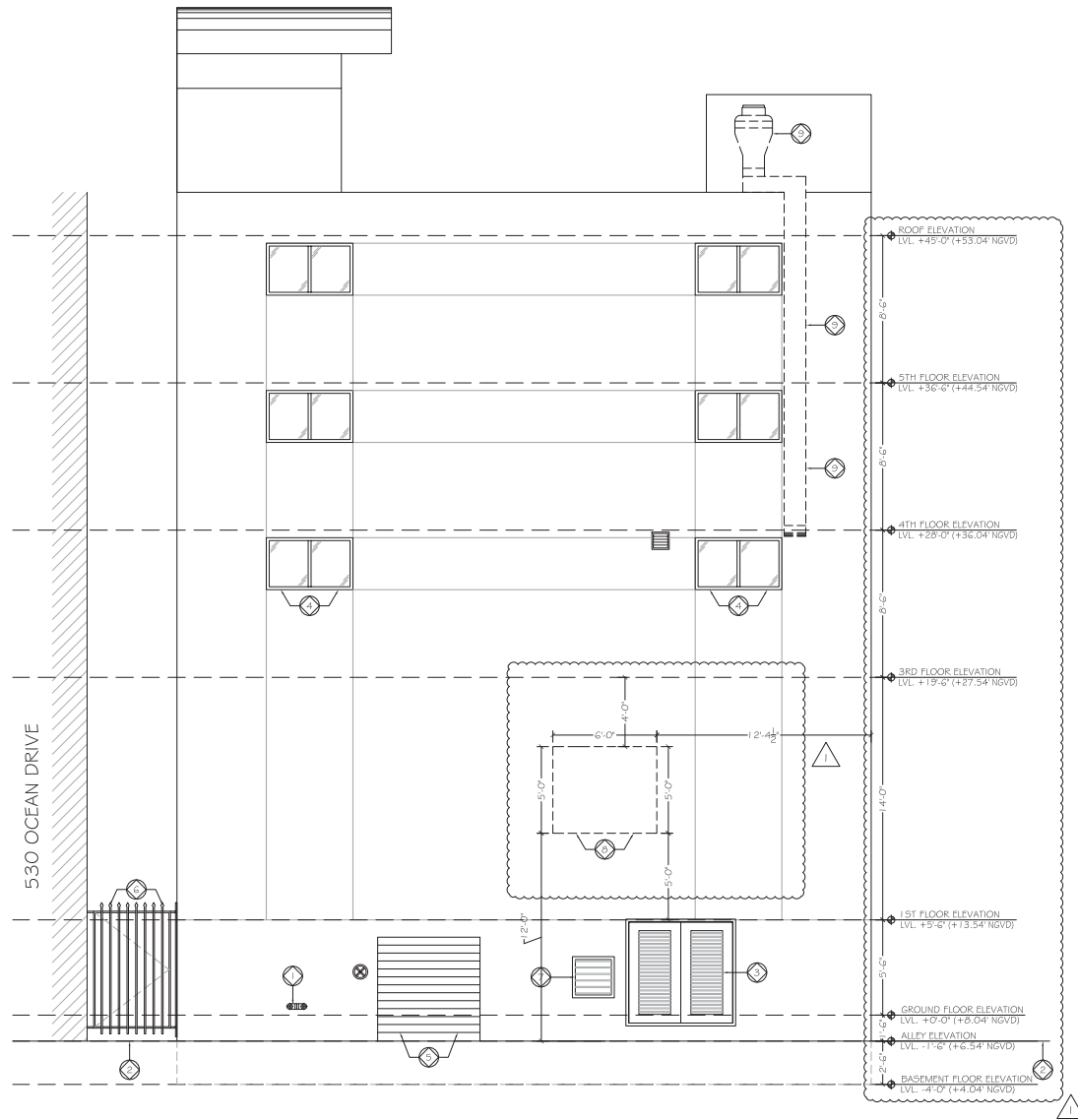
DRAWING No. 12 OF 27



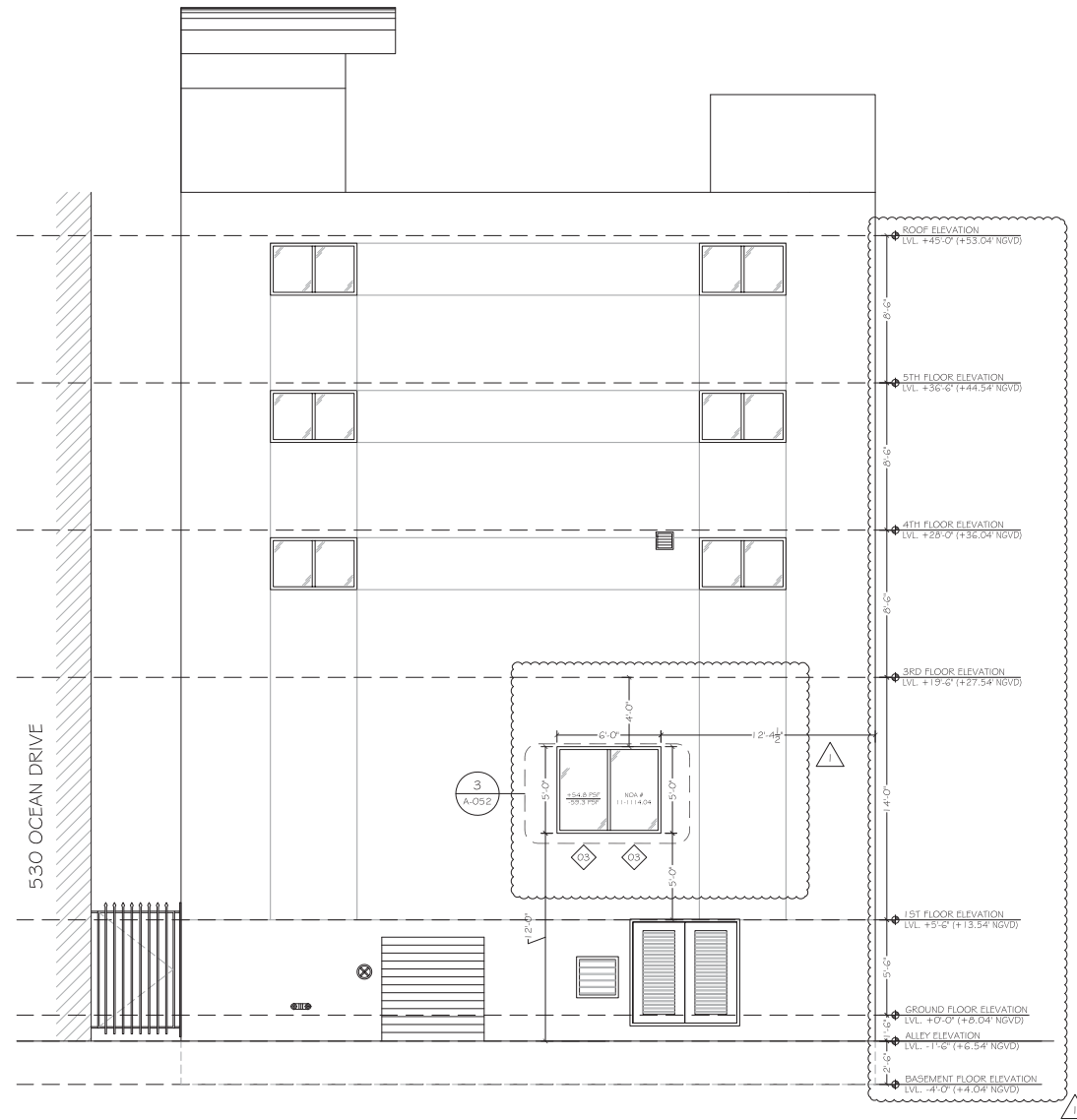
1 PROPOSED SOUTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

| QTY | SYMBOL | WINDOW # | WINDOW SIZES | | | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.P. ALUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|--------|----------|--------------|--------|-----------|----------|-------------|-----------------|--------------------|---------------|---------------|---------------|---------|
| | | | WIDTH | HEIGHT | THICKNESS | | | | | | | | |
| 1 | ⊠ | 1 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 2 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 3 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 4 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 5 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 6 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 7 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 8 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 9 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 10 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 11 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 12 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 13 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 14 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 15 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 16 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 17 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 18 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 19 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 20 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 21 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 22 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 23 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 24 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 25 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 26 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 27 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 28 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 29 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |
| 1 | ⊠ | 30 | 5'-0" | 6'-0" | 1/2" | ALUMINUM | FIXED | 3000 | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | CLAR ANODIZED | |

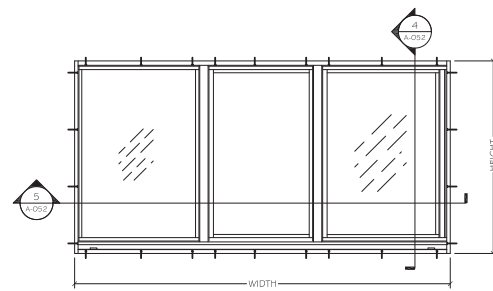
VERIFY QUANTITY AND HARDWARE REQUIREMENTS. COMPLY WITH ALL PREVAILING STATE AND LOCAL CODES.



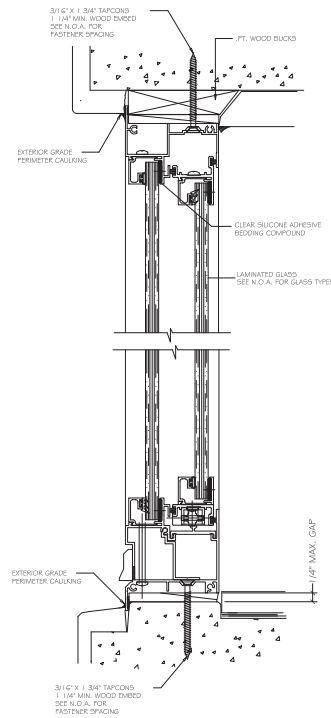
1 EXISTING WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



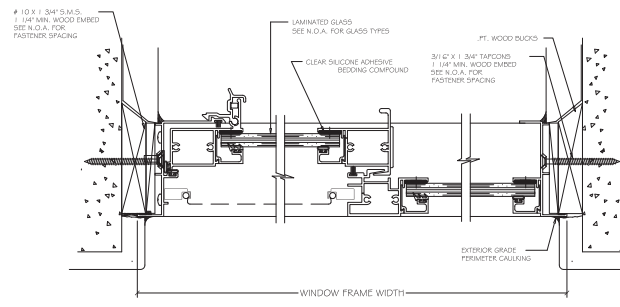
3 EXTERIOR WINDOW ELEVATION
SCALE: N.T.S.



4 TYPICAL WINDOW VERTICAL SECTION DETAIL
SCALE: N.T.S.

| QTY | NO. | WINDOW # | WINDOW SIZES | | | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.P. ALLUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|-----|----------|--------------|--------|-----------|-------|-------------|-----------------|---------------------|------------------|--------|--------------|-----------------|
| | | | WIDTH | HEIGHT | THICKNESS | | | | | | | | |
| 1 | 1 | 111111 | 2'-4" | 3'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 2 | 111112 | 3'-0" | 3'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 3 | 111113 | 4'-0" | 4'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 4 | 111114 | 4'-0" | 4'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 5 | 111115 | 5'-0" | 5'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 6 | 111116 | 5'-0" | 5'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 7 | 111117 | 6'-0" | 6'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 8 | 111118 | 6'-0" | 6'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 9 | 111119 | 6'-0" | 7'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 10 | 111120 | 6'-0" | 7'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 11 | 111121 | 6'-0" | 8'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 12 | 111122 | 6'-0" | 8'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 13 | 111123 | 6'-0" | 9'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 14 | 111124 | 6'-0" | 9'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 15 | 111125 | 6'-0" | 10'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 16 | 111126 | 6'-0" | 10'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 17 | 111127 | 6'-0" | 11'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 18 | 111128 | 6'-0" | 11'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 19 | 111129 | 6'-0" | 12'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 20 | 111130 | 6'-0" | 12'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 21 | 111131 | 6'-0" | 13'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 22 | 111132 | 6'-0" | 13'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 23 | 111133 | 6'-0" | 14'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 24 | 111134 | 6'-0" | 14'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 25 | 111135 | 6'-0" | 15'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 26 | 111136 | 6'-0" | 15'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 27 | 111137 | 6'-0" | 16'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 28 | 111138 | 6'-0" | 16'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 29 | 111139 | 6'-0" | 17'-0" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |
| 1 | 30 | 111140 | 6'-0" | 17'-6" | 1/2" | WOOD | WOOD | WOOD | CLAR ANDRUD | IMPACT RESISTANT | SAFETY | 10 | EXISTING WINDOW |

VERIFY QUANTITY AND HARDWARE REQUIREMENTS. COMPLY WITH ALL PREVAILING STATE AND LOCAL CODES.



5 TYPICAL WINDOW HORIZONTAL SECTION DETAIL
SCALE: N.T.S.

- GENERAL NOTES FOR EXISTING CONDITIONS:
- ⊗ EXISTING FIRE DEPARTMENT SIAMSE CONNECTION TO REMAIN.
 - ⊗ EXISTING EXTERIOR FLOOR TO REMAIN.
 - ⊗ EXISTING DOOR/DOOR FRAME TO REMAIN.
 - ⊗ EXISTING EXTERIOR WINDOWS TO REMAIN.
 - ⊗ EXISTING ROLL DOWN DOOR TO REMAIN.
 - ⊗ EXISTING METAL GATE TO REMAIN.
 - ⊗ EXISTING ALUMINUM LOUVER TO REMAIN.
 - ⊗ CUT EXISTING EXTERIOR BLOCK WALL TO CREATE A WINDOW OPENING. PROVIDE 12" PRECAST SOLID LINTEL BY CAST-CRETE CORPORATION N.O.A. 12-0209.12. SEE WINDOW OPENING DETAIL (2) ON SHEET D-010.
 - ⊗ EXISTING EXTERIOR KITCHEN EXHAUST DUCT TO BE REMOVED.

| REVISIONS | |
|-----------|-----------------------------|
| ▲ | BLDG. DEP. COMM. 06-15-2012 |
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CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No: 1202
 DRAWN BY: V.D.
 CHECKED BY: L.J.
 DATE: BUILDING PERMIT 06-04-2012

LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
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 PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING & PROPOSED WEST EXTERIOR ELEVATIONS

A-052
 DRAWING No. 13 OF 27

| REVISIONS | |
|-----------|-----------------------------|
| ▲ | BLDG. DEP. COMM. 06-15-2012 |
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CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No:
1202

DRAWN BY:
V.D.

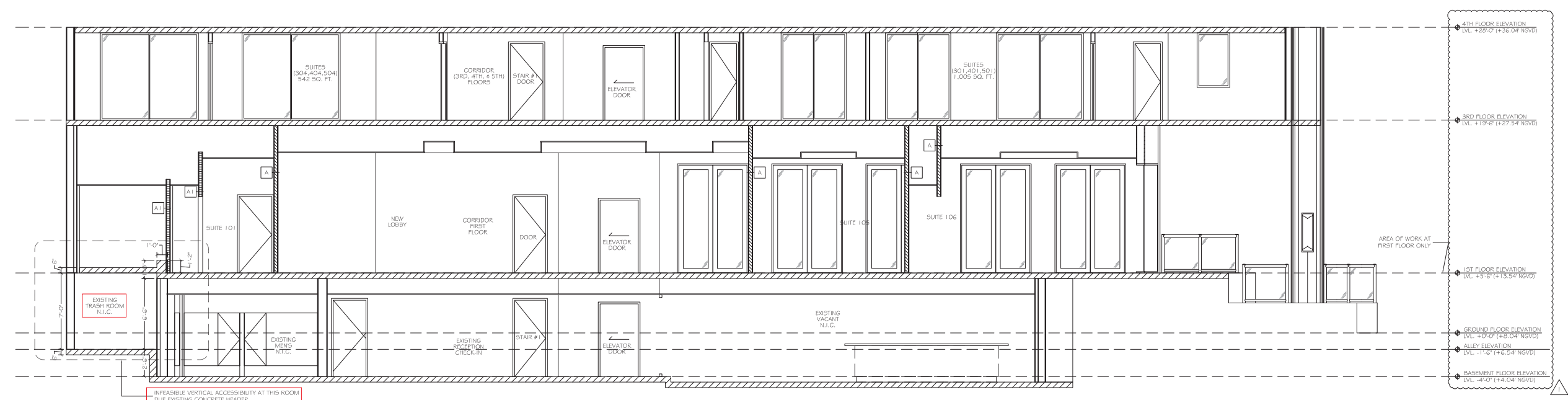
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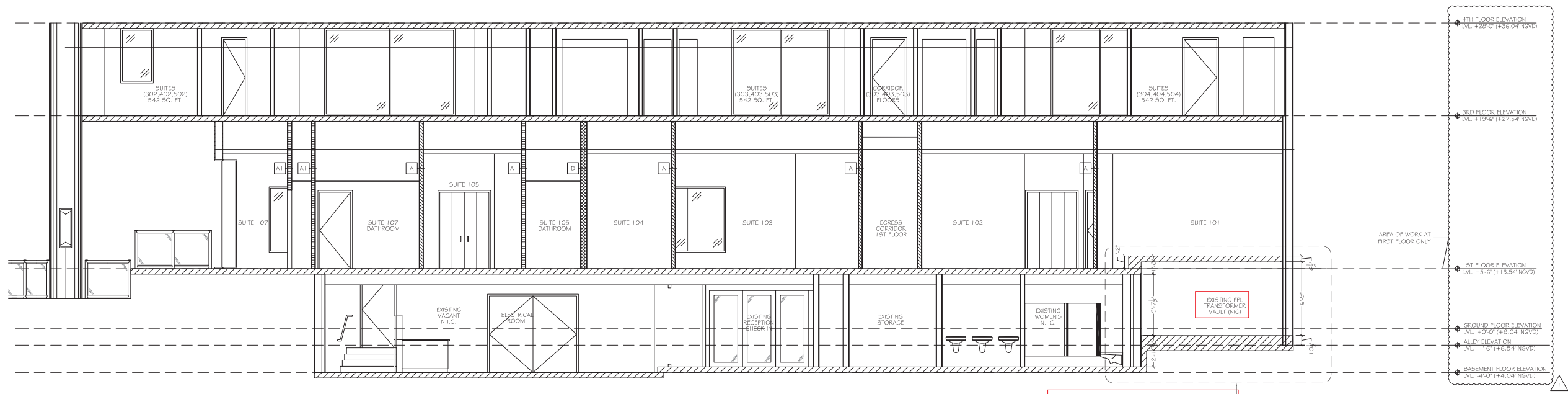
BUILDING SECTIONS

A-060
 DRAWING No. 14 OF 27



1 NORTH BUILDING SECTION
 SCALE: 1/4" = 1'-0"

| NEW WALL LEGEND (SEE A-070 & A-071 FOR DETAILS) | | | |
|---|-----------|---|--------|
| TYPE | PATTERN | DESCRIPTION | RATING |
| | [Pattern] | EXISTING EXTERIOR WALL TO REMAIN | 3 |
| | [Pattern] | EXISTING INTERIOR WALL TO REMAIN. (@ PUMP ROOM) | 2 |
| A | [Pattern] | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN NO. U413) | 1 |
| A1 | [Pattern] | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. "NO RATED REQUIRED / NO SOUND ATTENUATION" | 0 |
| B | [Pattern] | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN NO. U430) | 1 |
| B1 | [Pattern] | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. "NO RATED REQUIRED / NO SOUND ATTENUATION" | 0 |
| C | [Pattern] | NEW 2 5/8" OR 3 5/8" METAL STUD PLUMBING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |
| D | [Pattern] | NEW 6" METAL STUD PLUMBING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |



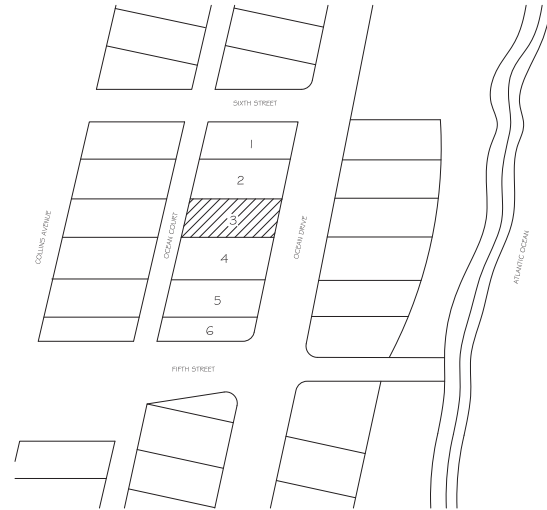
1 SOUTH BUILDING SECTION
 SCALE: 1/4" = 1'-0"

CASANOVA SUITES MIAMI

"1ST FLOOR" SUITE ROOMS
 INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139



1 EXTERIOR EAST PHOTOGRAPHY
 SCALE: N.T.S.



1 LOCATION MAP
 SCALE: 1/64" = 1'-0"

| REVISIONS |
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CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No: 1202

DRAWN BY: V.D.

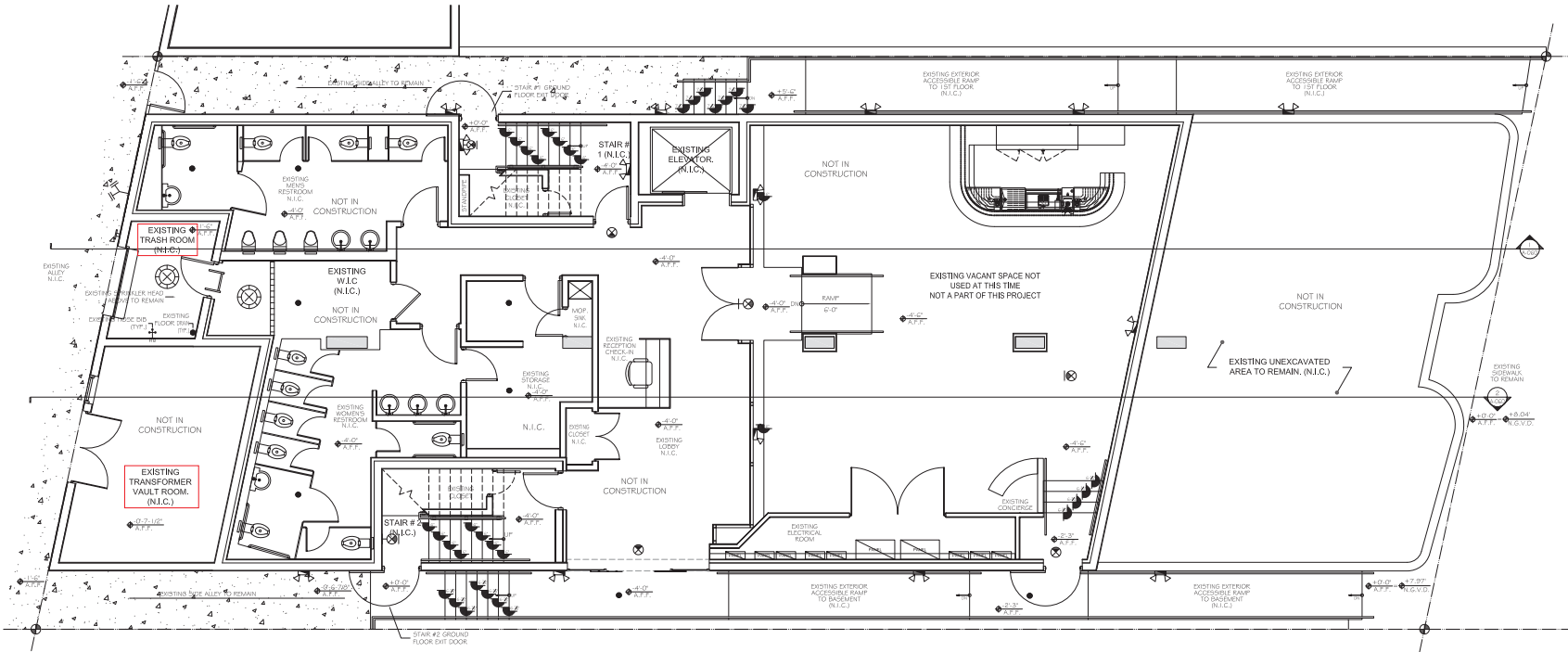
CHECKED BY: L.J.

DATE: BUILDING PERMIT 06-04-2012

L LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
 FLORIDA REGISTRATION # ARO014302
 PHONE: 305-944-6966 FAX: 305-944-6935

TITLE SHEET
 LOCATION MAP
 INDEX OF
 DRAWINGS

T-000
 DRAWING No. 0 OF 27



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

**FLOOR PLAN AS A
REFERENCE ONLY
NOT IN CONSTRUCTION**

| REVISIONS | |
|-----------|------------------------------|
| ▲ | B.L.G. DEP. COMM. 06-15-2012 |
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CASANOVA SUITES
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 524 OCEAN DRIVE
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EXISTING BASEMENT FLOOR PLAN

A-010

DRAWING No. 5 OF 27

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|-------------------------------|
| REVISIONS |
| ▲ BLDG. DEP. COMM. 06-15-2012 |
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CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

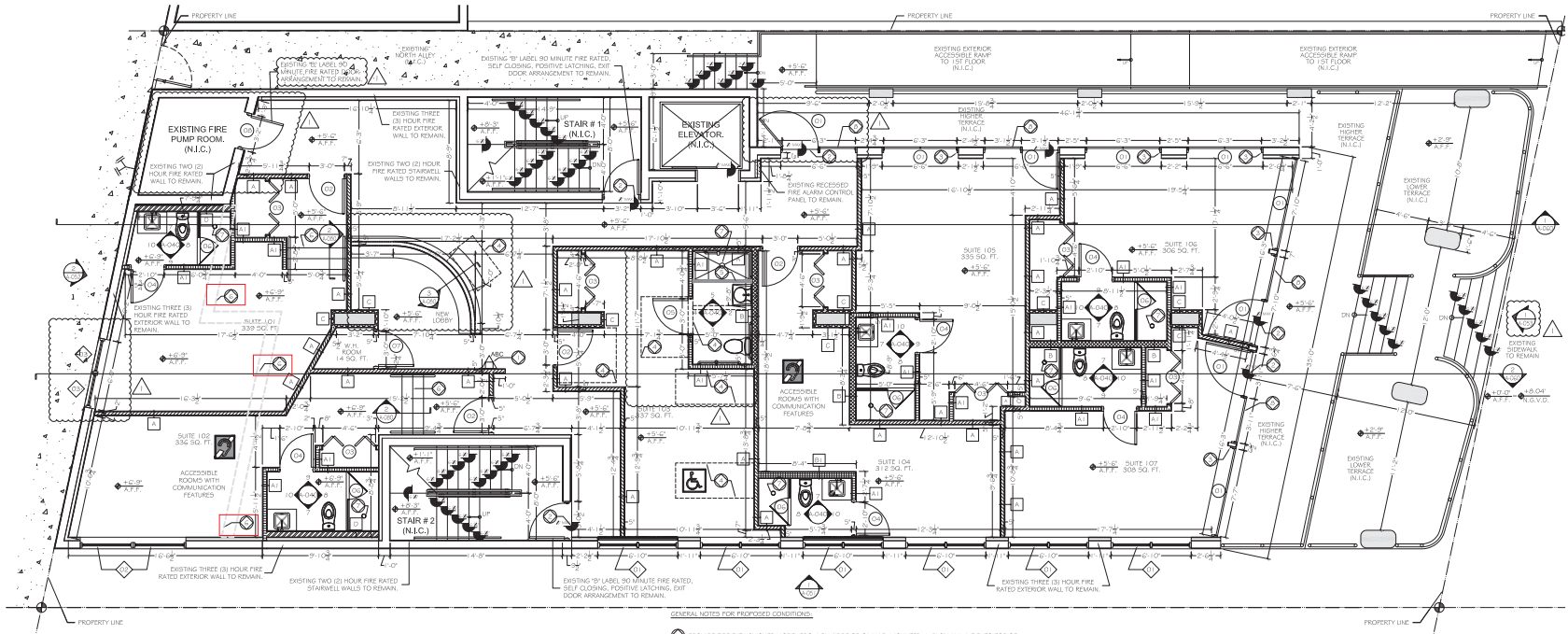
PROJECT No: 1202
 DRAWN BY: V.D.
 CHECKED BY: L.J.
 DATE: BUILDING PERMIT 06-04-2012

LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
 FLORIDA REGISTRATION # ARO014302
 PHONE: 305-944-6966 FAX: 305-944-6935

PROPOSED FIRST FLOOR PLAN

A-O-11

DRAWING No. 6 OF 27



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

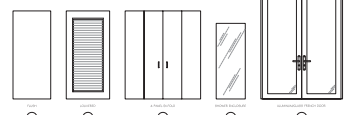
| NUMBER OF ROOMS | REQUIRED ACCESSIBLE ROOMS | PROVIDED ACCESSIBLE ROOMS | REQUIRED ROOMS WITH ROLL-IN SHOWERS | PROVIDED ROOMS WITH ROLL-IN SHOWERS | REQUIRED GUEST ROOMS WITH COMMUNICATION FEATURES | PROVIDED GUEST ROOMS WITH COMMUNICATION FEATURES | REQUIRED ROOMS WITH ROLL-IN SHOWERS (1 OR 2) | PROVIDED ROOMS WITH ROLL-IN SHOWERS (1 OR 2) |
|-----------------|---------------------------|---------------------------|-------------------------------------|-------------------------------------|--|--|--|--|
| 1 TO 25 | 1 | 1 | 0 | 0 | 0 | 0 | 0 | 0 |
| 26 TO 50 | 2 | 2 | 0 | 0 | 0 | 0 | 0 | 0 |
| 51 TO 100 | 4 | 4 | 0 | 0 | 0 | 0 | 0 | 0 |

| TYPE | PATTERN | DESCRIPTION | RATING |
|------|------------------|---|--------|
| 1 | (Blank) | EXISTING EXTERIOR WALL TO REMAIN | 3 |
| 2 | (Blank) | EXISTING INTERIOR WALL TO REMAIN (Ø PUMP ROOM) | 2 |
| 3 | (Diagonal lines) | NEW 3/4" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. (UL DESIGN NO. 18139) | 0 |
| 4 | (Diagonal lines) | NEW 3/4" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. "NO RATED REQUIRED" (NO SOUND ATTENUATION) | 0 |
| 5 | (Diagonal lines) | NEW 1/2" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. "NO RATED REQUIRED" (NO SOUND ATTENUATION) | 0 |
| 6 | (Diagonal lines) | NEW 1/2" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. "NO RATED REQUIRED" (NO SOUND ATTENUATION) | 0 |
| 7 | (Diagonal lines) | NEW 1/2" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. "NO RATED REQUIRED" (NO SOUND ATTENUATION) | 0 |
| 8 | (Diagonal lines) | NEW 1/2" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. "NO RATED REQUIRED" (NO SOUND ATTENUATION) | 0 |
| 9 | (Diagonal lines) | NEW 1/2" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. "NO RATED REQUIRED" (NO SOUND ATTENUATION) | 0 |
| 10 | (Diagonal lines) | NEW 1/2" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" EPS/DM BOARD ON EACH SIDE. "NO RATED REQUIRED" (NO SOUND ATTENUATION) | 0 |

- GENERAL NOTES:**
- DIMENSIONS SHOWN ARE NOMINAL. ACTUAL DIMENSIONS MAY VARY.
 - ANY CUTTING OF EXISTING DIVISIONS PARTITIONS SHALL BE PATCHED TO RESTORE FIRE RATING LEVEL. SEE A-071 FOR U.L. DETAILS.
 - ALL MISSING, BROKEN, CRACKED, AND LIFTED CONCRETE FLOORS SHALL BE RECONSTRUCTED.
 - SEE ALSO A-052 FOR WIND LOAD PRESSURES AND NOTICE OF ACCEPTANCE FOR NEW WINDOWS.
 - SEE ALSO A-050 FOR RESTROOM ENLARGED PLANS, INTERIOR ELEVATIONS, AND FINISHING SCHEDULE.
 - ALL DOORS IN A MEANS OF EGRESS TO BE EQUIPPED WITH LOCKS AND LATCHING HARDWARE THAT DOES NOT REQUIRE A KEY. ALL DOORS TO COMPLY WITH MFA 101.1.
 - SEE A-051 FOR STAIRWELL DETAILS.
 - SEE PROJECT SUMMARY ON SHEET 1-001 FOR INTERIOR FLOOR, WALL & CEILING FINISHES.
 - SEE SHEET A-080 FOR FURNITURE PLAN.
 - EXTERIOR WINDOWS TO BE UNDER SEPARATE PERMIT.
 - FIRE PROTECTION CONTRACTOR SHALL PROVIDE FULLY DESCRIPTIVE SHIELD DRAWINGS WITH THERMAL CALCULATIONS TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION PRIOR TO ANY WORK BEING PERFORMED.
 - FIRE ALARM CONTRACTOR SHALL SUBMIT COMPLETE WIRING DIAGRAM SHOWING DRAWINGS INCLUDING BATTERY CALCULATIONS FOR APPROVAL BY THE AUTHORITY HAVING JURISDICTION PRIOR TO ANY WORK BEING PERFORMED.
 - NO WORK TO BE PERFORMED IN EXISTING STAIRWELL.
 - SEE A-010 FOR STAIRWELL BUILDING DOOR EXITS AT GROUND FLOOR LEVEL.
 - NO PIPING OR CONDUIT RUNNING THROUGH AN EXIT EXCEPT AS ALLOWED AS PER FLORIDA FIRE PREVENTION CODE 7-1.3.4.2.

- PUBLIC WORKS DEPARTMENT NOTES:**
- NO ENCROACHMENTS ABOVE AND UNDER GROUND ARE ALLOWED INTO THE RIGHT-OF-WAY.
 - LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY, IF ANY, MUST BE APPROVED BY THE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT PRIOR TO A CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
 - IMPROVEMENTS AND WORK WITHIN THE RIGHT-OF-WAY REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.

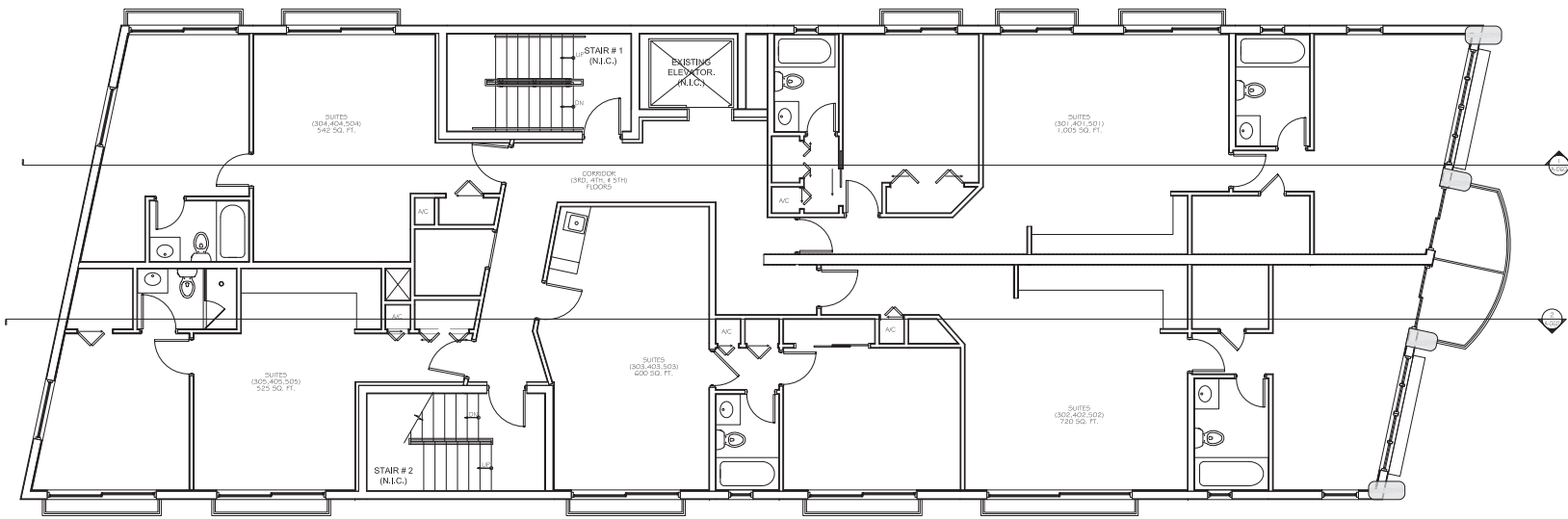
- GENERAL NOTES FOR PROPOSED CONDITIONS:**
- PROVIDE FIRE EXTINGUISHER MODEL PRO 4 BY KIDDE OR SIMILAR, MOUNTED @ 5'-0" MAX. A.F.F. TO TOP OF EXTINGUISHER. 30-34-05(C).
 - FLOOR LEVEL CHANGES IN EXCESS OF 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1 IN 2. (NFPA 101-7.2.1.3.4).
 - USE SINGLE PANE 1/2" GLASS 3" AIR SPACE MINIMUM INSULATING GLASS DOOR SYSTEM BY SOUNDPROOF WINDOWS OR, OR SIMILAR TO ACT AS A SOUND BARRIER FOR EXISTING STAIRWELL. SEE DETAIL A ON SHEET A-071.
 - Ø DENOTES ACCESSIBLE CLEAR FLOOR SPACE.
 - NEW 3/4" WIDE REVEAL BY 60" LONG STAINLESS STEEL SLOTTED CHANNEL DRAIN MODEL 20011 BY ZURN OR SIMILAR.
 - TRANSFERIBLE VERTICAL ACCESSIBILITY AT THIS ROOMS DUE EXISTING CONCRETE WEAVER FOR TRASH ROOM AND TRANSFORMER VAULT ROOM. SEE SHEET A-010 (EXISTING BASEMENT FLOOR FOR ROOMS LOCATION AND A-000 FOR BUILDING CONSTRUCTION). THIS AREA OWNER TO REQUEST WAIVER FROM ACCESSIBILITY REQUIREMENTS OF CHAPTER 553, PART V, FLORIDA STATUTES ALONG WITH THIS PERMIT TO FLORIDA BUILDING COMMISSION.
 - Ø 1/2" RIBBY ACCESSIBLE SHOWER DRAIN WITH TYPE 304 STAINLESS STEEL, 24" 1/2" DUC BY ZURN OR SIMILAR. SEE DETAIL A ON SHEET A-071 FOR SHOWER PAN SECTION DETAIL.
 - EXISTING DOOR PANEL TO BE PERMANENTLY CLOSED AT ALL TIMES.



| NO. | IDENTIFI- CAL | FIN. MATERIAL | FRAME | THRESHOLD | GLASS | FINIT. | HARDWARE | RATING LABEL | REMARKS |
|-----|---------------|---------------|-------|-----------|-------|--------|----------|--------------|---------|
| | | | | | | | | | |
| 1 | 102 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 2 | 104 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 3 | 106 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 4 | 107 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 5 | 108 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |

- DOOR NOTES:**
- THE GENERAL CONTRACTOR SHALL SILICONE CAULK THE DOOR JAMBS TO THE WALL ON WHICH THEY ARE INSTALLED.
 - THE GENERAL CONTRACTOR SHALL INSTALL WEATHER STRIPPING AND SHIELDS ON ALL DOORS IN A MANNER TO INSURE THAT THE DOORS ARE LIGHT-TIGHT ON ALL FOUR SIDES.
 - ALL THRESHOLDS TO BE SET ON DOUBLE FACED CALKING TAPE AND PER ADA SLIP- AND RESIST.
 - PROVIDE DRAIN FROM AT ALL DOOR JAMBS AND HEAD SHIELD FROM TO FINAL TRIM.
 - ALL DOORS IN COMMON AREAS SHALL BE COMPLIANT WITH THE ROOMS USE.
 - THE GENERAL CONTRACTOR SHALL VERIFY THE ABILITY TO REUSE EXISTING DOORS AND COORDINATE THEIR REUSABILITY WITH THE OWNER.
 - DOORS IN ALL AREAS CORRIDORS SHALL BE OF NON-COMBUSTIBLE MATERIALS WHICH SHALL BE TREATED IN ORDER TO ACHIEVE COMPLIANCE WITH A FLAME SPREAD RATING NOT GREATER THAN 25 AND A SMOKE DEVELOPMENT RATING NOT GREATER THAN 50.
 - ALL GLASS DOORS SHALL HAVE FRANGIBLE HARDWARE AS REQUIRED.
 - EGRESS GATES AT PATIOS SHALL HAVE FREE SWING HARDWARE AND/OR SHALL NOT HAVE PREVENTATIVE LATCH FOR EXITING.
- HARDWARE NOTES:**
- THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL HARDWARE AT EXISTENT DOORS COMPLIES WITH 2010 I.F.C. AND THE 2011 I.F.C.
 - ALL DOOR ACTIVATING HARDWARE SHALL BE INSTALLED BETWEEN 2'-0" AND 3'-0" A.F.F.
 - ALL DOORS TO BE REVERSED PER INDICATION FROM OWNER.
 - ALL CLOSERS TO BE ADJUSTED TO 3 LB. MAX. FORCED RECLOSED.
 - EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE OR EFFORT.
 - PROVIDE DOOR SWEETS (3 PER DOOR) AT ALL DOORS. SWEETS BY BALDWIN #4835 FOR METAL FRAMES. #4836 FOR WOOD FRAMES.
 - ONLY FRANGIBLE HARDWARE APPROVED BY THE LOCAL FIRE MARSHAL SHALL BE INSTALLED.

| NO. | IDENTIFI- CAL | FIN. MATERIAL | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.P. ALUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|---------------|---------------|-------|-------------|-----------------|--------------------|-------|------|--------------|---------|
| | | | | | | | | | | |
| 1 | 102 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 2 | 104 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 3 | 106 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 4 | 107 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |
| 5 | 108 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | 01 | |



1 EXISTING (3RD, 4TH, 5TH) TYPICAL FLOOR PLANS
SCALE: 1/4" = 1'-0"

**FLOOR PLAN AS A
REFERENCE ONLY
NOT IN CONSTRUCTION**

| REVISIONS |
|-----------|
| |
| |
| |
| |
| |

CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

PROJECT No:
1202

DRAWN BY:
V.D.

CHECKED BY:
L.J.

DATE:
BUILDING PERMIT
06-04-2012

L LARRY JOHNSTON ARCHITECT
ARCHITECTURE - PLANNING
15555 NE 5TH COURT MIAMI, FL 33162
FLORIDA REGISTRATION # AROO14302
PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING
(3RD, 4TH, 5TH)
TYPICAL
FLOOR
PLANS

A-012

DRAWING No. 7 OF 27

| REVISIONS | |
|-----------|------------------------------|
| ▲ | B.L.G. DEP. CORR. 05-15-2012 |
| ▲ | |
| ▲ | |
| ▲ | |

CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No: 1202

DRAWN BY: V.D.

CHECKED BY: L.J.

DATE: BUILDING PERMIT 06-04-2012

L LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 1555 NE 5TH COURT MIAMI, FL 33132
 FLORIDA REGISTRATION # AROO14302
 PHONE: 305-944-6966 FAX: 305-944-6935

PROPOSED SOUTH EXTERIOR ELEVATION

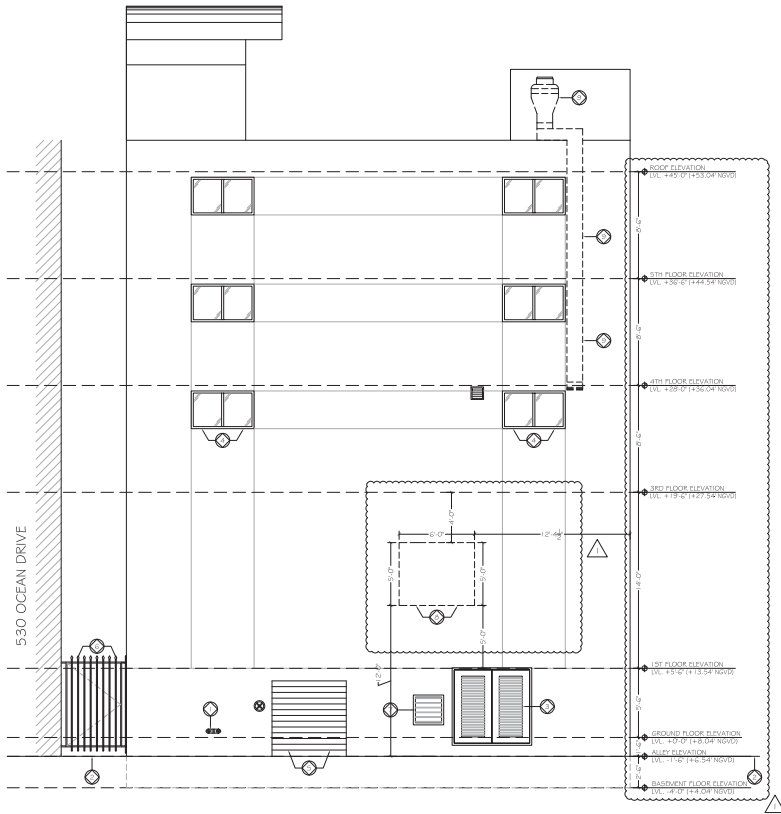
A-05 I

DRAWING No. 12 OF 27

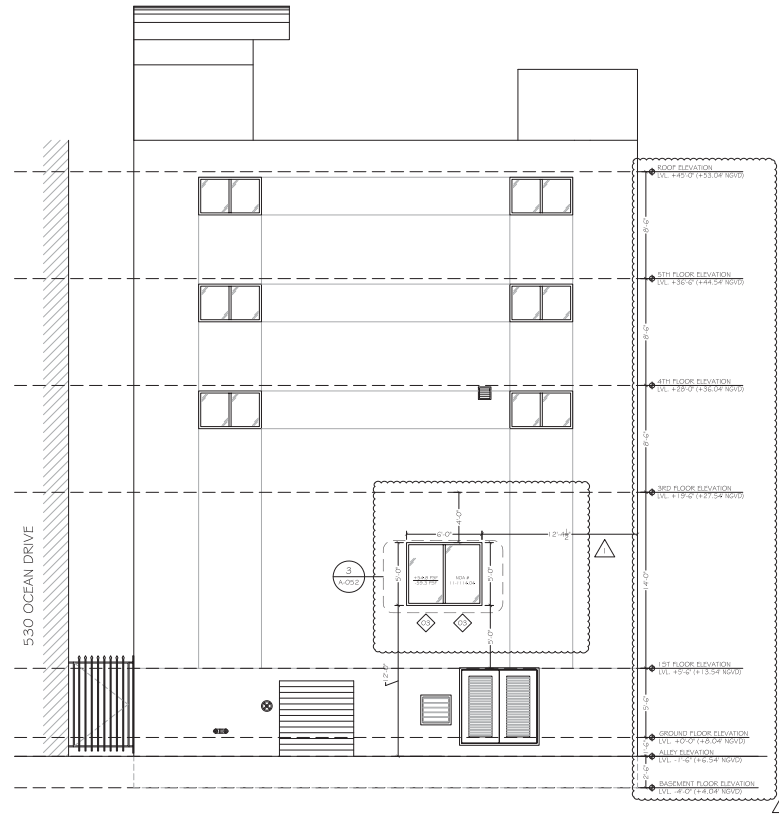


1 PROPOSED SOUTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

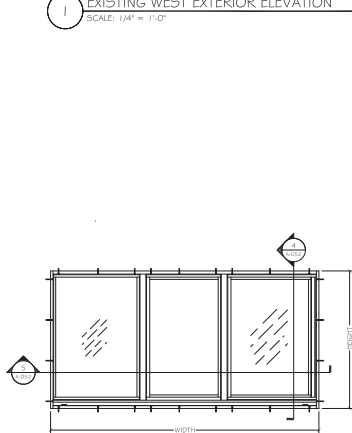
| QTY | WINDOW # | WINDOW SIZES | | | | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.F. ALUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|----------|--------------|--------|-----------|--|-------|-------------|-----------------|--------------------|-------|------|--------------|---------|
| | | WIDTH | HEIGHT | THICKNESS | | | | | | | | | |
| 1 | 1 | 5400 | 7000 | | | | | | | | | | |
| 1 | 2 | 5400 | 7000 | | | | | | | | | | |
| 1 | 3 | 5400 | 7000 | | | | | | | | | | |
| 1 | 4 | 5400 | 7000 | | | | | | | | | | |
| 1 | 5 | 5400 | 7000 | | | | | | | | | | |
| 1 | 6 | 5400 | 7000 | | | | | | | | | | |
| 1 | 7 | 5400 | 7000 | | | | | | | | | | |
| 1 | 8 | 5400 | 7000 | | | | | | | | | | |
| 1 | 9 | 5400 | 7000 | | | | | | | | | | |
| 1 | 10 | 5400 | 7000 | | | | | | | | | | |
| 1 | 11 | 5400 | 7000 | | | | | | | | | | |
| 1 | 12 | 5400 | 7000 | | | | | | | | | | |
| 1 | 13 | 5400 | 7000 | | | | | | | | | | |
| 1 | 14 | 5400 | 7000 | | | | | | | | | | |
| 1 | 15 | 5400 | 7000 | | | | | | | | | | |
| 1 | 16 | 5400 | 7000 | | | | | | | | | | |
| 1 | 17 | 5400 | 7000 | | | | | | | | | | |
| 1 | 18 | 5400 | 7000 | | | | | | | | | | |
| 1 | 19 | 5400 | 7000 | | | | | | | | | | |
| 1 | 20 | 5400 | 7000 | | | | | | | | | | |
| 1 | 21 | 5400 | 7000 | | | | | | | | | | |
| 1 | 22 | 5400 | 7000 | | | | | | | | | | |
| 1 | 23 | 5400 | 7000 | | | | | | | | | | |
| 1 | 24 | 5400 | 7000 | | | | | | | | | | |
| 1 | 25 | 5400 | 7000 | | | | | | | | | | |
| 1 | 26 | 5400 | 7000 | | | | | | | | | | |
| 1 | 27 | 5400 | 7000 | | | | | | | | | | |
| 1 | 28 | 5400 | 7000 | | | | | | | | | | |
| 1 | 29 | 5400 | 7000 | | | | | | | | | | |
| 1 | 30 | 5400 | 7000 | | | | | | | | | | |
| 1 | 31 | 5400 | 7000 | | | | | | | | | | |
| 1 | 32 | 5400 | 7000 | | | | | | | | | | |
| 1 | 33 | 5400 | 7000 | | | | | | | | | | |
| 1 | 34 | 5400 | 7000 | | | | | | | | | | |
| 1 | 35 | 5400 | 7000 | | | | | | | | | | |
| 1 | 36 | 5400 | 7000 | | | | | | | | | | |
| 1 | 37 | 5400 | 7000 | | | | | | | | | | |
| 1 | 38 | 5400 | 7000 | | | | | | | | | | |
| 1 | 39 | 5400 | 7000 | | | | | | | | | | |
| 1 | 40 | 5400 | 7000 | | | | | | | | | | |
| 1 | 41 | 5400 | 7000 | | | | | | | | | | |
| 1 | 42 | 5400 | 7000 | | | | | | | | | | |
| 1 | 43 | 5400 | 7000 | | | | | | | | | | |
| 1 | 44 | 5400 | 7000 | | | | | | | | | | |
| 1 | 45 | 5400 | 7000 | | | | | | | | | | |
| 1 | 46 | 5400 | 7000 | | | | | | | | | | |
| 1 | 47 | 5400 | 7000 | | | | | | | | | | |
| 1 | 48 | 5400 | 7000 | | | | | | | | | | |
| 1 | 49 | 5400 | 7000 | | | | | | | | | | |
| 1 | 50 | 5400 | 7000 | | | | | | | | | | |
| 1 | 51 | 5400 | 7000 | | | | | | | | | | |
| 1 | 52 | 5400 | 7000 | | | | | | | | | | |
| 1 | 53 | 5400 | 7000 | | | | | | | | | | |
| 1 | 54 | 5400 | 7000 | | | | | | | | | | |
| 1 | 55 | 5400 | 7000 | | | | | | | | | | |
| 1 | 56 | 5400 | 7000 | | | | | | | | | | |
| 1 | 57 | 5400 | 7000 | | | | | | | | | | |
| 1 | 58 | 5400 | 7000 | | | | | | | | | | |
| 1 | 59 | 5400 | 7000 | | | | | | | | | | |
| 1 | 60 | 5400 | 7000 | | | | | | | | | | |
| 1 | 61 | 5400 | 7000 | | | | | | | | | | |
| 1 | 62 | 5400 | 7000 | | | | | | | | | | |
| 1 | 63 | 5400 | 7000 | | | | | | | | | | |
| 1 | 64 | 5400 | 7000 | | | | | | | | | | |
| 1 | 65 | 5400 | 7000 | | | | | | | | | | |
| 1 | 66 | 5400 | 7000 | | | | | | | | | | |
| 1 | 67 | 5400 | 7000 | | | | | | | | | | |
| 1 | 68 | 5400 | 7000 | | | | | | | | | | |
| 1 | 69 | 5400 | 7000 | | | | | | | | | | |
| 1 | 70 | 5400 | 7000 | | | | | | | | | | |
| 1 | 71 | 5400 | 7000 | | | | | | | | | | |
| 1 | 72 | 5400 | 7000 | | | | | | | | | | |
| 1 | 73 | 5400 | 7000 | | | | | | | | | | |
| 1 | 74 | 5400 | 7000 | | | | | | | | | | |
| 1 | 75 | 5400 | 7000 | | | | | | | | | | |
| 1 | 76 | 5400 | 7000 | | | | | | | | | | |
| 1 | 77 | 5400 | 7000 | | | | | | | | | | |
| 1 | 78 | 5400 | 7000 | | | | | | | | | | |
| 1 | 79 | 5400 | 7000 | | | | | | | | | | |
| 1 | 80 | 5400 | 7000 | | | | | | | | | | |
| 1 | 81 | 5400 | 7000 | | | | | | | | | | |
| 1 | 82 | 5400 | 7000 | | | | | | | | | | |
| 1 | 83 | 5400 | 7000 | | | | | | | | | | |
| 1 | 84 | 5400 | 7000 | | | | | | | | | | |
| 1 | 85 | 5400 | 7000 | | | | | | | | | | |
| 1 | 86 | 5400 | 7000 | | | | | | | | | | |
| 1 | 87 | 5400 | 7000 | | | | | | | | | | |
| 1 | 88 | 5400 | 7000 | | | | | | | | | | |
| 1 | 89 | 5400 | 7000 | | | | | | | | | | |
| 1 | 90 | 5400 | 7000 | | | | | | | | | | |
| 1 | 91 | 5400 | 7000 | | | | | | | | | | |
| 1 | 92 | 5400 | 7000 | | | | | | | | | | |
| 1 | 93 | 5400 | 7000 | | | | | | | | | | |
| 1 | 94 | 5400 | 7000 | | | | | | | | | | |
| 1 | 95 | 5400 | 7000 | | | | | | | | | | |
| 1 | 96 | 5400 | 7000 | | | | | | | | | | |
| 1 | 97 | 5400 | 7000 | | | | | | | | | | |
| 1 | 98 | 5400 | 7000 | | | | | | | | | | |
| 1 | 99 | 5400 | 7000 | | | | | | | | | | |
| 1 | 100 | 5400 | 7000 | | | | | | | | | | |



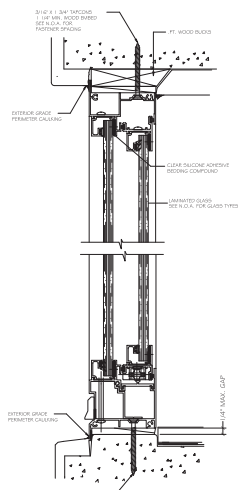
1 EXISTING WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



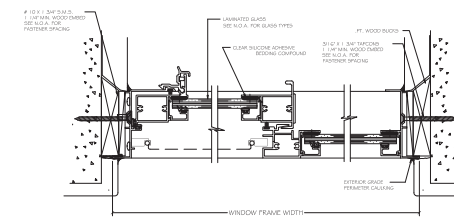
3 EXTERIOR WINDOW ELEVATION
SCALE: N.T.S.



4 TYPICAL WINDOW VERTICAL SECTION DETAIL
SCALE: N.T.S.

| NO. | TYPE | WINDOW SIZES | | THICKNESS | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.F. ALUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|-------|--------------|--------|-----------|----------|-------------|-----------------|--------------------|-------|------|--------------|---------|
| | | WIDTH | HEIGHT | | | | | | | | | |
| 1 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 2 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 3 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 4 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 5 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 6 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 7 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 8 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 9 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 10 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 11 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 12 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 13 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 14 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 15 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 16 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 17 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 18 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 19 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |
| 20 | FIXED | 3'-0" | 4'-0" | 1/2" | ALUMINUM | GLASS | WOOD | BRN | CL | NC | 1 | |

VERIFY QUANTITY AND HARDWARE REQUIREMENTS. COMPLY WITH ALL PREVAILING STATE AND LOCAL CODES.



5 TYPICAL WINDOW HORIZONTAL SECTION DETAIL
SCALE: N.T.S.

- GENERAL NOTES FOR EXISTING CONDITIONS:
- EXISTING FIRE DEPARTMENT SHAMESH CONNECTION TO REMAIN.
 - EXISTING EXTERIOR FLOOR TO REMAIN.
 - EXISTING DOOR/DOOR FRAME TO REMAIN.
 - EXISTING EXTERIOR WINDOWS TO REMAIN.
 - EXISTING KIDL DOWN DOOR TO REMAIN.
 - EXISTING METAL GATE TO REMAIN.
 - EXISTING ALUMINUM COVER TO REMAIN.
 - EXISTING EXTERIOR BLOCK WALL TO CREATE A WINDOW OPENING. PROVIDE 1 1/2" PRECAST SOLID UNITS BY CAST-CRETE CORPORATION U.S.A. 1 1/2" GROUT. SEE WINDOW OPENING DETAIL (2) ON SHEET D-01 D.O.
 - EXISTING EXTERIOR KITCHEN EXHAUST DUCT TO BE REMOVED.

| REVISIONS | |
|-----------|-----------------------------|
| ▲ | BLDG. DEP. COMM. 05-15-2012 |
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CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

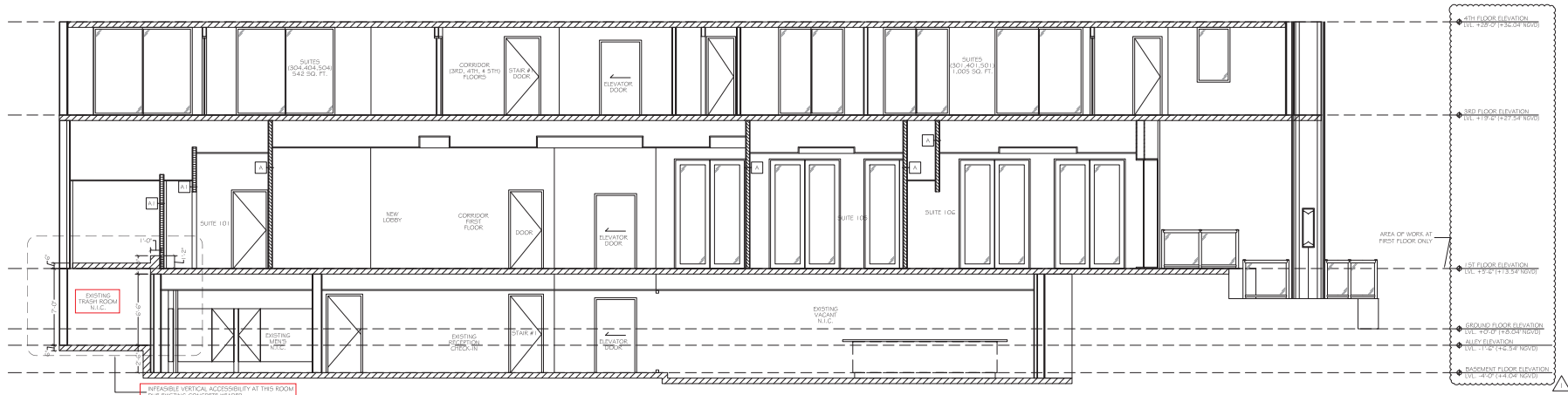
PROJECT No: 1202
DRAWN BY: V.D.
CHECKED BY: L.J.
DATE: BUILDING PERMIT 06-04-2012

LARRY JOHNSTON ARCHITECT
ARCHITECTURE - PLANNING
15555 NE 5TH COURT MIAMI, FL 33162
FLORIDA REGISTRATION # A00014302
PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING & PROPOSED WEST EXTERIOR ELEVATIONS

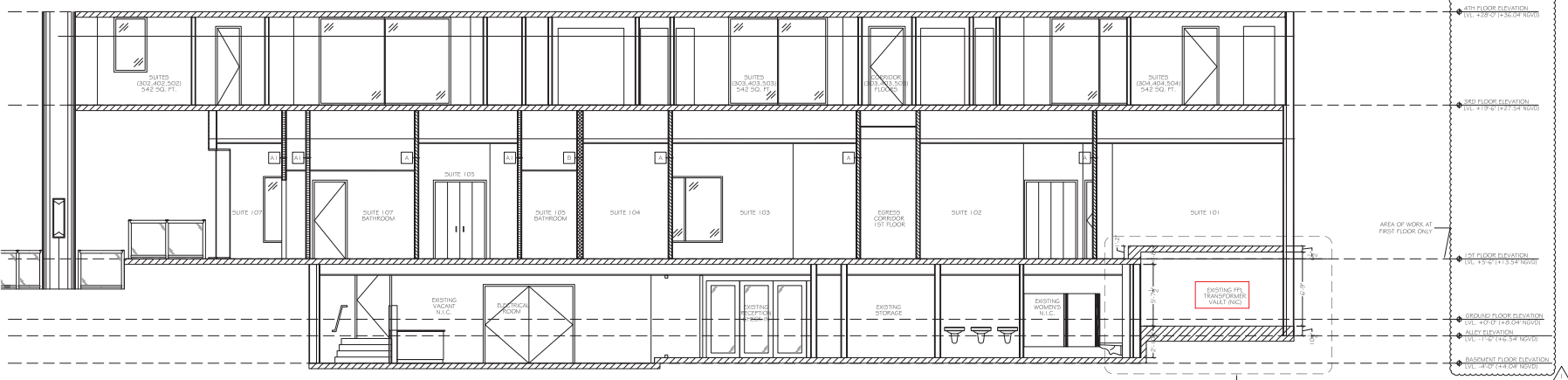
A-052

DRAWING No. 13 OF 27



I NORTH BUILDING SECTION
SCALE: 1/4" = 1'-0"

| TYPE | PATTERN | DESCRIPTION | THICKNESS |
|------|---------|---|-----------|
| | | EXISTING EXTERIOR WALL TO REMAIN | 3 |
| | | EXISTING INTERIOR WALL TO REMAIN (68 PLUMB ROOM) | 2 |
| A | | NEW 3/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (68 PLUMB ROOM) | 1 |
| AT | | NEW 3/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (NO RATED REQUIRED) (NO SOUND ATTENUATION) | 1 |
| B | | NEW 3/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (68 PLUMB ROOM) | 1 |
| BT | | NEW 3/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (NO RATED REQUIRED) (NO SOUND ATTENUATION) | 1 |
| C | | NEW 2" SIP OR 3" SIP METAL STUD FRAMING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |
| CT | | NEW 2" SIP OR 3" SIP METAL STUD FRAMING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |
| D | | NEW 3/8" METAL STUD FRAMING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |
| DT | | NEW 3/8" METAL STUD FRAMING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |



I SOUTH BUILDING SECTION
SCALE: 1/4" = 1'-0"

REVISIONS

| | |
|---|--------------------------------|
| 1 | B.L.D.G. DEP. COMM. 08-15-2012 |
| 2 | |
| 3 | |
| 4 | |

CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

PROJECT No: 1202
DRAWN BY: V.D.
CHECKED BY: L.J.
DATE: BUILDING PERMIT 06-04-2012

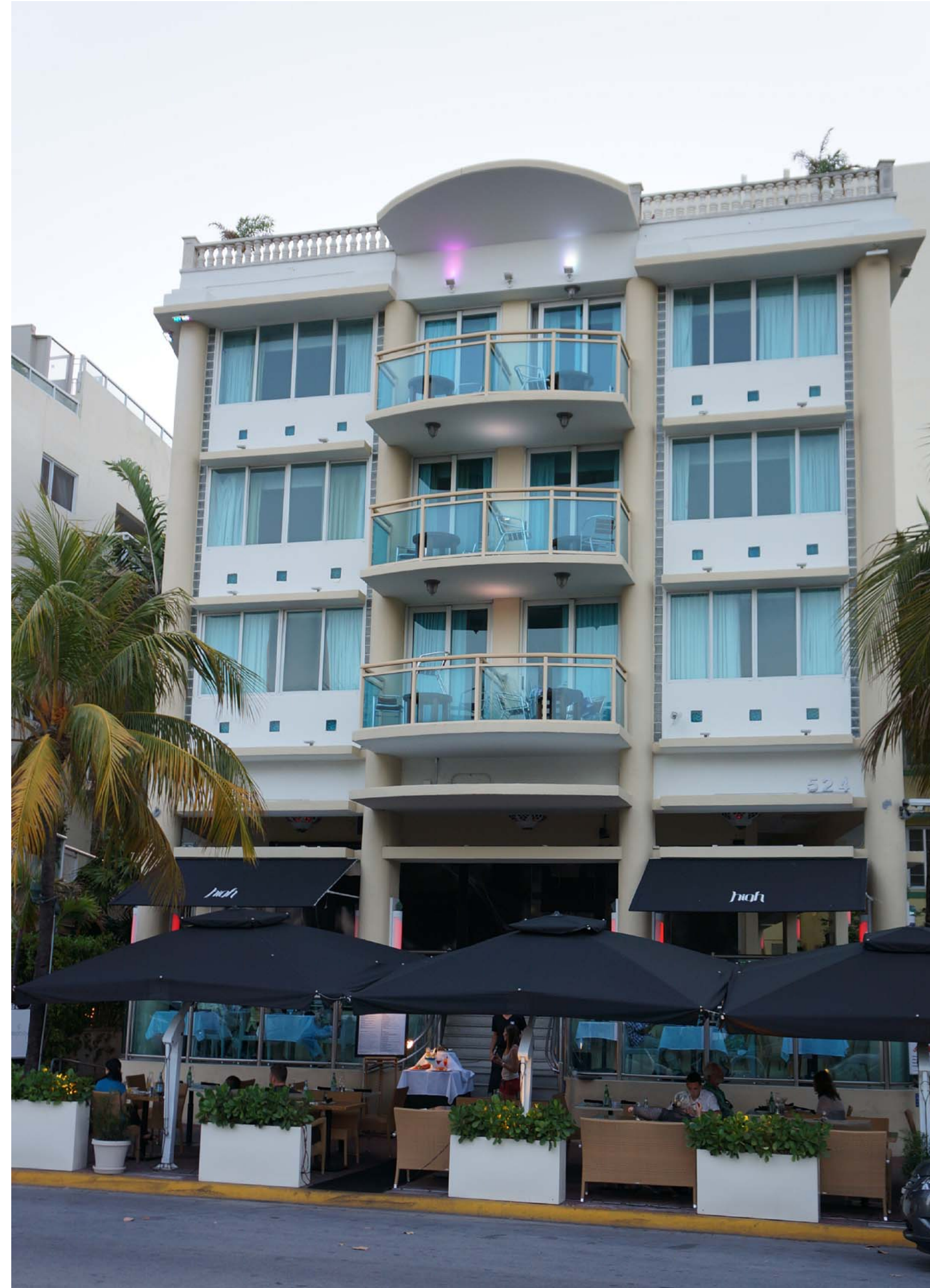
LARRY JOHNSTON ARCHITECT
ARCHITECTURE - PLANNING
15555 NE 5TH COURT MIAMI, FL 33162
FLORIDA REGISTRATION # ARO014302
PHONE: 305-944-6966 FAX: 305-944-6935

BUILDING SECTIONS

A-060
DRAWING No. 14 OF 27

CASANOVA SUITES MIAMI

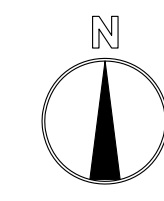
"1ST FLOOR" SUITE ROOMS
 INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139



1 EXTERIOR EAST PHOTOGRAPHY
 SCALE: N.T.S.



1 LOCATION MAP
 SCALE: 1/64" = 1'-0"



| REVISIONS |
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CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No:
 1202

DRAWN BY:
 V.D.

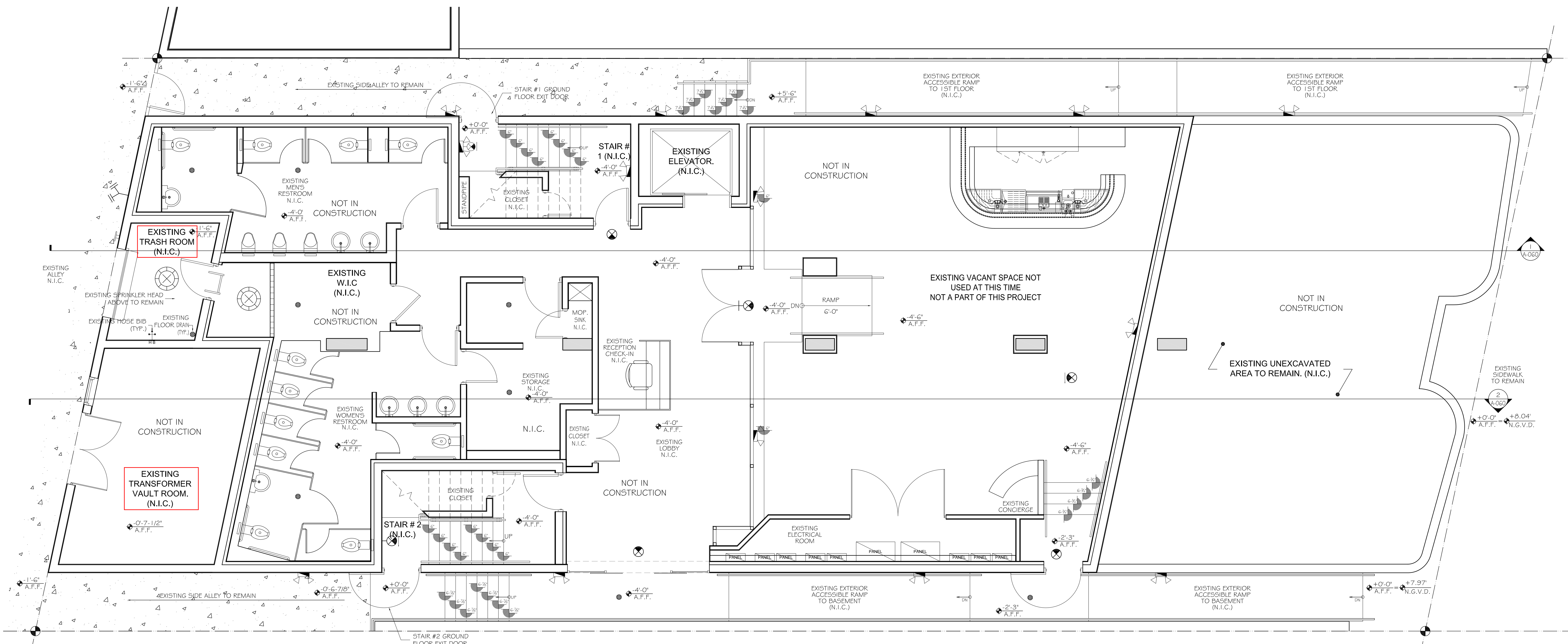
CHECKED BY:
 L.J.

DATE:
 BUILDING PERMIT
 06-04-2012

L LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
 FLORIDA REGISTRATION # AROO14302
 PHONE: 305-944-6966 FAX: 305-944-6935

TITLE SHEET
 LOCATION MAP
 INDEX OF
 DRAWINGS

T-000
 DRAWING No. 0 OF 27



1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

**FLOOR PLAN AS A
REFERENCE ONLY
NOT IN CONSTRUCTION**

| REVISIONS | |
|-----------|-----------------------------|
| △ | BLDG. DEP. COMM. 08-15-2012 |
| △ | |
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| △ | |

CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No:
1202

DRAWN BY:
V.D.

CHECKED BY:
L.J.

DATE:
BUILDING PERMIT
06-04-2012

LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
 FLORIDA REGISTRATION # AROO14302
 PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING
BASEMENT
FLOOR
PLAN

A-010

DRAWING No. 5 OF 27

| |
|-------------------------------|
| REVISIONS |
| ▲ BLDG. DEP. COMM. 08-15-2012 |
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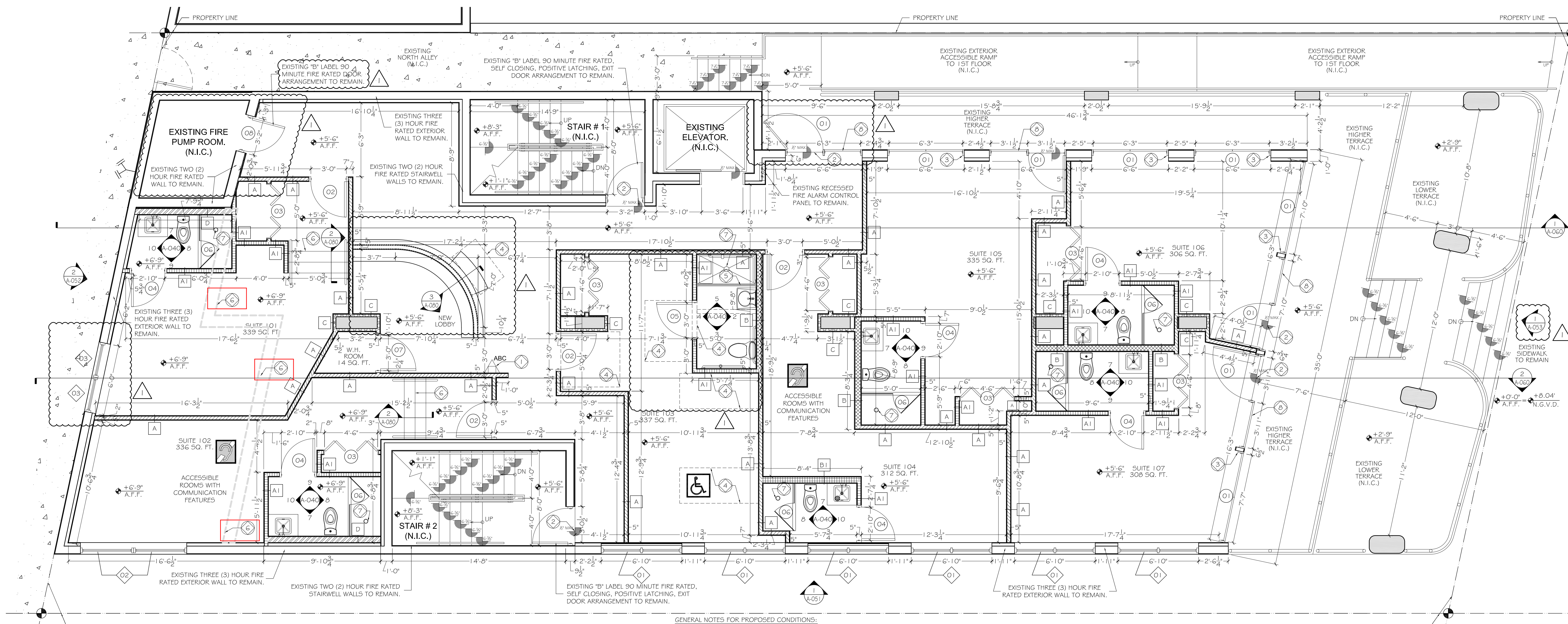
CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

PROJECT No: 1202
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LARRY JOHNSTON ARCHITECT
 ARCHITECTURE - PLANNING
 15555 NE 5TH COURT MIAMI, FL 33162
 FLORIDA REGISTRATION # ARO014302
 PHONE: 305-944-6966 FAX: 305-944-6935

PROPOSED FIRST FLOOR PLAN

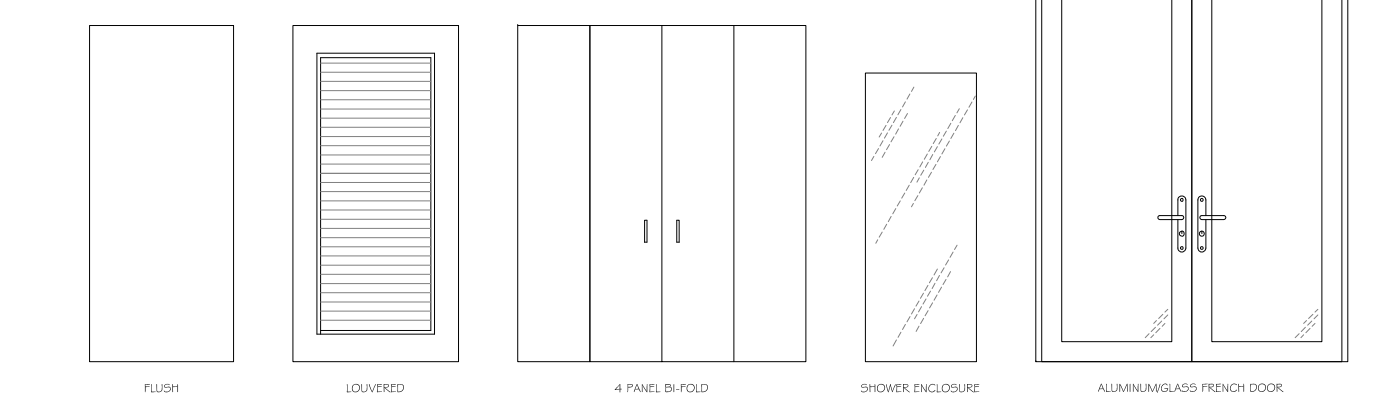
A-011
 DRAWING No. 6 OF 27



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

| NUMBER OF ROOMS | REQUIRED ACCESSIBLE ROOMS | PROVIDED ACCESSIBLE ROOMS | REQUIRED ROOMS WITH ROLL-IN SHOWERS | PROVIDED ROOMS WITH ROLL-IN SHOWERS | REQUIRED GUEST ROOMS WITH COMMUNICATION FEATURES | PROVIDED GUEST ROOMS WITH COMMUNICATION FEATURES |
|-----------------|---------------------------|---------------------------|-------------------------------------|-------------------------------------|--|--|
| 1 TO 25 | 1 | 1 | 0 | 0 | 2 | 2 |
| 26 TO 50 | 2 | 2 | 0 | 0 | 4 | 4 |
| 51 TO 75 | 3 | 3 | 1 | 1 | 7 | 7 |
| 76 TO 100 | 4 | 4 | 1 | 1 | 9 | 9 |

- GENERAL NOTES FOR PROPOSED CONDITIONS:
- PROVIDE FIRE EXTINGUISHER MODEL PRO 4 BY KIDDE OR SIMILAR, MOUNTED @ 5'-0" MAX. A.F.F. TO TOP OF EXTINGUISHER. "UL=2A:1 DB-C".
 - FLOOR LEVEL CHANGES IN EXCESS OF 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1 IN 2. (NFPA 101-7.2.1.3.4).
 - USE SINGLE PANE, 1/2" GLASS 3" AIR SPACE MINIMUM "SLIDING GLASS DOOR SYSTEM" BY SOUNDPROOF WINDOWS INC. OR SIMILAR TO ACT AS A SOUND BARRIER FOR EXISTING STOREFRONT. SEE DETAIL 4 ON SHEET A-071.
 - DENOTES ACCESSIBLE CLEAR FLOOR SPACE.
 - NEW 2-1/4" WIDE REVEAL BY 60" LONG STAINLESS STEEL SLOTTED CHANNEL DRAIN MODEL "289 1" BY ZURN OR SIMILAR.
 - INFEASIBLE VERTICAL ACCESSIBILITY AT THIS ROOMS DUE EXISTING CONCRETE HEADER FOR TRASH ROOM AND TRANSFORMER VAULT ROOM. SEE SHEET A-010 (EXISTING BASEMENT PLAN) FOR ROOMS LOCATION AND A-060 OWNER TO REQUEST WAIVER FROM ACCESSIBILITY REQUIREMENTS OF CHAPTER 553, PART V, FLORIDA STATUTES ALONG WITH THIS PERMIT TO FLORIDA BUILDING COMMISSION.
 - NEW BODY ASSEMBLY SHOWER DRAIN WITH "TYPE SC" STRAINER MODEL "24155C" BY ZURN OR SIMILAR. SEE DETAIL 11 ON SHEET A-040 FOR SHOWER PAN SECTION DETAIL.
 - EXISTING DOOR PANEL TO BE PERMANENTLY CLOSE AT ALL TIMES.



| QUANTITY | DOOR # | DOOR SIZES | | | DOOR TYPE (SEE 2 ON THIS SHEET) | DESCRIPTION | DOOR MATERIAL | | FRAME | THRESHOLD | GLASS | TINT | HARDWARE | RATING LABEL | REMARKS |
|----------|--------|------------|--------|-----------|---------------------------------|-------------|---------------|-------|-------|-----------|-------|------|----------|--------------|---------|
| | | WIDTH | HEIGHT | THICKNESS | | | WOOD | METAL | | | | | | | |
| 1 | 1 | 2'-4" | 7'-0" | 1-3/4" | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD |

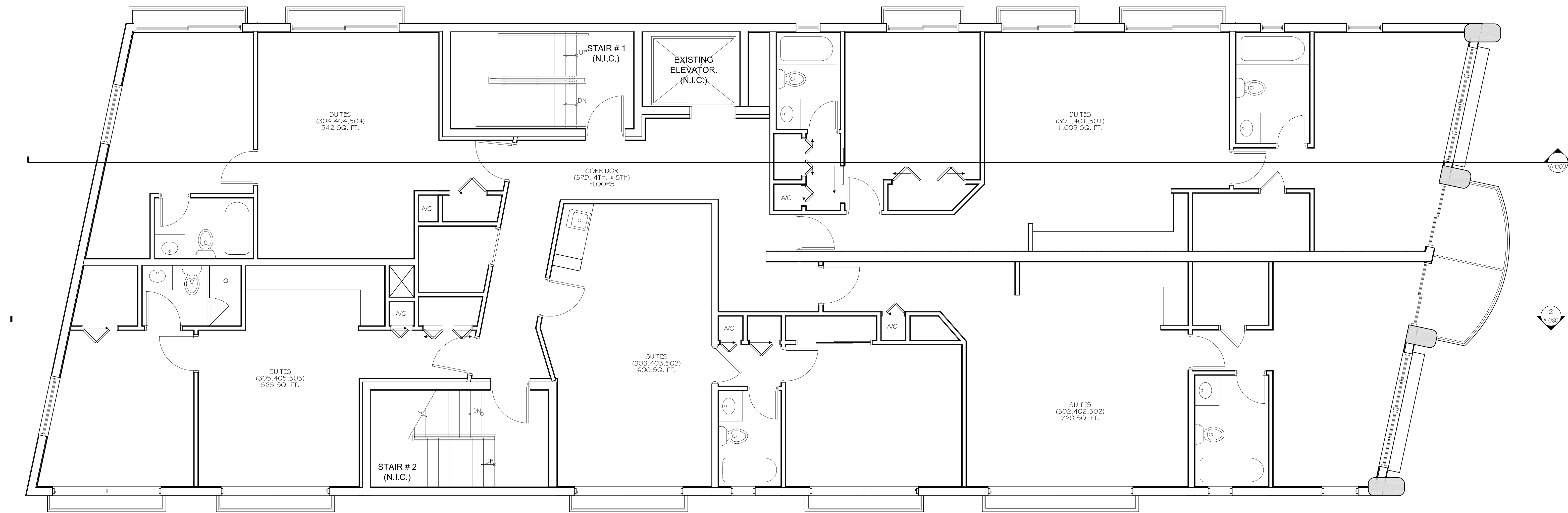
- DOOR NOTES:
- THE GENERAL CONTRACTOR SHALL SILICONE CAULK THE DOOR JAMBS TO THE WALL ON WHICH THEY ARE INSTALLED.
 - THE GENERAL CONTRACTOR SHALL INSTALL WEATHER STRIPPING AND SWEEPS ON ALL DOORS IN A MANNER TO INSURE THAT THE DOORS ARE LIGHT-TIGHT ON ALL FOUR SIDES.
 - ALL THRESHOLDS TO BE SET IN DOUBLE FACED CAULKING TAPE AND PER ADA SLOPE AND HEIGHT.
 - PROVIDE SPRAY FOAM AT ALL DOOR JAMBS AND HEAD SHIMS PRIOR TO FINAL TRIM.
 - ALL DOORS IN COMMON AREAS SHALL RECEIVE ADA COMPLIANT SIGNS STATING THE ROOMS USE.
 - THE GENERAL CONTRACTOR SHALL VERIFY THE ABILITY TO REUSE EXISTING DOORS AND COORDINATE THEIR REUSABILITY WITH THE OWNER.
 - DOORS IN ALL AC CLOSETS SHALL BE OF NON-COMBUSTIBLE MATERIALS WHICH SHALL BE TREATED IN ORDER TO ACHIEVE COMPLIANCE WITH A FLAME SPREAD RATING NOT GREATER THAN 25 AND A SMOKE DEVELOPMENT RATING NOT GREATER THAN 50.
 - ALL EGRESS DOORS SHALL HAVE PANIC HARDWARE AS REQUIRED.
 - EGRESS GATES AT PATIOS SHALL HAVE FREE SWING HARDWARE AND/OR SHALL NOT HAVE PREVENTATIVE LATCH FOR EXITING.
- HARDWARE NOTES:
- THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL HARDWARE AT ENTRY/EXIT DOORS COMPLIES WITH 2010 F.F.P.C. AND THE 2010 F.F.B.C.
 - ALL DOOR ACTIVATING HARDWARE SHALL BE INSTALLED BETWEEN 2'-6" AND 3'-0" A.F.F.
 - ALL DOORS TO BE KEYPED PER DIRECTIONS FROM OWNER.
 - ALL CLOSERS TO BE ADJUSTED TO 5 LB. MAX. FORCE/3 SECONDS.
 - EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL OR SPECIAL KNOWLEDGE OR EFFORT.
 - PROVIDE DOOR SILENCERS (3 PER DOOR) AT ALL DOORS. SILENCERS BY BALDWIN, #4035 FOR METAL FRAMES, #4036 FOR WOOD FRAMES.
 - ONLY PANIC HARDWARE APPROVED BY THE LOCAL FIRE MARSHALL SHALL BE INSTALLED.

| QUANTITY | WINDOW # | WINDOW SIZES | | | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.P. ALUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|----------|----------|--------------|--------|-----------|-------|-------------|-----------------|--------------------|-------|------|--------------|---------|
| | | WIDTH | HEIGHT | THICKNESS | | | | | | | | |
| 1 | 1 | 2'-4" | 7'-0" | 1-3/4" | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | WOOD | |

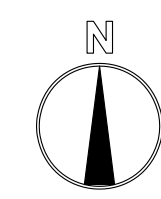
VERIFY QUANTITY AND HARDWARE REQUIREMENTS. COMPLY WITH ALL PREVAILING STATE AND LOCAL CODES.

| TYPE | PATTERN | DESCRIPTION | RATING |
|------|--------------------|---|--------|
| | (Solid) | EXISTING EXTERIOR WALL TO REMAIN | 3 |
| | (Dashed) | EXISTING INTERIOR WALL TO REMAIN. (@ PUMP ROOM) | 2 |
| A | (Horizontal Lines) | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN NO. U413) | 1 |
| AI | (Vertical Lines) | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (NO RATED REQUIRED) / NO SOUND ATTENUATION | 0 |
| B | (Diagonal Lines) | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN NO. U430) | 1 |
| BI | (Cross-hatch) | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (NO RATED REQUIRED) / NO SOUND ATTENUATION | 0 |
| C | (Stippled) | NEW 2 5/8" OR 3 5/8" METAL STUD PURRING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |
| D | (Diagonal Lines) | NEW 6" METAL STUD PLUMBING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |

- GENERAL NOTES:
- DIMENSIONS SHOWN ARE NOMINAL. ACTUAL DIMENSIONS MAY VARY.
 - ANY CUTTING OF EXISTING DEMISING PARTITIONS SHALL BE PATCHED TO RESTORE FIRE RATING LEVEL. SEE A-071 FOR U.L. DETAILS.
 - ALL MISSING, BROKEN, CRACKED, AND UPLIFTED CONCRETE FLOORS SHALL BE RECONSTRUCTED.
 - SEE A-050 TO A-052 FOR WIND LOAD PRESSURES AND NOTICE OF ACCEPTANCE FOR NEW WINDOWS.
 - SEE A-040 FOR RESTROOM ENLARGED PLANS, INTERIOR ELEVATIONS, AND PLUMBING SCHEDULE.
 - ALL DOORS IN A MEANS OF EGRESS TO BE EQUIPPED W/LOCKING AND LATCHING HARDWARE THAT DOES NOT REQUIRE A KEY. ALL DOORS TO COMPLY WITH NFPA 101.
 - +8.04' N.G.V.D. TO BE EQUAL TO +0'-0" A.F.F.
 - SEE PROJECT SUMMARY ON SHEET T-001 FOR INTERIOR FLOOR, WALL & CEILING FINISHES.
 - SEE SHEET A-090 FOR FURNITURE PLAN.
 - EXTERIOR WINDOWS TO BE UNDER SEPARATE PERMIT.
 - FIRE PROTECTION CONTRACTOR SHALL PROVIDE FULLY DESCRIPTIVE SHOP DRAWINGS WITH HYDRAULIC CALCULATIONS TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION PRIOR TO ANY WORK BEING PERFORMED.
 - FIRE ALARM CONTRACTOR SHALL SUBMIT COMPLETE WIRING DIAGRAM SHOP DRAWINGS INCLUDING BATTERY CALCULATIONS FOR APPROVAL BY THE AUTHORITY HAVING JURISDICTION PRIOR TO ANY WORK BEING PERFORMED.
 - NO WORK TO BE PERFORMED IN EXISTING STAIRWELL.
 - SEE A-010 FOR STAIRWELL BUILDING DOOR EXITS AT GROUND FLOOR LEVEL.
 - NO PIPING OR CONDUIT RUNNING THROUGH AN EXIT ENCLOSURE SHALL BE ALLOW AS PER FLORIDA FIRE PREVENTION CODE 7.1.3.2
- PUBLIC WORKS DEPARTMENT NOTES
- NO ENCROACHMENTS ABOVE AND UNDER GROUND ARE ALLOWED INTO THE RIGHT-OF-WAY
 - LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY, IF ANY, MUST BE APPROVED BY THE CITY OF MIAMI BEACH PARKS & RECREATION GREEN SPACE PRIOR TO A CITY OF MIAMI BEACH PUBLIC WORKS RIGHT-OF-WAY CONSTRUCTION PERMIT.
 - IMPROVEMENTS AND WORK WITHIN THE RIGHT-OF-WAY REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.



1 EXISTING (3RD, 4TH, 5TH) TYPICAL FLOOR PLANS
SCALE: 1/4" = 1'-0"



**FLOOR PLAN AS A
REFERENCE ONLY
NOT IN CONSTRUCTION**

| REVISIONS |
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CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

PROJECT No:
1202

DRAWN BY:
V.D.

CHECKED BY:
L.J.

DATE:
BUILDING PERMIT
06-04-2012

LARRY JOHNSTON ARCHITECT
ARCHITECTURE - PLANNING
15555 NE 5TH COURT MIAMI, FL 33162
FLORIDA REGISTRATION # ARO014302
PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING
(3RD, 4TH, 5TH)
TYPICAL
FLOOR
PLANS

A-012

DRAWING No. 7 OF 27

| REVISIONS | |
|-----------|-----------------------------|
| ▲ | BLDG. DEP. COMM. 08-15-2012 |
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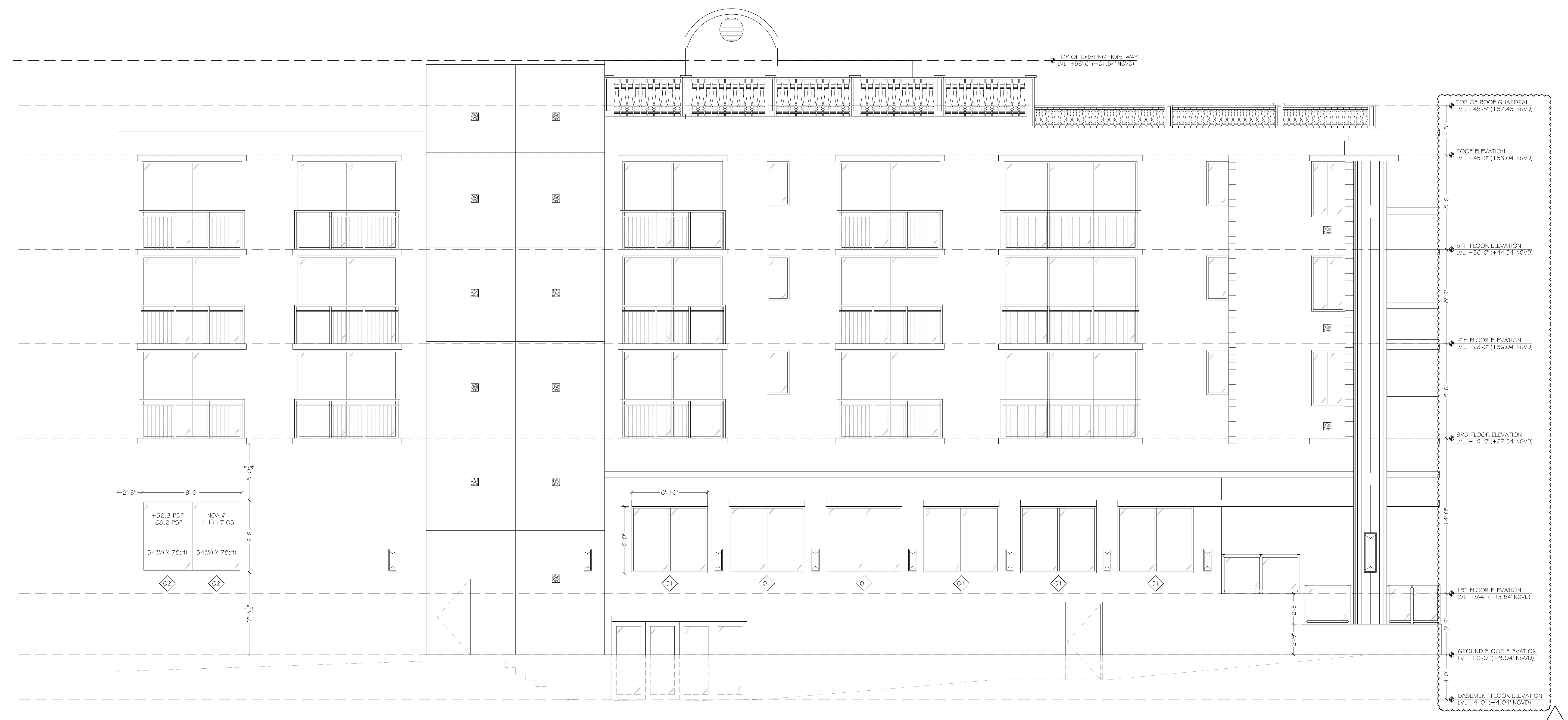
CASANOVA SUITES
 "1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
 524 OCEAN DRIVE
 MIAMI BEACH, FL 33139

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 15555 NE 5TH COURT MIAMI, FL 33162
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 PHONE: 305-944-6966 FAX: 305-944-6935

PROPOSED SOUTH EXTERIOR ELEVATION

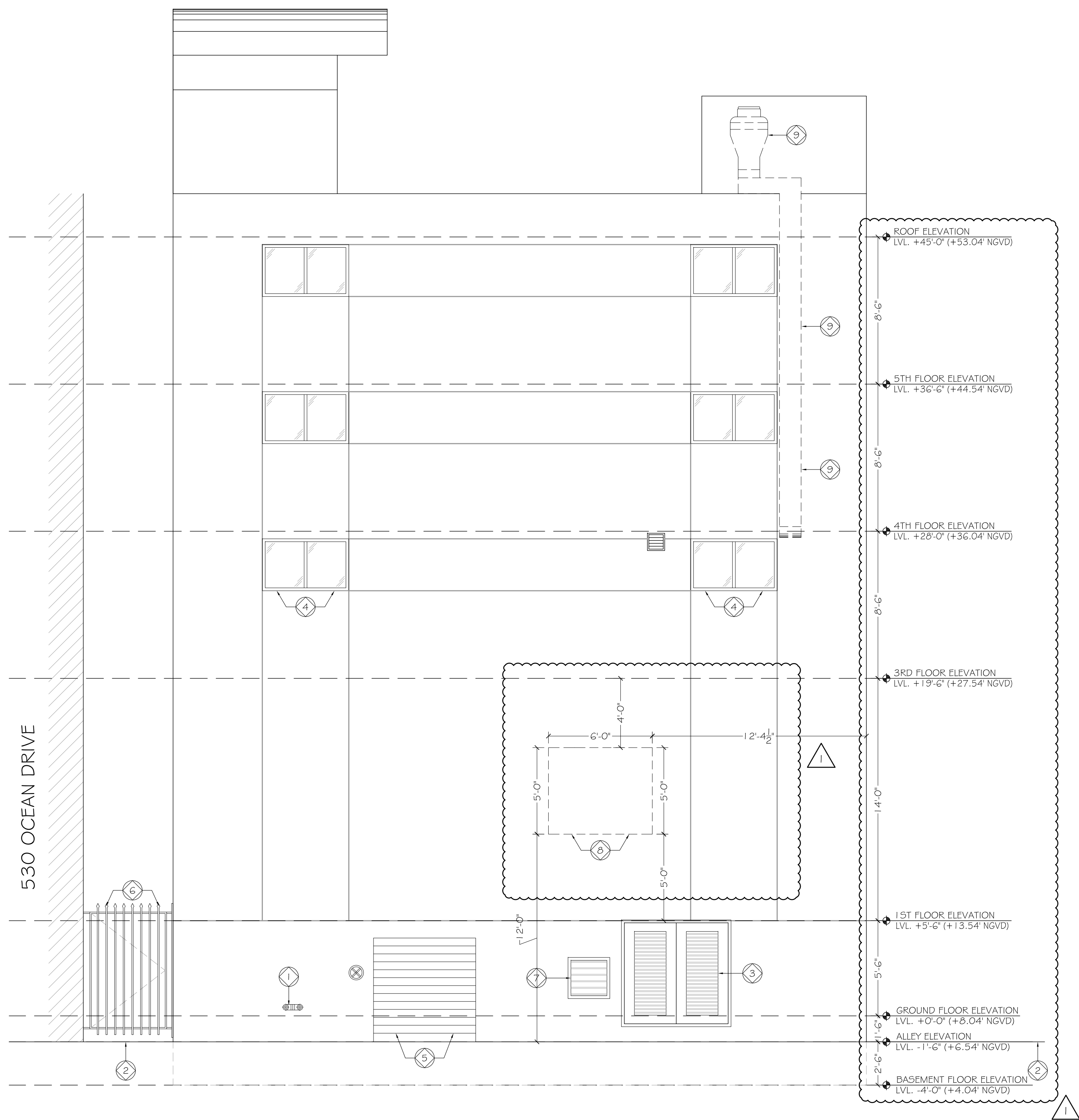
A-051
 DRAWING No. 12 OF 27



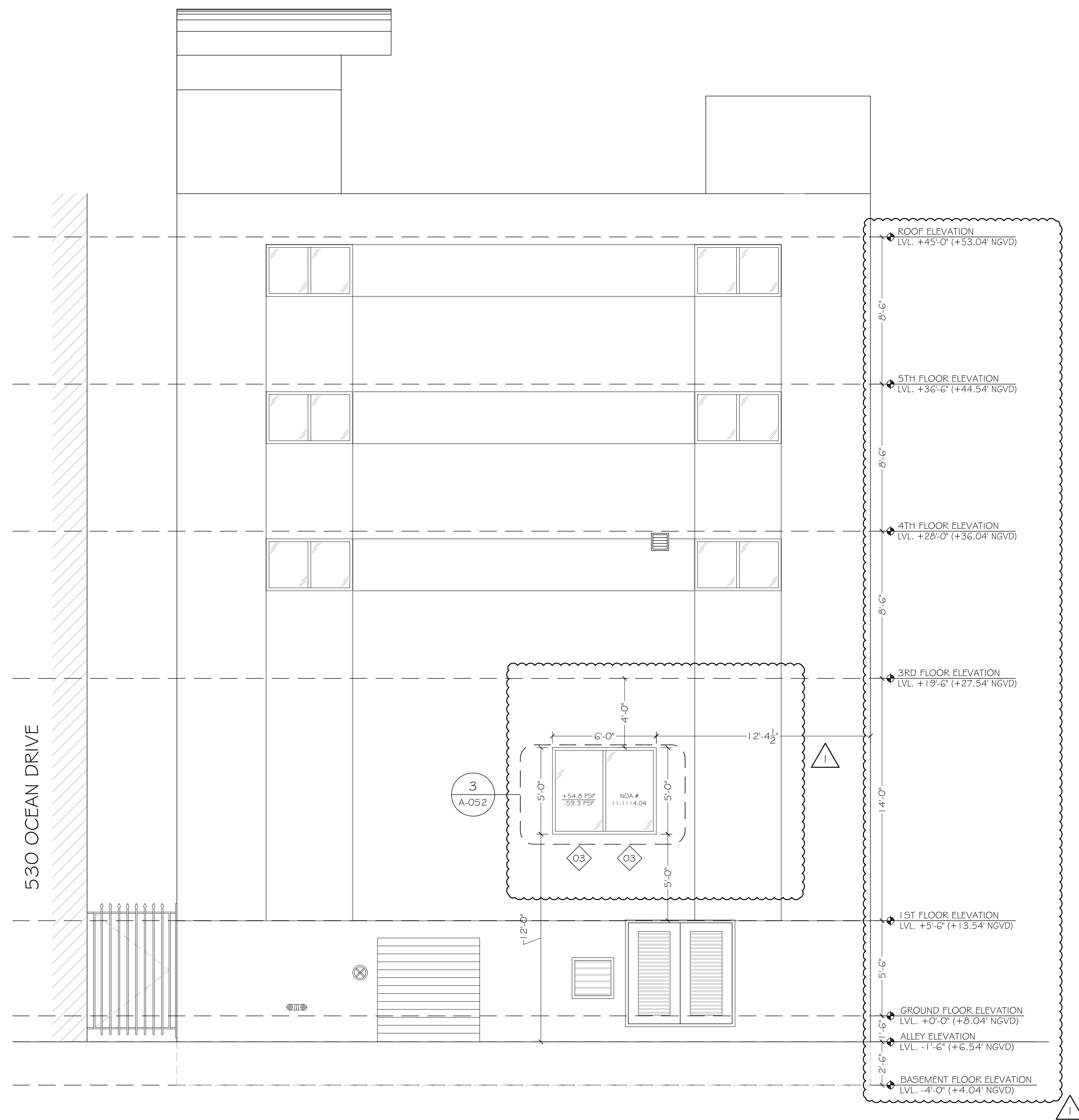
1 PROPOSED SOUTH EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"

| QTY | E1 | QUANTITY | WINDOW # | WINDOW SIZES | | | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.P. ALLUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|----|----------|----------|--------------|--------|-----------|----------|-------------|-----------------|---------------------|-------|------|--------------|---------|
| | | | | WIDTH | HEIGHT | THICKNESS | | | | | | | | |
| 1 | 1 | 1 | 01 | 6'-10" | 6'-0" | 3/8" | ALUMINUM | WOOD | BLACK | CLAR | CL | CL | | |
| 1 | 1 | 1 | 02 | 5'-0" | 4'-6" | 3/4" | ALUMINUM | WOOD | BLACK | CLAR | CL | CL | | |

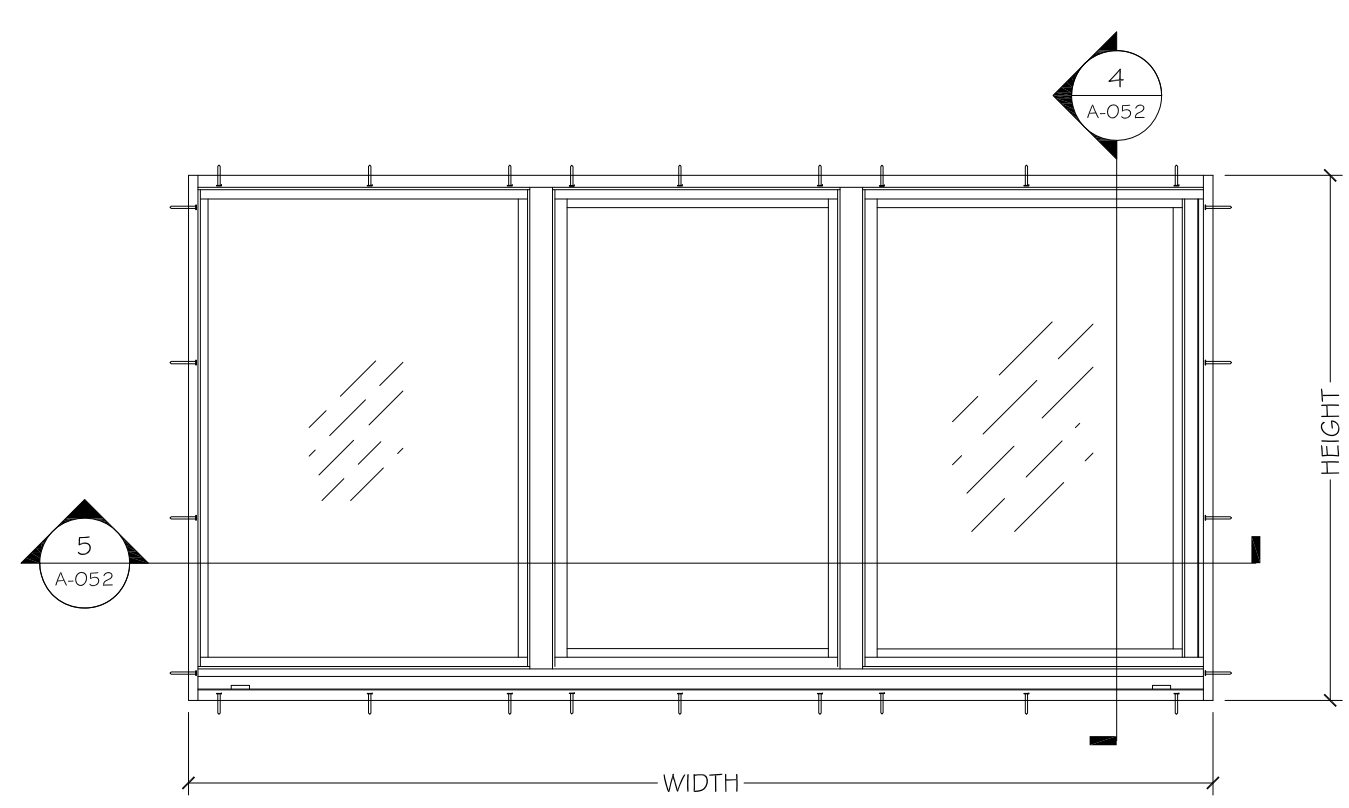
VERIFY QUANTITY AND HARDWARE REQUIREMENTS. COMPLY WITH ALL PREVAILING STATE AND LOCAL CODES.



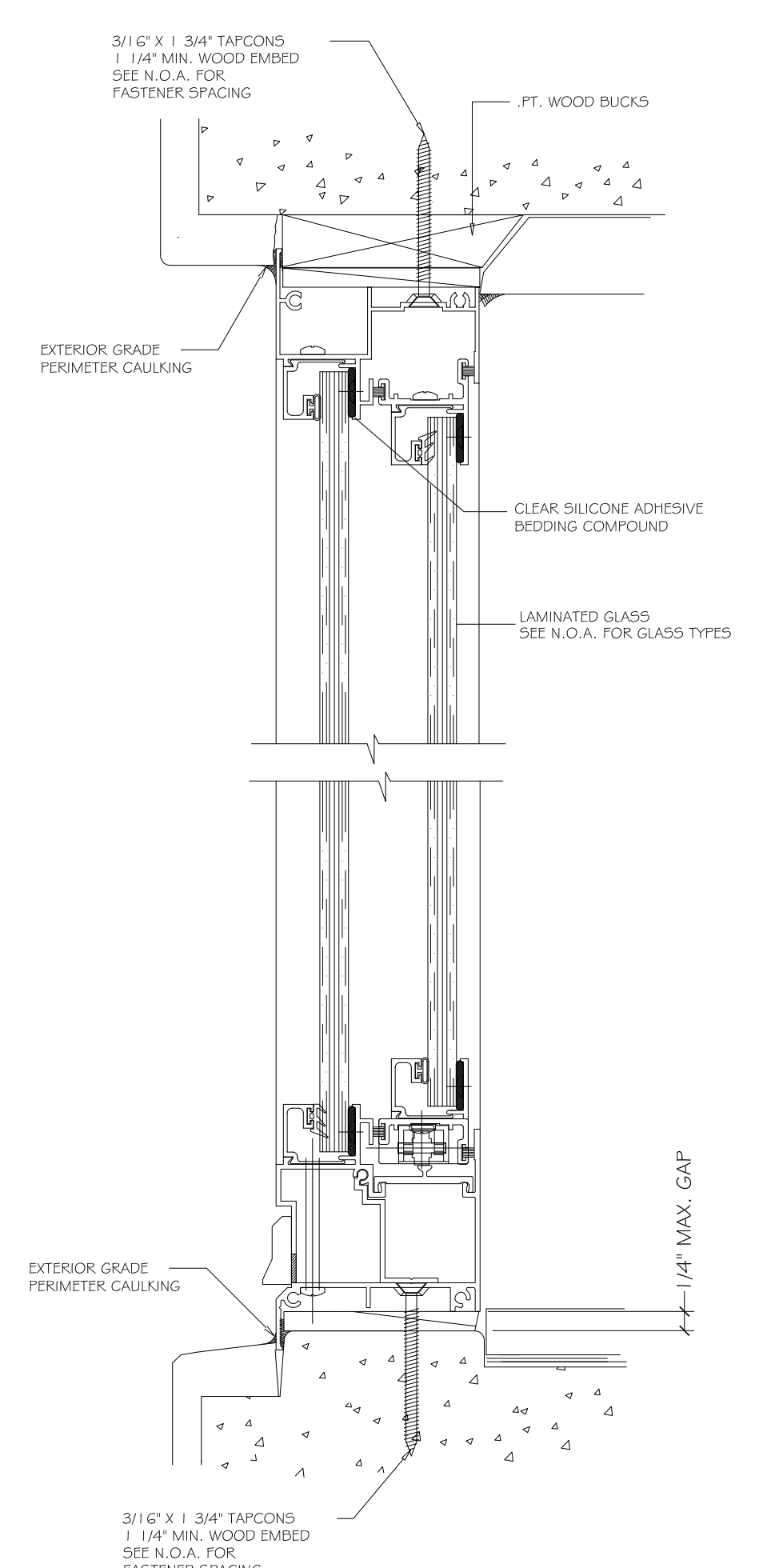
1 EXISTING WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



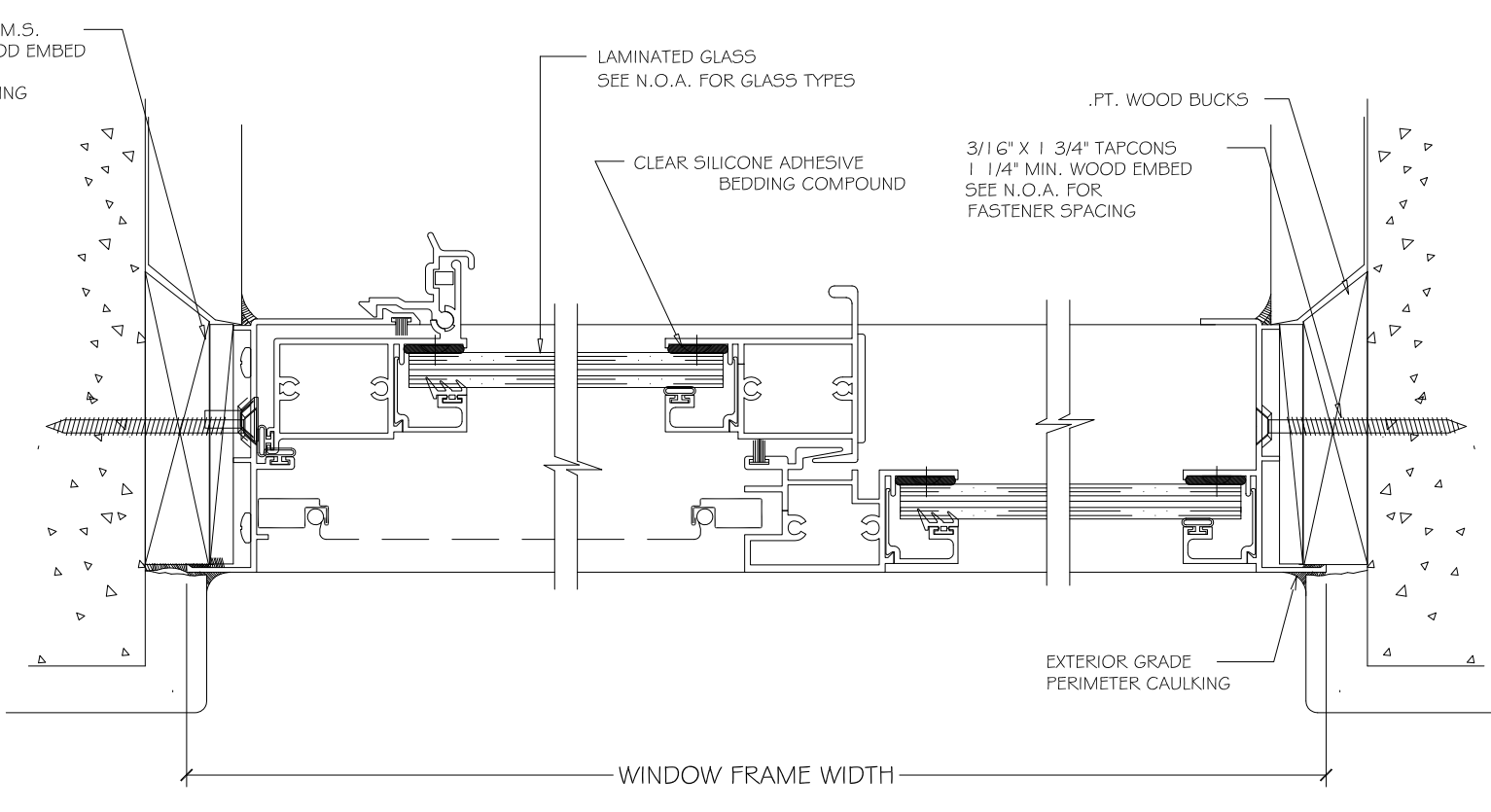
3 EXTERIOR WINDOW ELEVATION
SCALE: N.T.S.



4 TYPICAL WINDOW VERTICAL SECTION DETAIL
SCALE: N.T.S.

| QTY | WINDOW # | WINDOW SIZES | | | FRAME | WINDOW TYPE | WINDOW MATERIAL | E.S.P. ALUM. COLOR | GLASS | TINT | RATING LABEL | REMARKS |
|-----|----------|--------------|--------|------------|----------|--------------------|-----------------|--------------------|------------------|------|--------------|--|
| | | WIDTH | HEIGHT | THICKNESS | | | | | | | | |
| 1 | 3 | 6'-0" | 5'-0" | 12'-4 1/2" | ALUMINUM | HORIZONTAL SLIDING | WOOD | WHITE | IMPACT RESISTANT | None | None | EXISTING ALUMINUM HORIZONTAL SLIDING WINDOW SYSTEM SPEED IMPACT WALL 3000" BY ARCH ALUMINUM & GLASS COMPANY. NOTICE OF ACCEPTANCE 01-03-93 02. LARGE AND SMALL MISSILE IMPACT RESISTANT. NEW ALUMINUM HORIZONTAL SLIDING WINDOW FRAME SYSTEM SERIES 5000 RESISTOR BY WHITE GLASS & ALUMINUM SOLUTIONS, LLC. NOTICE OF ACCEPTANCE 11-11-17 03. LARGE AND SMALL MISSILE IMPACT RESISTANT. NEW ALUMINUM HORIZONTAL SLIDING WINDOW SERIES THE 717 BY PIV INDUSTRIES INC. NOTICE OF ACCEPTANCE 11-11-14 04. LARGE AND SMALL MISSILE IMPACT RESISTANT. |

VERIFY QUANTITY AND HARDWARE REQUIREMENTS. COMPLY WITH ALL PREVAILING STATE AND LOCAL CODES.



5 TYPICAL WINDOW HORIZONTAL SECTION DETAIL
SCALE: N.T.S.

- GENERAL NOTES FOR EXISTING CONDITIONS:
- 1 EXISTING FIRE DEPARTMENT SIAMESE CONNECTION TO REMAIN.
 - 2 EXISTING EXTERIOR FLOOR TO REMAIN.
 - 3 EXISTING DOOR/DOOR FRAME TO REMAIN.
 - 4 EXISTING EXTERIOR WINDOWS TO REMAIN.
 - 5 EXISTING ROLL DOWN DOOR TO REMAIN.
 - 6 EXISTING METAL GATE TO REMAIN.
 - 7 EXISTING ALUMINUM LOUVER TO REMAIN.
 - 8 CUT EXISTING EXTERIOR BLOCK WALL TO CREATE A WINDOW OPENING. PROVIDE 12" PRECAST SOLID UNTEL BY CAST-CRETE CORPORATION N.O.A. 12-0209.12. SEE WINDOW OPENING DETAIL (2) ON SHEET D-010.
 - 9 EXISTING EXTERIOR KITCHEN EXHAUST DUCT TO BE REMOVED.

REVISIONS

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|---|-----------------------------|
| ▲ | BLDG. DEP. COMM. 08-15-2012 |
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CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

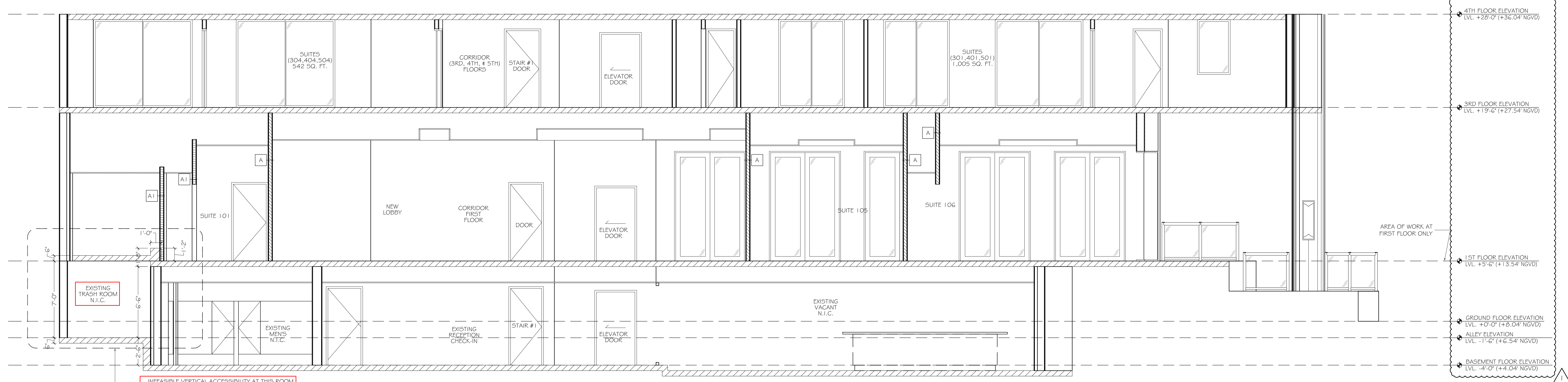
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ARCHITECTURE - PLANNING
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FLORIDA REGISTRATION # ARO014302
PHONE: 305-944-6966 FAX: 305-944-6935

EXISTING & PROPOSED WEST EXTERIOR ELEVATIONS

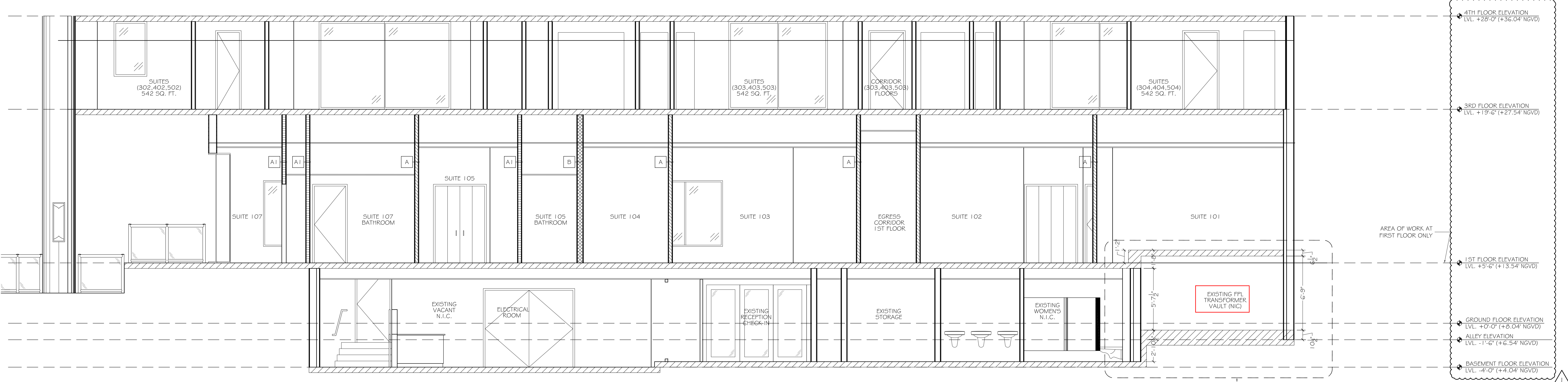
A-052

DRAWING No. 13 OF 27



I NORTH BUILDING SECTION
SCALE: 1/4" = 1'-0"

| NEW WALL LEGEND (SEE A-070 & A-071 FOR DETAILS) | | | |
|---|-----------|---|--------|
| TYPE | PATTERN | DESCRIPTION | RATING |
| | [Pattern] | EXISTING EXTERIOR WALL TO REMAIN | 3 |
| | [Pattern] | EXISTING INTERIOR WALL TO REMAIN. (@ PUMP ROOM) | 2 |
| A | [Pattern] | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN No. U419) | 1 |
| AI | [Pattern] | NEW 3 5/8" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. "NO RATED REQUIRED / NO SOUND ATTENUATION" | 0 |
| B | [Pattern] | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. (UL DESIGN No. U430) | 1 |
| BI | [Pattern] | NEW 6" METAL STUD PARTITION (20 GA.) WITH ONE LAYER OF 5/8" GYPSUM BOARD ON EACH SIDE. "NO RATED REQUIRED / NO SOUND ATTENUATION" | 0 |
| C | [Pattern] | NEW 2 5/8" OR 3 5/8" METAL STUD FURRING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |
| D | [Pattern] | NEW 6" METAL STUD PLUMBING WALL (20 GA.) WITH ONE LAYER OF 5/8" G.W.B. ON ONE SIDE. | 0 |



I SOUTH BUILDING SECTION
SCALE: 1/4" = 1'-0"

| REVISIONS | |
|-----------|-----------------------------|
| △ | BLDG. DEP. COMM. 08-15-2012 |
| △ | |
| △ | |
| △ | |

CASANOVA SUITES
"1ST FLOOR" SUITE ROOMS INTERIOR BUILD-OUT
524 OCEAN DRIVE
MIAMI BEACH, FL 33139

PROJECT No: 1202
DRAWN BY: V.D.
CHECKED BY: L.J.
DATE: BUILDING PERMIT 06-04-2012

LARRY JOHNSTON ARCHITECT
ARCHITECTURE - PLANNING
15555 NE 5TH COURT MIAMI, FL 33162
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BUILDING SECTIONS

A-060
DRAWING No. 14 OF 27