## 6900 Gulf Drive

#### PLAN REVIEW CHECKLIST - CITY OF HOLMES BEACH

PROJECT ADDRESS : 2900 GULF DRIVE, HOLMES BEACH, FL 34217

LOT: 1 THRU 10 BLOCK: 6 SUBDIVISION: WEST WIND SHORES

LEGAL DESCRIPTION : LOTS 1 THRU 10, LOTS A, B & ALL LAND LY BET LOTS 4,5,6,7 & GULF OF MEXICO BLK 6 WEST WIND SHORES, LESS THAT PART LYING SEAWARD OF THE EROSION CONTROL LINE PER RESOLUTION REC IN OR 1403 PG 2720 PI#71777.0000/7.

LAND USE / ZONING : A-1, MULTIFAMILY RESIDENTIAL/SEASONAL TOURIST DISTRICT

FLOOD ZONE : AE-9 & AE-10 AT SW EDGE OF BUILDING

**OCCUPANCY :** GROUP "R-1" - HOTEL (TRANSIENT)

SITE AREA: 1.9192 ACRES (83,600 SF)

BUILDING HEIGHT : 19'-11 +

AREA: 10,033 GSF PER FLOOR

STORIES : 2

#### GENERAL :

- A. ASBESTOS : AN ASBESTOS INVESTIGATION SHALL BE CONDUCTED PERSUANT TO FLORIDA STATUTE 469.003 PRIOR TO
- COMMENCEMENT OF THE WORK. TURTLE ORDINANCE : ANY ELECTRICAL LIGHT THAT CAN BE SEEN
- FROM THE BEACH MUST BE TURTLE PROTECTED. TERMITE PROTECTION : WHERE APPLICABLE, TERMITE PROTECTION AND NOTICE OF PROTECTION SHALL BE CONDUCED IN
- COMPLIANCE WITH FBC 105.10, 105.11, AND 109.3.4. DESIGN DATA AND WIND LOADS : REFER TO CHART ON THIS SHEET. **PRODUCT APPROVAL :** REFER TO CHART ON THIS SHEET.

#### ZONING :

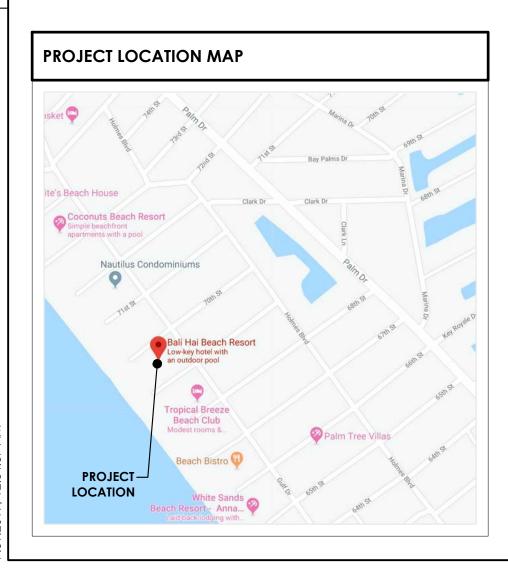
- A. SETBACKS : EXISTING BUILDING, NO CHANGES. **B. PERMEABLE SPACE :** EXISTING IMPERVIOUS/PERVIOUS AREAS TO REMAIN. THE WOOD DECK ADDED AT THE POOL WILL BE PROVIDED WITH AN INFILTRATION TRENCH UNDER THE DECK. NO
- OTHER IMPERVIOUS AREAS ARE PLANNED FOR THIS PROJECT. **C. BUILDING COVERAGE :** EXISTING BUILDING, NO CHANGES.

**BUILDING : EXISTING BUILDING CONDITIONS** 

- A. FOOTINGS/FOUNDATIONS : MASONRY STEMWALL W/
- CONTINUOUS REINFORCED CONCRETE FOOTING.
- B. FLOOR FRAMING : 4" CONCRETE SLAB AT GROUND LEVEL. PRECAST CONCRETE SLAB AT 2ND LEVEL & ROOF.
- . WALLS : 8" MASONRY W/ REINFORCED CONCRETE BEAMS ABOVE. **D. PARTITIONS :** 2x4 FRAMED PARTITIONS TYPICAL. **TENANT SEPARATION :** 2-HR BY NATURE OF MASONRY. 1-HR
- REQUIRED. 1-HR FRAMED WALL EXISTS AT END UNITS (BOTH LEVELS) SEPARATING UNIT TYPES "D" & "E" AND TYPE "F" FROM THE OFFICE
- FIRE WALLS : 1-HR FIRE WALLS REQUIRED AT ALL TENANT SEPARATION WALLS AND AT EXTERIOR CORRIDORS. (EXISTING TO RFMAIN)
- G. INSULATION : UNCHANGED, R-19 BATT INSULATION AT FRAMED WALL SECTIONS AT INTERNAL PASS THROUGH AND AT EXTERIOR ENTRY HALLWAY WALLS TO SOME UNITS.
- H. STAIRS/HANDRAIL/GUARDRAIL : UNCHANGED. EXISTING TO REMAIN. **ROOF FRAMING :** PRECAST CONCRETE ROOF SUPPORTED BY
- CONCRETE BEAMS OVER MASONRY WALLS. MEANS OF EGRESS : UNCHANGED.
- K. DOORS/WINDOWS : REPLACEMENT WITH IMPACT-RESISTANT SYSTEMS
- FLOOD PROOFING : NO CHANGES, LESS THAN 50% IMPROVEMENT.
- M. HANDICAPPED ACCESSIBILITY : 2 UNITS ARE BEING UPGRADED TO FULL COMPLIANCE. SITE PARKING IS BEING UPGRADED TO ALLOW 2 HANDICAPPED PARKING SPOTS.
- N. FIRE SPRINKLERS : NONE O. FIRE ALARMS : SMOKE DETECTION ADDED TO EACH GUEST ROOM.

#### FIRE SPRINKLERS / ALARM :

**A. FIRE SPRINKLER :** NONE EXISTING, NONE PLANNED B. ALARM DEVICES : SMOKE DETECTORS IN ALL LIVING SPACES AND Bedrooms



COURTYARD BUILDING : INTERIOR COSMETIC ALTERATIONS TO ALL UNITS. 2 UNITS ARE BEING RECONFIGURED PER ADA ACCESSIBILITY STANDARDS. **SITE ACCESS**: 1 ADDITIONAL ACCESSIBLE PARKING SPOT ADDED WITH UPGRADED CURB RAMP. THE QUANTITY OF PARKING SPOTS PROVIDED ARE UNCHANGED WITH A RECONFIGURED DOUBLE ADA PARKING CONFIGURATION WITH CENTRAL CURB RAMP. A CONTINUOUS ACCESSIBLE ROUTE WILL BE MAINTAINED FROM THE PARKING TO THE OFFICE AND TO THE ACCESSIBLE ROOMS. THE POOL DECK IS RECEIVING A WOOD DECK WITH AN INFILTRATION TRENCH SYSTEM UNDERNEATH THE DECK. THE WOOD DECK WILL BE RAMPED TO MEET ACCESSIBILITY STANDARDS. VARIANCE # : NO

**SITE PLAN # : YES (EXISTING BUILDING)** 

TYPE OF CONSTRUCTION : || B MASONRY BEARING WALLS W/ CONC. FLOOR AND ROOF DECKS.

**PERMIT VALUE :** 

APPRAISAL VALUE : \$

**DESCRIPTION OF WORK**:

ELECTRICAL :

- A. SERVICE SIZE : EXISTING 100 AMP PANELS AT EACH GUEST ROOM. B. GFCI GROUND-FAULT CIRCUIT INTERRUPTER : SMALL KITCHEN
- APPLIANCE & BATHROOM CIRCUITS C. AFCI, ARC-FAULT CIRCUIT INTERRUPTER : BEDROOMS, HALLWAYS,
- LIVING SPACES, ETC.
- SWIMMING POOL : EXISTING TO REMAIN, NO CHANGES
- **ELEVATORS : NOT APPLICABLE** FIRE ALARM : SMOKE DETECTORS IN ALL GUEST ROOMS
- **G. GENERATOR** : NOT APPLICABLE

#### PLUMBING :

- A. FIXTURES : PLUMBING FIXTURES REPLACED IN KIND, IN PLACE WITH THE EXCEPTION OF THE 2 ADA UNITS, WHICH WILL HAVE THE
- BATHROOMS RECONFIGURED FOR PURPOSES OF ACCESSIBILITY. **SEWER :** EXISTING SEWER LINES TO REMAIN. CONTRACTOR PLANS TO SCOPE THE SEWER TO ENSURE PROPER DRAINAGE. AN EXISTING SEWAGE TREATMENT PLANT IS LOCATED ON THE SE
- CORNER OF THE SITE AND WILL REMAIN.
- C. VENTING : EXISTING VENTING TO REMAIN. HOT WATER HEATER : REPLACEMENT HOT WATER HEATERS ARE
- PROPOSED AT EACH UNIT. APPLIANCES : REPLACEMENT APPLIANCES ARE PROPOSED AT EACH UNIT.
- E.1 UNIT TYPE "A" CURRENTLY HAS A RANGE, BUT THIS APPLIANCE
- WILL BE DEMOLISHED WITHOUT REPLACEMENT FOR THESE UNIT TYPES.
- **OTHER :** THE EXISTING SEWAGE TREATMENT PLANT WILL REMAIN.

**MECHANICAL** :

A. EQUIPMENT LOCATION : EXISTING EQUIPMENT TO REMAIN. AIR HANDLING UNITS ARE LOCATED IN THE CEILING SPACE AT EACH UNIT ENTRY W/ CEILING ACCESS DOOR. CONDENSERS ARE LOCATED ON THE ROOF.

#### GAS :

A. NO GAS PIPING OR APPLIANCES EXIST AND NONE ARE PROPOSED.

LIFE SAFETY :

- **A. MEANS OF EGRESS :** EXISTING EGRESS ROUTES TO REMAIN.
- **B. EXIT DOORS :** NOT APPLICABLE.
- C. DOOR HARDWARE : DOOR HANDLES SHALL BE LEVER TYPE TYPICAL
- **D.** CORRIDOR/AISLES : EXISTING TO REMAIN.
- E. STAIRS : EXISTING TO REMAIN.
- **EMERGENCY/EXIT LIGHTS :** EXISTING TO REMAIN.
- G. SPECIAL OCCUPANCY : NOT APPLICABLE
- H. HAZARADOUS MATERIAL : NOT APPLICABLE FIRE EXTINGUISHERS : 1 REQUIRED IN EACH GUEST ROOM THAT IS
- EQUIPPED WITH AN OVEN, OVEN, RANGE, OR COOKTOP. SMOKE DETECTORS : PROVIDED AT ALL BEDROOM AND LIVING
- SPACES WITHIN EACH UNIT AND AT THE OFFICE. K. CARBON MONOXIDE ALARM : NOT APPLICABLE

APPLICABLE BUILDING CODES
ALL CODE REFERENCES ARE TO CURRENT FLORID

DA BUILDING CODE [FBC] EDITIONS AS INDICATED BELOW; UNLESS OTHERWISE NOTED, SUPERSEDED AND/OR DIRECTED BY PROJECTS JURISDICTION AUTHORITY. REFER TO CODE ANALYSIS [ABOVE]; AND LIFE SAFETY PLAN FOR ADDITIONAL CODE EVALUATION.

- BUILDING CODE...... 2017 FBC BUILDING, 6TH ED.
- STRUCTURAL CODE....... 2017 FBC BUILDING, 6TH ED.
- MECHANICAL CODE.....: 2017 FBC MECHANICAL, 6TH ED.
- PLUMBING CODE...... 2017 FBC PLUMBING, 6TH ED.

CONS risk c BASIC SURFA

• LIFE SAFETY CODE...... NFPA 101 2015 ED., NFPA 99 2015 ED. • FIRE PREVENTION...... FLORIDA FIRE PREVENTION CODE, 6TH ED. • ACCESSIBILITY CODE.....: 2017 FLORIDA ACCESSIBILITY CODE, 6TH ED. • ENERGY CODE...... 2017 FBC ENERGY CONSERVATION, 6TH ED. • EXISTING BLDG CODE.....: 2017 FBC EXISTING BUILDING, 6TH ED. • FUEL AND GAS CODE .....: 2017 FBC FUEL GAS, 6TH ED. CODE OF ORDINACES...: CITY OF HOLMES BEACH, ORDINANCE

NOTE: THESE ITEMS ARE USED SOLELY FOR CALCULATING WIND PRESSURE LOADS FOR THE REPLACEMENT OF DOORS AND WINDOWS PLANNED FOR THIS EXISTING BUILDING. ALL OTHER EXTERIOR COMPONENTS AND CLADDING ARE TO REMAIN.

### **PROJECT SUMMARY - SCOPE OF WORK**

THE PROJECT CONSISTS OF LEVEL 2 ALTERATION "UPGRADES" TO AN EXISTING 2-STORY HOTEL WITH 2 UNITS BEING UPGRADED TO ACCESSIBLE ROOMS.

#### PROJECT SCOPE "COURTYARD GUEST ROOMS BUILDING":

1. REPLACEMENT OF INTERIOR FINISHES. 2. REPLACEMENT OF THE KITCHEN APPLIANCES AND CABINETRY. 3. RETILING OF SHOWERS.

4. REPLACEMENT OF EXISTING PLUMBING FIXTURES IN PLACE.

5. REPLACEMENT OF EXISTING LIGHTING FIXTURES. 6. REPLACEMENT OF EXISTING POWER RECEPTACLES & SWITCHES IN

PLACE. 7. REPLACEMENT OF UNIT ENTRY DOORS & SIDELITES TO IMPACT

RESISTANT. 8. REPLACEMENT OF BALCONY/PORCH SLIDING GLASS DOORS TO

IMPACT RESISTANT. 9. REPLACEMENT OF WINDOWS TO IMPACT RESISTANT. 10. RECONFIGURATION OF 2 UNITS FOR ADA/ACCESSIBILITY PURPOSES.

11. COMMUNICATION UPGRADES TO 2 UNITS FOR HEARING IMPAIRED GUESTS.

#### **PROJECT SCOPE "SITE WORK":**

1. SLIGHT MODIFICATION TO EXISTING PARKING TO ACCOMMODATE 1 ADDITIONAL HANDICAP PARKING SPOT. (2 SPOTS TOTAL) 2. WOOD DECK OVER POOL DECK W/ INFILTRATION TRENCH.

#### **UNIT MIX - COURTYARD BUILDING**

**UNIT TYPE BREAKDOWN :** (14) UNIT TYPE "A", 1 BR / 1 BA UNIT TYPE "A-ADA", 1 BR / 1 BA UNIT TYPE "B", 2 BR / 1 BA UNIT TYPE "C", STUDIO / 1 BA (3) UNIT TYPE "D", 2 BR / 1 BA (3) UNIT TYPE "E", STUDIO / 1 BA

UNIT TYPE "F-ADA", STUDIO / 1 BA (1)OFFICE

24 TOTAL UNITS + 1 OFFICE

#### BREAKDOWN BY BEDROOMS

(5) STUDIOS (1 ADA)

(15) 1 BEDROOMS (1 ADA) (4) 2 BEDROOMS

2 TOTAL ADA GUEST ROOMS OUT OF 24 TOTAL GUEST ROOMS

# Holmes Beach, FL 34217

### **PROJECT ONTACT LIST**

OWNER : BALL	HAI JV LLC						
ADDRESS	6900 GULF DRIVE						
CITY,STATE,ZIP	HOLMES BEACH, FLORIDA 34217						
PROJECT MGR.	SCOTT EASON (OWNER'S REPRI	ESENTATIVE)					
VOICE / FAX	941-778-7665	-					
EMAIL	scott@ebgflorida.com						
ARCHITECT : LUT	ITRELL ARCHITECTURE, LLC						
ADDRESS	5825 MARINER STREET						
CITY,STATE,ZIP	TAMPA, FLORIDA 33609						
PROJECT MGR.	Shaun Luttrell, AIA, Leed AP,	NCARB					
VOICE / FAX	813-494-3567	-					
EMAIL	shaun@luttrellarchitecture.con	n					
STRUCTURAL EN	GINEER : JAMES RAGUCKAS, PE						
ADDRESS	2119 W CASS STREET						
CITY,STATE,ZIP	TAMPA, FLORIDA 33606						
PROJECT MGR.	JAMES RAGUCKAS, PE						
VOICE / FAX	813-503-0717 -						
EMAIL	jimmy@ceitampa.com						
CONTRACTOR :	EASON BUILDERS GROUP						
ADDRESS	6812 GULF OF MEXICO DRIVE						
CITY,STATE,ZIP	LONGBOAT KEY, FLORIDA 3422	28					
PROJECT MGR.	SCOTT EASON						
VOICE / FAX	941-778-7665	-					
EMAIL	scott@ebgflorida.com						
CONSULTING EN	NGINEER : HAHN ENGINEERING, II	NC.					
ADDRESS	3060 S. DALE MABRY HWY.						
CITY,STATE,ZIP	TAMPA, FLORIDA 33629						
PROJECT MGR.	JEFF HAHN, PE						
VOICE / FAX	813-831-8599	813-835-7046					
EMAIL	jjhahn@hahneng.com						

PRODUCT CATEGORY	SUB CATEGORY	MANUFACTURER	STATE OF FLORIDA APPROVAL NUMBER	EXPIRATION DATE	DESCRIPTION
EXTERIOR DOORS	SWINGING EXTERIOR DOOR ASSEMBLIES	CUSTOM WINDOW SYSTEMS INC.	FL14850.1	07/21/2020	SD-8700 SWING DOOR SLT-8710 SIDELITE, I.R.
EXTERIOR DOORS	SLIDING EXTERIOR DOOR ASSEMBLIES	CUSTOM WINDOW SYSTEMS INC.	FL20838.1	04/18/2020	SGD 8800
WINDOWS	HORIZONTAL SLIDER	CUSTOM WINDOW SYSTEMS INC.	FL16736.1	07/21/2020	HS-8200 PVC IMPACT RESISTANT

#### NO. FLORIDA PRODUCT APPROVAL GENERAL NOTES

THE CONTRACTOR SHALL MAINTAIN PRINTED COPIES OF ALL REQUIRED PRODUCT APPROVALS ON SITE.

STRICT ADHERENCE TO THE MANUFACTURER'S FLORIDA APPROVED INSTALLATION INSTRUCTIONS SHALL GOVERN OVER ARCHITECTURAL DETAILS INCLUDED IN THIS DRAWING SET.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER FLASHING AND MAINTAINING A CONTINUOUS WEATHER RESISTIVE BARRIER (W.R.B.) IN ACCORDANCE WITH ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS. (ZIP SYSTEM ROOF SHEATHING W/ BUILT-IN W.R.B. COMBINATION, WINDOWS, DOORS, ROOFS, ETC.)

#### DESIGN DATA & WIND LOADS (FBC + ASCE 7)

CONSTRUCTION TYPE (602.3):	TYPE II-B, NOT SPRINKLED
RISK CATEGORY (1604.5):	II
BASIC WIND SPEED (1609A):	150 MPH
SURFACE ROUGHNESS (1609.4.2)	D
WIND EXPOSURE CATEGORY (1609.4.3):	D
STRENGTH DESIGN WIND VELOCITY (Vult):	150 MPH (3 SEC GUST)
NOMINAL DESIGN WIND VELOCITY (Vasd):	116 MPH (3 SEC GUST)
EXPOSURE CATEGORY:	ENCLOSED
INTERNAL PRESSURE COEFFICIENTS (GCpi):	0.18

# **BUILDING AND SITE CHARACTERISTICS**

#### **BUILDING INFORMATION**

BUILDING USE...... HOTEL [RESIDENTIAL, GROUP 1] EXISTING CONST. TYPE .....: TYPE IIB - NOT SPRINKLERED / NOT PROTECTED PROPOSED CONST. TYPE ..: TYPE IIB - NOT SPRINKLERED / NOT PROTECTED PROJECT FLOOR LEVEL....: FLOOR LEVELS [2] TWO ALTERATION LEVEL..... LEVEL [2] TWO ALTERATION

CURRENT OCCUPANCY ...: GROUP "R-1" - HOTEL (TRANSIENT) NEW OCCUPANCY...... GROUP "R-1" - HOTEL (TRANSIENT) ADJACENT OCCUPANCY: N/A

TOTAL EXISTING GROSS AREA ......: 20,066 GSF RENOVATION AREA..... **20,066** GSF RECONFIGURED "WORK AREA".....: 1,282 GSF (2 UNITS)

PARKING REQUIRED...... SURFACE PARKING TO ADD 1 ADDITIONAL HANDICAP PARKING SPACE - 2 ACCESSIBLE SPACES TOTAL.

#### SITE INFORMATION: (EXISTING HOTEL - NOT APPLICABLE)

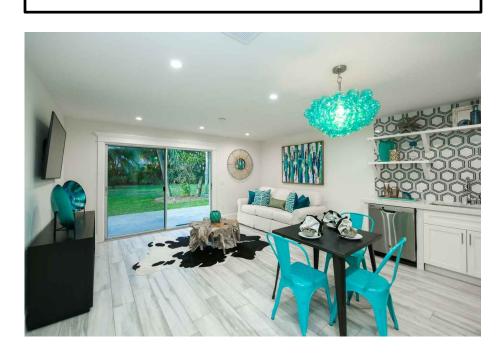
SITE ZONING. : A-1 .....: 1.9192 ACRES (83,600 SF) SITE AREA..... 

# NO. ARCHITECTURAL A000 COVER SHEET AND PROJEC A001 GENERAL NOTES, SYMBOLS A002 ELECTRICAL SPECIFICATION A050 ARCHITECTURAL SITE PLAN A110 BUILDING PLAN - COURTYA A401 ENLARGED UNIT "A" PLANS A402 ENLARGED UNIT "A" ADA PL A403 ENLARGED UNIT "B" PLANS A404 ENLARGED UNIT "B" PLANS A405 ENLARGED UNIT "C" PLANS A406 ENLARGED UNIT "D" PLANS A407 ENLARGED UNIT "D" PLANS A408 ENLARGED UNIT "E" PLANS A409 ENLARGED UNIT "F" ADA AN

**SHEET INDEX** 

NO.	CIVIL - NOT IN SCOPE
NO.	STRUCTURAL - NOT IN SCOPE
NO.	MECHANICAL - NOT IN SCOPE
NO.	PLUMBING - NOT IN SCOPE [VI
NO.	ELECTRICAL - NOT IN SCOPE [V

## **ARTIST RENDERING - LIVING ROOM**





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### **ARTIST RENDERING - BEDROOM**



#### **ARTIST RENDERING - LIVING/DINING**



# 07.31.2019

AR0095921 Shaun M. Luttrell Project Number: 19-021

Sheet Title:

**REVISED DRAWINGS:** 

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Professional Seal:

**Revision Description** 

No. Date

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COVER SHEET AND PROJECT INFO



	THE FOLLOWING GENERAL RENOVATION NOTES SHALL PERTAIN AND
NO.	APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC.
Α.	<b>RESPONSIBILITY OF SCOPE =</b> CONTRACTOR SHALL BE RESPONSIBLE
	FOR VERIFICATION OF EXISTING CONDITIONS IN COORDINATION TO PROJECT SCOPE PRIOR TO CONSTRUCTION.
В.	<b>PROTECTION OF EXISTING TO REMAIN =</b> CONTRACTOR SHALL BE RESPONSIBLE FOR COVERING / PROTECTING EXISTING FINISHES TO
	REMAIN, COMMON AREAS / SHELL WALLS; EXTERIOR WINDOWS AND STRUCTURAL SLAB / COLUMNS TO REMAIN THROUGHOUT
	CONSTRUCTION. CONTRACTOR SHALL PROVIDE A LIST TO THE
	PROPERTY MANAGER OF ANY AREAS OF "CURRENT" DAMAGE TO THE EXISTING SHELL / CORE ELEMENTS [UNRELATED TO THIS
c.	RENOVATION] PRIOR TO PROCEEDING. DIMENSIONS FLOOR PLANS = DIMENSIONS ARE GENERALLY TAKEN
	FROM FACE OF STUD/CMU AND SHOWN WITH A "TICK". EXISTING TENANT SEPARATION WALL DIMENSIONS ARE TAKEN FROM FACE OF
	EXISTING FINISHED WALL. DIMENSIONS TAKEN FROM FINISHED FACE AND "CLEAR" DIMENSIONS ARE SHOWN WITH AN "ARROW".
	CRITICAL DIMENSIONS ARE LISTED AS "HOLD" AND/OR SHOWN IN THE ENLARGED FLOOR PLANS. <b>ALL NEW TENANT SEPARATION</b>
<u> </u>	WALLS ARE MEASURED FROM THE CENTERLINE OF THE WALL.
D.	<b>MILLWORK / CABINETRY =</b> SIZES/LOCATIONS INDICATED ON PLANS FOR REFERENCE ONLY; VERIFY FIELD CONDITIONS / DIMENSIONS
	PRIOR TO FABRICATION. SHOP DRAWINGS AND FINISH SAMPLES SHALL BE SUBMITTED AND APPROVED BY THE OWNER AND
E.	ARCHITECT. <b>MEP+FP =</b> CONTRACTOR SHALL VERIFY ALL PLUMBING, ELECTRICAL
F.	AND MECHANICAL REQUIREMENTS PRIOR TO CONSTRUCTION. FURNITURE / EQUIPMENT = SIZES AND LOCATIONS ARE INDICATED
	ON PLANS FOR REFERENCE ONLY. ALL FURNITURE/EQUIPMENT PROVIDED BY CLIENT UNDER SEPARATE CONTRACT. [N.I.C.]
G.	FINISH SPECIFICATIONS, SCHEDULE + NARRATIVE = SAMPLES SHALL
_	BE SUBMITTED AND APPROVED BY THE OWNER/ARCHITECT PRIOR TO ORDER.
Н.	<b>FEC+FE LOCATIONS =</b> REFER TO LIFE SAFETY PLANS A100 FOR LOCATIONS; SPECIFICATION AND INSTALLATION INSTRUCTIONS OF
	FIRE EXTINGUISHERS AND/OR CABINETS. TRAVEL DISTANCE FROM ANY LOCATION SHALL NOT EXCEED 50' TO A FIRE EXTINGUISHER.
I.	<b>DONUTS =</b> ALL SUBCONTRACTOR "CREWS" SHALL BRING ONE DOZEN KRISPY KREME (OR EQUAL) GLAZED DONUTS TO THEIR FIRST DAY ON
	THE JOB AND OFFER THE FIRST DONUT TO THE APPARENT ELDEST FIELD WORKER. FAILURE TO RECOGNIZE THIS REQUEST WILL
	DEMONSTRATE A LACK OF COMMON DECENCY AND LAZINESS
	AND WILL RESULT IN A FINE OF \$1 DUE TO THE CHARITY OF THE ELDEST WORKER'S CHOICE.
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	NERAL ADMIINISTRATIVE NOTES THE FOLLOWING GENERAL ADMINISTRATIVE NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC.
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NO.	THE FOLLOWING GENERAL ADMINISTRATIVE NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC. CONTRACTOR TO PREPARE DETAILED CONSTRUCTION SCHEDULE FOR SUBMISSION TO TENANT/OWNER W/IN 5 DAYS OF NOTICE TO
NO.	THE FOLLOWING GENERAL ADMINISTRATIVE NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC. CONTRACTOR TO PREPARE DETAILED CONSTRUCTION SCHEDULE FOR SUBMISSION TO TENANT/OWNER W/IN 5 DAYS OF NOTICE TO PROCEED. CONTRACTOR TO CONFIRM DELIVERY DATES OF ALL FINISH
NO. A.	THE FOLLOWING GENERAL ADMINISTRATIVE NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC. CONTRACTOR TO PREPARE DETAILED CONSTRUCTION SCHEDULE FOR SUBMISSION TO TENANT/OWNER W/IN 5 DAYS OF NOTICE TO PROCEED. CONTRACTOR TO CONFIRM DELIVERY DATES OF ALL FINISH MATERIALS AND FURNISH THE ARCHITECT W/ SCHEDULE OF INSTALLATION OF ALL FINISHES. CONTRACTOR TO INFORM THE
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#### GENERAL INTERIOR CONSTRUCTION NOTES

THE FOLLOWING GENERAL INTERIOR CONSTRUCTION NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION NO. | DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC.

A. NOTICE IS HEREBY GIVEN THAT WORK SHALL BE PERFORMED SO AS TO CAUSE THE LEAST POSSIBLE INCONVENIENCE OR DISTURBANCE TO OTHER BUILDING OCCUPANTS.

B. ALL WORK SHALL BE DONE IN COMPLIANCE W/ THE PLANS AND SPECIFICATIONS OF THE BASE BUILDING. ALL MATERIALS FOR CONSTRUCTION SHALL BE BUILDING STANDARD

(IF APPLICABLE), UNLESS OTHERWISE NOTED ON PLAN. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ESTABLISHED STANDARDS W/ THE PROPERTY MANAGER PRIOR TO BIDDING THE WORK.

PLANS WERE DEVELOPED BASED ON INFORMATION SUPPLIED BY THE PROPERTY MANAGER AND FROM EXISTING CONDITIONS OBSERVED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND CONDITIONS SHOWN TO BE EXISTING AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE SUBMITTAL OF BID AND PROCEEDING W/ THE WORK.

CONTRACTOR TO BE RESPONSIBLE FOR PAYING REQUIRED FEES, SECURING REQUIRED PERMITS FOR DEMOLISHING AND COMPLETELY REMOVING FROM SITE ALL UNNECESSARY EXISTING CONSTRUCTION DEBRIS AND MATERIALS SHOWN ON THE DRAWINGS TO BE REMOVED. IF ANY ADDITIONAL WORK OR CHANGES WILL ADVERSELY AFFECT THE COMPLETION SCHEDULE, THE CONTRACTOR SHALL ADVISE THE ARCHITECT IN WRITING IMMEDIATELY.

G. WRITTEN AUTHORIZATION FROM THE ARCHITECT MUST BE OBTAINED PRIOR TO THE ORDERING OF ANY MATERIAL, AWARDING OF ANY CONTRACTS, OR THE EXECUTION OF ANY WORK INVOLVING ADDITIONAL COST ABOVE THE CONTRACT SUM.

WHEN INSTALLATION OF NEW WORK REQUIRES THE SHUTDOWN OF THE BUILDING'S EXISTING OPERATING SYSTEMS, THE CONNECTION OF THE NEW WORK SHALL BE PERFORMED ONLY AFTER GIVING NOTICE AND OBTAINING APPROVAL FROM THE PROPERTY MANAGER. CONTRACTOR SHALL MAINTAIN BUILDING SECURITY, FIRE ALARM, AND FIRE PROTECTION AT ALL TIMES DURING THE PERFORMANCE OF WORK

CONTRACTOR TO INSPECT ALL NEW OR EXISTING FIRE RATED PARTITIONS AND SEAL ALL PENETRATIONS AS NEEDED TO ASSURE FIRE RATING IS MAINTAINED.

ALL FINISH MATERIALS ARE CLASS "A" OR BETTER PER APPLICABLE CODE.

CONTRACTOR TO PROVIDE WOOD BLOCKING AND STEEL SUPPORTS W/IN ALL NEW OR REWORKED PARTITIONS TO ACCOMMODATE ANY AND ALL ATTACHED FIXTURES INCLUDING, BUT NOT LIMITED TO, MILLWORK, SHELVING, GLAZING, PENDANT FIXTURES, ETC. PATCH AND REPAIR ALL GYPSUM BOARD WALL SURFACES SHOWN TO REMAIN THAT ARE AFFECTED BY NEW CONSTRUCTION W/ MATERIALS AND METHODS TO MATCH EXISTING CONDITIONS AND PROVIDE A UNIFORM CONTIGUOUS APPEARANCE. PREPARE GYPSUM BOARD TO RECEIVE NEW WALL FINISHES TO CEILING HEIGHT

AS SPECIFIED. FINISH EXISTING COLUMNS AND ANY OTHER BASE BUILDING SURFACES AS REQUIRED TO MATCH ADJACENT OR ABUTTING

SURFACES UNLESS OTHERWISE NOTED. O. PATCH, REPAIR AND FLOAT ALL CONCRETE FLOOR SURFACES AS

REQUIRED TO ACHIEVE A SURFACE FOR INSTALLATION OF NEW FLOOR FINISH MATERIALS AND FURNITURE. FLOOR SURFACES TO MEET TOLERANCE REQUIREMENTS OF A.C.I. STANDARDS FOR CLASS "A" OFFICE BUILDINGS - 1/4" IN 10 FEET. FLOOR AREAS NOT MEETING THIS REQUIREMENT SHOULD BE BROUGHT TO THE ATTENTION OF THE PROPERTY MANAGER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

GENERAL CONTRACTOR SHALL COORDINATE FLOOR PENETRATIONS W/ STRUCTURAL SYSTEM TO PREVENT DAMAGE TO SUCH ITEMS AS, BUT NOT LIMITED TO, POST-TENSIONED CABLES, ANCHORS, AND STEEL REINFORCEMENTS.

Q. VWTF'' (VERIFY W/ TENANT IN FIELD) MEANS VERIFY DIMENSIONS OR REQUIREMENTS W/ THE TENANT, TENANT'S FURNITURE VENDOR, OR TENANT'S EQUIPMENT SUPPLIER PRIOR TO INSTALLATION OR FABRICATION.

INSPECT ALL EXISTING PLUMBING FIXTURES TO DETERMINE ALL ARE IN GOOD WORKING ORDER PRIOR TO FINAL WALK THROUGH. REPLACE FIXTURES AS REQUIRED.

RESTORE DOOR FINISH ON ALL EXISTING DOORS TO BE RELOCATED/REUSED PRIOR TO FINAL WALK-THROUGH. REPAIR OR REPLACE PARTS AS REQUIRED.

WHEN PERFORMING CONSTRUCTION IN OCCUPIED TENANT SPACES AS PART OF AN EXPANSION PROJECT, EACH OCCUPIED SPACE AFFECTED BY THE CONSTRUCTION SHALL BE THOROUGHLY CLEANED IMMEDIATELY FOLLOWING CONSTRUCTION COMPLETION, REGARDLESS OF PROGRESS OR SCHEDULE OF OVERALL PROJECT.

ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201 CONTRACTOR SHALL INFILL ALL VOIDS IN FLOOR LEFT BY ABANDONED OR REMOVED UTILITY DEVICES. RESTORE/MAINTAIN ALL FIRE RATINGS AND NOISE REDUCTION COEFFICIENTS.

W. ALL CONTRACTORS AND SUB-CONTRACTORS PERFORMING ANY WORK ON THIS PROJECT SHALL BE INSURED AND BONDED.

ALL FIRE PROTECTION SYSTEMS MUST REMAIN IN SERVICE DURING CONSTRUCTION.

SY/	ABOLS LEGEND	PRC	DJECT GENERAL NOTES
DOC	DRAWING SYMBOLS / REFERENCE TAGS BELOW USED W/IN THE SUMENTS TO FOLLOW REPRESENT REFERENCE INFORMATION FOR ATING THE FOLLOWING:	NO.	THE FOLLOWING GENERAL NO ENTIRE SET OF CONSTRUCTION BY LUTTRELL ARCHITECTURE, LLC
A.	PLAN SHEET TITLES:	Α.	GENERAL CONTRACTOR AN
			THEIR WORK IN ACCORDAN GOVERNING EACH TRADE.
	SCALE: 1/8"=1'-0"	В.	CONTRACTOR SHALL BE RES PROTECTING EXISTING FINISH
	DRAWING DESCRIPTION. NORTH ARROW DIRECTIONAL. DRAWING NUMBER.	C.	CONSTRUCTION. CONTRACTOR SHALL BE RES EXISTING ADJACENT FINISHE CONSTRUCTION SHOULD DA
В.	ELEVATION, SECTION, DETAIL SHEET TITLES:	D.	/ RENOVATION. EACH CONTRACTOR SHALL
	1 A DETAIL		FIELD PRIOR TO THE INITIATIO ARCHITECT OF ANY DISCREF
	1 A SCALE: 3/4"=1'-0"		W/ THE ABILITY OF THE CONT OUTLINED ON THE CONSTRU
	DRAWING REFERENCE SCALE. DRAWING DESCRIPTION. DETAIL SUB-IDENTIFIER. DRAWING NUMBER.	Ε.	GENERAL CONTRACTOR SHA EQUIPMENT VENDORS PROD ADHERENCE AND PLACEME ACCORDANCE W/ THE CON
C.	ROOM / SPACE TAGS:		ANY AND ALL DISCREPANCI PRIOR TO CONSTRUCTION C
	ADMINISTRATIVE ROOM / SPACE DESCRIPTION - LINE 1.		SITE ELEMENTS IN WRITTEN FO BOTH ARCHITECT / OWNER F
	105 ROOM / SPACE NUMBER.	F.	ALL SUBCONTRACTORS ARE WORK WITH OTHER TRADES.
Э.			RESULTING IN ADDED COST T THE SUBCONTRACTOR.
	TYP TYPICAL / SIMILAR NOTE DESIGNATION.	G.	TEMPORARY BARRICADES A ERECTED AROUND HAZARD
Ξ.	WALL / PARTITION / SHAFT / FLOOR ASSEMBLY TYPE TAGS:	Н.	APPLICABLE CODES AND OF EACH CONTRACTOR SHALL
	TYP/SIM TYPICAL / SIMILAR NOTE DESIGNATION.		TO FABRICATION OF WORK. BE BROUGHT TO THE ATTENTI
	WALL / PARTITION TYPE REFERENCE.		CONSTRUCTION IN WRITTEN OF BOTH THE ARCHITECT / O
	LABELING SYSTEM INDICATED ON DOCUMENTS REPRESENT THE FOLLOWING METHODOLOGY:	١.	ALL DIMENSIONS SHOWN TO NEW STUD FRAMING, UNLESS
	"W" - INDICATES THE CONSTRUCTION OF THE WALL SHALL EXTEND TO THE BOTTOM OF STRUCTURE.	J. K.	CONTRACTOR SHALL ISOLAT SEALANTS SHALL BE COMPA ANOTHER. SEALANT FINISH ( APPROVED BY THE ARCHITE(
	"P" - INDICATES THE CONSTRUCTION OF THE PARTITION SHALL EXTEND TO A HEIGHT SPECIFIED FOR THE PARTITION TYPE.	L.	CONTRACTOR SHALL PROVI DISSIMILAR EXPOSED TO VIEW
	"S" - INDICATES THE CONSTRUCTION OF A SHAFT WALL EXTENDING		ARCHITECT. CAULK FINISH C APPROVED BY THE ARCHITEC
	THRU STRUCTURES AS INDICATED ON WALL / PARTITION TYPE LEGEND	М.	THE CONTRACTOR SHALL MA
	"F" - INDICATES THE CONSTRUCTION OF A FLOOR SYSTEM.	Ν.	GENERAL CONTRACTOR TO PLACED ON FLOOR DURING
	NUMBERING SYSTEM ON DOCUMENTS REPRESENT THE FOLLOWING	О.	DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RES
	METHODOLOGY:		CLARIFICATION FROM THE A CONSTRUCTION.
	001 - WHEN THE (3) DIGIT ASSEMBLY TYPE BEGINS W/ (0) ZERO, THE ASSEMBLY IS NOT FIRE RATED.		
	101 - WHEN THE (3) DIGIT ASSEMBLY TYPE BEGINS W/ (1) ONE, THE ASSEMBLY IS (1) HR. RATED.		
	201 - WHEN THE (3) DIGIT ASSEMBLY TYPE BEGINS W/ (2) TWO, THE ASSEMBLY IS (2) HR. RATED. (AND SO ON WITH 3,4,ETC.)		
	EXTERIOR / INTERIOR ELEVATION REFERENCE TAGS:		
	ELEVATION NUMBER REFERENCE.		
	ELEVATION DIRECTIONAL.	<b>—</b>	
G.	ENLARGED PLAN / DETAIL REFERENCE TAG:	DIN	AENSION METHODOLO
<b>.</b> .			USE THE FOLLOWING METHODO SHEETS TO FOLLOW. ADHERE T
	TYPICAL / SIMILAR NOTE DESIGNATION.	NO.	OTHERWISE NOTED.
		A.	IN SITUATIONS WHERE THE DE FOR ELEMENTS, HOWEVER TH
			THE WORD "EQUAL OR EQ." DIMENSIONS.
	PLAN / DETAIL SHEET REFERENCE. ENLARGED EXTENTS OF PLAN / DETAIL.	В.	ENLARGED DETAILS (OR LAR
┨.	SECTION REFERENCE TAG:		ALL DIMENSIONS IN CASES V ELEVATIONS, DETAILS AND SI
	TYPICAL / SIMILAR NOTE DESIGNATION.	C.	DOORS LOCATED ADJACEN
	12 A123		WILL NOT BE DIMENSIONED A FOLLOWS UNLESS OTHERWIS
	SECTION DIRECTIONAL.		
	PATH OF THRU SECTION.		
	ELEVATION LEVEL TAG FOR PLANS, ELEVATIONS, AND SECTIONS:		
	ELEVATION LEVEL SYMBOL.		4" MIN WALL 6" PREFERRED
	ELEV: 100'-0"	D.	PARTITIONS ARE DIMENSION
			METAL/WOOD STUD UNLESS DIMENSIONS ARE SHOWN W

-ELEVATION DESCRIPTION.

- SPOT ELEVATION LEVEL REFERENCE.

- SPOT ELEVATION DESCRIPTION.

-CARD READER, OR KEYPAD "KP"

- OPENING IDENTIFICATION NUMBER.

-FIRE RATING LABEL.

-REVISION TAG/NO.

REVISION CLOUD.

DOOR CLOSER.

EXISTING GRADE SPOT ELEVATION TAG FOR SITE PLAN:

K. DOOR / WINDOW / OPENING SCHEDULE REFERENCE TAGS:

REVISION TAGS:

OUTLINED ON THE CONSTRUCTION GENERAL CONTRACTOR SHALL RE EQUIPMENT VENDORS PRODUCT I ADHERENCE AND PLACEMENT OF ACCORDANCE W/ THE CONSTRUC ANY AND ALL DISCREPANCIES SHA PRIOR TO CONSTRUCTION OF ASS SITE ELEMENTS IN WRITTEN FORMAT BOTH ARCHITECT / OWNER REP. ALL SUBCONTRACTORS ARE REQU WORK WITH OTHER TRADES. LACK RESULTING IN ADDED COST TO THE THE SUBCONTRACTOR. TEMPORARY BARRICADES AND OT ERECTED AROUND HAZARDOUS A APPLICABLE CODES AND ORDINA EACH CONTRACTOR SHALL VERIFY TO FABRICATION OF WORK. ANY BE BROUGHT TO THE ATTENTION C CONSTRUCTION IN WRITTEN FORM OF BOTH THE ARCHITECT / OWNER ALL DIMENSIONS SHOWN TO NEW NEW STUD FRAMING, UNLESS NOTE CONTRACTOR SHALL ISOLATE ALL SEALANTS SHALL BE COMPATIBLE ANOTHER. SEALANT FINISH COLOI APPROVED BY THE ARCHITECT. CONTRACTOR SHALL PROVIDE CA DISSIMILAR EXPOSED TO VIEW MAT ARCHITECT. CAULK FINISH COLOR APPROVED BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAI JOB SITE THROUGHOUT THE COURS GENERAL CONTRACTOR TO HAVE PLACED ON FLOOR DURING CON DO NOT SCALE DRAWINGS. IF DIA CONTRACTOR SHALL BE RESPONSI CLARIFICATION FROM THE ARCHIT CONSTRUCTION. MENSION METHODOLOGY USE THE FOLLOWING METHODOLOGY FOR DIMENSIONING WITHIN THE SHEETS TO FOLLOW. ADHERE TO THE CONCEPTS BELOW UNLESS OTHERWISE NOTED. IN SITUATIONS WHERE THE DESIGN INTENT IS TO HAVE A TYPICAL SIZE FOR ELEMENTS, HOWEVER THE ACTUAL DIMENSION IS NOT CRITICAL, THE WORD "EQUAL OR EQ." IS USED IN LIEU OF THE ACTUAL DIMENSIONS. ENLARGED DETAILS (OR LARGEST SCALE PROVIDED) WILL GOVERN ALL DIMENSIONS IN CASES WHERE DIMENSIONS APPEAR IN PLAN, ELEVATIONS, DETAILS AND SECTIONS. DOORS LOCATED ADJACENT TO THE JAMB OF WALLS/PARTITIONS WILL NOT BE DIMENSIONED AND SHOULD BE CONSTRUCTED AS FOLLOWS UNLESS OTHERWISE NOTED. -DOOR/OPENING TYPE AS SCHEDULED. ~ 18" MINIMUM CLEARANCE WHERE DOOR HAS CLOSER & LATCH 4" MIN ~ WALL/PARTITION AS SCHEDULED. **6**" PREFERRED PARTITIONS ARE DIMENSIONED TO FACE OF CMU OR FACE OF METAL/WOOD STUD UNLESS OTHERWISE NOTED. TYPICALLY, THESE DIMENSIONS ARE SHOWN WITH A TICK AS DEMONSTRATED BELOW. 5'-4 1/2" DIMENSION STRINGS FROM FACE OF FINISHED SURFACE (EXISTING OR NEW) ARE GENERALLY SHOWN WITH AN **ARROW** AS DEMONSTRATED BELOW. THESE DIMENSIONS ARE OFTEN, BUT NOT ALWAYS, SHOWN WITH A "CLR" OR "MIN" DESIGNATION. "CLR" OR "MIN" DESIGNATIONS ARE ALWAYS FROM FACE OF FINISHED SURFACE DESPITE THE DIMENSION STRING TYPE, UNLESS NOTED OTHERWISE. 5'-4 1/2" DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.

DJECT GENERAL NOTES
THE FOLLOWING GENERAL NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC.
BY LUTRELL ARCHITECTURE, LLC. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR WORK IN ACCORDANCE W/ ALL APPLICABLE CODES GOVERNING EACH TRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR COVERING AND PROTECTING EXSTINIG FINISH MATERIALS TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO PATCH / REPAIR ANY EXISTING ADJACENT FINISHES OF EXISTING SHELL / CORE FINISHES / CONSTRUCTION SHOULD DAMAGE OCCUR DURING THIS BUILD-OUT / RENOVATION. EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO THE INITIATION OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS INTERFERING W/ THE ABILITY OF THE CONTRACTOR TO COMPLETE WORK AS OUTLINED ON THE CONSTRUCTION DRAWINGS. GENERAL CONTRACTOR SHALL REVIEW ALL OWNER PROVIDED EQUIPMENT VENDORS PRODUCT INFO AND SUBMITALS FOR ADHERENCE AND PLACEMENT OF SAID EQUIPMENT IN ACCORDANCE W/ THE CONSTRUCTION DOCUMENTS TO FOLLOW. ANY AND ALL DISCREPANCIES SHALL BE PROVIDED TO ARCHITECT PRIOR TO CONSTRUCTION OF ASSOCIATED / ADJACENT BLDG, / SITE ELEMENTS IN WRITTEN FORMAT FOR REVIEW/APPROVAL OF BOTH ARCHITECT / OWNER REP. ALL SUBCONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH OTHER TRADES. LACK OF THIS COORDINATION RESULTING IN ADDED COST TO THE CONTRACT WILL BE DRONE BY THE SUBCONTRACTOR. TEMPORARY BARRICADES AND OTHER SAFETY MEASURES SHALL BE ERCETED AROUND HAZARDOUS AREAS IN ACCORDANCE W/ ALL APPLICABLE CODES AND ORDINANCES. EACH CONTRACTOR SHALL VERIFY DIMENSIONS IN THE FIELD PRIOR TO FABRICATION OF WORK. ANY AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FRIOR TO CONSTRUCTION IN WITTEN FORMAT FOR REVEW AND APPROVAL OF BOTH THE ARCHITECT / OWNER REPRESENTATIVE. ALL DIMENSIONS SHOWN TO NEW FREPRESENTATIVE. ALL DIMENSIONS SHOWN TO NEW FRE

ABBREVIATIONS					
ARCHITECT TERMINOLO	E AND USED WITHIN THE DOC URE OFFICE STANDARDS FOR DGY. PLEASE NOTE OTHER A OLLOWING MAY BE USED W	R CONSTRUCT	ION DOCUMENT GLISH ABBREVIATIONS OTHER		
ABBR.	DESCRIPTION	ABBR.	DESCRIPTION		
&	AND	I.D.	INSIDE DIAMETER		
@ &	AT CENTERLINE	I.E. I.F.	THAT IS INSIDE FACE		
t V	CENTERLINE OF	I.G.	INSULATED GLASS		
	SYMMETRY	IR INSUL	IMPACT RESISTANT INSULATIONS		
A.B.	ANCHOR BOLT	INT	INTERIOR		
ACT	ACOUSTICAL CEILING TILE	IRT	INTEGRATED RETAIL		
AFF	ABOVE FINISHED	JAN.	JANITOR		
		JT.	JOINT		
AHU ALUM	AIR HANDLING UNIT ALUMINUM	К.О.	KNOCK OUT		
ANSI		LB, LBS	pound, pounds		
APPROX.	STANDARDS INSTITUTE APPROXIMATE,	LMI	large missle impact		
	APPROXIMATELY	1 4 A TI			
ASPH	ASPHALT	MATL. MAX	MATERIAL MAXIMUM		
B.O.	BOTTOM OF	MECH MFGR.	MECHANICAL MANUFACTURER		
B.O.B. B.B.	BOTTOM OF BEAM BASE PLATE	MIGK. MIN	MINIMUM		
BD.	BOARD	M.O.	MASONRY OPENING		
B.F.E.	BASE FLOOD ELEVATION	MOD MTD	MODIFIED MOUNTED		
BLK		MTL. N/A	METAL NOT APPLICABLE		
BLDG. BRG.	BUILDING BEARING	N/A NO.	NUMBER		
BTM	BOTTOM	N.T.A.	NOT TO SCALE		
B.U.R.	BUILT-UP ROOF	O.C.	ON CENTER		
CAB		O.D.			
CCTV	CLOSED-CIRCUIT TELEVISION	O.F. OPP.	OUTSIDE FACE OPPOSITE		
C-I-P C.J.	CAST-IN-PLACE CONTROL JOINT	P. LAM.	PLASTIC LAMINATE		
СКТ	CIRCUIT	PART.	PARTIAL, PARTITION		
CLG. CLR	CEILING CLEAR	PLYWD. PLF	Plywood Pounds per linear		
CMU	CONCRETE MASONRY		FOOT		
COL	UNIT COLUMN	PSF	POUNDS PER SQUARE FEET		
COLS CONC	COLUMNS CONCRETE	PSI	POUNDS PER SQUARE		
CONN	CONNECTION	PL	PLATE		
CONST. JT CONT	. CONSTRUCTION JOINT CONTINUOUS	P.O.S. P.T.	POINT OF SALE PRESSURE TREATED		
C.O.	CONTRACTING	PTD	PAINTED		
CORR	OFFICER CORRIDOR	RAD	RADIUS		
CPT	CARPET	R.D. RECEP.	ROOF DRAIN RECEPTACLE		
CSK C.T.	COUNTERSUNK CERAMIC TILE	RECEI . REF	REFERENCE		
CU	COPPER	REINF REQ'D	REINFORCEMENT REQUIRED		
DIA	DIAMETER	RM	ROOM		
DIAG DIM	DIAGONAL DIMENSION	R.O. R.O.W.	ROUGH OPENING RIGHT OF WAY		
DIN DISP.	DISPLAY OR DISPENSER				
D.S. DTL.	DOWNSPOUT DETAIL	S&T	SHRINKAGE AND TEMPERATURE		
DWG	DRAWING	SCW	SOLID CORE WOOD		
EA	EACH	SECT SHT.	SECTION SHEET		
E.J.	EXPANSION JOINT	SHTS. SIM.	Sheets Similar		
EL ELEC.	ELEVATOR ELECTRIC, ELECTRICAL	SPECS	SPECIFICATIONS		
ELEV	ELEVATION	SF/SQ. FT. SQ. IN.	SQUARE FEET SQUARE INCHES		
ENT EQ.	ENTRANCE EQUAL	S.S.	STAINLESS STEEL		
E.W. E.W.C.	EACH WAY ELECTRIC WATER	STD STL.	STANDARD STEEL		
2.,,.0.	COOLER	SUSP	SUSPENDED		
EXIST EXP	EXISTING EXPANSION	SYP	SOUTHERN YELLOW PINE		
EXT.	EXTERIOR	T&B	TOP AND BOTTOM		
FACP	FIRE ALARM CONTROL	T&B T&G	TOP AND BOTTOM TONGUE & GROOVE		
F.D.	PANEL FLOOR DRAIN	TELE. THICK	telephone thickness		
F.E.	FIRE EXTINGUISHER	THRESH	THRESHOLD		
F.E.C.	FIRE EXTINGUIESHER CABINET	T.O. T.O.A.	TOP OF TOP OF BEAM		
F.F.	FINISHED FLOOR	T.O.B.	TOP OF CONCRETE		
F.H.C. FIN.	FIRE HOUSE CABINET FINISH, FINISHED	T.O.COL. T.O.FTG.	TOP OF COLUMN TOP OF FOOTING		
FLR	FLOOR	T.O.CMU.	TOP OF MASONRY		
F.O. FR	FACE OF FRAME	TPH T.S.	TOILET PAPER HOLDER TUBE STEEL		
FT FURN.	FEET FURNITURE	TYP	TYPICAL		
F.V.	FIELD VERIFY	UG U.L.	UNDERGROUND UNDERWRITERS		
GA	GAUGE		LABORATORY		
GALV. GB	GALVANIZED GRAB BAR	U.N.A.	UNLESS NOTED OTHERWISE		
G.C.	GENERAL	UR	URINAL		
G.F.I.	CONTRACTOR GROUND FAULT	V.B.	VINYL BASE		
G.S.	CIRCUIT INTERRUPTER GRAVEL STOP	VCT VERT	VINYL COMPOSITE TILE VERTICAL		
G.T.I.	GRATE TOP INLET	VIF	VERIFY IN FIELD		
GWH GWB	GAS WATER HEATER GYPSUM WALL BOARD	V.W.C.	VINYL WALL COVERING		
GYP.	GYPSUM	W	WIDE		
н	HIGH	W/	WITH		
HB. H.C.	HOSE BIBB HOSE CONNECTION	WC WD	WATER CLOSET WOOD		
HDW	HARDWARE	WWF	WELDED WIRE FABRIC		
HGT. HM	HEIGHT HOLLOW METAL	W.W.R.	WELDED WIRE REINFORCEMENT		
HORIZ	HORIZONTAL				
HT.	HEIGHT				



Consultant Information:

PHASE ISSUED DRAWINGS:				
No.	Date	Phase Description	-	
1	05.15.2019	Owner Check Set	-	
2	05.28.2019	Permit Set		
3	07.26.2019	Updated Permit Set		
-	-	-		
-	-	-		
-	-	-		
-	-	-		
-	-	-		
REV	SED DRAWING	SS:	_	
No.	Date	Revision Description	_	
-	-	-		
-	-	-		
-	-	-		
-	-	-		
-	-	-		
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Prof	essional Seal:		_	
1101				
	07	7.31.2019		
Shc	aun M. Lutt	rell AR0095921	_	

Project Number: 19-021 Sheet Title:

GENERAL NOTES AND SYMBOLS



# ENERGY EFFICIENCY NOTES

SPECIFICALLY STATED OTHERWISE.

A MINIMUM OF 75 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS. ASSUME 100% LED LAMPS / LIGHTING FIXTURES UNLESS

### LIGHTING NOTES

#### NO

NO

- FINAL LIGHTING FIXTURE SELECTIONS BY OWNER.
- LOCATIONS SHOWN AS RECOMMENDATION AND GENERAL QUANTITIES FOR PRICING. WHERE CENTERLINE SHOWN, CENTER THE FIXTURES WITHIN THE SPACE UNLESS OTHERWISE NOTED.

### POWER NOTES

NO.	
A.	EXTERIOR RECEPTACLE TO BE 20-AMP WEATHER-RESISTANT GFCI OUTLET IN WEATHERPROOF ENCLOSURE, 18" A.F.F.
В.	THE POWER SHOWN IS FOR GENERAL LOCATION PURPOSES ONLY. CONTRACTOR TO PROVIDE SUFFICIENT SERVICE AND CIRCUIT LOADING TO ALL ELECTRICAL DEVICES.
C.	<b>GROUND-FAULT CIRCUIT INTERRUPTER</b> PROTECTION IS REQUIRED AT ALL BATHROOM AND SMALL KITCHEN APPLIANCES CIRCUITS.
D.	ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IS REQUIRED AT ALL

BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE LIVING ROOMS, DINING ROOMS, BEDROOMS, AND HALLWAYS.

## **ELECTRICAL SPECIFICATIONS**

# ARCHITECTURE, LLC.

NO.

- LATEST EDITION OF N.F.P.A., THE LATEST EDITION OF THE FLORIDA ABOVE MENTIONED CODES.
- BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE SUBCONTRACT.
- ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- DAMAGED THEREBY.
- ALL REQUIRED INSURANCE TO BE PROVIDED FOR PROTECTION OF THE WORK.
- testings.
- LOCAL POWER AND TELEPHONE COMPANIES. ELECTRICAL CONTRACTOR SHALL CONTACT LOCAL POWER AND TELEPHONE COMPANIES PRIOR TO START OF CONSTRUCTION.
- ALL WIRING SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED. MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL INSULATION. CONDUCTORS #10 AND SMALLER MAY BE SOLID; ALL THOSE #8 AND LARGER TO BE STRANDED.
- ALL UNDERGROUND RACEWAYS SHALL BE MINIMUM 3/4", DAMAGE INSIDE OF THE BUILDING.
- ALL UNDERGROUND SERVICE CONDUITS/RACEWAYS ENTERING USE.
- 13. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST possible.
- DISCONNECT SWITCHES SHALL BE H.P. RATED, GENERAL DUTY, 14 QUICK-MAKE, QUICK-BREAK TYPE. ENCLOSURES SHALL BE AS PROOF, ETC.). ENGRAVED LAMINATED PLASTIC IDENTIFICATION PLATES SHALL BE FURNISHED AND INSTALLED ON ALL DISCONNECT SWITCHES, CONTACTORS AND STARTERS.
- 15. AMPS OR LESS SHALL BE CLASS RK1, TYPICAL UNLESS OTHERWISE NOTED. FUSES OVER 600 AMPS SHALL BE CLASS L.
- 16 ARE LEVITON: HOWEVER, COMPARABLE DEVICES BY PASS & DEVICES AND PLATES SHALL BE DICTATED BY OWNER. A. SWITCHES: LEVITON #CSB1-201
- B. RECEPTACLES: LEVITON #BR20-I C. COVER PLATES: SMOOTH PLASTIC
- NOTE: ALL OTHER REQUIRED DEVICES SHALL MATCH IN COLOR AND STYLE.
- INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT BE PLACED IN PROPER WORKING ORDER.
- 18. APPROVED GROUND.
- OF THE N.E.C. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE ADDITIONAL CONDUCTOR.
- 20. GROUND RODS SHALL BE 5/8" DIAMETER, TEN (10 FEET LONG COPPERCLAD STEEL. OBTAIN TWENTY FIVE (25) OHMS MAXIMUM RODS. IF TWENTY FIVE (25) OHMS CANNOT BE ACHIEVED, (25) HAS BEEN OBTAINED.

#### THE FOLLOWING ELECTRICAL SPECIFICATIONS SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL

NO.

MATERIAL AND INSTALLATION, AS A MINIMUM, ARE TO CONFORM WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, THE BUILDING CODE, AND THE LATEST EDITIONS OF ALL LOCAL CODES AND ORDINANCES, INCLUDING ALL AMENDMENTS TO THE N.E.C. EQUIPMENT, WHERE APPLICABLE, WILL BE LISTED WITH UNDERWRITERS LABORATORIES, INC. QUALITY AND WORKMANSHIP ESTABLISHED BY DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REDUCED BY THE

EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR ADDITIONAL LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE CONSIDERED AND THE RESPONSIBILITY WILL REST SOLELY ON THE BIDDING CONTRACTOR.

COMPLETED SYSTEM IS TO BE FULLY OPERABLE AND ACCEPTANCE OF THE SYSTEM BY THE OWNER/ARCHITECT MUST BE A CONDITION OF THE

CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP

CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OF REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN

AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION

CONTRACTOR TO PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND

ELECTRICAL INSTALLATION TO MEET ALL STANDARD REQUIREMENTS OF

WIRING. ALL CONDUCTORS SHALL BE COPPER WITH THWN, THHN

GALVANIZED RIGID STEEL CONDUIT OR SCHEDULE 40 PVC. ALL OTHER RACEWAYS TO COMPLY WITH GOVERNING CODES. WHERE RIGID STEEL IS USED, IT SHALL BE COMPLETELY COATED WITH AN ALKALI AND RUST RESISTANT BITUMASTIC PAINT, COPPER NO. 50, AND THREADS

31

SHALL BE COATED WITH ZINC CHROMATE. RIGID STEEL SHALL ALSO BE USED WHEN CONDUIT IS EXPOSED TO EXTERIOR ENVIRONMENT SUCH AS EXTERIOR OF BUILDING OR WHERE IT IS EXPOSED AND SUBJECT TO

BUILDING OR STRUCTURE FROM OUTSIDE TO INSIDE SHALL BE SEALED, INCLUDING SPARE CONDUITS. SEALANT SHALL BE SUITABLE FOR THIS

ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS, AND BE OF SPECIAL CONSTRUCTION FOR OTHER CLASSIFIED AREAS. ALL BOXES SHALL BE RECESSED (FLUSH) IN WALLS OR CEILINGS WHENEVER

REQUIRED BY N.E.C. AND LOCATION (WEATHERPROOF, EXPLOSION

ALL FUSES FOR SAFETY SWITCHES SHALL BE DUAL ELEMENT, CARTRIDGE TYPE. FUSES SHALL BE THOSE MANUFACTURED BY EITHER BUSSMAN OR LITTLEFUSE. THE CONTRACTOR SHALL FURNISH TO THE OWNER ONE SPARE FUSE FOR EACH SIZE AND TYPE OF FUSE INSTALLED. FUSES 600

ALL GENERAL PURPOSE SWITCHES AND RECEPTACLES SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER, CATALOG NUMBERS LISTED SEYMOUR, BRYANT, OR ARROW HART WILL BE ACCEPTED. COLOR OF

IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND

A SEPARATE, GREEN TYPE THW COPPER GROUND CONDUCTOR SHALL BE RUN FROM GROUND LUG OF EACH GROUNDED RECEPTACLE TO AN APPROVED CONNECTION INSIDE THE ENCLOSING STEEL OUTLET BOX. DEVICE MOUNTING SCREWS SHALL NOT BE CONSIDERED AN

A SEPARATE GROUND CONDUCTOR SHALL BE INSTALLED IN EVERY CONDUIT AND RACEWAY AND SECURELY BONDED IN AN APPROVED GROUNDING TERMINAL AT BOTH ENDS OF THE RUN. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250-122

RESISTANCE AS READ WITH AN OHM METER, USING TWO REFERENCE CONTRACTOR SHALL PROVIDE ADDITIONAL RODS, UNTIL TWENTY FIVE LOAD DATA IS BASED ON INFORMATION GIVEN TO THE ARCHITECT AT THE TIME OF DESIGN. VERIFY ALL EQUIPMENT NAMEPLATE RATINGS BEFORE ORDERING.

CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR IS TO PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.

FURNISH AND INSTALL DISCONNECT SWITCHES, WIRING, AND CONNECTIONS ON AIR CONDITIONS SYSTEM AS SHOWN ON PLANS. ELECTRICAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH MECHANICAL CONTRACTOR REGARDING SUPPLY AND INSTALLATION OF ALL REQUIRED CONTROLS.

4. THE DISCONNECT SWITCH, FUSE SIZES, CONDUIT AND WIRE SHOWN FOR ALL HVAC ARE SIZED PER THE MANUFACTURER, AND MODEL NUMBER LISTED ON THE MECHANICAL PLANS. IF THERE IS AN EQUAL MANUFACTURER, OR OTHER MANUFACTURER PROVIDED, THE MECHANICAL CONTRACTOR SHALL BEAR ANY ADDITIONAL COST INCURRED IF THE ELECTRICAL IS NOT EQUAL TO SPECIFICATIONS.

ALL SWITCHGEAR, PANELS, STARTERS, CONTACTORS, ETC., SHALL BE THE PRODUCT OF A SINGLE MANUFACTURER, THE SYSTEM DESIGN IS BASED ON SQUARE "D"; HOWEVER, COMPARABLE EQUIPMENT BY SIEMENS, G.E. AND CUTLER HAMMER ONLY WILL BE ACCEPTABLE. TANDEM AND HALF-SPACE CIRCUIT BREAKERS SHALL NOT BE USED.

26. TYPE WRITTEN CIRCUIT INDEX SHALL BE AFFIXED TO INSIDE SURFACE OF EACH PANELBOARD DOOR, CLEARLY INDICATING AREA AND TYPE OF LOAD SERVED BY EACH BRANCH CIRCUIT PROTECTIVE DEVICE, INCLUDING SPARES. HAND PRINTED WILL NOT BE ACCEPTED.

ENGRAVED, LAMINATED PLASTIC IDENTIFICATION PLATES SHALL BE FURNISHED AND INSTALLED ON ALL PANELS AND SWITCHGEAR. PLATES SHALL BE AFFIXED TO FRONT OF PANELS, INDICATING PANEL NAME, VOLTAGE AND AMPERAGE.

28. ALL UNDERGROUND PVC CONDUIT RUNS SHALL HAVE RIGID STEEL ELBOWS AND RIGID STEEL SECTIONS AT SLAB PENETRATIONS WHERE SUBJECT TO POSSIBLE DAMAGE.

THE ELECTRICAL CONTRACTOR SHALL MEET AND COORDINATE WITH THE LOCAL POWER COMPANY AT THE SITE PRIOR TO CONSTRUCTION. AT THAT TIME, THE CONTRACTOR SHALL COORDINATE ALL RELATED WORK WITH THE UTILITY COMPANY'S RESPONSIBILITIES TO MEET THE OWNER'S SCHEDULE.

0. ALL ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN AN APPROVED RACEWAY, EMT, IMC, RIGID GALVANIZED CONDUIT OR SCHEDULE 40 PVC TYPE 'NM', 'MC', ELECTRICAL NON-METALLIC TUBING, AND FLEXIBLE METAL CONDUIT MAY BE USED FOR BRANCH CIRCUITING AS ALLOWED BY THE N.E.C. & AHJ. MAXIMUM NUMBER OF 120V CIRCUITS ALLOWED IN A COMMON CONDUIT SHALL BE SIX (6). THE CONTRACTOR SHALL STRICTLY CONFORM TO THE N.E.C. REQUIREMENTS OF DERATING FOR CONDUCTOR AMPACITY AND CONDUIT FILL. NO CONDUITS SHALL BE INSTALLED, EXPOSED ON ROOF.

CONDUCTORS SHALL BE CO	lor coded as follows:
240V SYSTEM	PHASE SEQUENCE
NEUTRAL - WHITE	ABC
PHASE A - BLACK	TOP TO BOTTOM
PHASE B - RED	LEFT TO RIGHT
PHASE C - BLUE	FRONT TO BACK

GRD.CON - GREEN 32. WHEN MAIN ELECTRICAL SERVICE HAS A WIREWAY, E.C. SHALL TAP OFF OF ALL SERVICE ENTRANCE FEEDERS (PARALLEL CONDUCTORS) FOR TOTAL AMPACITY AND BALANCING.

CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL CONDUIT PENETRATIONS MADE THROUGH FIRE RATED WALLS, CEILINGS, SLABS, ETC. PENETRATIONS SEALS SHALL BE PER U.L. ASSEMBLY STANDARDS.

CONTRACTOR SHALL PROVIDE SHOP DRAWING SUBMITTALS FOR LIGHT FIXTURES, SWITCHGEAR, WIRING DEVICES, EMERGENCY GENERATOR/TRANSFER EQUIPMENT, AND ALL SYSTEMS (FIRE ALARM, SECURITY, ETC.) PROVIDE TWO (2) COPIES, TEN (10) DAYS PRIOR TO BID DATE FOR ARCHITECT'S APPROVAL TO SUBMIT. ARCHITECT'S APPROVAL OF THE PRIOR APPROVAL PACKAGE WILL BE CONSIDERED PRELIMINARY. FINAL APPROVAL WILL BE CONTINGENT UPON REVIEW OF FINAL SHOP DRAWINGS. ALL PROPOSED ALTERNATES MUST BE INDUSTRY STANDARD EQUALS TO THE ITEMS SPECIFIED AS THE BASIS OF DESIGN. HOWEVER, IF THE ITEMS ARE NOT CONSIDERED EQUAL BY THE ARCHITECT, IT SHALL BE DISAPPROVED FOR FINAL SUBMITTAL. IF ELECTRICAL CONTRACTOR/GENERAL CONTRACTOR DOES NOT SUBMIT SHOP DRAWINGS TO ARCHITECT FOR ITEMS LISTED ABOVE, THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ANY, AND OR ALL OMISSIONS OR ERRORS DUE TO SHOP DRAWINGS NOT SUBMITTED. SHOP DRAWINGS WILL ONLY BE REVIEWED TWICE AS A PART OF THIS CONTRACT. ADDITIONAL SHOP DRAWING REVIEW SHALL BE INVOICED AT \$85.00 PER HOUR, BILLABLE TO THE SUB-CONTRACTOR, C.O.D. 35. CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF CONTRACT

DRAWINGS AT THE JOB SITE WITH COLORED MARKINGS INDICATING PROGRESS OF WORK. THIS SET OF CONTRACT DRAWINGS IS TO BE SEPARATE FROM AND IN ADDITION TO CONTRACTOR'S CONSTRUCTION SET. EVERY UNIT OF EQUIPMENT, DEVICE, CONDUIT AND WIRE IS TO BE MARKED WHEN INSTALLED. USE GREEN TO INDICATE INSTALLATION AS SHOWN ON DRAWINGS AND USE RED TO INDICATE FIELD CHANGES. UPON COMPLETION OF WORK, THIS SET OF CONTRACT DRAWINGS IS TO BE TURNED OVER TO, AND BECOME PROPERTY OF THE ARCHITECT.

THE OWNER RESERVES THE RIGHT TO REVISE THE DRAWING FROM TIME TO TIME TO INDICATE CHANGES IN THE WORK. WHEN REVISED DRAWINGS AND/OR ANY REVISIONS ARE ISSUED, THE CONTRACTOR SHALL EVALUATE THE CHANGES PROMPTLY. BEFORE INSTALLATION OF ANY ITEM OR PERFORMANCE OF THE WORK INDICATED BY THE REVISED DRAWINGS OR REVISIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/OWNER IN WRITING THAT THE REVISED DRAWINGS INVOLVE AN ADDITION OR REDUCTION OF A SPECIFIC AMOUNT OF MONEY TO THE CONTRACT PRICE. THE CONTRACTOR SHALL NOT PROCEED WITH THE REVISED WORK WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/OWNER OF THE COST OF THE REVISED WORK.

IF ELECTRICAL CONTRACTOR HAS QUESTIONS, OR IN THEIR OPINION FINDS OMISSIONS OR ERRORS ON ELECTRICAL DOCUMENTS, IT IS THEIR RESPONSIBILITY TO BRING THIS TO THE ATTENTION OF THE ARCHITECT/OWNER IMMEDIATELY. IF ELECTRICAL CONTRACTOR PROCEEDS WITH ANY CHANGES TO THE CONTRACT DOCUMENTS WITHOUT WRITTEN PRIOR APPROVAL FROM THE ARCHITECT/OWNER, THE ELECTRICAL CONTRACTOR WILL NOT BE COMPENSATED FOR THE ADDITIONAL WORK.



E: shaun@luttrellarchitecture.com T: 813.494.3567 W: www.luttrellarchitecture.com License No.AR95921

Project | Tenant Information:

Alterations for: Bali Hai Beach Resor 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

PHASE ISSUED DRAWINGS:

Consultant Information:

No.	Date	Phase Description
1	05.15.2019	Owner Check Set
2	05.28.2019	Permit Set
3	07.26.2019	Updated Permit Set
-	-	-
-	-	-
-	-	-
-	-	-
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#### REVISED DRAWINGS:

No.	Date	Revision Description
-	-	-
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Professional Seal:

#### 07.31.2019

Shaun M. Luttrell AR0095921

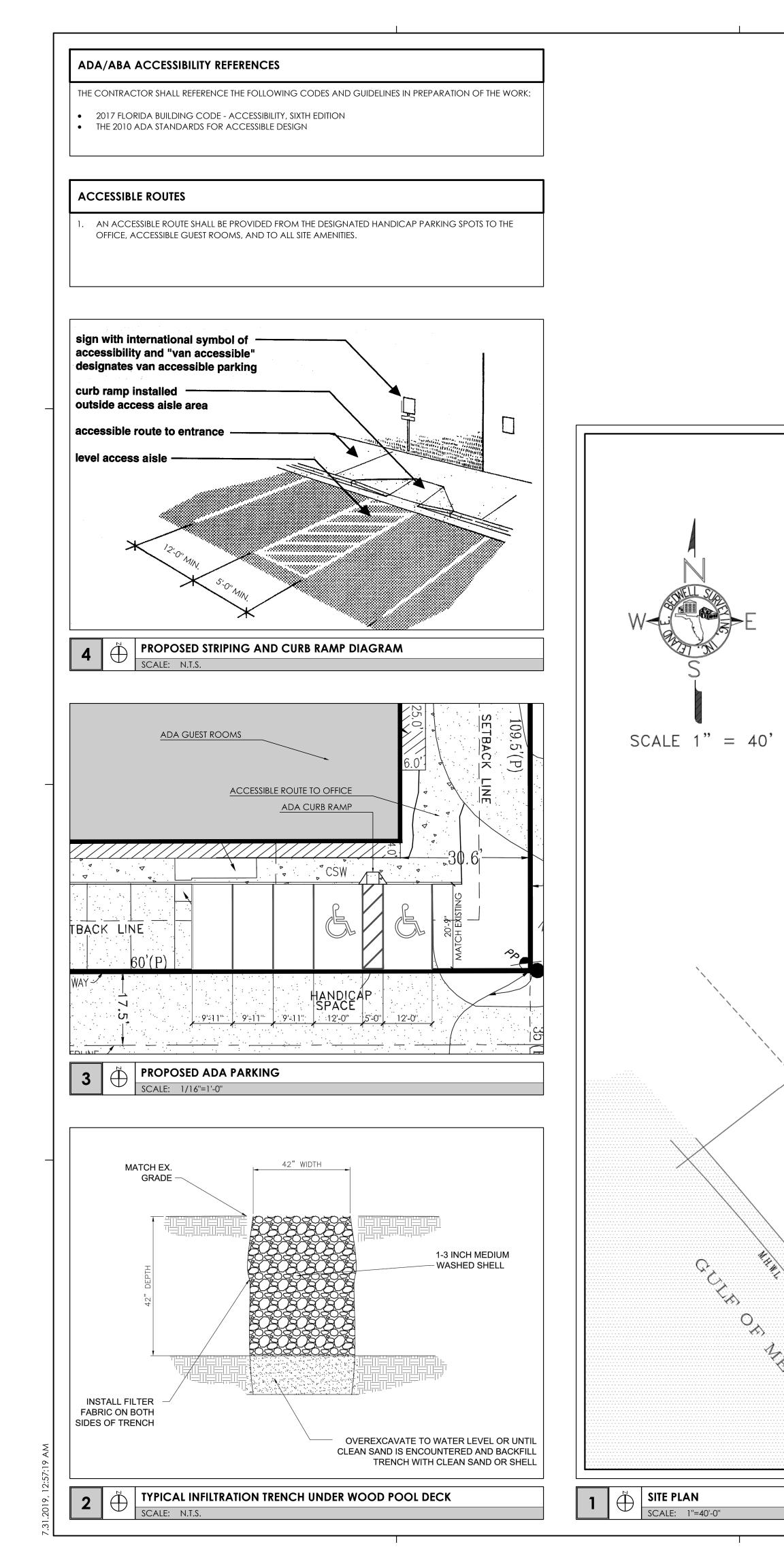
19-021

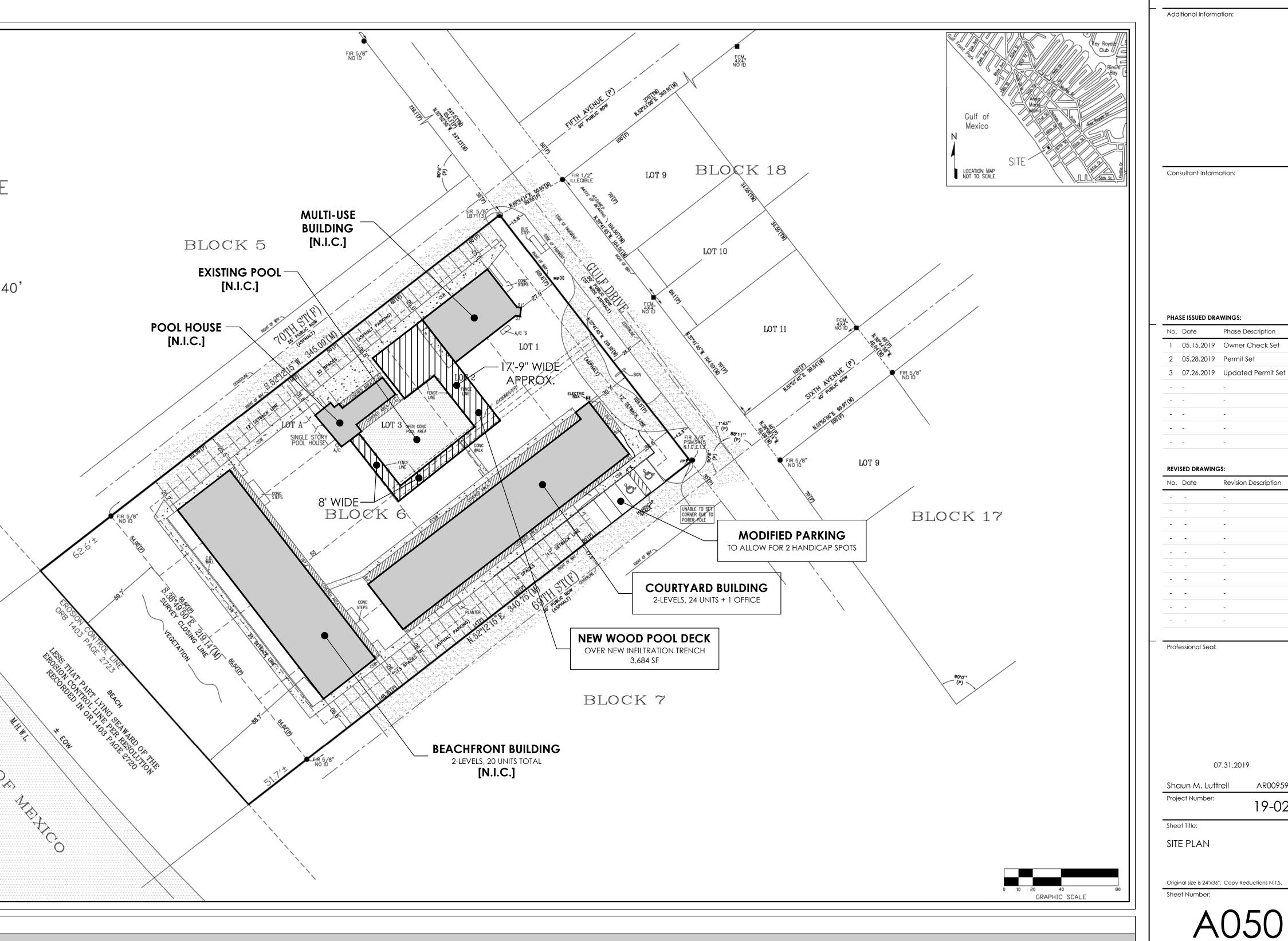
Sheet Title:

Project Number:

ELECTRICAL SPECIFICATIONS







## PROJECT SUMMARY - SCOPE OF WORK

THE PROJECT CONSISTS OF LEVEL 2 ALTERATION "UPGRADES" TO AN EXISTING 2-STORY HOTEL WITH 2 UNITS BEING UPGRADED TO ACCESSIBLE ROOMS.

#### PROJECT SCOPE "COURTYARD GUEST ROOMS BUILDING":

- 1. REPLACEMENT OF INTERIOR FINISHES. 2. REPLACEMENT OF THE KITCHEN APPLIANCES AND CABINETRY.
- 3. RETILING OF SHOWERS. 4. REPLACEMENT OF EXISTING PLUMBING FIXTURES IN PLACE.
- 5. REPLACEMENT OF EXISTING LIGHTING FIXTURES.
- 6. REPLACEMENT OF EXISTING POWER RECEPTACLES & SWITCHES IN PLACE.
- REPLACEMENT OF UNIT ENTRY DOORS & SIDELITES TO IMPACT resistant.
- 8. REPLACEMENT OF BALCONY/PORCH SLIDING GLASS DOORS TO
- IMPACT RESISTANT. 9. REPLACEMENT OF WINDOWS TO IMPACT RESISTANT.
- 10. RECONFIGURATION OF 2 UNITS FOR ADA/ACCESSIBILITY PURPOSES. 11. COMMUNICATION UPGRADES TO 2 UNITS FOR HEARING IMPAIRED GUESTS.

#### PROJECT SCOPE "SITE WORK":

1. SLIGHT MODIFICATION TO EXISTING PARKING TO ACCOMMODATE 1 ADDITIONAL HANDICAP PARKING SPOT. (2 SPOTS TOTAL) WOOD DECK OVER POOL DECK W/ INFILTRATION TRENCH.



architecture | eco certification interior design | industrial design

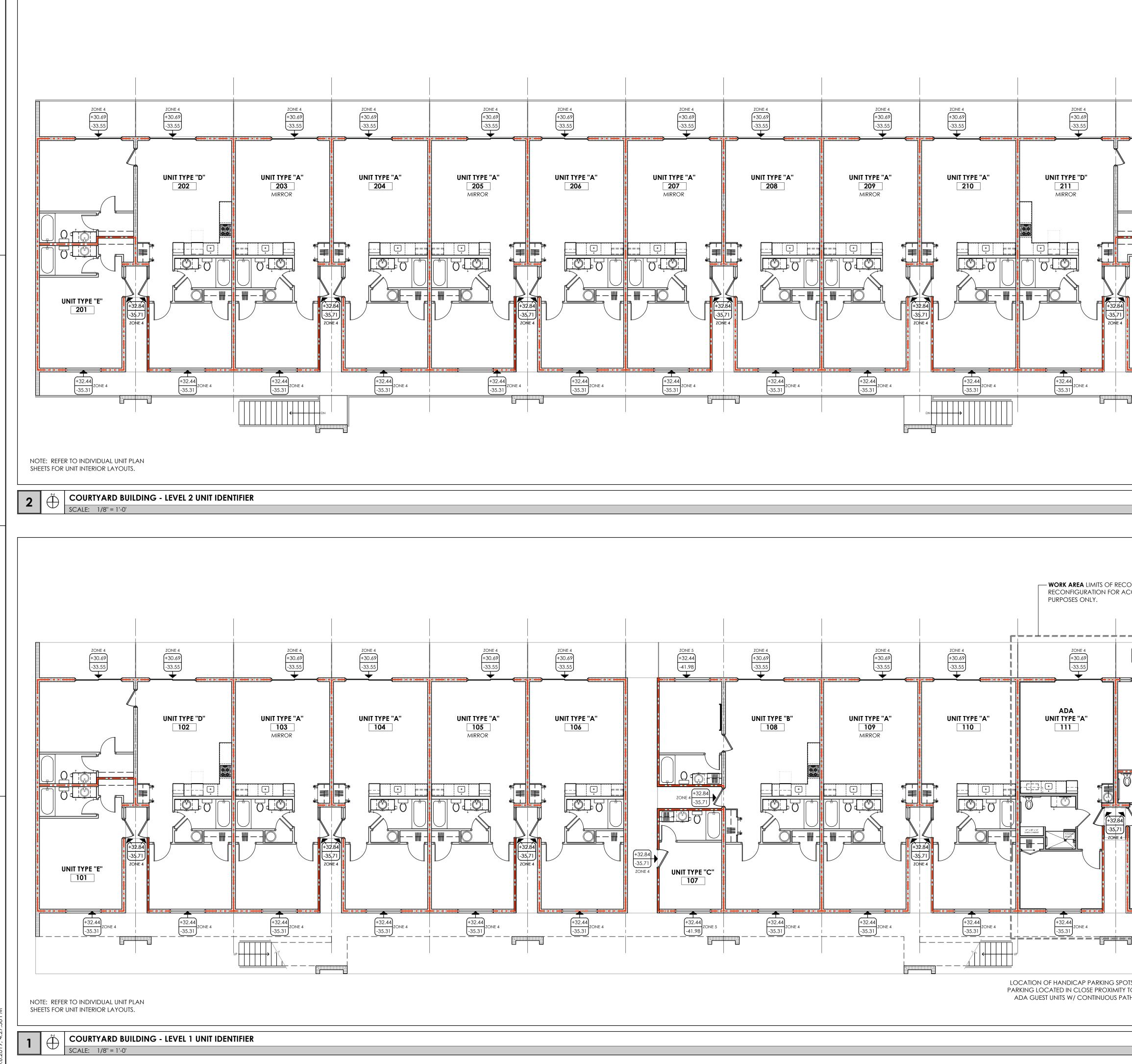
LUTTRELL ARCHITECTURE, LLC 601 N. Ashley Drive, Suite 700 Tampa, Florida 33602 **USA** E: shaun@luttrellarchitecture.com T: 813.494.3567 W: www.luttrellarchitecture.com License No.AR95921

AR0095921

19-021

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Project | Tenant Information: Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217



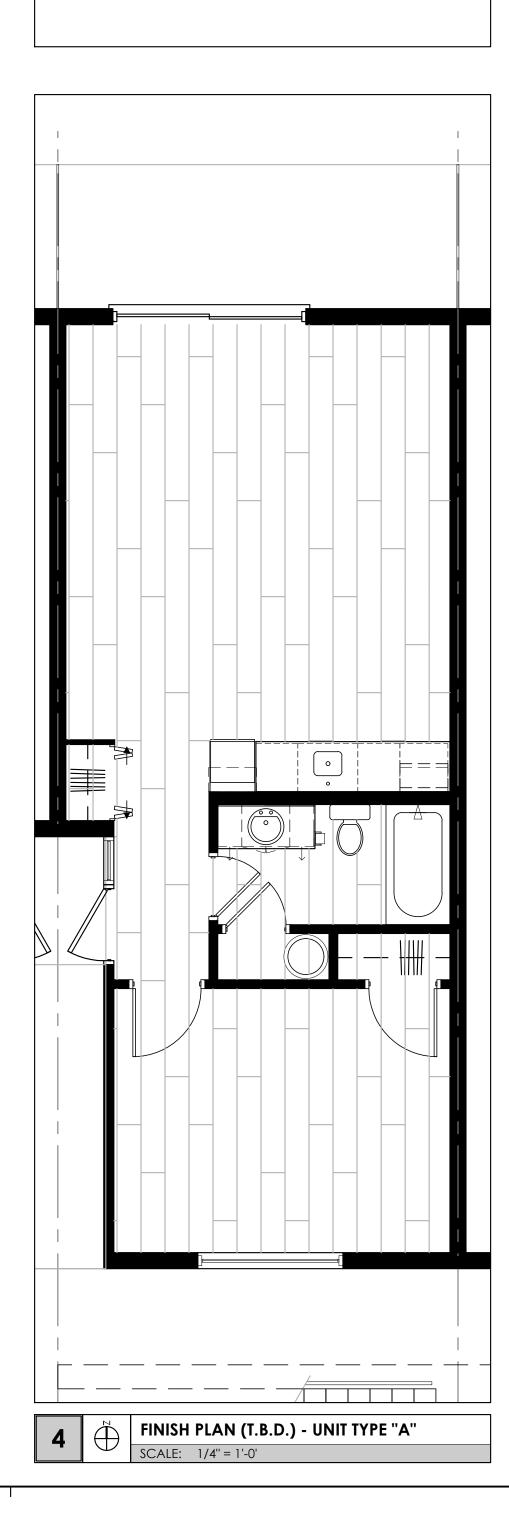
NC	STRUCTURAL LEGEND		
A		COMPONENTS AND CLADDING (PSF)	Luttrell
		ILDING ZONE DESIGNATION.	architecture
	+XX.X	SITIVE WIND PRESSURE.	5825 Mariner Street Tampa, FL 33609 813.494.3567
		OMPONENT INDICATOR. GATIVE WIND PRESSURE.	architecture   eco certification interior design   industrial design
ZONE 4 +30.69			LUTTRELL ARCHITECTURE, LLC
-33.55			601 N. Ashley Drive, Suite 700 Tampa, Florida 33602 <b>USA</b> E: shaun@ <b>luttrell</b> architecture.com
			T: 813.494.3567 W: www. <b>luttrell</b> architecture.com
			License No.AR95921
			Project   Tenant Information: Alterations for:
			Bali Hai Beach Resort
			6900 Gulf Drive Holmes Beach, FL 34217
			Additional Information:
UNIT TYPE "E"			
(+32.44 -35.31) ZONE 4			Consultant Information:
			PHASE ISSUED DRAWINGS:
			No. Date Phase Description
			1         05.15.2019         Owner Check Set           2         05.28.2019         Permit Set
			3 07.26.2019 Updated Permit Set
ONFIGURATION. CCESSIBILITY			
20NE 4 +32.84 -35.71 +32.84 -42.46 +			REVISED DRAWINGS:           No. Date         Revision Description
OFFICE			
113			
			Professional Seal:
ADA UNIT TYPE "F"			
112			
			07.31.2019
+32.44 ZONE 4			Shaun M. Luttrell AR0095921
			Project Number: 19-021
			Sheet Title: SOUTH BUILDING PLAN
DTS			
лн.			Original size is 24"x36". Copy Reductions N.T.S.
			Sheet Number:
			A110
			Intellectual property rights reserved 2019

NO.	ADA PLAN KEYNOTES (ADA UNITS ONLY)
1.	MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS
	INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
2.	MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC,
	ACCESSIBILITY SECTION 604.3.1.
3.	MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
4.	"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
5.	PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
6.	PROVIDE T-SHAPED TURNING SPACE.
7.	MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608
8.	MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
9.	MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION
	609 & 608.3.2.
10.	MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY
	SECTION 609 & 604.5.
11.	SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY
	SECTION 608.7.
12.	MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF
	APPLIANCES) PER FBC, ACCESSIBIILTY SECTION 308 WITH CLEAR
	FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL
	CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
13.	MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC,
	ACCESSIBILITY SECTION 306.
14.	"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.

- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
- WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

### NO. APPLIANCE LEGEND

- **DISH WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.



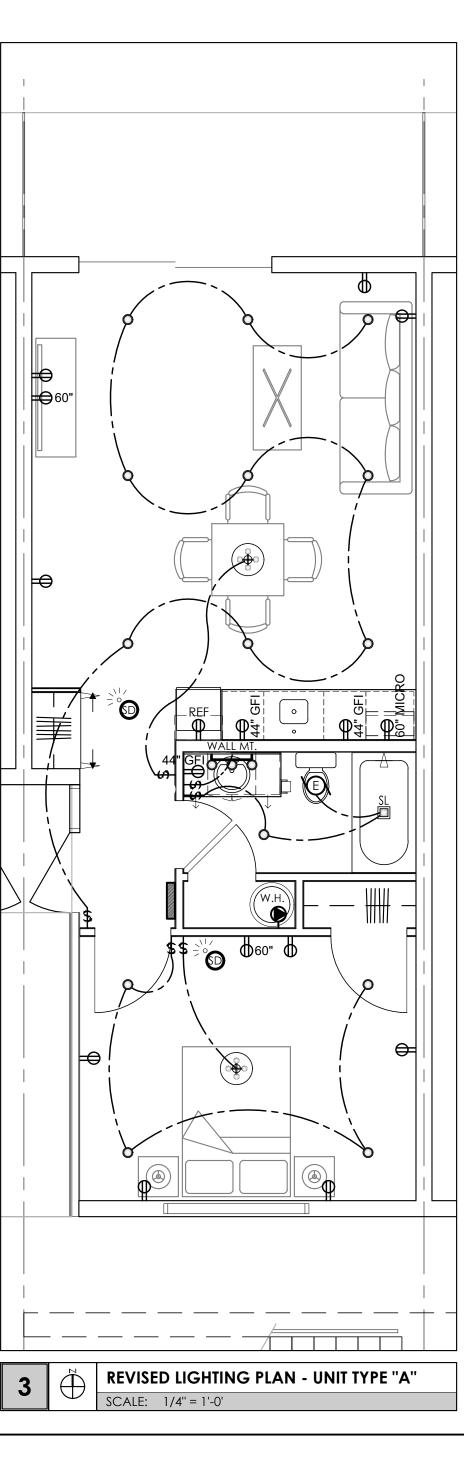
NO. P	OWER & LIGHTING LEGEND
Symbol	DESCRIPTION; REFER TO ELECTRICAL PLANS.
<u>م م م</u>	NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
0	NEW 4" RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
	NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
¥Ē,	NEW CEILING MOUNTED EXHAUST FAN • <b>SPEC = OWNER SELECTED</b> • CONTRACTOR PROVIDED/INSTALLED.
	NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	<ul> <li>NEW PROGRAMMABLE THERMOSTAT</li> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>
<b>=</b>	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE
<b>₩</b> 44"	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET
 44" GFI	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"
- <b>•</b> W.H.	SPECIAL CONNECTION FOR WATER HEATER
<del>- 60</del>	LIGHT SWITCH, DECORA STYLE, WHITE COLOR

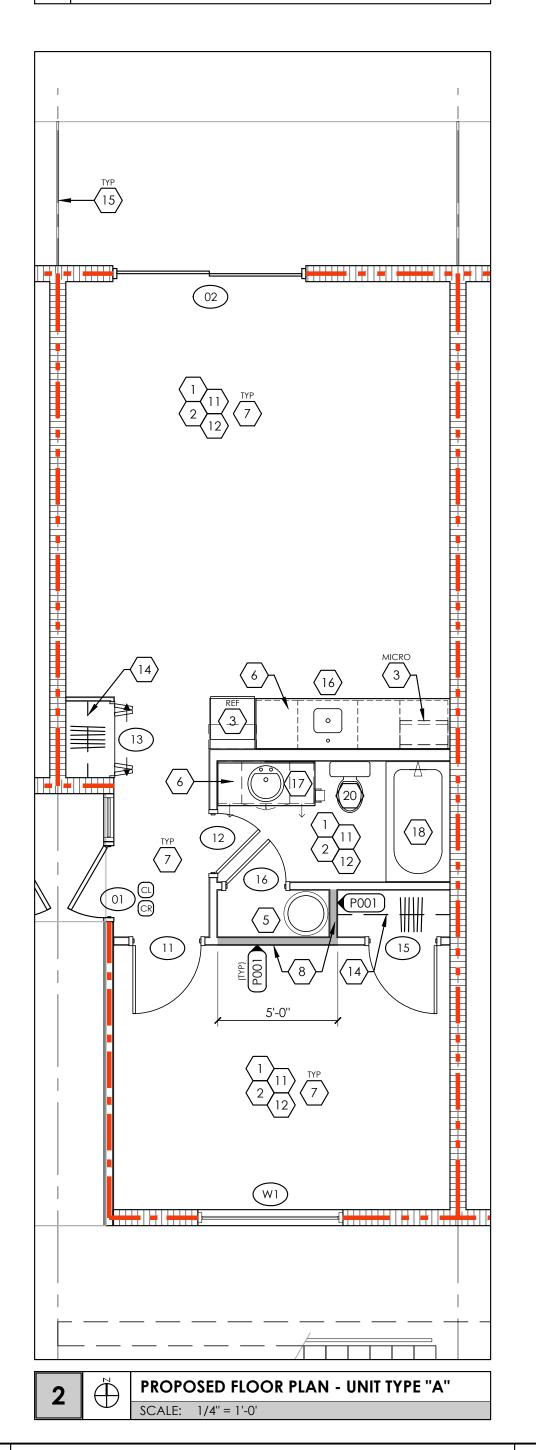
ELECTRICAL PANEL, 100 AMPS

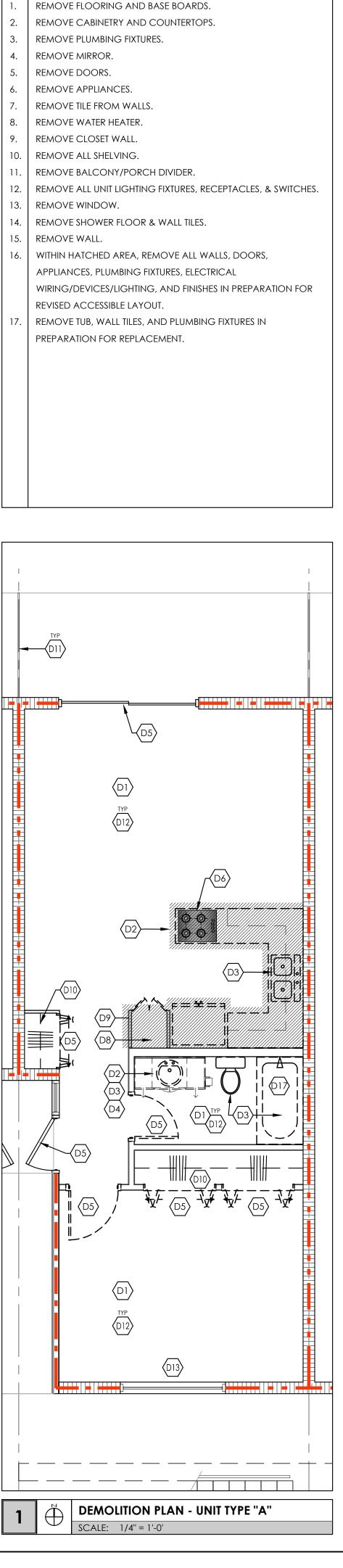
NO.	FLOOR PLAN KEYNOTES   (#)
1.	TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.
2.	NEW LUXURY VINYL TILE FLOORING.
3.	NEW APPLIANCES.
4.	NEW SHOWER WITH TEMPERED GLASS PARTITION.
	ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.
5.	NEW WATER HEATER.
6.	NEW CABINETRY AND COUNTERTOPS.
7.	NEW DOOR & WINDOW TRIM/MOLDINGS.
8.	NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.
9.	NEW TUB & WALL TILE.
10.	NEW TILE @ SHOWER FLOOR & WALLS.
11.	PAINT ALL WALLS, CEILINGS, & MOLDINGS.
12.	ADD NEW BASE BOARDS.
13.	NOT USED.
14.	NEW CLOSET SHELVING.
15.	NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]
16.	NEW KITCHEN SINK & FAUCET.
17.	NEW BATHROOM VANITY SINK & FAUCET.
18.	NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND
	SHOWER CONTROLS.
19.	NEW SHOWER CONTROL VALVE.
20.	NEW TOILET.
21.	NOT USED.
22.	NEW MIRROR.

NO.	DEMOLITION KEYNOTES
1.	REMOVE FLOORING AND BASE BO
2.	REMOVE CABINETRY AND COUNTE
3.	REMOVE PLUMBING FIXTURES.
4.	REMOVE MIRROR.
5.	REMOVE DOORS.
6.	REMOVE APPLIANCES.
7.	REMOVE TILE FROM WALLS.
8.	REMOVE WATER HEATER.
9.	REMOVE CLOSET WALL.
10.	REMOVE ALL SHELVING.
11.	REMOVE BALCONY/PORCH DIVIDE
12.	REMOVE ALL UNIT LIGHTING FIXTUR
13.	REMOVE WINDOW.
14.	REMOVE SHOWER FLOOR & WALL
15.	REMOVE WALL.
16.	WITHIN HATCHED AREA, REMOVE A
	APPLIANCES, PLUMBING FIXTURES,
	WIRING/DEVICES/LIGHTING, AND F
	REVISED ACCESSIBLE LAYOUT.
17.	REMOVE TUB, WALL TILES, AND PLU
	PREPARATION FOR REPLACEMENT.

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	17	2'-8"	x 6'-8"	D3	$\bigcirc$	PAINT	F3	PAINT	Õ	BEDROOM
	$\ge$		x 6'-8" x 6'-8"	D3 D3		PAINT PAINT	F3 F3	PAINT PAINT	$\bigcirc$	BATHROON
	20	3'-0''	x 6'-8"	D4	$\bigcirc$	PAINT	F4	PAINT	$\bigcirc$	BI-FOLD
	$\left(\begin{array}{c} - \\ - \end{array}\right)$		x - x -	-		-	-	-	$\left( \begin{array}{c} - \end{array} \right)$	-
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NOTES GENER	C. RE	OORD EFER TO NIT ENI .IDING	GLASS	DOOR	S. IMPA			LUMINU		
E * DOTES GENER	C. RE	NDC		CHEI	S. IMPA			AME	۲R	
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TYPE * GENER	C. RE C. RE 1. UI 2. SL	OORD FFER TC NIT ENT IDING OPEI WIDE 6'-0'' 2'-8''	GLASS		<b>DULE</b>	CT RESIS	FR TYPE SLIDER	AME FINISH		
E * DOTES GENER	C. RE C. RE 1. UI 2. SL	OORD FFER TC NIT ENT .IDING OPEI WIDE 6'-0'' 2'-8'' -	<b>GLASS</b> <b>DW S</b> NING IN x TALL x 4'-0" x 6'-8"	CHEI FORM/ TYPE G1	<b>DULE</b>	FINISH CLEAR	FR TYPE	AME FINISH ALUM	HDWR	1, 2, 3
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TYPE * GENER	<ul> <li>ST G C. RE</li> <li>VI</li> <li>VI</li> <li>VI</li> <li>VI</li> <li>VI</li> <li>VI</li> <li>INO. 1</li> </ul>	OORD FFER TO NIT ENT JUING OPEI WIDE 6'-0" 2'-8" - - ERIFY A IESE O STALLA EQUIRE ELECTE ROPER	GLASS	CHEI FORM/ TYPE G1 G1 G1 - - SIZES HALL BI OF THE	S. IMPA	FINISH CLEAR CLEAR CLEAR - - - - - - - - - - - - - - - - - - -	FR TYPE SLIDER FIXED - WINDC APLIANO UCT AF	AME FINISH ALUM ALUM - - - - - - - - - - - - - - - - - - -		1, 2, 3 1, 2, 3 - - CORM TO NSTALLATION DOW(S) NSIDERED
WINDOWS TYPE * NOTES GENER	ST         G         C.         RE         1.         VI         2.         NO.         W1         W2         -         1.         VI         W2         -         1.         VI         W2         -         1.         VI         2.         INR         SE         3.         PF         W         PE	OORD FFER TO NIT ENT JUING OPEI WIDE 6'-0'' 2'-8'' - - - ERIFY A HESE O STALLA EQUIRE ELECTE COPER COPER COPER COPER COPER	GLASS OW SO NING IN X TALL X 4'-0" X 6'-8" X - X - ALL EXIST OPENING ATION SI EMENTS ED. FLASHIN THE SCC MED AC	CHEI FORM/ TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1	S. IMPA	FINISH CLEAR CLEAR CLEAR - - - - - - - - - - - - - - - - - - -	FR TYPE SLIDER FIXED - WINDC APLIANA UCT AF ISTANT ISTALLE IDOW /	AME FINISH ALUM ALUM - - - - - - - - - - - - - - - - - - -		1, 2, 3 1, 2, 3 - - CORM TO NSTALLATION DOW(S) NSIDERED BE
NOTES   WINDOWS   TYPE * NOTES   GENER	<ul> <li>ST G C.</li> <li>RE</li> <li>VI</li> <li>SI</li> </ul>	OORD FFER TO NIT ENT IDING OPEI WIDE 6'-0" 2'-8" - 2'-8" - - ERIFY A HESE O STALLA EQUIRE ELECTE COPER 'ITHIN T ERFORI OR WIN	GLASS	CHEI FORM/ TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1	S. IMPA	FINISH CLEAR CLEAR CLEAR - - - - - - - - - - - - - - - - - - -	FR TYPE SLIDER FIXED - WINDC APLIANA UCT AF ISTANT ISTALLE IDOW /	AME FINISH ALUM ALUM - - - - - - - - - - - - - - - - - - -		1, 2, 3 1, 2, 3 - - ORM TO NSTALLATION DOW(S) NSIDERED BE ER'S DETAILS
Z NOTES WINDOWS TYPE & NOTES GENER	<ul> <li>ST G C.</li> <li>C. RE</li> <li>1. UT</li> <li>2. SL</li> <li>W1</li> <li>W2</li> <li>C.</li> <li>W1</li> <li>W2</li> <li>C.</li> <li>TH</li> <li>2. IN</li> <li>W2</li> <li>C.</li> <li>GL</li> <li>GL</li> </ul>	OORD FER TO NIT ENI JUING OPEI WIDE 6'-0'' 2'-8'' - - ERIFY A HESE O STALLA EQUIRE ELECTE ROPER TITHIN T ERFOR DR WIN	GLASS	CHEI FORM/ TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1	S. IMPA	FINISH CLEAR CLEAR CLEAR - - - - - - - - - - - - -	FR TYPE SLIDER FIXED - - WINDC APLIANO UCT AF ISTALLE IDOW / DA CC	AME FINISH ALUM ALUM - - - - - - - - - - - - - - - - - - -		1, 2, 3 1, 2, 3 - - - ORM TO NSTALLATION DOW(S) NSIDERED BE ER'S DETAILS DNMENTS.
NOTES   WINDOWS   TYPE * NOTES   GENER	<ul> <li>ST G C.</li> <li>C. RE</li> <li>I. UT</li> <li>2. SL</li> <li>W1</li> <li>W2</li> <li>-</li> <li>I. VI</li> <li>W2</li> <li>-</li> <li>I. VI</li> <li>W1</li> <li>W2</li> <li>-</li> <li>SE</li> <li>3. PF</li> <li>FC</li> <li>D. GL</li> <li>TEA</li> <li>FC</li> <li>2. TEA</li> <li>ENG</li> </ul>		GLASS NING IN X TALL X 4'-0" X 6'-8" X - X - X - X - X - X - X - X - X - X -	CHEI FORM/ TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1 G1	S. IMPA	FINISH CLEAR C	FR TYPE SLIDER FIXED - - WINDC APLIANA UCT AF ISTALLE IDOW / DA CC CT-RESI THE O 218.2 C LASS.	AME FINISH ALUM ALUM - - - - - - - - - - - - - - - - - - -		1, 2, 3 1, 2, 3 - - - - - - - - - - - - -

## NO. GENERAL NOTES

A. WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.



Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

PHASE ISSUED DRAWINGS:

No. Date Phase Description

1 05.15.2019 Owner Check Set 2 05.28.2019 Permit Set 3 07.26.2019 Updated Permit Set - - -- - -- - -- - -- - -**REVISED DRAWINGS:** No. Date Revision Description - - -- - -

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Professional Seal:



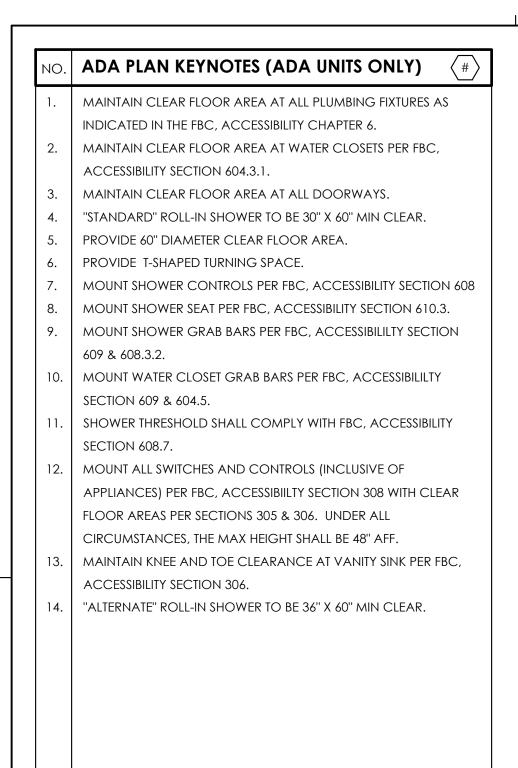
#### Shaun M. Luttrell AR0095921 Project Number:

19-021

#### Sheet Title:

UNIT TYPE "A" FLOOR PLAN, FINISH PLAN, POWER & LIGHTING PLAN



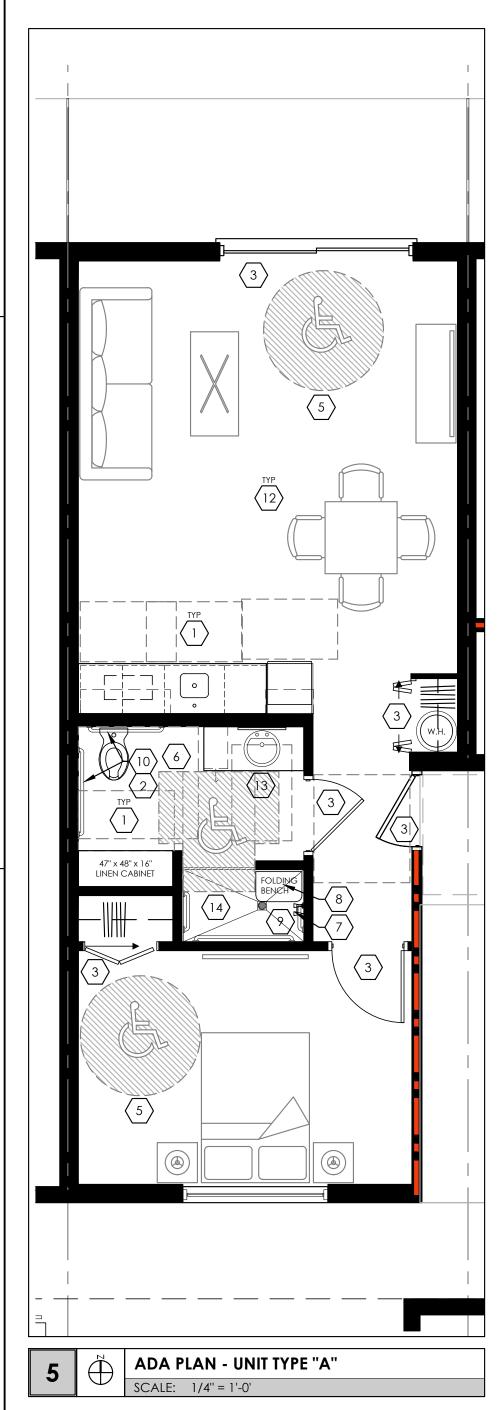


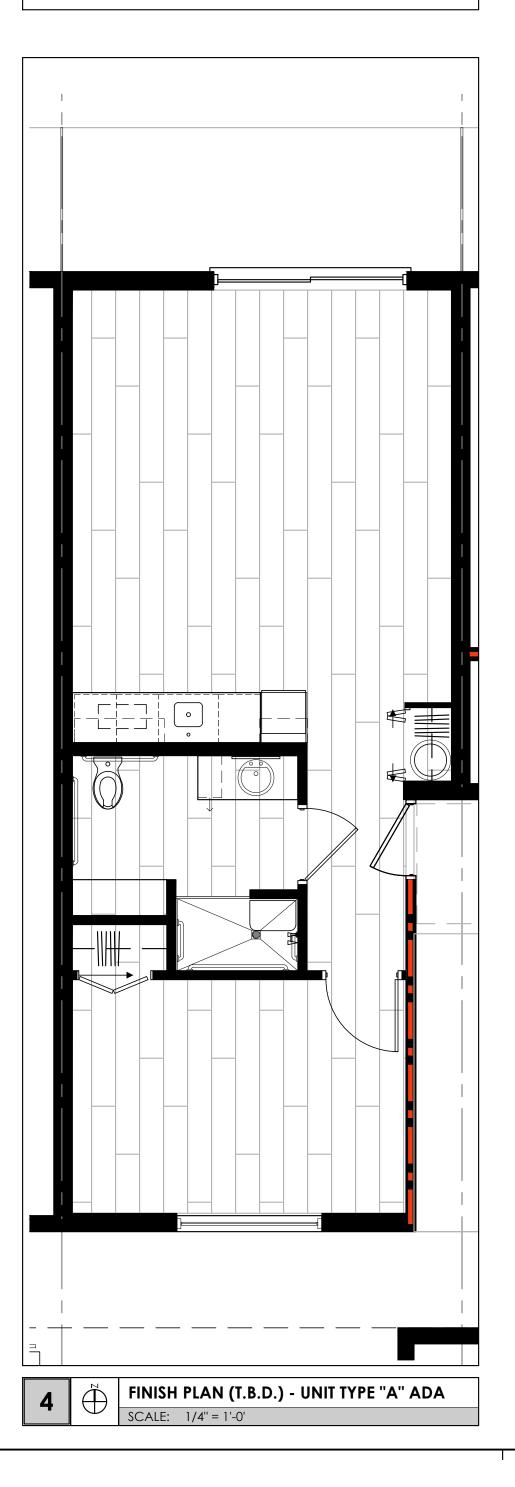
### NO. FINISH SCHEDULE

- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
- WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

### NO. APPLIANCE LEGEND

- DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED &** INSTALLED.





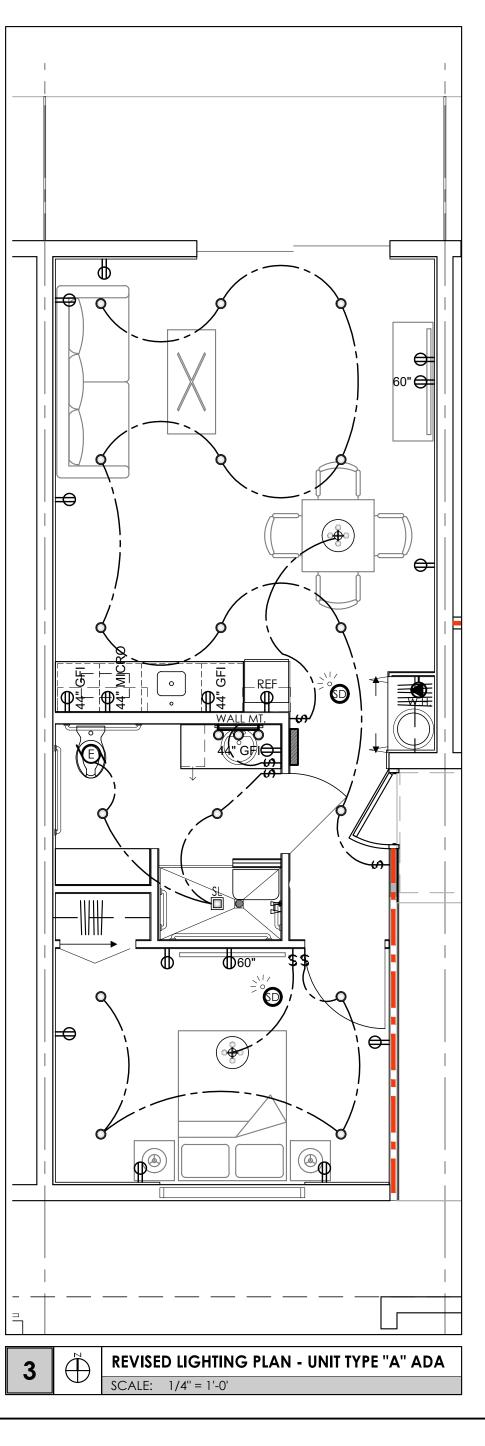


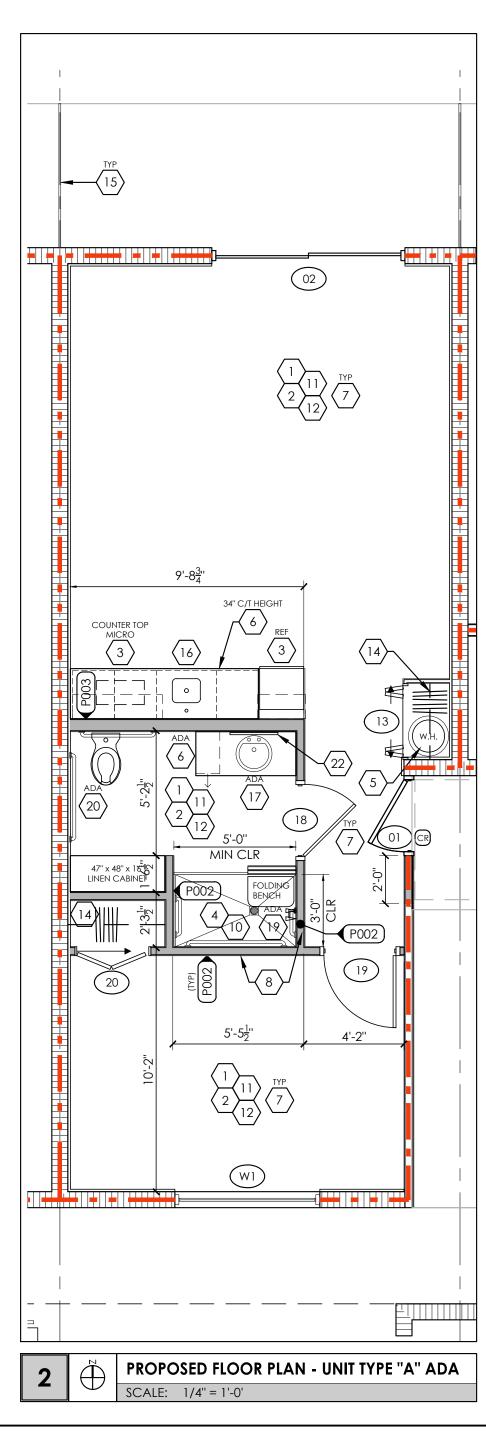
NO. <b>P</b>	OWER & LIGHTING LEGEND
Symbol	DESCRIPTION; REFER TO ELECTRICAL PLANS.
<u> </u>	NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
0	NEW 4" RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
	NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
Έ\	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	<ul> <li>NEW PROGRAMMABLE THERMOSTAT</li> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>
€	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE
<b>₩</b> 44"	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET
 44" GFI	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"
<b>-•</b> W.H.	SPECIAL CONNECTION FOR WATER HEATER
<del>- (,)</del>	LIGHT SWITCH, DECORA STYLE, WHITE COLOR
	ELECTRICAL PANEL, 100 AMPS

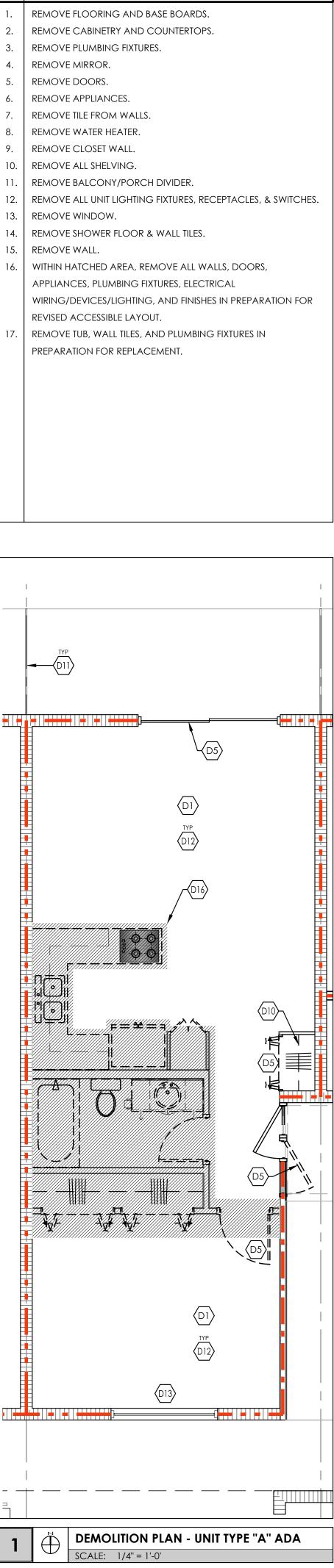
NO.	FLOOR PLAN KEYNOTES
1.	TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.
2.	NEW LUXURY VINYL TILE FLOORING.
3.	NEW APPLIANCES.
4.	NEW SHOWER WITH TEMPERED GLASS PARTITION.
	ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.
5.	NEW WATER HEATER.
6.	NEW CABINETRY AND COUNTERTOPS.
7.	NEW DOOR & WINDOW TRIM/MOLDINGS.
8.	NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.
9.	NEW TUB & WALL TILE.
10.	NEW TILE @ SHOWER FLOOR & WALLS.
11.	PAINT ALL WALLS, CEILINGS, & MOLDINGS.
12.	ADD NEW BASE BOARDS.
13.	NOT USED.
14.	NEW CLOSET SHELVING.
15.	NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]
16.	NEW KITCHEN SINK & FAUCET.
17.	NEW BATHROOM VANITY SINK & FAUCET.
18.	NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND
	SHOWER CONTROLS.
19.	NEW SHOWER CONTROL VALVE.
20.	NEW TOILET.
21.	NOT USED.
22.	NEW MIRROR.

ΝΟ.	DEMOLITION KEYNOTES
1.	REMOVE FLOORING AND BASE BO
2.	REMOVE CABINETRY AND COUNTE
3.	REMOVE PLUMBING FIXTURES.
4.	REMOVE MIRROR.
5.	REMOVE DOORS.
6.	REMOVE APPLIANCES.
7.	REMOVE TILE FROM WALLS.
8.	REMOVE WATER HEATER.
9.	REMOVE CLOSET WALL.
10.	REMOVE ALL SHELVING.
11.	REMOVE BALCONY/PORCH DIVIDE
12.	REMOVE ALL UNIT LIGHTING FIXTUR
13.	REMOVE WINDOW.
14.	REMOVE SHOWER FLOOR & WALL
15.	REMOVE WALL.
16.	WITHIN HATCHED AREA, REMOVE A
	APPLIANCES, PLUMBING FIXTURES,
	WIRING/DEVICES/LIGHTING, AND F
	REVISED ACCESSIBLE LAYOUT.
17.	REMOVE TUB, WALL TILES, AND PLU
	PREPARATION FOR REPLACEMENT.

 $\langle D \# \rangle$ 







SYMBOL       DESCRIPTION         EXISTING LOAD BEARING EXTERIOR WAL [TO REMAIN]       Image: Comparison of the second secon	ALL; FI-FOIL II "GWB AT IN										
<ul> <li>[TO REMAIN]</li> <li>W201 = EXISTING 8" CMU BEARING WA OVER 3/4" PT FURRING STRIPS AND 1/2</li> <li>EXISTING 2-HR RATED TENANT SEPARAT [TO REMAIN]</li> <li>W202 = EXISTING 8" CMU BEARING UN</li> </ul>	ALL; FI-FOIL II "GWB AT IN										
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OVER 3/4" PT FURRING STRIPS AND 1/2 EXISTING 2-HR RATED TENANT SEPARAT [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UN	" GWB AT IN										
<ul> <li>(TO REMAIN]</li> <li>W202 = EXISTING 8" CMU BEARING UN</li> </ul>		ITERIOR .									
• W202 = EXISTING 8" CMU BEARING UN		:									
EXISTING/INFILL 1-HR RATED EXTERIOR		ON WALL									
[TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION											
EXISTING INTERIOR 2x FRAMED PARTITI [TO REMAIN]	ON :										
POO1 = EXISTING 2x4 WD STUD PARTITIC	N										
PROPOSED INTERIOR 2x FRAMED PART • P002 = PROPOSED 2x4 WD STUD PARTI											
ADJACENT STUD SIZE & DOOR INFILL C	OPENINGS										
P003 = PROPOSED 2x6 WD STUD PARTI FOUND AT WET WALLS, MATCH EXISTIN											
DOOR INFILL OPENINGS											
** DOOR SCHEDULE											
	<u> </u>										
← NO. WIDE X TALL TYPE LABEL FINISH TYPE	FINISH   보	NOTES									
EXTERIOR DOORS											
01 3'-0" x 6'-8" D1 (45) PAINT F1	PAINT (A)	UNIT ENTRY									
O2         8'-0"         x         6'-8"         D2         PAINT         F2           INTERIOR DOORS	P.F. B	SGD									
		1									
(11) 2'-10" x 6'-8" D3 (-) PAINT F3	PAINT (C)	BEDROOM									
	PAINT (C)	BATHROON									
	PAINT (D)	DBL BI-FOLD									
	PAINT (D)	DBL BI-FOLD									
	PAINT (E)	CLOSET									
(16) 2'-6" x 6'-8" D3 (-) PAINT F3	PAINT (E)	CLOSET									
		BEDROOM									
	PAINT (C)										
18         3'-0"         x         6'-8"         D3         -         PAINT         F3											
18         3'-0"         x         6'-8"         D3         -         PAINT         F3           19         3'-0"         x         6'-8"         D3         -         PAINT         F3	PAINT C	BEDROOM									
18       3'-0"       x       6'-8"       D3       -       PAINT       F3         19       3'-0"       x       6'-8"       D3       -       PAINT       F3         20       3'-0"       x       6'-8"       D4       -       PAINT       F4											
18         3'-0"         x         6'-8"         D3         -         PAINT         F3           19         3'-0"         x         6'-8"         D3         -         PAINT         F3	PAINT C										

**	** WINDOW SCHEDULE											
ТҮРЕ			OP	ENI	NG IN	IFORMA	ATION		FRAME X NOTES			
Ł	NC	).	WIDE	x	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	Я	NOTES
٧S	W	D	6'-0''	х	4'-0''	G1	-	CLEAR	SLIDER	ALUM	-	1, 2, 3
<b>WINDOWS</b>	(W2	$\mathbf{D}$	2'-8"	х	6'-8''	G1	$\odot$	CLEAR	FIXED	ALUM	$\bigcirc$	1, 2, 3
IND	(-	2	-	х	-	-	$\overline{(\cdot)}$	-	-	-	$\bigcirc$	-
3	(-	)	-	х	-	-	(-)	-	-	-	(-)	-
NOTES	1. 2. 3.	THESE OPENING SIZES INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED.										
NC	).	GI	LAS	S 1	YPE	S						
G	2.	NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL <b># 14218.2</b> OR APPROVED EQUAL. <b>TEMPERED GLASS.</b> WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201.										
NO. GENERAL NOTES												
NC	).	G	ENE	K/	AL N							
		WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.										



Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

PHASE ISSUED DRAWINGS:

No. Date Phase Description 1 05.15.2019 Owner Check Set 2 05.28.2019 Permit Set 3 07.26.2019 Updated Permit Set - -- - -- - -- - -- - -**REVISED DRAWINGS:** No. Date Revision Description

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Professional Seal:

07.31.2019

#### AR0095921 Shaun M. Luttrell Project Number:

19-021

#### Sheet Title:

UNIT TYPE "A" ADA FLOOR PLAN, FINISH PLAN, POWER & LIGHTING PLAN

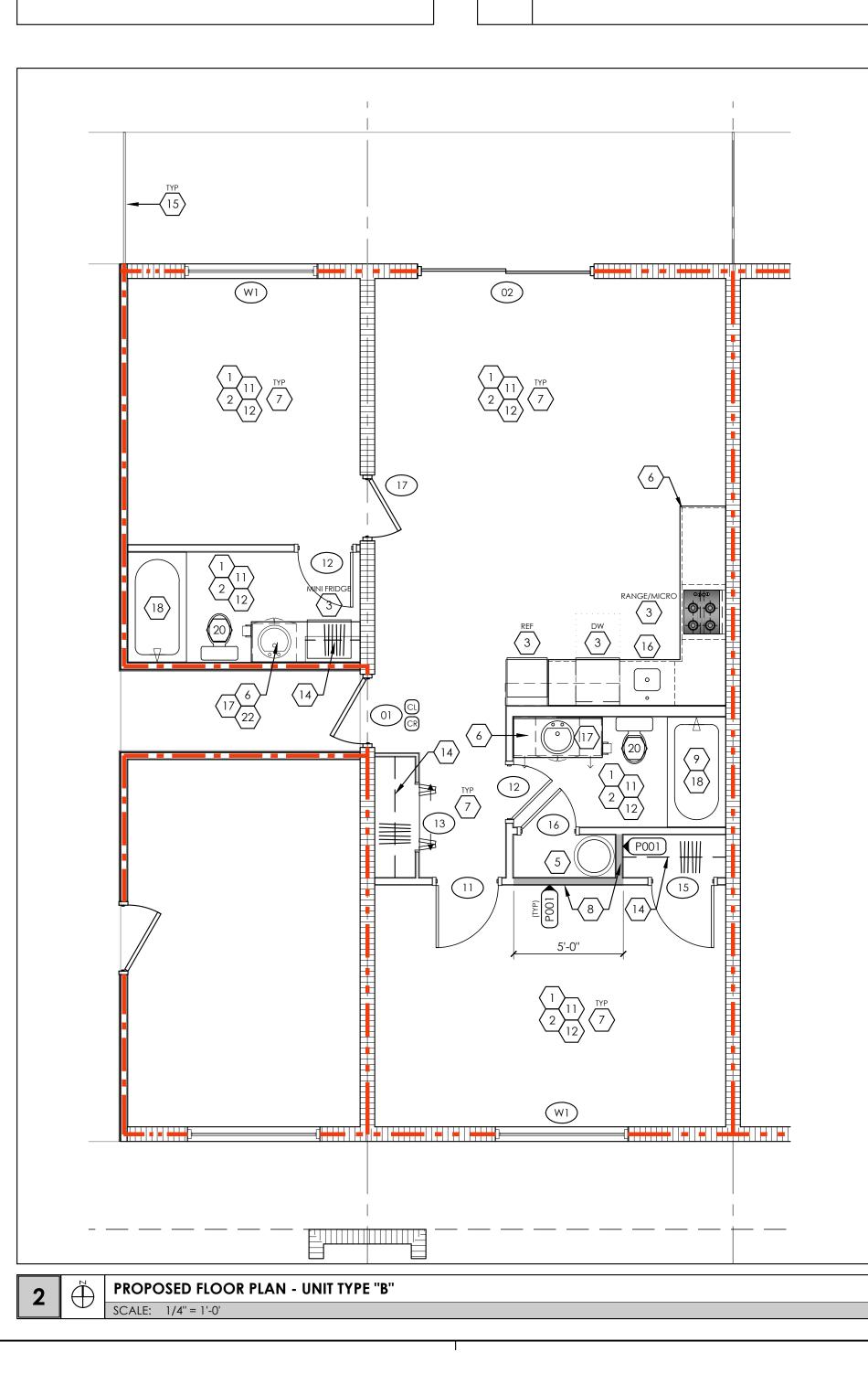


NO.	ADA PLAN KEYNOTES (ADA UNITS ONLY)
1.	MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS
	INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
2.	MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC,
	ACCESSIBILITY SECTION 604.3.1.
3.	MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
4.	"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
5.	PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
6.	PROVIDE T-SHAPED TURNING SPACE.
7.	MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608
8.	MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
9.	MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION
	609 & 608.3.2.
10.	MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY
	SECTION 609 & 604.5.
11.	SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY
	SECTION 608.7.
12.	MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF
	APPLIANCES) PER FBC, ACCESSIBIILTY SECTION 308 WITH CLEAR
	FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL
	CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
13.	MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC,
	ACCESSIBILITY SECTION 306.
	"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.

- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
- WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

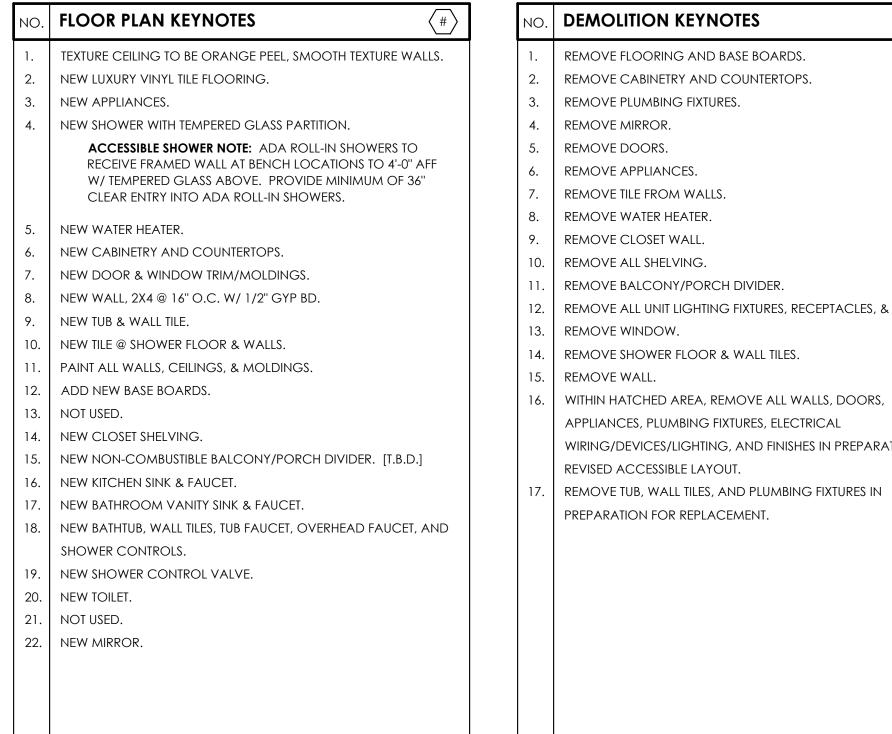
#### O. APPLIANCE LEGEND

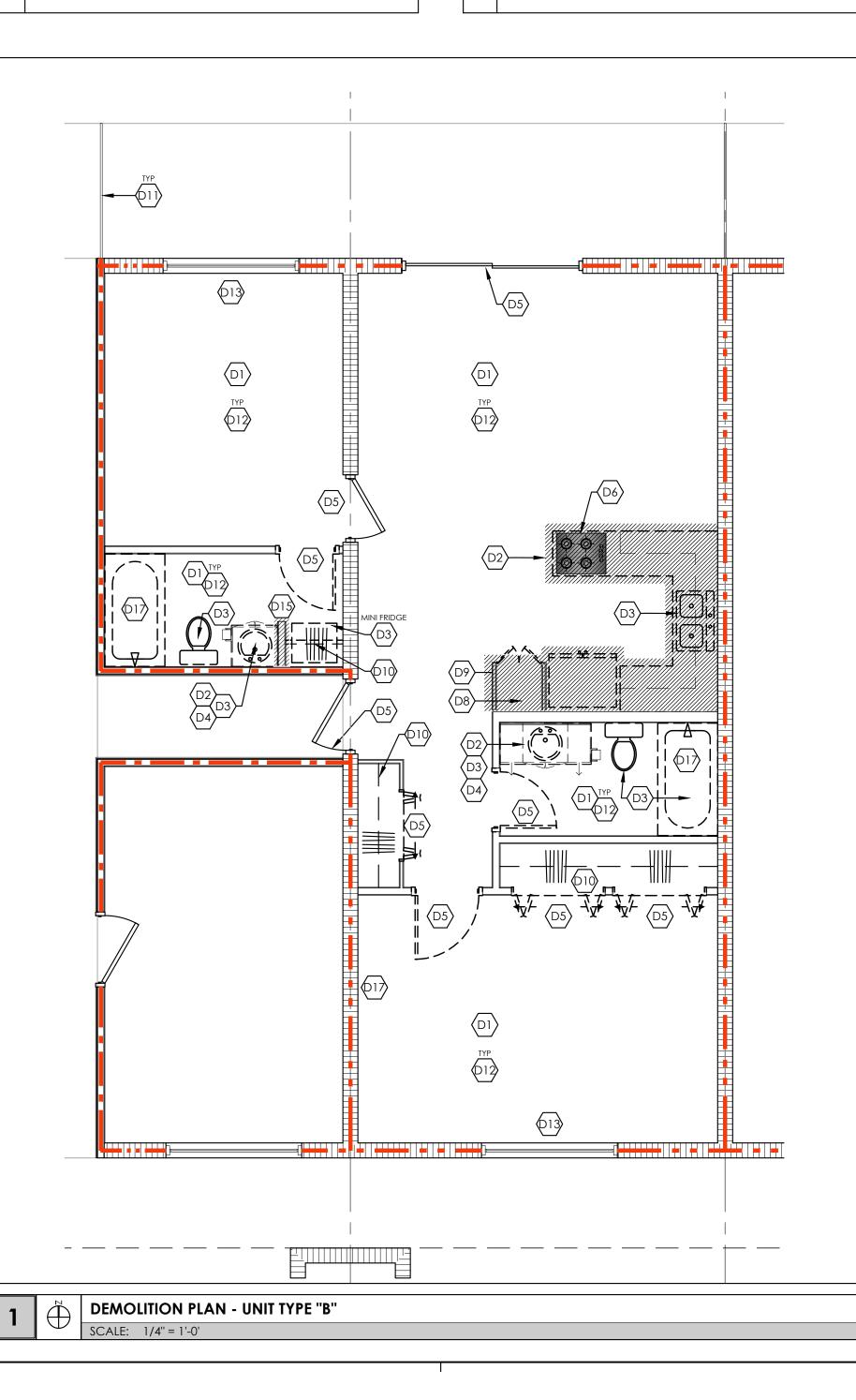
- **DISH WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED &** INSTALLED.



NO. PC	OWER & LIGHTING LEGEND
Ymbol	DESCRIPTION; REFER TO ELECTRICAL PLANS.
<u>909</u>	NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
0	NEW 4" RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
	NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
¥Ē	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	<ul> <li>NEW PROGRAMMABLE THERMOSTAT</li> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>
₽	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE
<b>₩</b> 44"	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET
 44" GFI	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"
<b>-•••••••••••••</b>	SPECIAL CONNECTION FOR WATER HEATER
-€9	light switch, decora style, white color

ELECTRICAL PANEL, 100 AMPS





S ⟨D♯⟩
BOARDS.
NTERTOPS.
/IDER.
IURES, RECEPTACLES, & SWITCHES.
ALL TILES.
/E ALL WALLS, DOORS,
es, electrical
ID FINISHES IN PREPARATION FOR

** WA	LL + PARTITION LEGEND
Symbol	DESCRIPTION
	EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL; FI-FOIL INSULATION OVER 3/4" PT FURRING STRIPS AND 1/2" GWB AT INTERIOR .
	EXISTING <b>2-HR RATED TENANT SEPARATION WALL :</b> [TO REMAIN] • <b>W202 =</b> EXISTING 8" CMU BEARING UNIT SEPARATION WALL
	EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION
	EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION
	<ul> <li>PROPOSED INTERIOR 2x FRAMED PARTITION :</li> <li>P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE &amp; DOOR INFILL OPENINGS</li> <li>P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE &amp; DOOR INFILL OPENINGS</li> </ul>



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Project | Tenant Information: Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

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Щ		OP	ENI	NG INI	ORMATION			FR.	AME	K K	
TYPE	NO.	WIDE	x	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	HDWR	NOTES
		TERIOR						F1	PAINT	$\bigcirc$	
RS	$\begin{pmatrix} 01\\ 02 \end{pmatrix}$			6'-8"	D1	(45)	PAINT			$\begin{pmatrix} A \\ B \end{pmatrix}$	
DOORS	$\sim$	) 8'-0'' Erior [		6'-8"	D2	0	PAINT	F2	P.F.	U	SGD
ŏ		) 2'-10'		6'-8''	D3	(-)	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
	12	) 2'-6"		6'-8''	D3	(-)	PAINT	F3	PAINT	6	BATHROOM
		) 3'-0"		6'-8''	D3	$\bigcirc$	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOLD
	13	) 4'-0"		6'-8''	D4	( - )	PAINT	F4	PAINT	6	DBL BI-FOLD
	(15	) 2'-10'		6'-8"	D4 D3	$\bigcirc$	PAINT	F3	PAINT	E	CLOSET
	13	) 2'-6"		6'-8''	D3	( - )	PAINT	F3	PAINT		CLOSET
		) 2'-8"		6'-8''	D3	( - )	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
		) 3'-0"		6'-8''	D3	( - )	PAINT	F3	PAINT	6	BATHROOM
	10	) 3'-0"		6'-8"	D3	$\bigcirc$	PAINT	F3	PAINT	6	BEDROOM
	20	) 3'-0"		6'-8"	D3	$\bigcirc$	PAINT	F4	PAINT	$\bigcirc$	BI-FOLD
		<u>} ₀₀</u>	x			$\bigcirc$	-	-	-		
		$\frac{1}{2}$	x	-	_	$\mathbb{S}$	-	-	-	$\mathbb{C}$	-
			^	-	_	$\mathbf{O}$	-	-	-	U	-
GENERAL NOTES	<ul> <li>A. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION.</li> <li>B. [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM – COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. REFER TO UNIT PLAN SHEETS FOR DOOR TAGS.</li> </ul>										
NOTES	1. 2.					-	esistant Act resis				ORS.
*>	k	VIND	0	w so	CHE	DULE					
Щ		OP	ENI	NG INI	ORMA	ATION		FR.	AME	٨R	
TYPE	NO.	WIDE	x	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	HDWR	NOTES
6				<i>1</i> ' O''	Cl				A       A 4	$\cap$	1 0 0
Ň	(W1 (W2			4'-0'' 6'-8''	G1	$\bigcirc$	CLEAR			$\mathbb{R}^{1}$	1, 2, 3
ğ	$\geq$	ノ <u> </u>		0-0	G1	(-)	CLEAR	FIXED	ALUM	$\aleph$	1, 2, 3
WINDOWS		) -	x x	-	-	$\left(\begin{array}{c} - \\ - \end{array}\right)$	-	-	-	(-)	-

	$\sim$	/									
N N		) -	х	-	-	$\overline{}$	-	-	-	$\overline{}$	-
NOTES	1. 2. 3.	THESE INSTA REQU SELEC PROP WITHII	OPEI LLATIC IREME TED. ER FLA	NING ON SH ENTS ( ASHIN SCO	SIZES IALL BE DF THE IG ANI PE OF	E IN STR FLORIE D WEAT THE WII	DA PROD THER RESINDOW IN	nplian Puct Af Istant Istalle	CE WITH PPROVE SHALL B FR AND S	I THE IN D WINI E CON SHALL	ISTALLATION DOW(S) ISIDERED

PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS.

GLASS TYPES NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS. G1. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL **# 14218.2** OR APPROVED EQUAL. G2. TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201.

#### GENERAL NOTES

A. WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.

PHASE ISSUED DRAWINGS:								
No.	Date	Phase Description						
1	05.15.2019	Owner Check Set						
2	05.28.2019	Permit Set						
3	07.26.2019	Updated Permit Set						
-	-	-						
-	-	-						
-	-	-						
-	-	-						
-	-	-						
REV	ISED DRAWING	SS:						
No.	Date	Revision Description						
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Professional Seal:



#### Shaun M. Luttrell AR0095921

19-021

Sheet Title:

Project Number:

UNIT TYPE "B" DEMO PLAN AND PROPOSED FLOOR PLAN

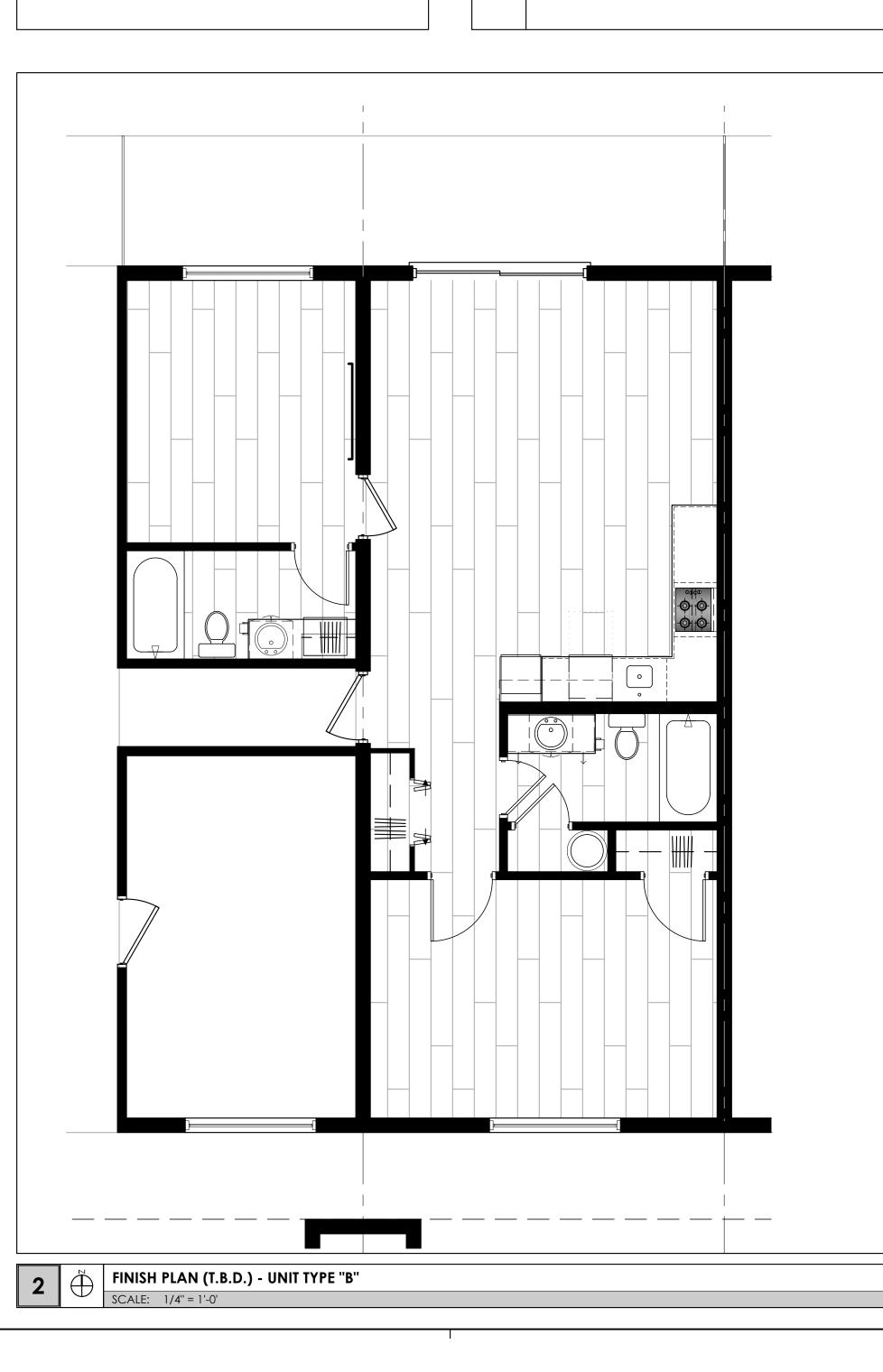


NO.	ADA PLAN KEYNOTES (ADA UNITS ONLY)
1.	MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS
	INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
2.	MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC,
	ACCESSIBILITY SECTION 604.3.1.
3.	MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
4.	"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
5.	PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
6.	PROVIDE T-SHAPED TURNING SPACE.
7.	MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608
8.	MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
9.	MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION
	609 & 608.3.2.
10.	MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY
	SECTION 609 & 604.5.
11.	SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY
	SECTION 608.7.
12.	MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF
	APPLIANCES) PER FBC, ACCESSIBIILTY SECTION 308 WITH CLEAR
	FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL
	CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
13.	MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC,
	ACCESSIBILITY SECTION 306.
14.	"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.

- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
- WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

### NO. APPLIANCE LEGEND

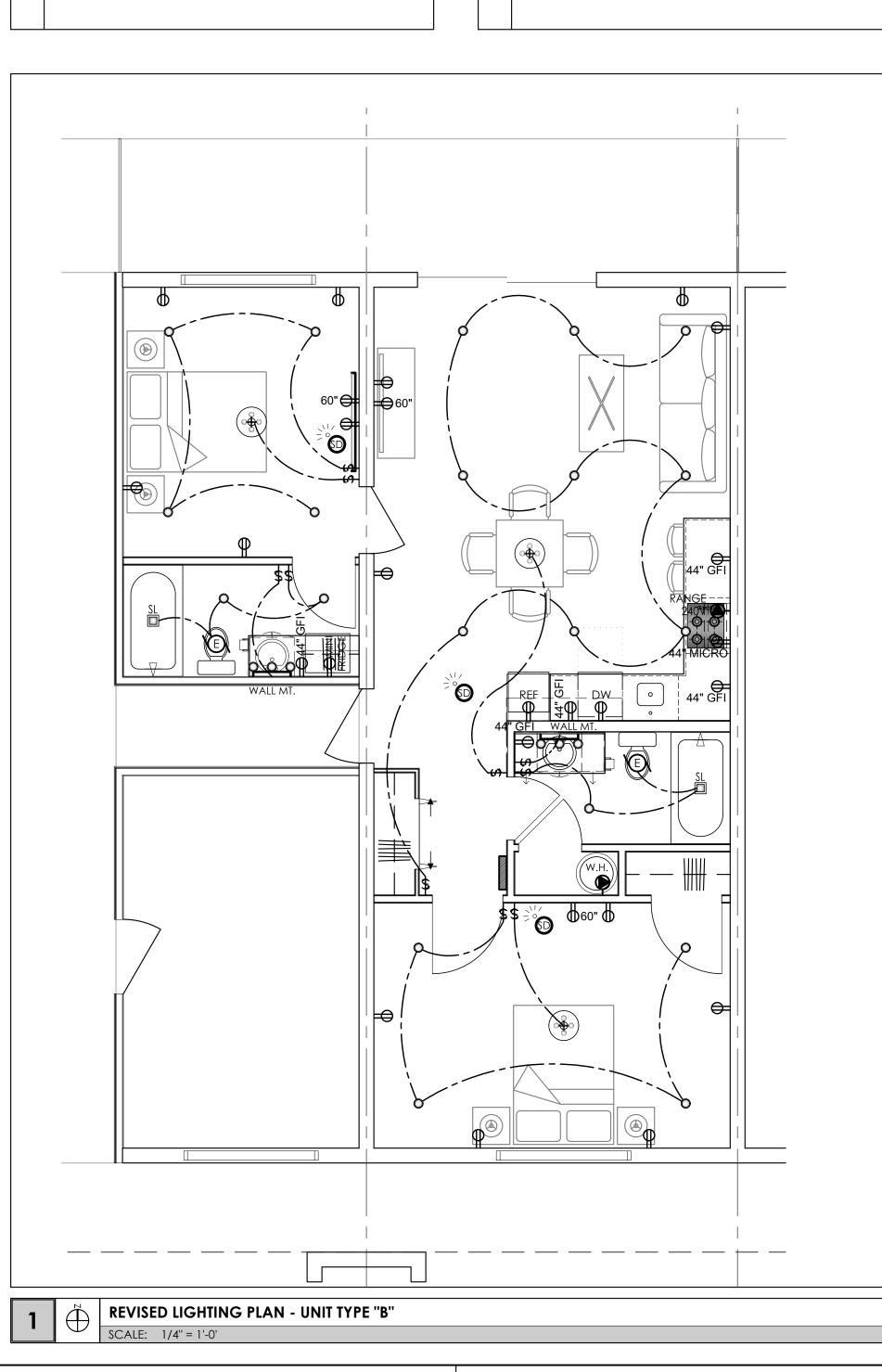
- **DISH WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.



SYMBOL	<b>DWER &amp; LIGHTING LEGEND</b> DESCRIPTION; REFER TO ELECTRICAL PLANS.
<u>, o o</u>	NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
0	NEW 4" RECESSED LED DOWN LIGHT • <b>SPEC = OWNER SELECTED</b> • CONTRACTOR PROVIDED/INSTALLED.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
	NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
KEY	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	<ul> <li>NEW PROGRAMMABLE THERMOSTAT</li> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>
€	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE
<b>₩</b> 44"	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET
 44" GFI	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"
<b>-W</b> .H.	SPECIAL CONNECTION FOR WATER HEATER
<del>. (</del>	LIGHT SWITCH, DECORA STYLE, WHITE COLOR

ELECTRICAL PANEL, 100 AMPS

NO.	FLOOR PLAN KEYNOTES     (#)	NO.	DEMOLITION KEYNOTES
1.	TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.	1.	REMOVE FLOORING AND BASE BOA
2.	NEW LUXURY VINYL TILE FLOORING.	2.	REMOVE CABINETRY AND COUNTER
3.	NEW APPLIANCES.	3.	REMOVE PLUMBING FIXTURES.
4.	NEW SHOWER WITH TEMPERED GLASS PARTITION.	4.	REMOVE MIRROR.
	ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO	5.	REMOVE DOORS.
	RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36"	6.	remove appliances.
	CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.	7.	REMOVE TILE FROM WALLS.
		8.	REMOVE WATER HEATER.
5.		9.	REMOVE CLOSET WALL.
6.		10.	REMOVE ALL SHELVING.
7.		11.	REMOVE BALCONY/PORCH DIVIDER
8.	NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.	12.	REMOVE ALL UNIT LIGHTING FIXTURES
9.	NEW TUB & WALL TILE.	13.	REMOVE WINDOW.
10.	NEW TILE @ SHOWER FLOOR & WALLS.	14.	REMOVE SHOWER FLOOR & WALL TI
11.	PAINT ALL WALLS, CEILINGS, & MOLDINGS.	15.	REMOVE WALL.
12.	ADD NEW BASE BOARDS.	16.	WITHIN HATCHED AREA, REMOVE AL
13.	NOT USED.		APPLIANCES, PLUMBING FIXTURES, EI
14.	NEW CLOSET SHELVING.		WIRING/DEVICES/LIGHTING, AND FIN
15.	NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]		REVISED ACCESSIBLE LAYOUT.
16.	NEW KITCHEN SINK & FAUCET.	17.	REMOVE TUB, WALL TILES, AND PLUN
17.	NEW BATHROOM VANITY SINK & FAUCET.		PREPARATION FOR REPLACEMENT.
18.	NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND		
	SHOWER CONTROLS.		
19.	NEW SHOWER CONTROL VALVE.		
20.	NEW TOILET.		
21.	NOT USED.		
22.	NEW MIRROR.		



S (D#)
BOARDS.
NTERTOPS.
IDER.
IURES, RECEPTACLES, & SWITCHES.
LL TILES.
e all walls, doors,
ES, ELECTRICAL

- INISHES IN PREPARATION FOR
- MBING FIXTURES IN

** WA	LL + PARTITION LEGEND
symbol	DESCRIPTION
<b>┙</b> │┿│┿│┝┿┿	EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL; FI-FOIL INSULATION OVER 3/4" PT FURRING STRIPS AND 1/2" GWB AT INTERIOR .
	EXISTING <b>2-HR RATED TENANT SEPARATION WALL :</b> [TO REMAIN] • <b>W202 =</b> EXISTING 8'' CMU BEARING UNIT SEPARATION WALL
	EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION
	EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION
	<ul> <li>PROPOSED INTERIOR 2x FRAMED PARTITION :</li> <li>P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE &amp; DOOR INFILL OPENINGS</li> <li>P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE &amp; DOOR INFILL OPENINGS</li> </ul>



Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

		OPEN	ING INI	ORMA	ATION		FR.	AME	/R	
NC	).	WIDE x	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	HDWR	NOTES
EXTERIOR DOORS										
	<	3'-0" x		D1	(45)	PAINT	F1	PAINT	$\bigcirc$	UNIT ENTRY
	$\leq$		6'-8''		$\left \right\rangle$	PAINT	F2	P.F.	$\begin{pmatrix} A \end{pmatrix}$	SGD
$\sim$	/			D2	(-)	FAINI	ΓZ	г.г.	U	SGD
	<hr/>			<b>D</b> 2	$\square$	DAINIT	50		$\bigcirc$	REDROOM
	$\leq$	2'-10" x		D3	(-)	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
(12)	$\leq$	-	6'-8"	D3	(-)	PAINT	F3	PAINT	$\bigcirc$	BATHROOM
	$\leq$		6'-8''	D4	(-)	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOLD
		4'-0'' x	6'-8''	D4	(-)	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOLD
(15)	$\overline{)}$	2'-10" x	6'-8''	D3	$\bigcirc$	PAINT	F3	PAINT	$(\underline{E})$	CLOSET
(1e)	$\mathcal{D}$	2'-6" x	6'-8''	D3	(-)	PAINT	F3	PAINT	(E)	CLOSET
$\left(1\right)$	シ	2'-8" x	6'-8''	D3	$(\cdot)$	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
18	$\mathbb{D}$	3'-0" x	6'-8''	D3	$  \bigcirc  $	PAINT	F3	PAINT	$\bigcirc$	BATHROOM
(19	$\supset$	3'-0" x	6'-8''	D3	$\odot$	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
20	$\bigcirc$	3'-0" x	6'-8''	D4		PAINT	F4	PAINT	$\bigcirc$	BI-FOLD
-	$\Big)$	- X	-	-	$\overline{(-)}$	-	-	-	$(\cdot)$	-
-	$\mathbf{b}$	- X	-	-	$\overline{(-)}$	-	-	-	$\overline{(-)}$	-
<ul> <li>A. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION.</li> <li>B. [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM – COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS.</li> <li>C. REFER TO UNIT PLAN SHEETS FOR DOOR TAGS.</li> </ul>										
1. 2.										

**	** WINDOW SCHEDULE											
ЪЕ		OPENING INFORMATION				FRAME		HDWR				
ТҮРЕ	NO	).	WIDE	х	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	Ĥ	NOTES
۷S	(W1	$\mathcal{D}$	6'-0''	х	4'-0''	G1	(-)	CLEAR	SLIDER	ALUM	(-)	1, 2, 3
õ	$\widetilde{\mathbb{W}_2}$	)	2'-8"	х	6'-8''	G1	$\overline{\bigcirc}$	CLEAR	FIXED	ALUM	$\overline{\bigcirc}$	1, 2, 3
WINDOWS	<u> </u>	>	-	х	-	-	•	-	-	-	$\overline{\bigcirc}$	-
₹	(-	$\sum$	-	х	-	-	-	-	-	-	$\bigcirc$	-
NOTES	<ol> <li>VERIFY ALL EXISTING OPENINGS &amp; SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES</li> <li>INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED.</li> <li>PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS.</li> </ol>											
NC	).	G	LAS	S 1	TYPE	S						

G1. NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL **# 14218.2** OR APPROVED EQUAL. G2. TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201.

## GENERAL NOTES

A. WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.

PHA	PHASE ISSUED DRAWINGS:							
No.	Date	Phase Description						
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-	-	-						
-	-	-						
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REVI	REVISED DRAWINGS:							
No.	Date	Revision Description						
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Professional Seal:



#### AR0095921 Shaun M. Luttrell

19-021

#### Sheet Title:

Project Number:

UNIT TYPE "B" (CONT.) POWER & LIGHTING PLAN and finish plan

Original size is 24"x36". Copy Reductions N.T.S.



NO.	ADA PLAN KEYNOTES (ADA UNITS ONLY)	NO.	FINIS
1.	MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS		THE INT
	INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.		HOTEL BY THE
2.	MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC,	Α.	ALL MA
	ACCESSIBILITY SECTION 604.3.1.		ADHER
3.	MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.	В.	INSTALI Floor
4.	"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.		MAJO
5.	PROVIDE 60" DIAMETER CLEAR FLOOR AREA.	c.	SHEET. Gypsu
6.	PROVIDE T-SHAPED TURNING SPACE.	<b>.</b>	MOISTI
7.	MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608		CEMEN
8.	MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.	D.	PAINTE PAINT :
<b>)</b> .	MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION		MINIM
	609 & 608.3.2.		WILL N PROFE
0.	MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY		FINISH
	SECTION 609 & 604.5.		• \
1.	SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY		• 1
	SECTION 608.7.		
2.	MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF		
	APPLIANCES) PER FBC, ACCESSIBIILTY SECTION 308 WITH CLEAR		
	FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL	NO.	APPL
	CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.	NO.	
3.	MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC,	1.	DISH W
	ACCESSIBILITY SECTION 306.		INSTALI
4.	"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.	2.	<b>RANGE</b> PROVIE CONTA
		3.	<b>refrig</b> Instali

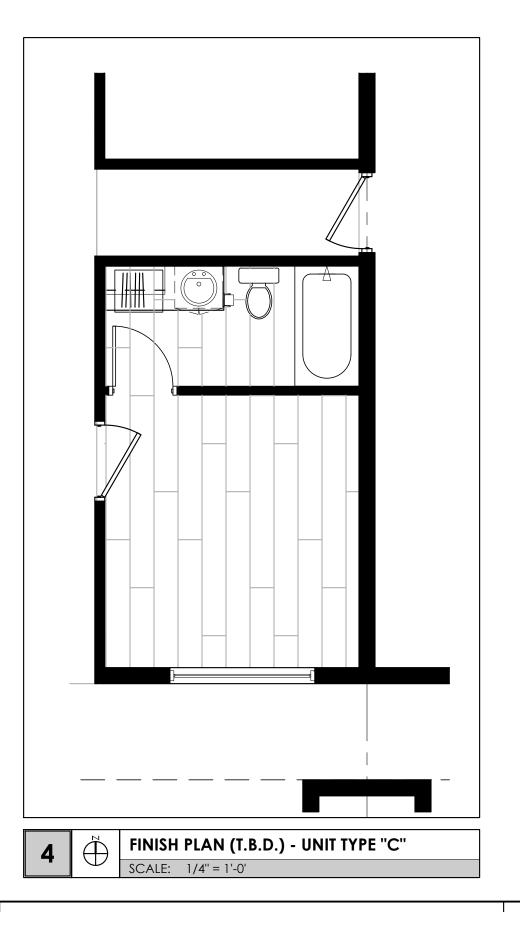
#### ISH SCHEDULE

NTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED E OWNER. MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT

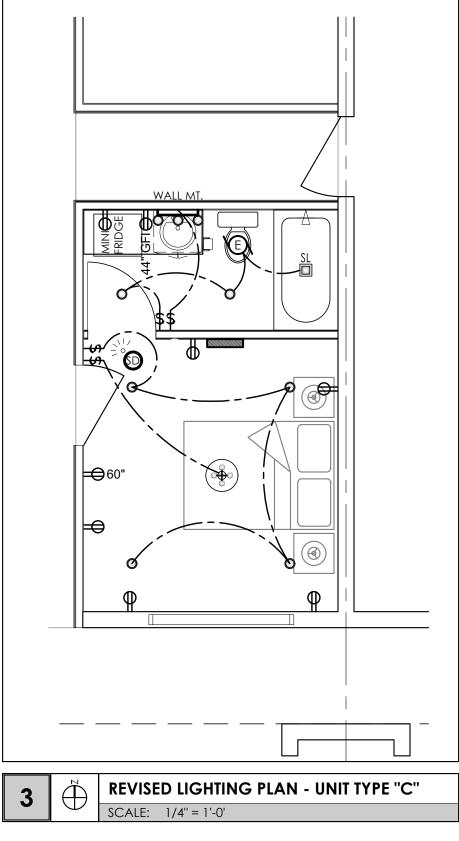
- IERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND ALLATION INSTRUCTIONS. **DRING** SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- OR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS
- SUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND STURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE ENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE TED GWB WITH A SMOOTH TEXTURE U.N.O.
- IT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT IMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A FESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH h gwb installation.
  - WALLS EGGSHELL, COLOR T.B.D. TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

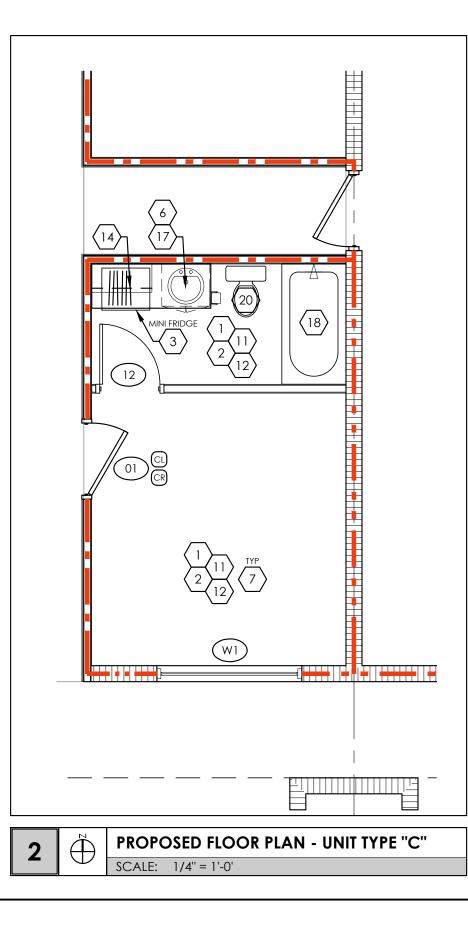
### PLIANCE LEGEND

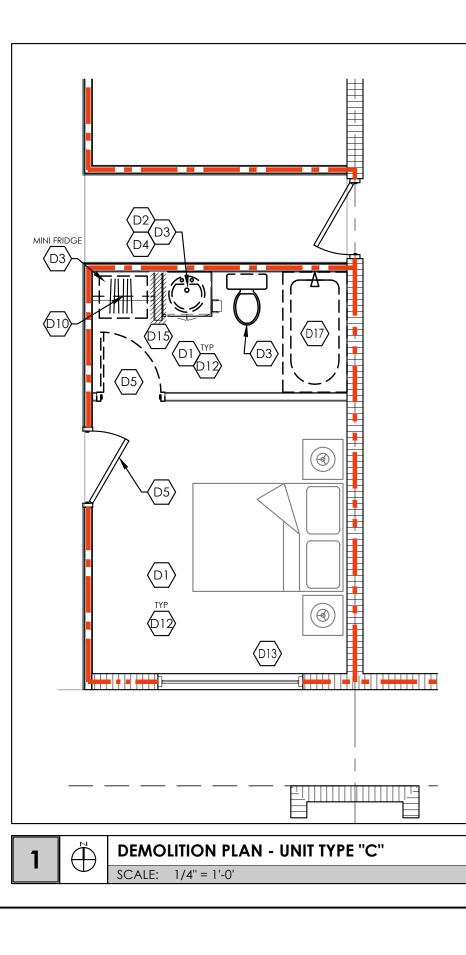
- **WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & LLED.
- **GE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR VIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO VTAIN A RECIRCULATING VENT SYSTEM.
- **IGERATOR =** OWNER SELECTED, CONTRACTOR PROVIDED & I I FD



NO. P	OWER & LIGHTING LEGEND	NO.	FLOOR PLAN KEYNOTES     (#)	NO.	DEMOLITION KEYNOTI
Symbol	DESCRIPTION; REFER TO ELECTRICAL PLANS.	1.	TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.	1.	REMOVE FLOORING AND BASE
	NEW WALL MOUNTED VANITY LIGHT FIXTURE	2.	NEW LUXURY VINYL TILE FLOORING.	2.	REMOVE CABINETRY AND COU
ဝုဝဝ	SPEC = OWNER SELECTED     CONTRACTOR PROVIDED/INSTALLED.	3.	NEW APPLIANCES.	3.	REMOVE PLUMBING FIXTURES.
	• CONTRACTOR PROVIDED/INSTALLED.	4.	NEW SHOWER WITH TEMPERED GLASS PARTITION.	4.	REMOVE MIRROR.
0	NEW 4" RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED		ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO	5.	REMOVE DOORS.
	• CONTRACTOR PROVIDED/INSTALLED.		RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF	6.	REMOVE APPLIANCES.
	NEW 4" RECESSED SHOWER LED DOWN LIGHT		W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.	7.	REMOVE TILE FROM WALLS.
SL	• SPEC = OWNER SELECTED			8.	REMOVE WATER HEATER.
	CONTRACTOR PROVIDED/INSTALLED.	5.	NEW WATER HEATER.	9.	REMOVE CLOSET WALL.
	NEW DECORATIVE CHANDELIER LIGHT	6.	NEW CABINETRY AND COUNTERTOPS.	10.	REMOVE ALL SHELVING.
	SPEC = OWNER SELECTED     CONTRACTOR PROVIDED/INSTALLED.	7.	NEW DOOR & WINDOW TRIM/MOLDINGS.	11.	REMOVE BALCONY/PORCH DI
		8.	NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.	12.	REMOVE ALL UNIT LIGHTING FIX
VE	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED	9.	NEW TUB & WALL TILE.	13.	REMOVE WINDOW.
	CONTRACTOR PROVIDED/INSTALLED.	10.	NEW TILE @ SHOWER FLOOR & WALLS.	14.	REMOVE SHOWER FLOOR & W
	NEW SMOKE DETECTOR AND C.M. COMBO	11.	PAINT ALL WALLS, CEILINGS, & MOLDINGS.	15.	REMOVE WALL.
	• SPEC = OWNER SELECTED	12.	ADD NEW BASE BOARDS.	16.	WITHIN HATCHED AREA, REMO
	CONTRACTOR PROVIDED/INSTALLED.	13.	NOT USED.		APPLIANCES, PLUMBING FIXTU
	NEW PROGRAMMABLE THERMOSTAT	14.	NEW CLOSET SHELVING.		WIRING/DEVICES/LIGHTING, A
	SPEC = OWNER SELECTED     CONTRACTOR PROVIDED/INSTALLED.	15.	NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]		REVISED ACCESSIBLE LAYOUT.
		16.	NEW KITCHEN SINK & FAUCET.	17.	REMOVE TUB, WALL TILES, AND
≠	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE	17.	NEW BATHROOM VANITY SINK & FAUCET.		PREPARATION FOR REPLACEM
	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF	18.	NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND		
44"	OUTLET		SHOWER CONTROLS.		
	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF	19.			
 44" GFI	OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"	20.			
- <b>•</b> W.H.	SPECIAL CONNECTION FOR WATER HEATER	21.	NOT USED.		
		22.	NEW MIRROR.		
<b>₩</b>	LIGHT SWITCH, DECORA STYLE, WHITE COLOR				
	ELECTRICAL PANEL, 100 AMPS				

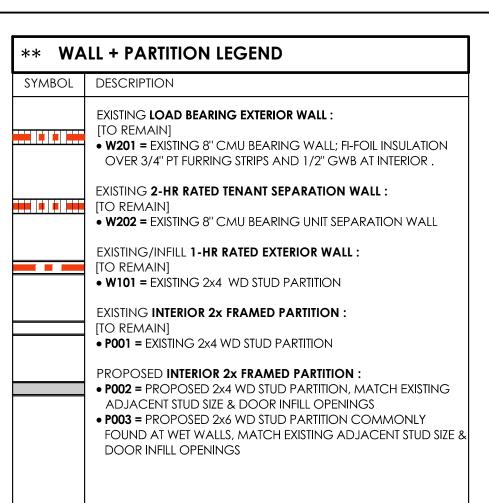






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BOARDS.	
NTERTOPS.	
/IDER.	
TURES, RECEPTACLES	, & SWITCHES.
ALL TILES.	
ve all walls, door	S,
es, electrical	
ID FINISHES IN PREPA	RATION FOR

- d plumbing fixtures in
- ENT.





Tampa, Florida 33602 **USA** E: shaun@luttrellarchitecture.com T: 813.494.3567 W: www.luttrellarchitecture.com License No.AR95921

Project | Tenant Information: Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

PHASE ISSUED DRAWINGS:

*>	** DOOR SCHEDULE										
ΡE		OF	PENI	NG INI	FORMA	ATION		FR	AME	٨R	
ТYI	NO	WID	Ex	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	HDWR	NOTES
	FX.	FERIOR									
	01	) 3'-0'		6'-8"	D1	(45)	PAINT	F1	PAINT	(A)	UNIT ENTRY
DOORS	02	) 8'-0'	' x	6'-8''	D2	(-)	PAINT	F2	P.F.	B	SGD
ğ		ERIOR	DO	ORS		$\cup$					
	(11	2'-10	" x	6'-8''	D3	(-)	PAINT	F3	PAINT	(C)	BEDROOM
	(12	2'-6'	' x	6'-8''	D3	$\overline{(-)}$	PAINT	F3	PAINT	Õ	BATHROOM
	13	) 3'-0'	' x	6'-8''	D4	$\overline{\bigcirc}$	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOLD
	14	) 4'-0'	' x	6'-8''	D4	$\overline{\mathbf{\cdot}}$	PAINT	F4	PAINT	D	DBL BI-FOLD
	15	2'-10	" x	6'-8"	D3	$\overline{}$	PAINT	F3	PAINT	E	CLOSET
	16	2'-6'	' x	6'-8''	D3	$\overline{}$	PAINT	F3	PAINT	E	CLOSET
	17	2'-8'	' x	6'-8''	D3	$\overline{}$	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
	18	) 3'-0'	' x	6'-8''	D3	$\overline{}$	PAINT	F3	PAINT	$\bigcirc$	BATHROOM
	(19	) 3'-0'	' x	6'-8''	D3	$\overline{}$	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
	20	) 3'-0'	' x	6'-8''	D4	$\odot$	PAINT	F4	PAINT	D	BI-FOLD
	-	) -	х	-	-	$\overline{\mathbf{\cdot}}$	-	-	-	$\odot$	-
	-	) -	х	-	-	$\overline{}$	-	-	-	$\odot$	-
<b>GENERAL NOTES</b>	$\sim$ 1 I U U U KUNNA HING A I U U K SIVILITI U KETALI SUHE EN KTI U U KS.										
NOTES	1. 2.								DOOR.		ORS.

**	<b>k</b>	W	IND	0	w so	CHE	DULE					
ΡE		OPENING INFORMATION							FR	AME	HDWR	
TΥΡ	NC	).	WIDE	х	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	日	NOTES
٧S	(	D	6'-0''	х	4'-0''	Gl	-	CLEAR	SLIDER	ALUM	-	1, 2, 3
<b>WINDOWS</b>	$(\mathbb{W})$	2	2'-8"	х	6'-8''	Gl	$\odot$	CLEAR	FIXED	ALUM	$\bigcirc$	1, 2, 3
UNI	$\left( - \right)$	$\geq$	-	Х	-	-	$(\cdot)$	-	-	-	(-)	-
3	( -	ノ	-	Х	-	-	(-)	-	-	-	(-)	-
NOTES	1. 2. 3.	T IN R S P V P	HESE NSTALI EQUIF ELECT ROPE VITHIN ERFOI	DPE LAT REM ED R FI R FI RM	ENING ION SH MENTS ( LASHIN E SCO ED AC	SIZES HALL BI OF THE IG ANI PE OF CORD	E IN STR FLORIE D WEAT THE WIN	ICT COM DA PROD THER RESINDOW IN THE WIN	1PLIANO UCT AF STANT : ISTALLE	CE WITH PPROVEE SHALL BE R AND S MANUFA	THE IN D WIN E CON HALL CTUR	ISIDERED
NC	).	G	LAS	<b>S</b> 1	ΓΥΡΕ	S						
	<ul> <li>G1. NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL.</li> <li>G2. TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201.</li> </ul>							ILABLE PER D EQUAL. S				
NC	).	G	ENE	R/	AL N	OTES	5					
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WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.

No.	Date	Phase Description
1	05.15.2019	Owner Check Set
2	05.28.2019	Permit Set
3	07.26.2019	Updated Permit Set
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
REVI	SED DRAWING	S:
REVI No.	SED DRAWING	<b>S:</b> Revision Description
No. - - - -		Revision Description
No. - - - -		Revision Description
No. - - - -		Revision Description

Professional Seal:



#### Shaun M. Luttrell AR0095921

19-021

#### Sheet Title:

Project Number:

UNIT TYPE "C" FLOOR PLAN, FINISH PLAN, POWER & LIGHTING PLAN

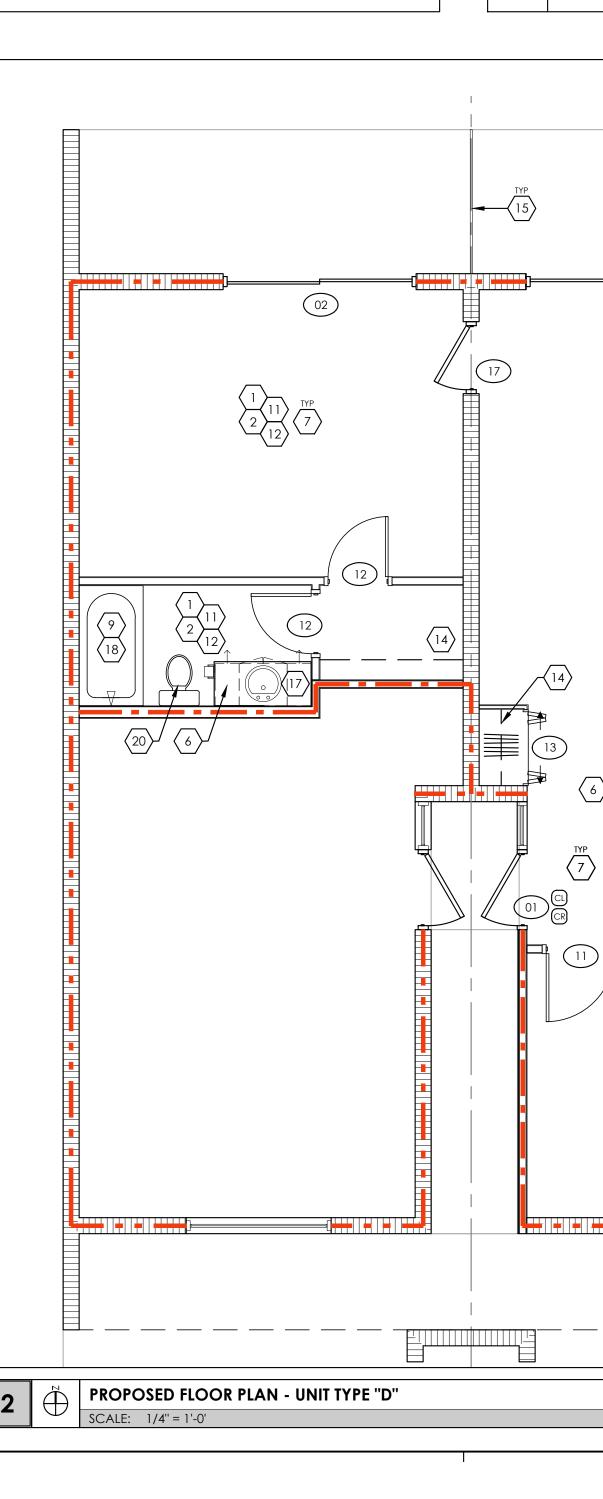


NO.	ADA PLAN KEYNOTES (ADA UNITS ONLY)
1.	MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS
	INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
2.	MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC,
	ACCESSIBILITY SECTION 604.3.1.
3.	MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
4.	"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
5.	PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
6.	PROVIDE T-SHAPED TURNING SPACE.
7.	MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608
8.	MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
9.	MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION
	609 & 608.3.2.
10.	MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY
	SECTION 609 & 604.5.
11.	SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY
	SECTION 608.7.
12.	MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF
	APPLIANCES) PER FBC, ACCESSIBIILTY SECTION 308 WITH CLEAR
	FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL
	CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
13.	MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC,
	ACCESSIBILITY SECTION 306.
1	"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.

- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
  - WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

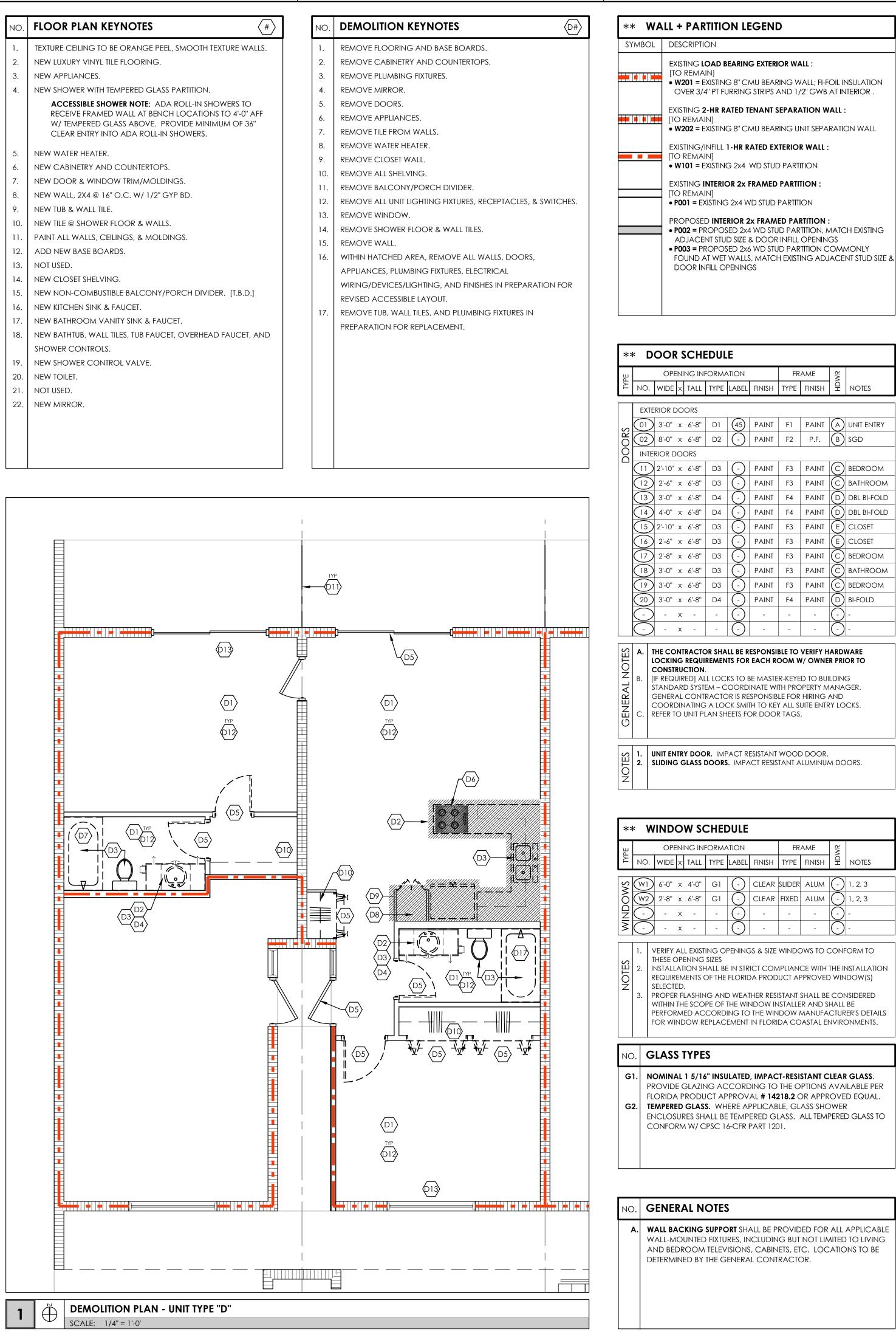
#### O. APPLIANCE LEGEND

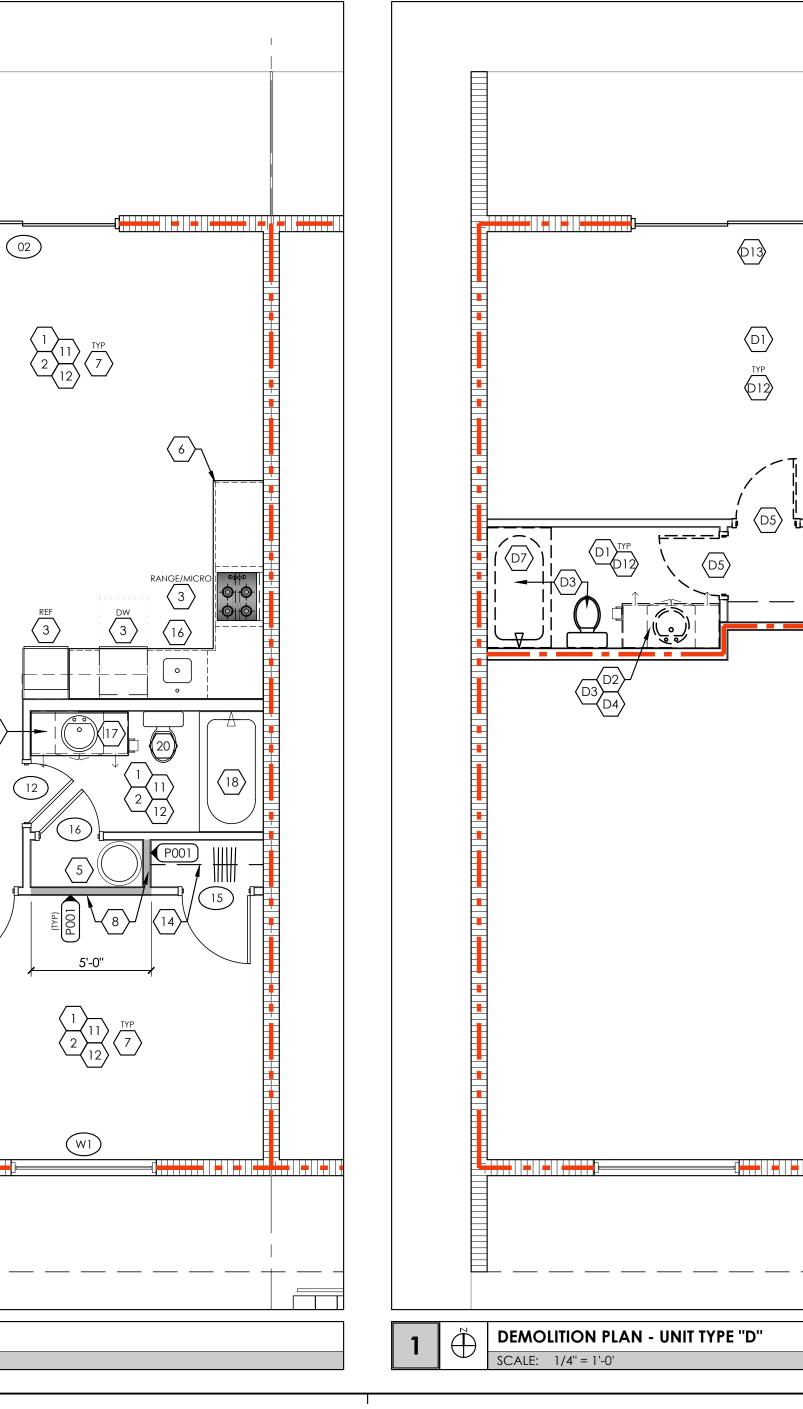
- **DISH WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED &** INSTALLED.



symbol	DESCRIPTION; REFER TO ELECTRICAL PLANS.
<u> </u>	NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
0	NEW 4" RECESSED LED DOWN LIGHT • <b>SPEC = OWNER SELECTED</b> • CONTRACTOR PROVIDED/INSTALLED.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
	NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
KE/	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	<ul> <li>NEW PROGRAMMABLE THERMOSTAT</li> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>
<b>=</b>	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE
<b>₩</b> 44"	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET
_ <b>—</b> 44" GFI	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"
- <b>•</b> W.H.	SPECIAL CONNECTION FOR WATER HEATER
<del>-6</del> 9-	LIGHT SWITCH, DECORA STYLE, WHITE COLOR









6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

PHASE ISSUED DRAWINGS:

No. Date Phase Description 1 05.15.2019 Owner Check Set 2 05.28.2019 Permit Set 3 07.26.2019 Updated Permit Set - -- - -- - -- - -- - -**REVISED DRAWINGS:** No. Date Revision Description

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Professional Seal:



#### Shaun M. Luttrell

19-021

AR0095921

#### Sheet Title:

Project Number:

UNIT TYPE "D" DEMO PLAN AND PROPOSED FLOOR PLAN

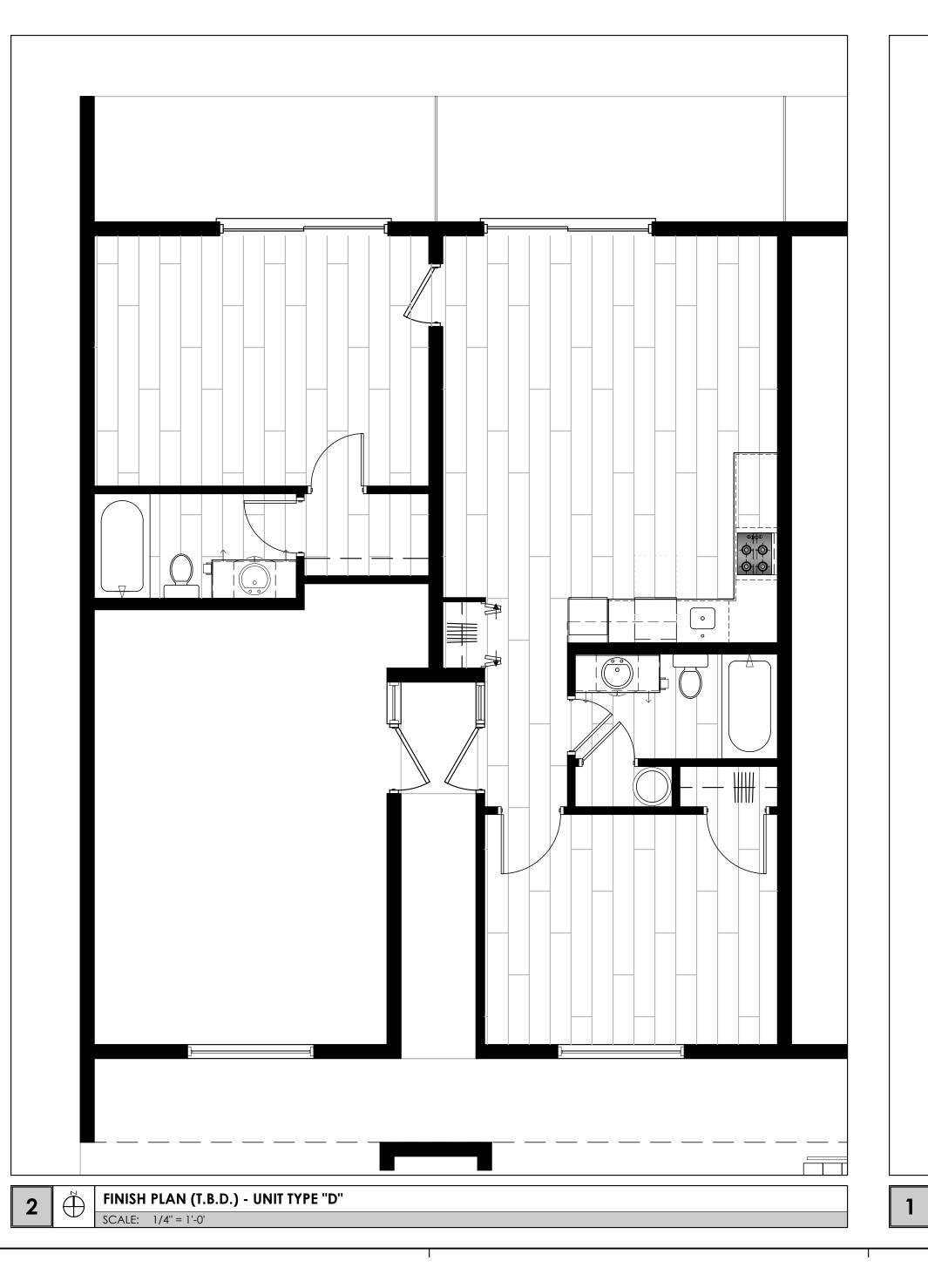


<ol> <li>MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.</li> <li>MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1.</li> <li>MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.</li> <li>"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.</li> <li>PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 600.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> <li>"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.</li> </ol>	<ul> <li>INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.</li> <li>MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1.</li> <li>MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.</li> <li>"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.</li> <li>PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	NO.	ADA PLAN KEYNOTES (ADA UNITS ONLY)
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<ol> <li>MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.</li> <li>"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.</li> <li>PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 600</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 600</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	<ol> <li>MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.</li> <li>"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.</li> <li>PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	2.	MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC,
<ol> <li>"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.</li> <li>PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 600</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	<ul> <li>4. "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.</li> <li>5. PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>6. PROVIDE T-SHAPED TURNING SPACE.</li> <li>7. MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608</li> <li>8. MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>7. MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>10. MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>11. SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>12. MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>13. MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>		ACCESSIBILITY SECTION 604.3.1.
<ol> <li>PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 600</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	<ol> <li>PROVIDE 60" DIAMETER CLEAR FLOOR AREA.</li> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	3.	MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
<ul> <li>6. PROVIDE T-SHAPED TURNING SPACE.</li> <li>7. MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 60</li> <li>8. MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>9. MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>10. MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>11. SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>12. MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>13. MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	<ol> <li>PROVIDE T-SHAPED TURNING SPACE.</li> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	4.	"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
<ol> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 60</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	<ol> <li>MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608</li> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	5.	PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
<ul> <li>8. MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>9. MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>10. MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>11. SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>12. MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>13. MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	<ul> <li>MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.</li> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	6.	PROVIDE T-SHAPED TURNING SPACE.
<ul> <li>9. MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>10. MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>11. SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>12. MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>13. MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	<ul> <li>MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	7.	MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608
<ul> <li>609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY</li> <li>SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY</li> <li>SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF</li> <li>APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR</li> <li>FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL</li> <li>CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	<ul> <li>609 &amp; 608.3.2.</li> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY</li> <li>SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY</li> <li>SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF</li> <li>APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR</li> <li>FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL</li> <li>CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	8.	MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
<ol> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	<ul> <li>MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	9.	MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION
<ul> <li>SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	<ul> <li>SECTION 609 &amp; 604.5.</li> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>		609 & 608.3.2.
<ul> <li>11. SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>12. MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBIILTY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>13. MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	<ol> <li>SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.</li> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ol>	10.	MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY
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<ul> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	<ul> <li>MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 &amp; 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.</li> <li>MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.</li> </ul>	11.	SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY
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ACCESSIBILITY SECTION 306.	ACCESSIBILITY SECTION 306.		CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
		13.	MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC,
14. "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.	4. "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.		ACCESSIBILITY SECTION 306.
		14.	"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.

- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
- WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

### NO. APPLIANCE LEGEND

- **DISH WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.



NO. P	OWER & LIGHTING LEGEND
SYMBOL	DESCRIPTION; REFER TO ELECTRICAL PLANS.
<u> </u>	NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
0	NEW 4" RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
	NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
YE)	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	<ul> <li>NEW PROGRAMMABLE THERMOSTAT</li> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>
€	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE

**₩**44"

 $\Rightarrow$ 

<del>-60</del>-

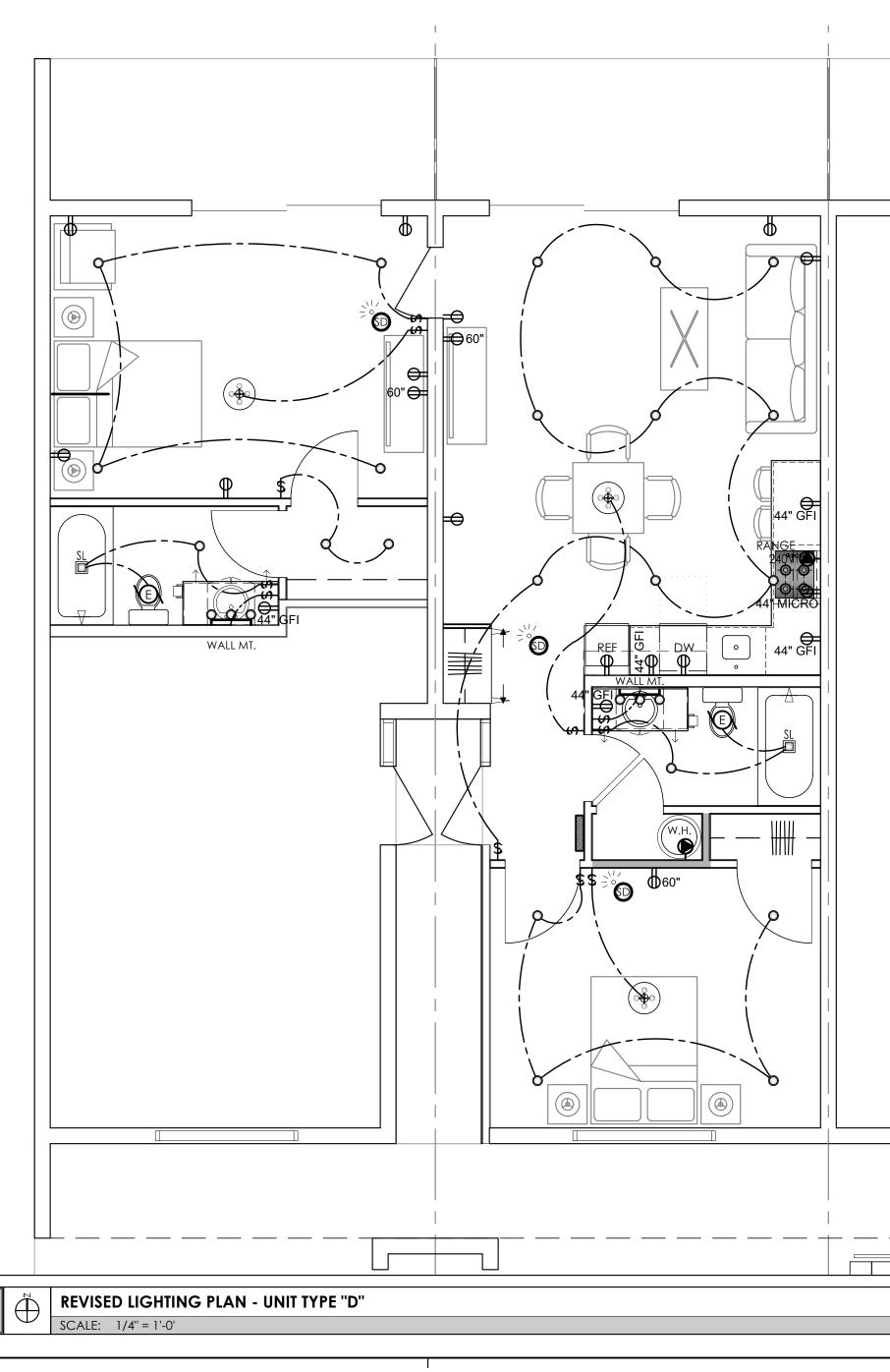
DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF

44" GFI OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"

- W.H. SPECIAL CONNECTION FOR WATER HEATER

LIGHT SWITCH, DECORA STYLE, WHITE COLOR ELECTRICAL PANEL, 100 AMPS

۱O.	FLOOR PLAN KEYNOTES	NO.	DEMOLITION KEYNOTES
1.	TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.	1.	REMOVE FLOORING AND BASE BC
2.	NEW LUXURY VINYL TILE FLOORING.	2.	REMOVE CABINETRY AND COUNT
3.	NEW APPLIANCES.	3.	REMOVE PLUMBING FIXTURES.
4.	NEW SHOWER WITH TEMPERED GLASS PARTITION.	4.	REMOVE MIRROR.
	ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO	5.	REMOVE DOORS.
	RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36"	6.	REMOVE APPLIANCES.
	CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.	7.	REMOVE TILE FROM WALLS.
_		8.	REMOVE WATER HEATER.
5.		9.	REMOVE CLOSET WALL.
6.		10.	REMOVE ALL SHELVING.
7. 3.		11.	REMOVE BALCONY/PORCH DIVID
	NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.	12.	REMOVE ALL UNIT LIGHTING FIXTUI
	NEW TUB & WALL TILE.	13.	REMOVE WINDOW.
).	NEW TILE @ SHOWER FLOOR & WALLS.	14.	REMOVE SHOWER FLOOR & WALL
	PAINT ALL WALLS, CEILINGS, & MOLDINGS.	15.	REMOVE WALL.
2.	ADD NEW BASE BOARDS.	16.	WITHIN HATCHED AREA, REMOVE
3.	NOT USED.		APPLIANCES, PLUMBING FIXTURES,
4.	NEW CLOSET SHELVING.		WIRING/DEVICES/LIGHTING, AND
15.	NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]		REVISED ACCESSIBLE LAYOUT.
16.	NEW KITCHEN SINK & FAUCET.	17.	REMOVE TUB, WALL TILES, AND PLU
17.	NEW BATHROOM VANITY SINK & FAUCET.		PREPARATION FOR REPLACEMENT
18.	NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND		
	SHOWER CONTROLS.		
19.	NEW SHOWER CONTROL VALVE.		
20.	NEW TOILET.		
21.	NOT USED.		
22.	NEW MIRROR.		



'NOTES 〈	D#
ND BASE BOARDS.	
ND COUNTERTOPS.	
TURES.	
ALLS.	
R.	
RCH DIVIDER. TING FIXTURES, RECEPTACLES, & SWITCH	EC
TING FIXTURES, RECEFTACLES, & SWITCH	⊑э.
DR & WALL TILES.	
, REMOVE ALL WALLS, DOORS,	
G FIXTURES, ELECTRICAL	
TING, AND FINISHES IN PREPARATION FO	R
AYOUT.	
es, and plumbing fixtures in	
LACEMENT.	

*>	** WALL + PARTITION LEGEND											
	MBOL		CRIPTI									
	<b>           </b>	[TO] ● ₩	EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL; FI-FOIL INSULATION OVER 3/4" PT FURRING STRIPS AND 1/2" GWB AT INTERIOR .									
	<b> # # </b>   <b>#</b>		EXISTING <b>2-HR RATED TENANT SEPARATION WALL :</b> [TO REMAIN] • <b>W202 =</b> EXISTING 8" CMU BEARING UNIT SEPARATION WALL									
			REMAI	N]		<b>ated ex</b> WD stue						
			REMAI	N]		F <b>RAMED</b> /D STUD						
	<ul> <li>PROPOSED INTERIOR 2x FRAMED PARTITION :</li> <li>P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE &amp; DOOR INFILL OPENINGS</li> <li>P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE &amp; DOOR INFILL OPENINGS</li> </ul>											
*>	× D(	OOR	SCHE	DUI	E							
							ED	AME	R			
ТҮРЕ	NO.	WIDE X	1		LABEL	FINISH	TYPE	FINISH	HDWR	NOTES		
	EXTE	RIOR DC	ORS									
	(01)		6'-8''	D1	(45)	PAINT	F1	PAINT	(A)	UNIT ENTRY		
DOORS	$\underbrace{)}{02}$	8'-0'' x	6'-8''	D2	$\overline{\bigcirc}$	PAINT	F2	P.F.	B	SGD		
Õ	INTE	RIOR DO	ORS									
	11	2'-10" x	6'-8''	D3	$\overline{\mathbf{\cdot}}$	PAINT	F3	PAINT	$\bigcirc$	BEDROOM		
	(12)	2'-6" x	6'-8''	D3	$\overline{(\cdot)}$	PAINT	F3	PAINT	$\bigcirc$	BATHROOM		
	(13)	3'-0" x		D4	(-)	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOLD		
	$\begin{pmatrix} 14 \end{pmatrix}$		6'-8"	D4		PAINT	F4	PAINT		DBL BI-FOLD		
	(15)	2'-10" x		D3	$\left  \begin{array}{c} \cdot \\ \cdot $	PAINT	F3	PAINT	E	CLOSET		
	(16)	2'-6" x	6'-8''	D3	$\left  \bigcirc \right $	PAINT	F3	PAINT	$(\underline{E})$	CLOSET		

17) 2'-8" x 6'-8" | D3 | (-) | PAINT | F3 | PAINT | (C) BEDROOM [18] 3'-0" x 6'-8" | D3 | ( - ) | PAINT | F3 | PAINT | (C) BATHROOM

A. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE

|Z| B. | [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING

REFER TO UNIT PLAN SHEETS FOR DOOR TAGS.

1. UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR.

LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO

STANDARD SYSTEM – COORDINATE WITH PROPERTY MANAGER.

COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS.

GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND

出 2. SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS.

NO. WIDE X TALL TYPE LABEL FINISH TYPE FINISH 보 NOTES

VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO

PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE

FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS.

PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL **# 14218.2** OR APPROVED EQUAL.

ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO

A. WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE

WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING

AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE

G1. NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS.

G2. TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER

CONFORM W/ CPSC 16-CFR PART 1201.

DETERMINED BY THE GENERAL CONTRACTOR.

INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S)

PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS

-) PAINT | F3 | PAINT |(C) BEDROOM

) PAINT F4 PAINT (D) BI-FOLD

FRAME

- ) | CLEAR | SLIDER | ALUM | ( - ) | 1, 2, 3

) CLEAR FIXED ALUM (-) 1, 2, 3

(19) 3'-0" x 6'-8" D3 (

20 ) 3'-0" x 6'-8" | D4 |

х х

CONSTRUCTION.

**\*\* WINDOW SCHEDULE** 

∽ (W1) 6'-0" x 4'-0" | G1

- )

S ( -

(W2) 2'-8" x 6'-8" G1

- X

- X

SELECTED.

GLASS TYPES

**GENERAL NOTES** 

THESE OPENING SIZES

OPENING INFORMATION

RAL



Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

PHASE ISSUED DRAWINGS:

No. Date

1 05.15.2019 Owner Check Set 2 05.28.2019 Permit Set 3 07.26.2019 Updated Permit Set - - -- - -- - -- - -- - -**REVISED DRAWINGS:** No. Date Revision Description - - -- - -

Phase Description

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Professional Seal:

07.31.2019

#### Shaun M. Luttrell Project Number:

19-021

AR0095921

#### Sheet Title:

UNIT TYPE "D" (CONT.) POWER & LIGHTING PLAN and finish plan

Original size is 24"x36". Copy Reductions N.T.S.



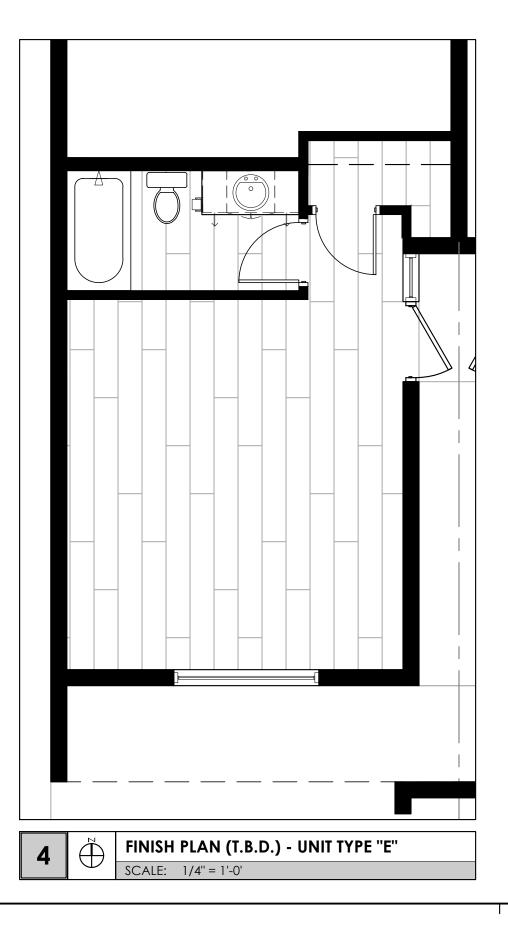
1.	MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS
	INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
2.	MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC,
	ACCESSIBILITY SECTION 604.3.1.
3.	MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
4.	"STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
5.	PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
6.	PROVIDE T-SHAPED TURNING SPACE.
7.	MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608
8.	MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
9.	MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILILTY SECTION
	609 & 608.3.2.
10.	MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILILTY
	SECTION 609 & 604.5.
11.	SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY
	SECTION 608.7.
12.	MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF
	APPLIANCES) PER FBC, ACCESSIBIILTY SECTION 308 WITH CLEAR
	FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL
	CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
13.	MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC,
	ACCESSIBILITY SECTION 306.
14.	"ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.

THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT

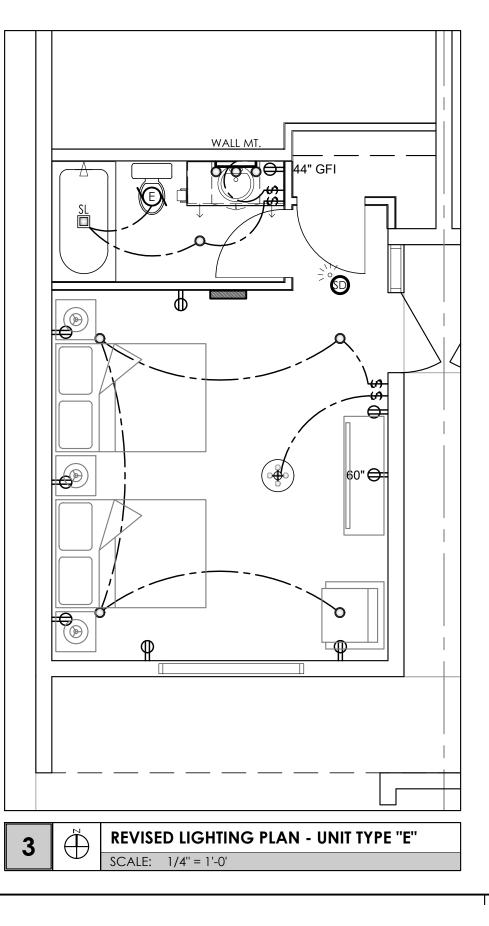
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
  - WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

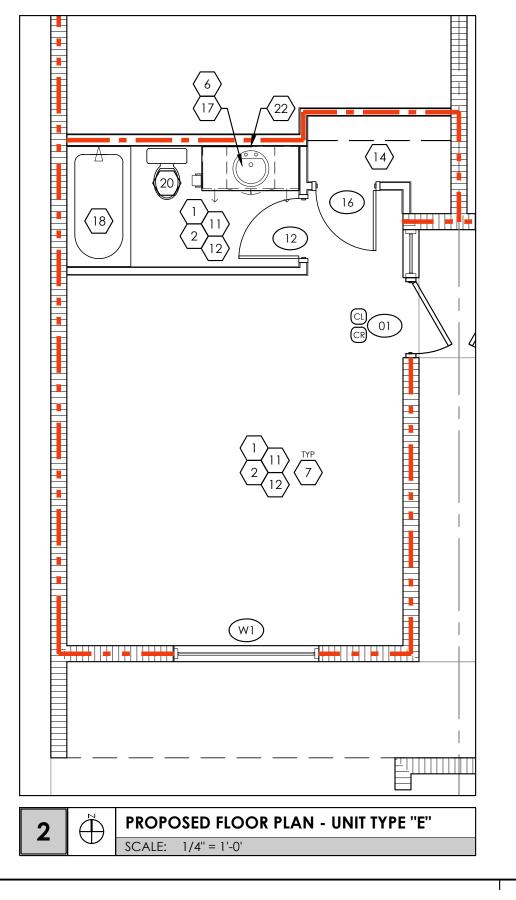
## NO. APPLIANCE LEGEND

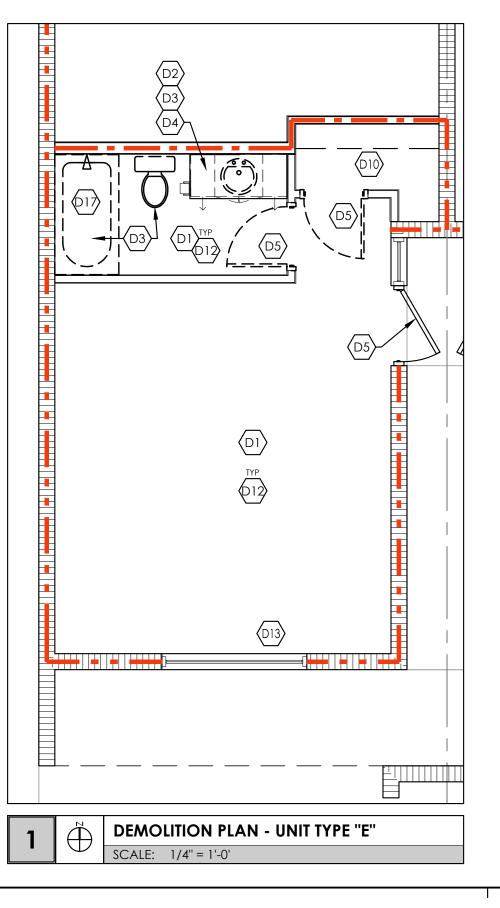
- **DISH WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED &** INSTALLED.



NO. PO	OWER & LIGHTING LEGEND	NO.	FLOOR PLAN KEYNOTES	NO.	DEMOLITION KEYNOTES
Symbol	DESCRIPTION; REFER TO ELECTRICAL PLANS.		TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.	1.	REMOVE FLOORING AND BASE E
	NEW WALL MOUNTED VANITY LIGHT FIXTURE	2.	NEW LUXURY VINYL TILE FLOORING.	2.	REMOVE CABINETRY AND COUN
909	• SPEC = OWNER SELECTED	3.	NEW APPLIANCES.	3.	REMOVE PLUMBING FIXTURES.
	CONTRACTOR PROVIDED/INSTALLED.	4.	NEW SHOWER WITH TEMPERED GLASS PARTITION.	4.	REMOVE MIRROR.
			ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO	5.	REMOVE DOORS.
0	<ul> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>		RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF	6.	REMOVE APPLIANCES.
			W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.	7.	REMOVE TILE FROM WALLS.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED			8.	REMOVE WATER HEATER.
	CONTRACTOR PROVIDED/INSTALLED.	5.	NEW WATER HEATER.	9.	REMOVE CLOSET WALL.
	NEW DECORATIVE CHANDELIER LIGHT	6.	NEW CABINETRY AND COUNTERTOPS.	10.	REMOVE ALL SHELVING.
	SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.	7.	NEW DOOR & WINDOW TRIM/MOLDINGS.	11.	REMOVE BALCONY/PORCH DIVI
	CONTRACTOR FROVIDED/INSTALLED.	8.	NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.	12.	REMOVE ALL UNIT LIGHTING FIXT
νĒλ	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED	9.	NEW TUB & WALL TILE.	13.	REMOVE WINDOW.
	• CONTRACTOR PROVIDED/INSTALLED.	10.	NEW TILE @ SHOWER FLOOR & WALLS.	14.	REMOVE SHOWER FLOOR & WAI
	NEW SMOKE DETECTOR AND C.M. COMBO	11.	PAINT ALL WALLS, CEILINGS, & MOLDINGS.	15.	REMOVE WALL.
	• SPEC = OWNER SELECTED	12.	ADD NEW BASE BOARDS.	16.	WITHIN HATCHED AREA, REMOV
<b>U</b>	CONTRACTOR PROVIDED/INSTALLED.	13.	NOT USED.		APPLIANCES, PLUMBING FIXTURE
	• NEW PROGRAMMABLE THERMOSTAT	14.	NEW CLOSET SHELVING.		WIRING/DEVICES/LIGHTING, ANI
	SPEC = OWNER SELECTED     CONTRACTOR PROVIDED/INSTALLED.	15.	NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]		REVISED ACCESSIBLE LAYOUT.
		16.	NEW KITCHEN SINK & FAUCET.	17.	REMOVE TUB, WALL TILES, AND P
_ ⇒	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE	17.	NEW BATHROOM VANITY SINK & FAUCET.		PREPARATION FOR REPLACEMEN
		18.	NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND		
44"	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET		SHOWER CONTROLS.		
		19.	NEW SHOWER CONTROL VALVE.		
 44" GFI	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"	20.	NEW TOILET.		
		21.	NOT USED.		
- <b>•</b> W.H.	SPECIAL CONNECTION FOR WATER HEATER	22.	NEW MIRROR.		
<b>₩</b>	LIGHT SWITCH, DECORA STYLE, WHITE COLOR				
	ELECTRICAL PANEL, 100 AMPS				

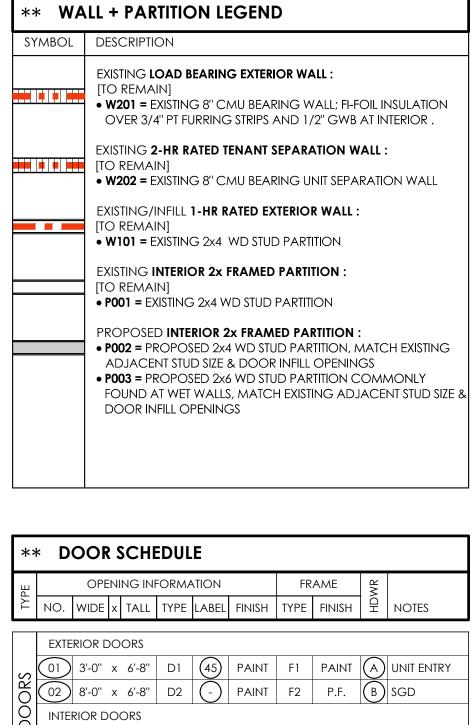






S (D#
BOARDS.
NTERTOPS.
/IDER.
TURES, RECEPTACLES, & SWITCHES.
ALL TILES.
VE ALL WALLS, DOORS,
ES, ELECTRICAL
ID FINISHES IN PREPARATION FOR

D PLUMBING FIXTURES IN AENT.



S	1.	UNIT E	NTR		R. IMF		FSISTANT	woor			
<b>GENERAL NOTES</b>	<b>А</b> . В. С.	LOCKI CONST [IF REG STAND GENER COOR	NG (RU ) UIR ) ARI (AL ) (DIN	REQUI CTION ED] AL D SYSTI CONT IATING	REMEN LL LOC EM – C RACTC G A LOC	KS TO E COORD R IS RE CK SMI	ESPONSI EACH R BE MASTE INATE WI ISPONSIB IH TO KE DR DOOF	R-KEYE TH PRC LE FOR Y ALL S	D TO BU D TO BU DPERTY <i>N</i> HIRING UITE ENTF	R PRI	GER.
			Х	-	-	0	-	-	-	Ū	-
		<u> -</u>	X	-	-	$\bigcirc$	-	-	-	$\left  \begin{array}{c} \cdot \\ \end{array} \right $	-
	(20	) 3'-0"		6'-8''	D4	$\left( \begin{array}{c} \cdot \\ \cdot \end{array} \right)$	PAINT	F4	PAINT	$\bigcirc$	BI-FOLD
	(19		х	6'-8''	D3	(-)	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
		) 3'-0"	х	6'-8''	D3	$(\cdot)$	PAINT	F3	PAINT	$\bigcirc$	BATHROOM
	(17	2'-8"	х	6'-8''	D3	$\bigcirc$	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
	16	2'-6"	х	6'-8''	D3	$\odot$	PAINT	F3	PAINT	E	CLOSET
	(15)	2'-10'	' x	6'-8''	D3	$\overline{\mathbf{\cdot}}$	PAINT	F3	PAINT	E	CLOSET
	(14)	) 4'-0''	х	6'-8''	D4	$\odot$	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOLD
	(13	) 3'-0''	х	6'-8''	D4	$\overline{\mathbf{\cdot}}$	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOLD
	(12	2'-6"	х	6'-8''	D3	$\overline{\mathbf{\cdot}}$	PAINT	F3	PAINT	$\bigcirc$	BATHROOM
	(11)	2'-10'	' x	6'-8''	D3	$\overline{\mathbf{\cdot}}$	PAINT	F3	PAINT	$\bigcirc$	BEDROOM
DOOR	IN	TERIOR I	00	ORS							1
N N N	02	8'-0"	х	6'-8''	D2	$  \bigcirc  $	PAINT	F2	P.F.	B	SGD

1.	UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR.
2.	SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS.

**	k	W	IND	0	w so	CHE	DULE					
TYPE			OPE	ENII	NG INF	ORMA	ATION		FR.	AME	HDWR	
Τ	N	Э.	WIDE	х	TALL	TYPE	LABEL	FINISH	TYPE	FINISH	HD	NOTES
S	Ŵ	$\overline{(1)}$	6'-0''	x	4'-0''	Gl	(-)	CLEAR	SLIDER	ALUM	(-)	1, 2, 3
<b>WINDOWS</b>		$\leq$	2'-8"		6'-8"	Gl	(-)	CLEAR	-	ALUM	$\overbrace{-}$	1, 2, 3
ND	$\geq$	$\leq$	-	х	-	-	(-)	-	-	-	(-)	-
MI	<u> </u>	$\mathbf{\tilde{)}}$	-	х	-	-	$\overline{(\cdot)}$	-	-	-	$\underbrace{\smile}$	-
		_										
NOTES	1. 2. 3.	T II R S P V P	HESE ( NSTALL EQUIR ELECT ROPEI VITHIN ERFOR	DPE AT ED. R FL TH	ENING ION SH ENTS ( ASHIN E SCO ED AC	SIZES IALL BE DF THE IG ANE PE OF CORD	E IN STR FLORIE D WEAT THE WII ING TO	DA PROD THER RESI NDOW IN THE WIN	IPLIANO UCT AF STANT S ISTALLE DOW 1	CE WITH PPROVED SHALL BE R AND S MANUFA	THE IN WIN CON HALL CTUR	NSTALLATION DOW(S) NSIDERED
NC	).	G	LAS	S 1	YPE	S						
G G		PR FL TE	OVID ORIDA MPERI	e C 4 P E <b>D</b> Sur	GLAZIN RODU GLAS ES SH	IG AC CT AF <b>S.</b> WH All BE	CORE PROV ERE AI	DING TO AL <b># 142</b> PPLICAB	THE O 2 <b>18.2</b> ( LE, GL .ASS. 7	PTIONS DR APPR ASS SHC	AVAI OVE WER	e <b>glass</b> . Ilable per D Equal. 2 D Glass To

### GENERAL NOTES

A. WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.



LUTTRELL ARCHITECTURE, LLC 601 N. Ashley Drive, Suite 700 Tampa, Florida 33602 **USA** E: shaun@luttrellarchitecture.com T: 813.494.3567 W: www.luttrellarchitecture.com License No.AR95921

Project | Tenant Information: Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

PHASE ISSUED DRAWINGS:

No. Date

1 05.15.2019 Owner Check Set 2 05.28.2019 Permit Set 3 07.26.2019 Updated Permit Set - - -- - -- - -- - -- - -**REVISED DRAWINGS:** No. Date Revision Description

Phase Description

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07.31.2019

#### Shaun M. Luttrell AR0095921

19-021

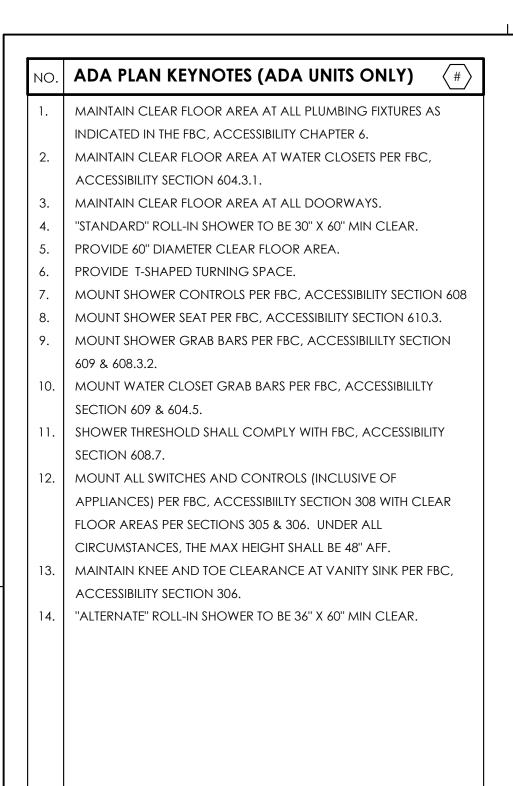
#### Sheet Title:

Project Number:

Professional Seal:

UNIT TYPE "E" FLOOR PLAN, FINISH PLAN, POWER & LIGHTING PLAN



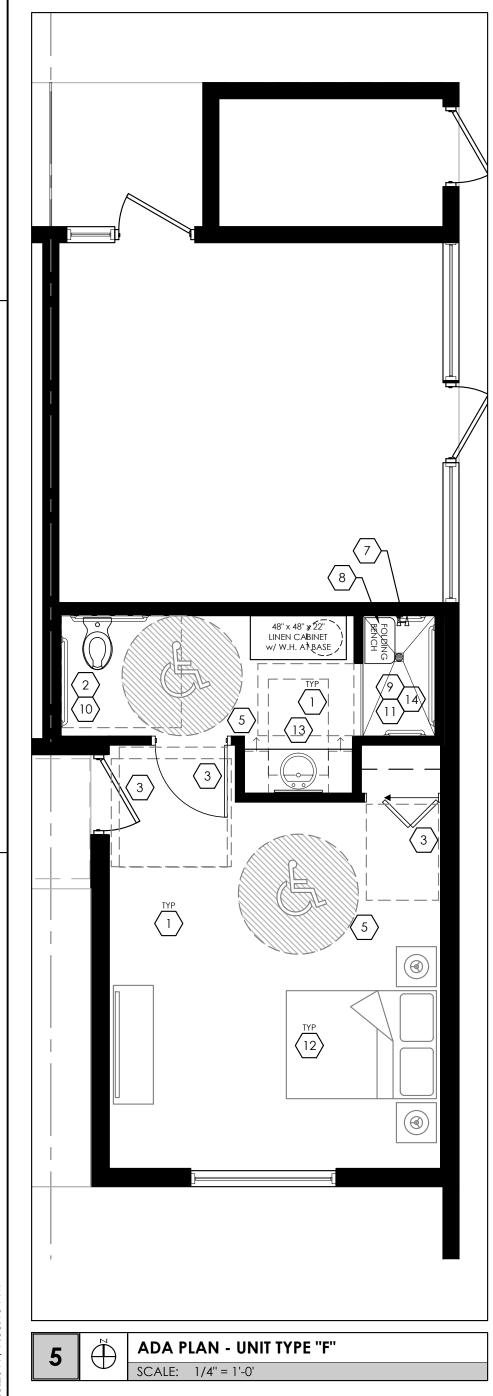


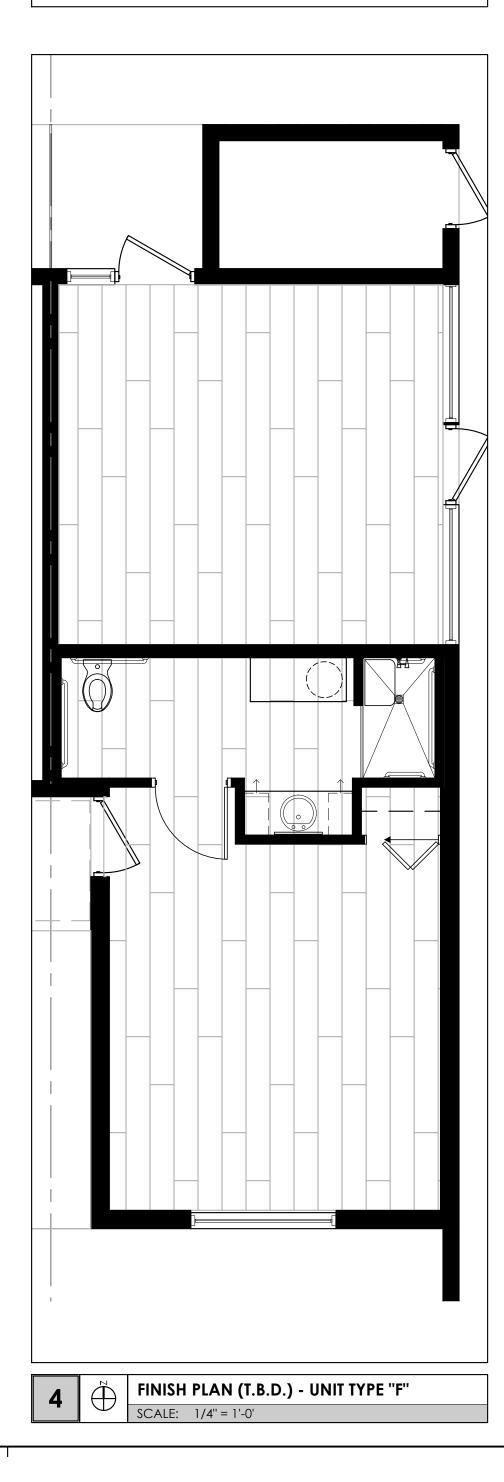
### NO. FINISH SCHEDULE

- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT
- ADHERENCE TO THE MANUFACTURE'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A
- MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- **PAINT =** PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
  - WALLS EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

### NO. APPLIANCE LEGEND

- **DISH WASHER =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- **RANGE / MICRO COMBO =** OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- **REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED &** INSTALLED.





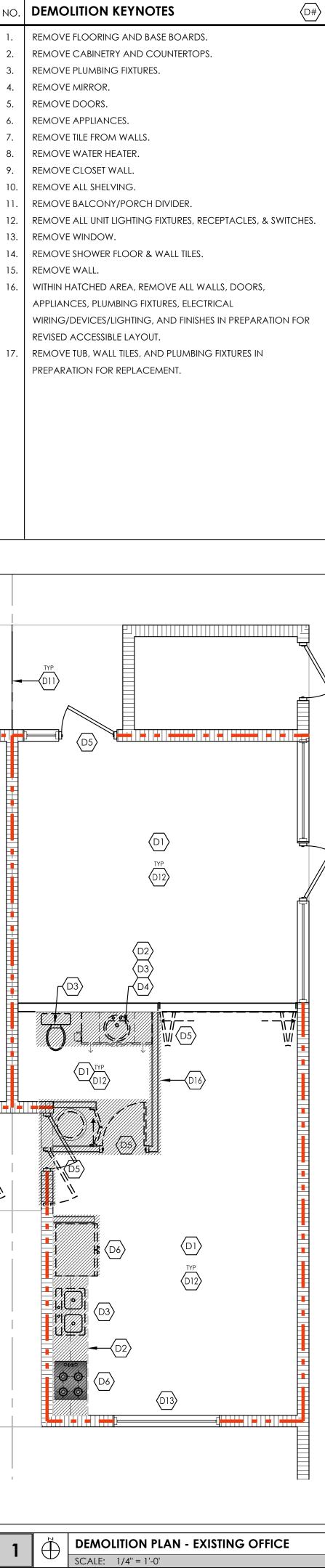
NO. <b>P</b>	OWER & LIGHTING LEGEND
Symbol	DESCRIPTION; REFER TO ELECTRICAL PLANS.
<u> </u>	NEW WALL MOUNTED VANITY LIGHT FIXTURE • <b>SPEC = OWNER SELECTED</b> • CONTRACTOR PROVIDED/INSTALLED.
0	NEW 4" RECESSED LED DOWN LIGHT • <b>SPEC = OWNER SELECTED</b> • CONTRACTOR PROVIDED/INSTALLED.
SL	NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
	NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED.
¥Ē	NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED.
	<ul> <li>NEW PROGRAMMABLE THERMOSTAT</li> <li>SPEC = OWNER SELECTED</li> <li>CONTRACTOR PROVIDED/INSTALLED.</li> </ul>
€	DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER O OUTLET, UNLESS NOTED OTHERWISE
<b>₩</b> 44"	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER ON OUTLET
 44" GFI	DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER O OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER"
<b>-•</b> W.H.	SPECIAL CONNECTION FOR WATER HEATER
<del>-6</del> 9-	LIGHT SWITCH, DECORA STYLE, WHITE COLOR

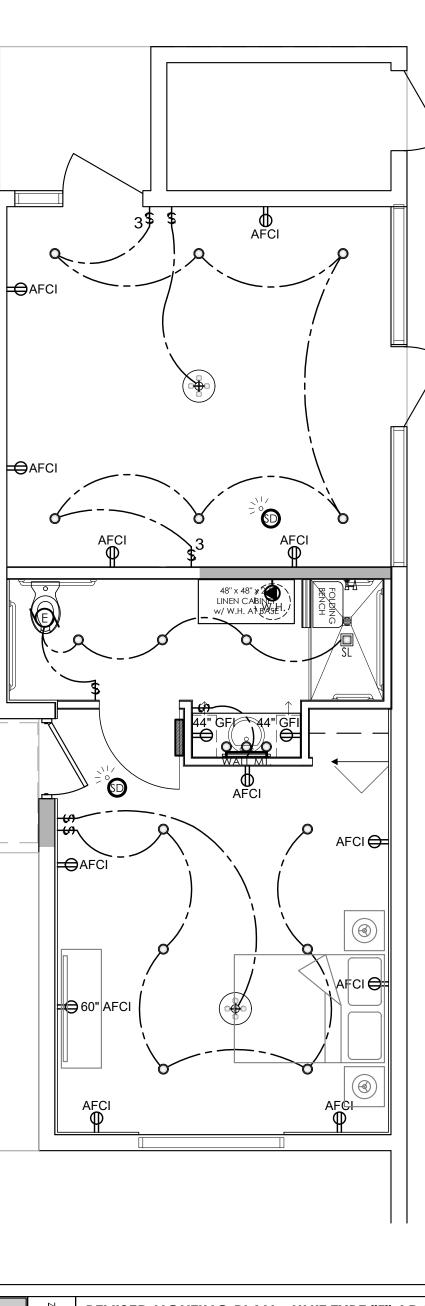


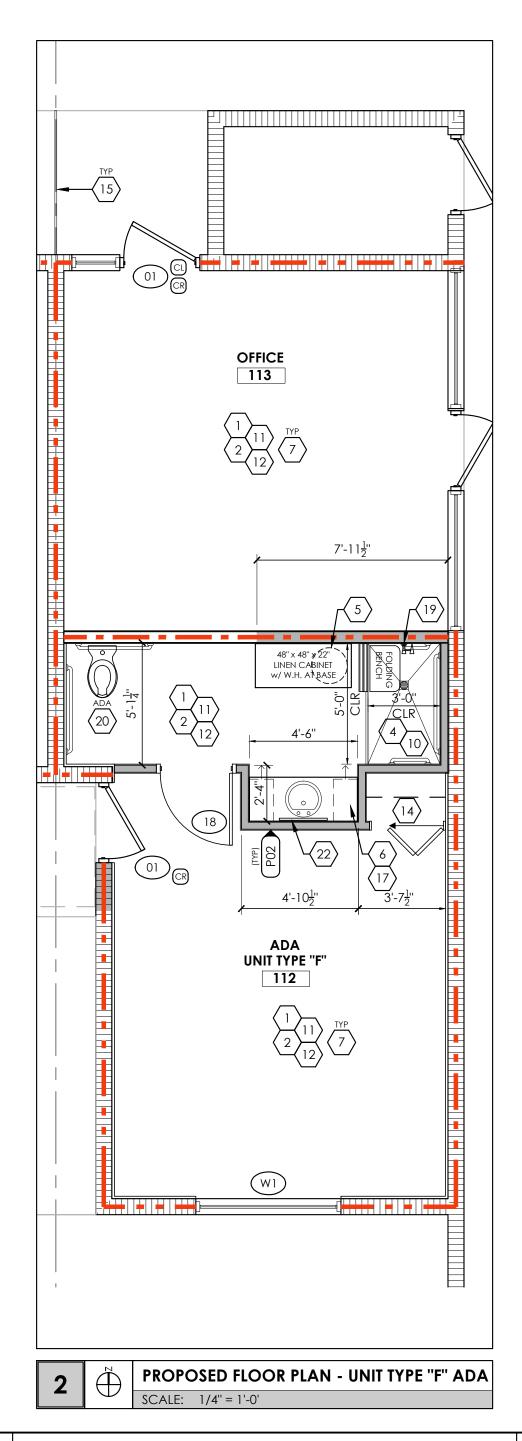
ELECTRICAL PANEL, 100 AMPS 

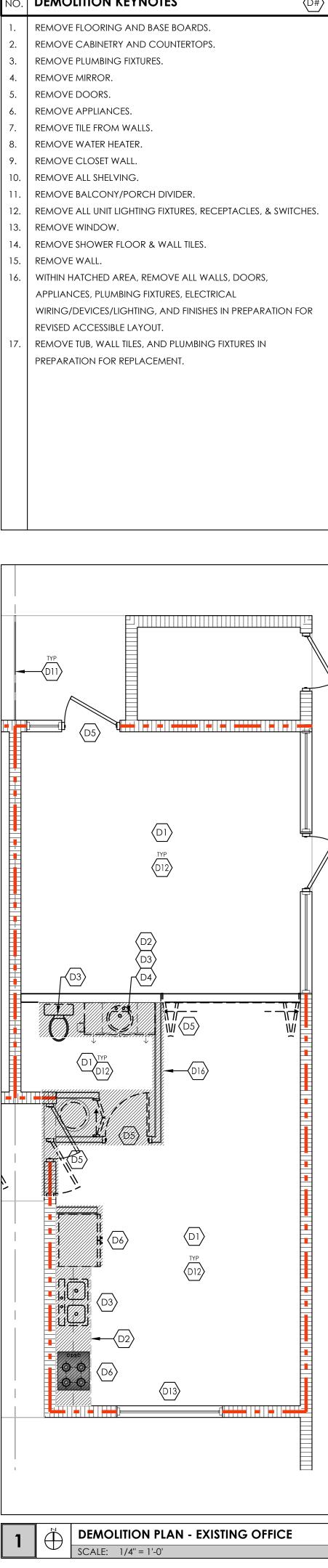


22. NEW MIRROR.









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										ITERIOR .
		[ТО	REMA	IN]		<b>ENANT S</b> MU BEAF				ON WALL
			REMA	IN]					:	
		EXIS		NTERI		WD STUE FRAMED				
		-	REMA <b>01 =</b> E>	-	G 2x4 W	d stud	PARTIT	ION		
		• PO	02 = PF	ROPO	SED 2x4	2 <b>x FRAM</b> 4 WD STL & DOOR	JD PAR	TITION, I	MATC	:h existing
		• <b>PO</b> FC	03 = PF OUND A	ROPO: AT WET	SED 2x6	6 WD STL 8, MATCI	JD PAR	TITION C	COMM	aonly nt stud siz
			JORIN		PENING	22				
*:	* D(			_			FR	AME	R	
ТҮРЕ	NO.	WIDE X	-	-	-	FINISH	TYPE	FINISH	HDWR	NOTES
	EXTE	RIOR DC 3'-0'' x		D1	(45)	PAINT	F1	PAINT	(A)	UNIT ENTR'
DOORS	02	8'-0'' x	6'-8''	D2	$\overline{\bigcirc}$	PAINT	F2	P.F.	B	SGD
ŏ		rior do 2'-10'' x	6'-8''	D3	0	PAINT	F3	PAINT	$\bigcirc$	BEDROON
	$ \begin{array}{c} 12\\ 13 \end{array} $		6'-8'' 6'-8''	D3 D4	$ \boxed{ \bigcirc } $	PAINT PAINT	F3 F4	PAINT PAINT	$\bigcirc$	BATHROO DBL BI-FOL
	14		6'-8"	D4	$\overline{\bigcirc}$	PAINT	F4	PAINT	$\bigcirc$	DBL BI-FOL
	15 $16$	2'-10" x 2'-6" x	6'-8" 6'-8"	D3 D3		PAINT PAINT	F3 F3	PAINT PAINT	(E) (E)	CLOSET
			6'-8"	D3	$\overline{\bigcirc}$	PAINT	F3	PAINT	Ô	BEDROOM
	(18) $(19)$		6'-8" 6'-8"	D3 D3		PAINT PAINT	F3 F3	PAINT PAINT	$\bigcirc$	BATHROO
	20	3'-0'' x	6'-8''	D4	$\overline{\bigcirc}$	PAINT	F4	PAINT	$\bigcirc$	BI-FOLD
		- x		-		-	-	-	$\left( \begin{array}{c} \cdot \\ \cdot \\ \cdot \end{array} \right)$	-
ES GENERAL NOTES	A. T L B. [I S C C. R 1. U	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO	REQUI CTION RED] AI D SYST CONT NATING UNIT PI	REMEN LL LOC EM – C RACT(C G A LO LAN SH DR. IMI	NTS FOR CKS TO E COORD DR IS RE CK SMI HEETS FO HEETS FO	ESPONSI EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOI ESISTANT	COM V ER-KEYE ITH PRC ILE FOR Y ALL S R TAGS	V/ OWNE D TO BU DPERTY M HIRING UITE ENTI	HARDV ER PRIO ILDING AND RY LO	OR TO GER. CKS.
NOTES GENERAL NOTES	A. T L B. [I S C C. R 1. U	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO	REQUI CTION RED] AI D SYST CONT NATING UNIT PI	REMEN LL LOC EM – C RACT(C G A LO LAN SH DR. IMI	NTS FOR CKS TO E COORD DR IS RE CK SMI HEETS FO HEETS FO	E EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOI	COM V ER-KEYE ITH PRC ILE FOR Y ALL S R TAGS	V/ OWNE D TO BU DPERTY M HIRING UITE ENTI	HARDV ER PRIO ILDING AND RY LO	OR TO GER. CKS.
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* NOTES GEN	A. T L C. C. R	OCKING CONSTRU F REQUIF TANDAR GENERAL COORDIN EFER TO	REQUI CTION RED] AI D SYST CONT VATING UNIT PI	REMEN LL LOC EM – C RACTO A LO LAN SH DR. IMI DOOR	NTS FOR COORD DR IS RE CK SMI HEETS FO PACT R S. IMPA	E EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOI ESISTANT	OOM V ER-KEYE ITH PRC ILE FOR Y ALL S R TAGS WOOE TANT A	V/ OWNE D TO BU DPERTY M HIRING UITE ENTI	ARDV ER PRI ILDING AND AND RY LO	OR TO GER. CKS.
TYPE * NOTES GEN	A. T L B. [I C C. R 1. U 2. S	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO	REQUI CTION RED] AI D SYST CONT VATING UNIT PI CY DOC GLASS	REMEN LL LOC EM – C RACTO A LO LAN SH DR. IMI DOOR: CHEI FORM	NTS FOR COORD DR IS RE CK SMI HEETS FO PACT R S. IMPA	EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOI ESISTANT ACT RESIS	COM V ER-KEYE ITH PRC LE FOR Y ALL S R TAGS WOOL TANT A FR	AME FINISH	HARDV ER PRIO ILDING AND RY LO	OR TO GER. CKS. PORS.
TYPE * NOTES GEN	A. T L B. [I C C. R 1. U 2. S	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO INIT ENTR LIDING O VIDE X 0PEN WIDE X 6'-0'' X 2'-8'' X	REQUI CTION RED] AI D SYST CONT VATING UNIT PI SY DOC GLASS W SC ING INI TALL 4'-0" 6'-8"	REMEN LL LOC EM – C RACTO A LO LAN SH DR. IMI DOOR: CHEI FORM/	NTS FOR COORD DR IS RE CK SMI HEETS FO PACT R S. IMPA DULE	EACH R BE MASTE INATE WI SPONSIB TH TO KE OR DOOI ESISTANT ACT RESIS	COM V ER-KEYE ITH PRC LE FOR Y ALL S R TAGS WOOL TANT A WOOL TANT A FR TYPE	AME FINISH	ARDV ER PRI ILDING AND AND RY LO	OR TO GER. CKS.
PE * NOTES GEN	A. T L G C. R 1. U 2. S	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO INIT ENTR LIDING O VIDE X 0PEN WIDE X	REQUI CTION RED] AI D SYST CONT VATING UNIT PI SY DOC GLASS ING INI TALL 4'-0" 6'-8"	REMEN LL LOC EM – C RACTO CALO LAN SH DR. IMI DOOR CHEI FORM, TYPE G1	NTS FOR COORD DR IS RE CK SMI HEETS FO PACT R S. IMPA DULE	EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOI ESISTANT ACT RESIS	COM V ER-KEYE ITH PRC LE FOR Y ALL S R TAGS WOOL TANT A WOOL TANT A FR TYPE	AME	ARDV ER PRI ILDING AND AND RY LO	OR TO GER. CKS. PORS. 1, 2, 3
WINDOWS TYPE * NOTES GEN	A.       T         B.       [I]         C.       R         1.       U         W1       V2         ·       ·         1.       V         ·       ·         1.       V         ·       ·         1.       V         ·       ·	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO INIT ENTR LIDING ( VIDE X 6'-0" X 2'-8" X - X - X (ERIFY AI HESE OP	REQUI CTION RED] AI D SYST CONT VATING UNIT PI CY DOC GLASS ING INI TALL 4'-0" 6'-8" - -	REMEN LL LOC EM – C RACTO A LO LAN SH DR. IMI DOOR: DR. IMI DOOR: TYPE G1 G1 G1 G1 - ING O SIZES	NTS FOR CKS TO E COORD DR IS RE CK SMI HEETS FO PACT R S. IMPPA DULE ATION LABEL O O O O O O O O O O O O O	EACH RASTE INATE WI SPONSIB TH TO KE DR DOOD ESISTANT ACT RESIS FINISH CLEAR CLEAR - - -	COM V ER-KEYE ITH PRC LE FOR Y ALL S R TAGS WOOL TANT A FIXED FIXED - - - -	AME FINISH		OR TO GER. CKS. ORS. ORS. 1, 2, 3 1, 2, 3 1, 2, 3 - -
WINDOWS TYPE * NOTES GEN	A. T L B. [I C. R C. R 1. U 2. S NO. NO. 1. V 2. I 1. V	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO NIT ENTR LIDING ( VIDE X 2'-8" X 2'-8" X - X - X (ERIFY AI HESE OP NSTALLA EQUIREN	REQUI CTION RED] AI D SYST CONT VATING UNIT PI CY DOC GLASS ING INI TALL 4'-0" 6'-8" - - - L EXIST ENING FION SH AENTS (	REMEN LL LOC EM – C RACTO A LO LAN SH DOR. IMI DOOR: DR. IMI DOOR: CHEI FORM/ TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1	NTS FOR CKS TO E COORD DR IS RE CK SMI HEETS FO PACT R S. IMPA DULE ATION LABEL O O O C D D C C C S IMPA D C C S IMPA D C C S IMPA D C C S IMPA C C S IMPA C C S IMPA C C S IMPA C C S IMPA C S C C C C C C C C C C C C C	EACH RASTE INATE WI SPONSIB TH TO KE DR DOOD ESISTANT ACT RESIS FINISH CLEAR CLEAR - - -	COM V ER-KEYE ITH PRC LE FOR Y ALL S R TAGS WOOL ITANT A FIXED FIXED FIXED - - WINDC	AME FINISH		OR TO GER. CKS. PORS. PORS. 1, 2, 3 1, 2, 3 1, 2, 3 - - - - - -
TYPE * NOTES GEN	A. T L B. [I C. R 1. U 2. S * W NO. * W 1. V 2. I S 3. P V P	OCKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO NIT ENTR LIDING ( VINDE X 2'-8"	REQUI CTION RED] AI D SYST CONT VATING UNIT PI SY DOC GLASS I ING INI TALL 4'-0" 6'-8" - - - - - L EXIST ENING FION SH AENTS O - - - - - - - - - - -	REMEN LL LOC EM – C RACTO CALO LAN SH DOOR: DR. IMI DOOR: CHEI FORM, TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1	TIS FOR CKS TO E COORD DR IS RE CK SMI HEETS FO PACT R S. IMPA DULE ATION LABEL C C C C C C C C C C C C C	EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOI ESISTANT ACT RESIS FINISH CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR CLEAR	COM V ER-KEYE ITH PRC LE FOR Y ALL S R TAGS WOOL STANT A FIXED FIXED FIXED FIXED - - WINDC APLIANA STANT STANT STANT	AME FINISH ALUM ALUM ALUM ALUM ALUM ALUM ALUM ALUM		OR TO GER. CKS. PORS. PORS. 1, 2, 3 1, 2, 3 1, 2, 3 - - CORM TO VSTALLATIO DOW(S) VSIDERED BE ER'S DETAIL
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NOTES WINDOWS TYPE * NOTES GEN	A. T L B. [I] S C C. R 1. U 2. S NO. 1. U 2. S 1. V 2. I 3. P V F F D. <b>G</b> 1. NC	CKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO INIT ENTR LIDING OPEN WIDE X 2'-8" X 2'-9" X 2'-8" X 2'-9" X 2'-	REQUI CTION RED] AI D SYST CONT VATING UNIT PI SY DOC GLASS ING INI TALL 4'-0" 6'-8" - - - L EXIST ENING TALL 4'-0" 6'-8" - - - - - - - - - - - - - - - - - -	REMEN LL LOC EM – C RACTO A LO LAN SH DOR. IMI DOOR DR. IMI DOOR CHEI FORM/ TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1		EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOI ESISTANT ACT RESIS FINISH CLEAR CL	CT-RESI THE CO	AME FINISH ALUM ALUM ALUM ALUM ALUM ALUM ALUM ALUM		OR TO GER. CKS. OORS. OORS. 1, 2, 3 1, 3, 4 1, 3, 5 1, 3, 5 1, 5 1, 5 1, 5 1, 5 1, 5 1, 5 1, 5 1
0 Z NOTES WINDOWS TYPE * NOTES GEN	A.       T         B.       [I]         C.       R         C.       R         1.       U         2.       S         3.       P         Y       P         F       F         2.       T         1.       NC.         1.       V         2.       T         T       T	CKING CONSTRU F REQUIF TANDAR SENERAL COORDIN EFER TO INIT ENTR LIDING C VINT ENTR LIDING C VINT ENTR LIDING C COPEN VIDE X COPEN CO	REQUI CTION RED] AI D SYST CONT VATING UNIT P CONT STATING UNIT P CONT CONT CONT CONT CONT CONT CONT CONT	REMEN LL LOC EM – C RACTO CALO LAN SH DOR. IMI DOOR: CHEI FORM, TYPE G1 G1 G1 G1 G1 G1 G1 G1 G1 G1	NTS FOR CKS TO E COORD DR IS RE CK SMI HEETS FO PACT R S. IMPA DULE ATION LABEL OPENINC E IN STR FLORIE D WEAT THE WII DING TO CORE PROV HERE AU	EACH R BE MASTE INATE WI SPONSIB TH TO KE DR DOOD ESISTANT ACT RESIS CLEAR CLE	CT-RESI DOM V ER-KEYE ITH PRC LE FOR Y ALL S R TAGS WOOL TANT A FIXED FIXED FIXED - - WINDC APLIANA DA CC 218.2 C SLE, GL	AME FINISH ALUM ALUM ALUM ALUM ALUM ALUM ALUM ALUM		OR TO GER. CKS. PORS. PORS. 1, 2, 3 1, 2, 3 1, 2, 3 1, 2, 3 1, 2, 3 2 3 - - - - - - - - - - - - - - - - -
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**\*\* WALL + PARTITION LEGEND** 



Project | Tenant Information: Alterations for: Bali Hai Beach Resort 6900 Gulf Drive Holmes Beach, FL 34217

Additional Information:

Consultant Information:

PHASE ISSUED DRAWINGS:

1 05.15.2019 Owner Check Set

Phase Description

No. Date

2 05.28.2019 Permit Set 3 07.26.2019 Updated Permit Set - - -- - -- - -- - -- - -**REVISED DRAWINGS:** No. Date Revision Description - - -- - -- - -- - -- - -- - -- - -- - -- - -

Professional Seal:

- - -

07.31.2019

#### Shaun M. Luttrell

19-021

AR0095921

#### Sheet Title:

Project Number:

UNIT YPE "F" ADA + OFFICE FLOOR PLAN, FINISH PLAN, POWER & LIGHTING PLAN

