

Building Alterations for: Bali Hai Beach Resort

6900 Gulf Drive

Holmes Beach, FL 34217

PLAN REVIEW CHECKLIST - CITY OF HOLMES BEACH

PROJECT ADDRESS : 2900 GULF DRIVE, HOLMES BEACH, FL 34217
LOT : 1 THRU 10 **BLOCK :** 6 **SUBDIVISION :** WEST WIND SHORES
LEGAL DESCRIPTION : LOTS 1 THRU 10, LOTS A, B & ALL LAND LY BET LOTS 4,5,6,7 & GULF OF MEXICO BLK 6 WEST WIND SHORES, LESS THAT PART LYING SEAWARD OF THE EROSION CONTROL LINE PER RESOLUTION REC IN OR 1403 PG 2720 P#171777.0000/7.
LAND USE / ZONING : A-1, MULTIFAMILY RESIDENTIAL/SEASONAL TOURIST DISTRICT
FLOOD ZONE : AE-9 & AE-10 AT SW EDGE OF BUILDING
OCCUPANCY : GROUP "R-1" - HOTEL (TRANSIENT)
SITE AREA : 1.9192 ACRES (83,600 SF)
BUILDING HEIGHT : 19'-11"
AREA : 10,033 GSF PER FLOOR
STORIES : 2

GENERAL :
A. ASBESTOS : AN ASBESTOS INVESTIGATION SHALL BE CONDUCTED PURSUANT TO FLORIDA STATUTE 469.003 PRIOR TO COMMENCEMENT OF THE WORK.
B. TURTLE ORDINANCE : ANY ELECTRICAL LIGHT THAT CAN BE SEEN FROM THE BEACH MUST BE TURTLE PROTECTED.
C. TERMITE PROTECTION : WHERE APPLICABLE, TERMITE PROTECTION AND NOTICE OF PROTECTION SHALL BE CONDUCTED IN COMPLIANCE WITH FBC 105.10, 105.11, AND 109.3.4.
D. DESIGN DATA AND WIND LOADS : REFER TO CHART ON THIS SHEET.
E. PRODUCT APPROVAL : REFER TO CHART ON THIS SHEET.

ZONING :
A. SETBACKS : EXISTING BUILDING, NO CHANGES.
B. PERMEABLE SPACE : EXISTING IMPERVIOUS/PERVIOUS AREAS TO REMAIN. THE WOOD DECK ADDED AT THE POOL WILL BE PROVIDED WITH AN INFILTRATION TRENCH UNDER THE DECK. NO OTHER IMPERVIOUS AREAS ARE PLANNED FOR THIS PROJECT.
C. BUILDING COVERAGE : EXISTING BUILDING, NO CHANGES.

BUILDING - EXISTING BUILDING CONDITIONS
A. FOOTINGS/FOUNDATIONS : MASONRY STEMWALL W/ CONTINUOUS REINFORCED CONCRETE FOOTING.
B. FLOOR FRAMING : 4" CONCRETE SLAB AT GROUND LEVEL. PRECAST CONCRETE SLAB AT 2ND LEVEL & ROOF.
C. WALLS : 8" MASONRY W/ REINFORCED CONCRETE BEAMS ABOVE.
D. PARTITIONS : 2x4 FRAMED PARTITIONS TYPICAL.
E. TENANT SEPARATION : 2-HR BY NATURE OF MASONRY. 1-HR REQUIRED. 1-HR FRAMED WALL EXISTS AT END UNITS (BOTH LEVELS) SEPARATING UNIT TYPES "D" & "E" AND TYPE "F" FROM THE OFFICE.
F. FIRE WALLS : 1-HR FIRE WALLS REQUIRED AT ALL TENANT SEPARATION WALLS AND AT EXTERIOR CORRIDORS. (EXISTING TO REMAIN)
G. INSULATION : UNCHANGED. R-19 BATT INSULATION AT FRAMED WALL SECTIONS AT INTERNAL PASS THROUGH AND AT EXTERIOR ENTRY HALLWAY WALLS TO SOME UNITS.
H. STAIRS/HANDRAIL/GUARDRAIL : UNCHANGED. EXISTING TO REMAIN.
I. ROOF FRAMING : PRECAST CONCRETE ROOF SUPPORTED BY CONCRETE BEAMS OVER MASONRY WALLS.
J. MEANS OF EGRESS : UNCHANGED.
K. DOORS/WINDOWS : REPLACEMENT WITH IMPACT-RESISTANT SYSTEMS.
L. FLOOD PROOFING : NO CHANGES, LESS THAN 50% IMPROVEMENT.
M. HANDICAPPED ACCESSIBILITY : 2 UNITS ARE BEING UPGRADED TO FULL COMPLIANCE. SITE PARKING IS BEING UPGRADED TO ALLOW 2 HANDICAPPED PARKING SPOTS.
N. FIRE SPRINKLERS : NONE
O. FIRE ALARMS : SMOKE DETECTION ADDED TO EACH GUEST ROOM.

FIRE SPRINKLERS / ALARM :
A. FIRE SPRINKLER : NONE EXISTING, NONE PLANNED
B. ALARM DEVICES : SMOKE DETECTORS IN ALL LIVING SPACES AND BEDROOMS

DESCRIPTION OF WORK :
COURTYARD BUILDING : INTERIOR COSMETIC ALTERATIONS TO ALL UNITS. 2 UNITS ARE BEING RECONFIGURED PER ADA ACCESSIBILITY STANDARDS.
SITE ACCESS : 1 ADDITIONAL ACCESSIBLE PARKING SPOT ADDED WITH UPGRADED CURB RAMP. THE QUANTITY OF PARKING SPOTS PROVIDED ARE UNCHANGED WITH A RECONFIGURED DOUBLE ADA PARKING CONFIGURATION WITH CENTRAL CURB RAMP. A CONTINUOUS ACCESSIBLE ROUTE WILL BE MAINTAINED FROM THE PARKING TO THE OFFICE AND TO THE ACCESSIBLE ROOMS. THE POOL DECK IS RECEIVING A WOOD DECK WITH AN INFILTRATION TRENCH SYSTEM UNDERNEATH THE DECK. THE WOOD DECK WILL BE RAMPED TO MEET ACCESSIBILITY STANDARDS.

VARIANCE # : NO
SITE PLAN # : YES (EXISTING BUILDING)
TYPE OF CONSTRUCTION : II B MASONRY BEARING WALLS W/ CONC. FLOOR AND ROOF DECKS.
APPRAISAL VALUE : \$ _____
PERMIT VALUE : \$ _____

ELECTRICAL :
A. SERVICE SIZE : EXISTING 100 AMP PANELS AT EACH GUEST ROOM.
B. GFCI GROUND-FAULT CIRCUIT INTERRUPTER : SMALL KITCHEN APPLIANCE & BATHROOM CIRCUITS
C. AFCI ARC-FAULT CIRCUIT INTERRUPTER : BEDROOMS, HALLWAYS, LIVING SPACES, ETC.
D. SWIMMING POOL : EXISTING TO REMAIN, NO CHANGES
E. ELEVATORS : NOT APPLICABLE
F. FIRE ALARM : SMOKE DETECTORS IN ALL GUEST ROOMS
G. GENERATOR : NOT APPLICABLE

PLUMBING :
A. FIXTURES : PLUMBING FIXTURES REPLACED IN KIND, IN PLACE WITH THE EXCEPTION OF THE 2 ADA UNITS, WHICH WILL HAVE THE BATHROOMS RECONFIGURED FOR PURPOSES OF ACCESSIBILITY.
B. SEWER : EXISTING SEWER LINES TO REMAIN. CONTRACTOR PLANS TO SCOPE THE SEWER TO ENSURE PROPER DRAINAGE. AN EXISTING SEWAGE TREATMENT PLANT IS LOCATED ON THE SE CORNER OF THE SITE AND WILL REMAIN.
C. VENTING : EXISTING VENTING TO REMAIN.
D. HOT WATER HEATER : REPLACEMENT HOT WATER HEATERS ARE PROPOSED AT EACH UNIT.
E. APPLIANCES : REPLACEMENT APPLIANCES ARE PROPOSED AT EACH UNIT.
 E.1 UNIT TYPE "A" CURRENTLY HAS A RANGE, BUT THIS APPLIANCE WILL BE DEMOLISHED WITHOUT REPLACEMENT FOR THESE UNIT TYPES.
F. OTHER : THE EXISTING SEWAGE TREATMENT PLANT WILL REMAIN.

MECHANICAL :
A. EQUIPMENT LOCATION : EXISTING EQUIPMENT TO REMAIN. AIR HANDLING UNITS ARE LOCATED IN THE CEILING SPACE AT EACH UNIT ENTRY W/ CEILING ACCESS DOOR. CONDENSERS ARE LOCATED ON THE ROOF.
GAS :
A. NO GAS PIPING OR APPLIANCES EXIST AND NONE ARE PROPOSED.

LIFE SAFETY :
A. MEANS OF EGRESS : EXISTING EGRESS ROUTES TO REMAIN.
B. EXIT DOORS : NOT APPLICABLE.
C. DOOR HARDWARE : DOOR HANDLES SHALL BE LEVER TYPE TYPICAL
D. CORRIDOR/AISLES : EXISTING TO REMAIN.
E. STAIRS : EXISTING TO REMAIN.
F. EMERGENCY/EXIT LIGHTS : EXISTING TO REMAIN.
G. SPECIAL OCCUPANCY : NOT APPLICABLE
H. HAZARDOUS MATERIAL : NOT APPLICABLE
I. FIRE EXTINGUISHERS : 1 REQUIRED IN EACH GUEST ROOM THAT IS EQUIPPED WITH AN OVEN, OVEN, RANGE, OR COOKTOP.
J. SMOKE DETECTORS : PROVIDED AT ALL BEDROOM AND LIVING SPACES WITHIN EACH UNIT AND AT THE OFFICE.
K. CARBON MONOXIDE ALARM : NOT APPLICABLE

PROJECT SUMMARY - SCOPE OF WORK

THE PROJECT CONSISTS OF LEVEL 2 ALTERATION "UPGRADES" TO AN EXISTING 2-STORY HOTEL WITH 2 UNITS BEING UPGRADED TO ACCESSIBLE ROOMS.
PROJECT SCOPE "COURTYARD GUEST ROOMS BUILDING":
 1. REPLACEMENT OF INTERIOR FINISHES.
 2. REPLACEMENT OF THE KITCHEN APPLIANCES AND CABINERY.
 3. RETILING OF SHOWERS.
 4. REPLACEMENT OF EXISTING PLUMBING FIXTURES IN PLACE.
 5. REPLACEMENT OF EXISTING LIGHTING FIXTURES.
 6. REPLACEMENT OF EXISTING POWER RECEPTACLES & SWITCHES IN PLACE.
 7. REPLACEMENT OF UNIT ENTRY DOORS & SIDELITES TO IMPACT RESISTANT.
 8. REPLACEMENT OF BALCONY/PORCH SLIDING GLASS DOORS TO IMPACT RESISTANT.
 9. REPLACEMENT OF WINDOWS TO IMPACT RESISTANT.
 10. RECONFIGURATION OF 2 UNITS FOR ADA/ACCESSIBILITY PURPOSES.
 11. COMMUNICATION UPGRADES TO 2 UNITS FOR HEARING IMPAIRED GUESTS.
PROJECT SCOPE "SITE WORK":
 1. SLIGHT MODIFICATION TO EXISTING PARKING TO ACCOMMODATE 1 ADDITIONAL HANDICAP PARKING SPOT. (2 SPOTS TOTAL)
 2. WOOD DECK OVER POOL DECK W/ INFILTRATION TRENCH.

UNIT MIX - COURTYARD BUILDING

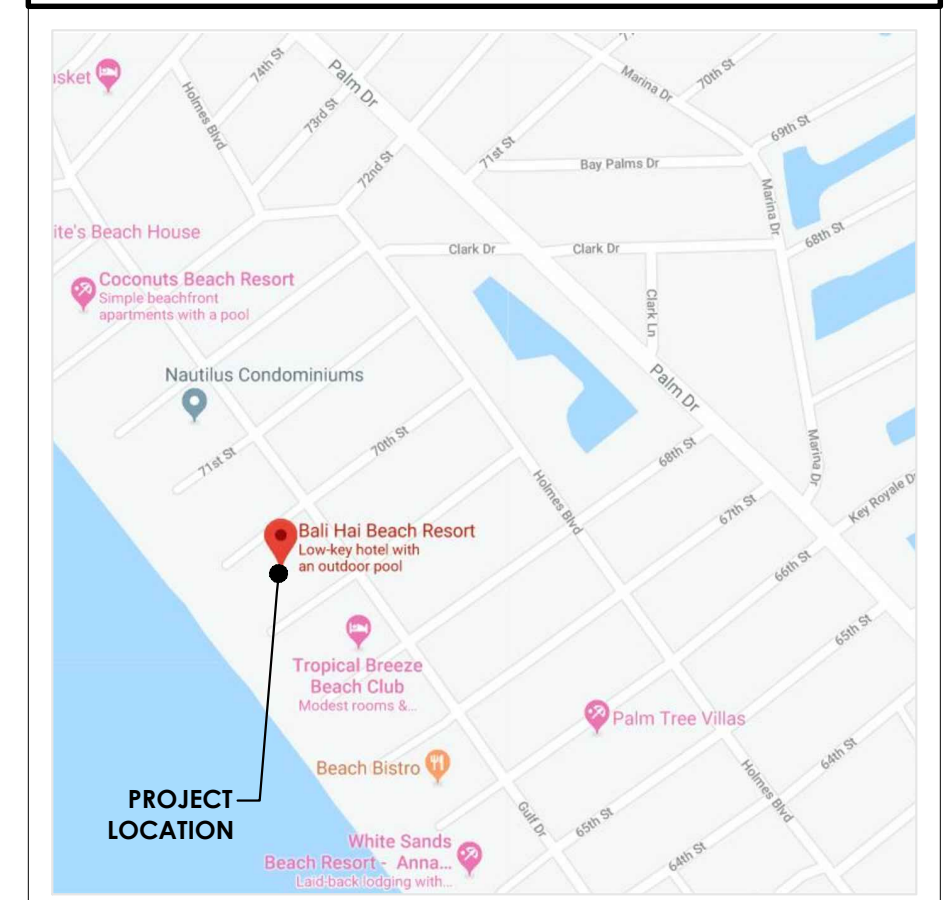
UNIT TYPE BREAKDOWN :
 (14) UNIT TYPE "A"; 1 BR / 1 BA
 (1) UNIT TYPE "A-ADA"; 1 BR / 1 BA
 (1) UNIT TYPE "B"; 2 BR / 1 BA
 (1) UNIT TYPE "C"; STUDIO / 1 BA
 (3) UNIT TYPE "D"; 2 BR / 1 BA
 (3) UNIT TYPE "E"; STUDIO / 1 BA
 (1) UNIT TYPE "F-ADA"; STUDIO / 1 BA
OFFICE
24 TOTAL UNITS + 1 OFFICE
BREAKDOWN BY BEDROOMS :
 (5) STUDIOS (1 ADA)
 (15) 1 BEDROOMS (1 ADA)
 (4) 2 BEDROOMS
2 TOTAL ADA GUEST ROOMS OUT OF 24 TOTAL GUEST ROOMS

FLORIDA PRODUCT APPROVAL

| PRODUCT CATEGORY | SUB CATEGORY | MANUFACTURER | STATE OF FLORIDA APPROVAL NUMBER | EXPIRATION DATE | DESCRIPTION |
|------------------|-----------------------------------|----------------------------|----------------------------------|-----------------|---|
| EXTERIOR DOORS | SWINGING EXTERIOR DOOR ASSEMBLIES | CUSTOM WINDOW SYSTEMS INC. | FL14850.1 | 07/21/2020 | SD-8700 SWING DOOR, SLT-8710 SIDELITE, I.R. |
| EXTERIOR DOORS | SLIDING EXTERIOR DOOR ASSEMBLIES | CUSTOM WINDOW SYSTEMS INC. | FL20838.1 | 04/18/2020 | SGD 8800 |
| WINDOWS | HORIZONTAL SLIDER | CUSTOM WINDOW SYSTEMS INC. | FL16736.1 | 07/21/2020 | HS-8200 PVC IMPACT RESISTANT |

FLORIDA PRODUCT APPROVAL GENERAL NOTES
 1. THE CONTRACTOR SHALL MAINTAIN PRINTED COPIES OF ALL REQUIRED PRODUCT APPROVALS ON SITE.
 2. STRICT ADHERENCE TO THE MANUFACTURER'S FLORIDA APPROVED INSTALLATION INSTRUCTIONS SHALL GOVERN OVER ARCHITECTURAL DETAILS INCLUDED IN THIS DRAWING SET.
 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER FLASHING AND MAINTAINING A CONTINUOUS WEATHER RESISTIVE BARRIER (W.R.B.) IN ACCORDANCE WITH ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS. (ZIP SYSTEM ROOF SHEATHING W/ BUILT-IN W.R.B. COMBINATION, WINDOWS, DOORS, ROOFS, ETC.)

PROJECT LOCATION MAP



APPLICABLE BUILDING CODES

ALL CODE REFERENCES ARE TO CURRENT FLORIDA BUILDING CODE (FBC) EDITIONS AS INDICATED BELOW; UNLESS OTHERWISE NOTED, SUPERSEDED AND/OR DIRECTED BY PROJECTS JURISDICTION AUTHORITY. REFER TO CODE ANALYSIS [ABOVE]; AND LIFE SAFETY PLAN FOR ADDITIONAL CODE EVALUATION.

- BUILDING CODE.....: 2017 FBC BUILDING, 6TH ED.
- STRUCTURAL CODE.....: 2017 FBC BUILDING, 6TH ED.
- MECHANICAL CODE.....: 2017 FBC MECHANICAL, 6TH ED.
- PLUMBING CODE.....: 2017 FBC PLUMBING, 6TH ED.
- ELECTRICAL CODE.....: 2014 NEC / NFPA 70
- LIFE SAFETY CODE.....: NFPA 101 2015 ED., NFPA 99 2015 ED.
- FIRE PREVENTION.....: FLORIDA FIRE PREVENTION CODE, 6TH ED.
- ACCESSIBILITY CODE.....: 2017 FLORIDA ACCESSIBILITY CODE, 6TH ED.
- ENERGY CODE.....: 2017 FBC ENERGY CONSERVATION, 6TH ED.
- EXISTING BLDG CODE.....: 2017 FBC EXISTING BUILDING, 6TH ED.
- FUEL AND GAS CODE.....: 2017 FBC FUEL GAS, 6TH ED.
- CODE OF ORDINANCES...: CITY OF HOLMES BEACH, ORDINANCE NO. 17-07, ADOPTED FEB 28, 2017

DESIGN DATA & WIND LOADS (FBC + ASCE 7)

| | |
|---------------------------------------|--------------------------|
| CONSTRUCTION TYPE (602.3): | TYPE II-B, NOT SPRINKLED |
| RISK CATEGORY (1604.5): | II |
| BASIC WIND SPEED (1609A): | 150 MPH |
| SURFACE ROUGHNESS (1609.4.2) | D |
| WIND EXPOSURE CATEGORY (1609.4.3): | D |
| STRENGTH DESIGN WIND VELOCITY (Vult): | 150 MPH (3 SEC GUST) |
| NOMINAL DESIGN WIND VELOCITY (Vasd): | 116 MPH (3 SEC GUST) |
| EXPOSURE CATEGORY: | ENCLOSED |
| INTERNAL PRESSURE COEFFICIENTS (GCp): | 0.18 |

NOTE: THESE ITEMS ARE USED SOLELY FOR CALCULATING WIND PRESSURE LOADS FOR THE REPLACEMENT OF DOORS AND WINDOWS PLANNED FOR THIS EXISTING BUILDING. ALL OTHER EXTERIOR COMPONENTS AND CLADDING ARE TO REMAIN.

BUILDING AND SITE CHARACTERISTICS

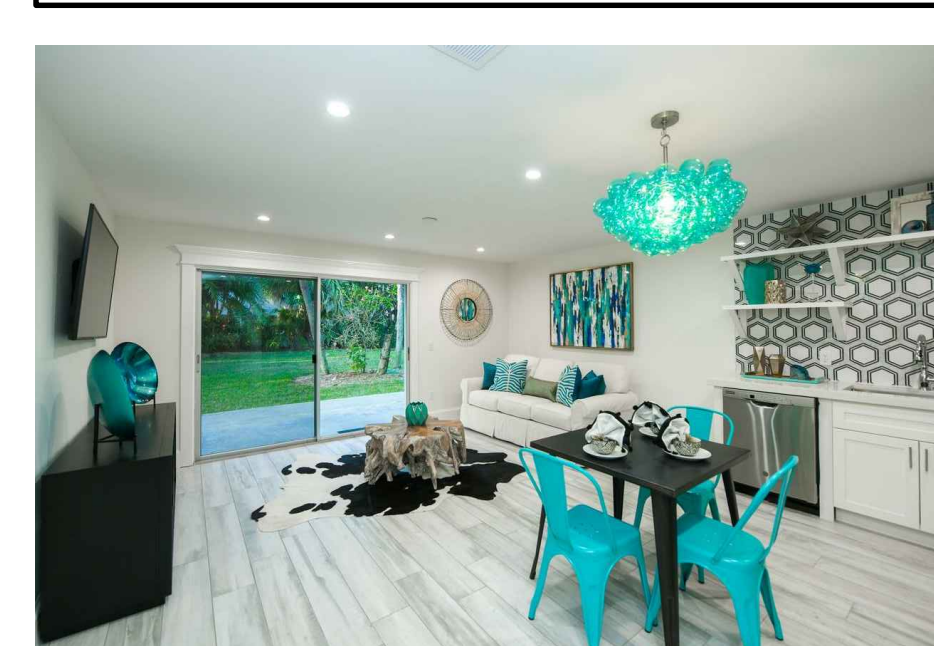
BUILDING INFORMATION
 BUILDING USE.....: HOTEL (RESIDENTIAL, GROUP 1)
 EXISTING CONST. TYPE.....: TYPE IIB - NOT SPRINKLERED / NOT PROTECTED
 PROPOSED CONST. TYPE.....: TYPE IIB - NOT SPRINKLERED / NOT PROTECTED
 PROJECT FLOOR LEVEL.....: FLOOR LEVELS [2] TWO
 ALTERATION LEVEL.....: LEVEL [2] TWO ALTERATION
 CURRENT OCCUPANCY.....: GROUP "R-1" - HOTEL (TRANSIENT)
 NEW OCCUPANCY.....: GROUP "R-1" - HOTEL (TRANSIENT)
 ADJACENT OCCUPANCY.....: N/A
 TOTAL EXISTING GROSS AREA.....: 20,066 GSF
 RENOVATION AREA.....: 20,066 GSF
 RECONFIGURED "WORK AREA".....: 1,282 GSF (2 UNITS)
 PARKING REQUIRED.....: SURFACE PARKING TO ADD 1 ADDITIONAL HANDICAP PARKING SPACE - 2 ACCESSIBLE SPACES TOTAL.

SITE INFORMATION: (EXISTING HOTEL - NOT APPLICABLE)
 SITE ZONING.....: A-1
 SITE AREA.....: 1.9192 ACRES (83,600 SF)
 BUILDING FOOTPRINT.....: 10,033 GSF

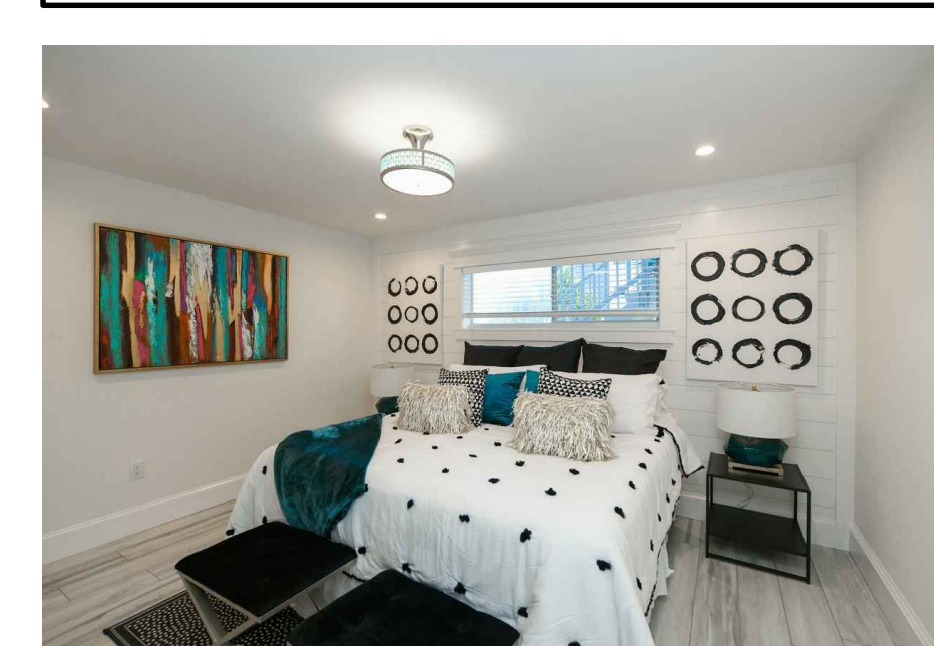
SHEET INDEX

| NO. | ARCHITECTURAL | CIVIL - NOT IN SCOPE | STRUCTURAL - NOT IN SCOPE | MECHANICAL - NOT IN SCOPE [VENDOR DESIGNED] | PLUMBING - NOT IN SCOPE [VENDOR DESIGNED] | ELECTRICAL - NOT IN SCOPE [VENDOR DESIGNED] |
|------|--|----------------------|---------------------------|---|---|---|
| A000 | COVER SHEET AND PROJECT INFO | | | | | |
| A001 | GENERAL NOTES, SYMBOLS, AND SPECIFICATIONS | | | | | |
| A002 | ELECTRICAL SPECIFICATIONS AND NOTES | | | | | |
| A050 | ARCHITECTURAL SITE PLAN | | | | | |
| A110 | BUILDING PLAN - COURTYARD BUILDING | | | | | |
| A401 | ENLARGED UNIT "A" PLANS | | | | | |
| A402 | ENLARGED UNIT "A" ADA PLANS | | | | | |
| A403 | ENLARGED UNIT "B" PLANS | | | | | |
| A404 | ENLARGED UNIT "B" PLANS [CONT.] | | | | | |
| A405 | ENLARGED UNIT "C" PLANS | | | | | |
| A406 | ENLARGED UNIT "D" PLANS | | | | | |
| A407 | ENLARGED UNIT "D" PLANS [CONT.] | | | | | |
| A408 | ENLARGED UNIT "E" PLANS | | | | | |
| A409 | ENLARGED UNIT "F" ADA AND OFFICE PLANS | | | | | |

ARTIST RENDERING - LIVING ROOM



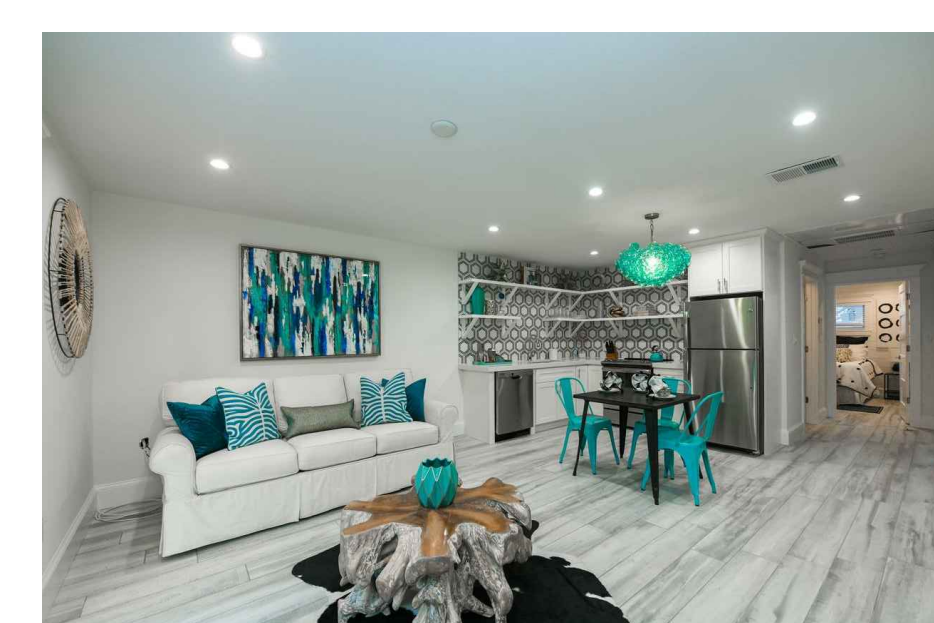
ARTIST RENDERING - BEDROOM



ARTIST RENDERING - KITCHEN



ARTIST RENDERING - LIVING/DINING



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Project | Tenant Information:
Alterations for:
Bali Hai Beach Resort
 6900 Gulf Drive
 Holmes Beach, FL 34217

Additional Information:
 Consultant Information:

PHASE ISSUED DRAWINGS:

| No. | Date | Phase Description |
|-----|------------|--------------------|
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

REVISED DRAWINGS:

| No. | Date | Revision Description |
|-----|------|----------------------|
| - | - | - |
| - | - | - |
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| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

Professional Seal:

07.31.2019
 Shaun M. Luttrell AR0095921
 Project Number: 19-021

Sheet Title:
COVER SHEET AND PROJECT INFO

Original size is 24x36". Copy Reductions N.T.S.
 Sheet Number:

A000
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| GENERAL RENOVATION FLOOR PLAN NOTES | |
|-------------------------------------|---|
| NO. | THE FOLLOWING GENERAL RENOVATION NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC. |
| A. | RESPONSIBILITY OF SCOPE = CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING CONDITIONS IN COORDINATION TO PROJECT SCOPE PRIOR TO CONSTRUCTION. |
| B. | PROTECTION OF EXISTING TO REMAIN = CONTRACTOR SHALL BE RESPONSIBLE FOR COVERING / PROTECTING EXISTING FINISHES TO REMAIN. COMMON AREAS / SHELL WALLS; EXTERIOR WINDOWS AND STRUCTURAL SLAB / COLUMNS TO REMAIN THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A LIST TO THE PROPERTY MANAGER OF ANY AREAS OF "CURRENT" DAMAGE TO THE EXISTING SHELL / CORE ELEMENTS [UNRELATED TO THIS RENOVATION] PRIOR TO PROCEEDING. |
| C. | DIMENSIONS FLOOR PLANS = DIMENSIONS ARE GENERALLY TAKEN FROM FACE OF STUD/CMU AND SHOWN WITH A "TICK". EXISTING TENANT SEPARATION WALL DIMENSIONS ARE TAKEN FROM FACE OF EXISTING FINISHED WALL. DIMENSIONS TAKEN FROM FINISHED FACE AND "CLEAR" DIMENSIONS ARE SHOWN WITH AN "ARROW". CRITICAL DIMENSIONS ARE LISTED AS "HOLD" AND/OR SHOWN IN THE ENLARGED FLOOR PLANS. ALL NEW TENANT SEPARATION WALLS ARE MEASURED FROM THE CENTERLINE OF THE WALL. |
| D. | MILLWORK / CABINETS = SIZES/LOCATIONS INDICATED ON PLANS FOR REFERENCE ONLY; VERIFY FIELD CONDITIONS / DIMENSIONS PRIOR TO FABRICATION. SHOP DRAWINGS AND FINISH SAMPLES SHALL BE SUBMITTED AND APPROVED BY THE OWNER AND ARCHITECT. |
| E. | MEP+FP = CONTRACTOR SHALL VERIFY ALL PLUMBING, ELECTRICAL AND MECHANICAL REQUIREMENTS PRIOR TO CONSTRUCTION. |
| F. | FURNITURE / EQUIPMENT = SIZES AND LOCATIONS ARE INDICATED ON PLANS FOR REFERENCE ONLY. ALL FURNITURE/EQUIPMENT PROVIDED BY CLIENT UNDER SEPARATE CONTRACT. [N.I.C.] |
| G. | FINISH SPECIFICATIONS, SCHEDULE + NARRATIVE = SAMPLES SHALL BE SUBMITTED AND APPROVED BY THE OWNER/ARCHITECT PRIOR TO ORDER. |
| H. | FEH LOCATIONS = REFER TO LIFE SAFETY PLANS A100 FOR LOCATIONS; SPECIFICATION AND INSTALLATION INSTRUCTIONS OF FIRE EXTINGUISHERS AND/OR CABINETS. TRAVEL DISTANCE FROM ANY LOCATION SHALL NOT EXCEED 50' TO A FIRE EXTINGUISHER. |
| I. | DONUTS = ALL SUBCONTRACTOR "CREWS" SHALL BRING ONE DOZEN KRISPY KREME (OR EQUAL) GLAZED DONUTS TO THEIR FIRST DAY ON THE JOB AND OFFER THE FIRST DONUT TO THE APPARENT ELDEST FIELD WORKER. FAILURE TO RECOGNIZE THIS REQUEST WILL DEMONSTRATE A LACK OF COMMON DECENCY AND LAZINESS AND WILL RESULT IN A FINE OF \$1 DUE TO THE CHARITY OF THE ELDEST WORKER'S CHOICE. |

| GENERAL ADMINISTRATIVE NOTES | |
|------------------------------|--|
| NO. | THE FOLLOWING GENERAL ADMINISTRATIVE NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC. |
| A. | CONTRACTOR TO PREPARE DETAILED CONSTRUCTION SCHEDULE FOR SUBMISSION TO TENANT/OWNER W/IN 5 DAYS OF NOTICE TO PROCEED. |
| B. | CONTRACTOR TO CONFIRM DELIVERY DATES OF ALL FINISH MATERIALS AND FURNISH THE ARCHITECT W/ SCHEDULE OF INSTALLATION OF ALL FINISHES. CONTRACTOR TO INFORM THE ARCHITECT PROMPTLY IN WRITING OF ANY DATES WHICH WILL ADVERSELY AFFECT SCHEDULE. |
| C. | CONTRACTOR SHALL REVIEW AND APPROVE ALL SUBMITTALS SHOP DRAWINGS AND SAMPLES FROM SUBCONTRACTORS PRIOR TO SUBMITTAL TO THE ARCHITECT |
| D. | CONTRACTOR TO ALLOW SUFFICIENT REVIEW TIME SO AS NOT TO IMPACT INSTALLATION SCHEDULES. ALLOW MINIMUM OF ONE WEEK FOR INITIAL REVIEW AND 2 DAYS FOR EACH RE-SUBMITTAL. NO EXTENSION OF CONTRACT TIME WILL BE ALLOWED DUE TO A FAILURE TO TRANSMIT SUBMITTALS IN A TIMELY MANNER. |
| E. | CONTRACTOR TO SUBMIT SHOP DRAWINGS AND PRODUCT INFORMATION TO THE ARCHITECT FOR ANY AND ALL FIXTURES INCLUDING, BUT NOT LIMITED TO, MILLWORK, SHELVEING, GLAZING, LIGHTING, HARDWARE, ETC. SHOP DRAWINGS TO BE SUBMITTED IN A TIMELY MANNER SO AS TO NOT NEGATIVELY IMPACT OVERALL PROJECT SCHEDULE. CONTRACTOR SHALL SUBMIT TWO REPRODUCIBLE SETS FOR REVIEW BY THE ARCHITECT- WHO WILL RETURN ONE REPRODUCIBLE SET TO CONTRACTOR FOR DUPLICATION / DISTRIBUTION. |
| F. | CONTRACTOR TO SUBMIT ACTUAL FULL SIZE SAMPLES OF THE MATERIALS AND/OR PRODUCTS SPECIFIED. SAMPLES INCLUDE PARTIAL SECTIONS OF MANUFACTURED OR FABRICATED COMPONENTS, CUTS OF MATERIALS, COLOR RANGE SETS, AND SWATCHES SHOWING COLOR, TEXTURE AND PATTERN. SAMPLES TO BE SUBMITTED TO THE ARCHITECT IN A TIMELY MANNER AS TO NOT IMPACT THE OVERALL PROJECT SCHEDULE. |
| G. | WHERE VARIATION IN COLOR, PATTERN OR TEXTURE ARE INHERENT IN THE MATERIAL, CONTRACTOR SHALL SUBMIT MULTIPLE UNITS (NO LESS THAN 3) THAT SHOW EXTENTS IN VARIATION. |
| H. | CONTRACTOR TO SUBMIT TO THE ARCHITECT FINISH SAMPLES W/ EVIDENCE OF COMPLIANCE W/ FIRE/BUILDING CODES/REGULATIONS IN RESPECT TO FLAME SPREAD, SMOKE AND RELATED APPURTENANT ITEMS. CONDUCT MATERIAL / ASSEMBLY TESTING AS REQUIRED. |
| I. | PROPOSAL REQUESTS ISSUED BY THE DESIGN TEAM ARE FOR INFORMATION ONLY. DO NOT CONSIDER THEM INSTRUCTION EITHER TO STOP WORK IN PROGRESS OR TO EXECUTE THE PROPOSED CHANGE UNLESS SPECIFICALLY INSTRUCTED BY THE ARCHITECT IN WRITING TO DO SO. |
| J. | UPON THE ARCHITECT APPROVAL OF A PROPOSAL REQUEST, THE CONTRACTOR WILL ISSUE A CHANGE ORDER FOR SIGNATURES OF THE ARCHITECT AND DESIGN TEAM (IF REQUIRED). |
| K. | WHEN THIS PROPERTY IS PROTECTED BY A FIRE SPRINKLER SYSTEM, ALL CHANGES, ADDITIONS, IMPROVEMENTS, RELOCATIONS, AND/OR MODIFICATIONS TO THE EXISTING FIRE SPRINKLER SYSTEM WILL BE DONE AS PER MOST CURRENT NFPA-01 EDITION, BY A LICENSED FIRE SPRINKLER CONTRACTOR W/ A SEPARATE PERMIT AND PLANS. |

| GENERAL INTERIOR CONSTRUCTION NOTES | |
|-------------------------------------|---|
| NO. | THE FOLLOWING GENERAL INTERIOR CONSTRUCTION NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC. |
| A. | NOTICE IS HEREBY GIVEN THAT WORK SHALL BE PERFORMED SO AS TO CAUSE THE LEAST POSSIBLE INCONVENIENCE OR DISTURBANCE TO OTHER BUILDING OCCUPANTS. |
| B. | ALL WORK SHALL BE DONE IN COMPLIANCE W/ THE PLANS AND SPECIFICATIONS OF THE BASE BUILDING. |
| C. | ALL MATERIALS FOR CONSTRUCTION SHALL BE BUILDING STANDARD (IF APPLICABLE), UNLESS OTHERWISE NOTED ON PLAN. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL ESTABLISHED STANDARDS W/ THE PROPERTY MANAGER PRIOR TO BIDDING THE WORK. |
| D. | PLANS WERE DEVELOPED BASED ON INFORMATION SUPPLIED BY THE PROPERTY MANAGER AND FROM EXISTING CONDITIONS OBSERVED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND CONDITIONS SHOWN TO BE EXISTING AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE SUBMITTAL OF BID AND PROCEEDING W/ THE WORK. |
| E. | CONTRACTOR TO BE RESPONSIBLE FOR PAYING REQUIRED FEES. SECURING REQUIRED PERMITS FOR DEMOLISHING AND COMPLETELY REMOVING FROM SITE ALL UNNECESSARY EXISTING CONSTRUCTION DEBRIS AND MATERIALS SHOWN ON THE DRAWINGS TO BE REMOVED. IF ANY ADDITIONAL WORK OR CHANGES WILL ADVERSELY AFFECT THE COMPLETION SCHEDULE THE CONTRACTOR SHALL ADVISE THE ARCHITECT IN WRITING IMMEDIATELY. |
| F. | WRITTEN AUTHORIZATION FROM THE ARCHITECT MUST BE OBTAINED PRIOR TO THE ORDERING OF ANY MATERIAL, AWARDED OF ANY CONTRACTS, OR THE EXECUTION OF ANY WORK INVOLVING ADDITIONAL COST ABOVE THE CONTRACT SUM. |
| G. | WHEN INSTALLATION OF NEW WORK REQUIRES THE SHUTDOWN OF THE BUILDING'S EXISTING OPERATING SYSTEMS, THE CONNECTION OF THE NEW WORK SHALL BE PERFORMED ONLY AFTER GIVING NOTICE AND OBTAINING APPROVAL FROM THE PROPERTY MANAGER. |
| H. | CONTRACTOR SHALL MAINTAIN BUILDING SECURITY, FIRE ALARM, AND FIRE PROTECTION AT ALL TIMES DURING THE PERFORMANCE OF WORK. |
| I. | CONTRACTOR TO INSPECT ALL NEW OR EXISTING FIRE RATED PARTITIONS AND SEAL ALL PENETRATIONS AS NEEDED TO ASSURE FIRE RATING IS MAINTAINED. |
| J. | ALL FINISH MATERIALS ARE CLASS "A" OR BETTER PER APPLICABLE CODE. |
| K. | CONTRACTOR TO PROVIDE WOOD BLOCKING AND STEEL SUPPORTS W/IN ALL NEW OR REWORKED PARTITIONS TO ACCOMMODATE ANY AND ALL ATTACHED FIXTURES INCLUDING, BUT NOT LIMITED TO, MILLWORK, SHELVEING, GLAZING, PENDANT FIXTURES, ETC. |
| L. | PATCH AND REPAIR ALL GYPSUM BOARD WALL SURFACES SHOWN TO REMAIN THAT ARE AFFECTED BY NEW CONSTRUCTION W/ MATERIALS AND METHODS TO MATCH EXISTING CONDITIONS AND PROVIDE A UNIFORM, CONTIGUOUS APPEARANCE. PREPARE GYPSUM BOARD TO RECEIVE NEW WALL FINISHES TO CEILING HEIGHT AS SPECIFIED. |
| M. | FINISH EXISTING COLUMNS AND ANY OTHER BASE BUILDING SURFACES AS REQUIRED TO MATCH ADJACENT OR ABUTTING SURFACES UNLESS OTHERWISE NOTED. |
| N. | PATCH, REPAIR AND FLOAT ALL CONCRETE FLOOR SURFACES AS REQUIRED TO ACHIEVE A SURFACE FOR INSTALLATION OF NEW FLOOR FINISH MATERIALS AND FURNITURE. FLOOR SURFACES TO MEET TOLERANCE REQUIREMENTS OF A.C.I. STANDARDS FOR CLASS "A" OFFICE BUILDINGS - 1/4" IN 10 FEET. FLOOR AREAS NOT MEETING THIS REQUIREMENT SHOULD BE BROUGHT TO THE ATTENTION OF THE PROPERTY MANAGER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. |
| O. | GENERAL CONTRACTOR SHALL COORDINATE FLOOR PENETRATIONS W/ STRUCTURAL SYSTEM TO PREVENT DAMAGE TO SUCH ITEMS AS, BUT NOT LIMITED TO, POST-TENSIONED CABLES, ANCHORS, AND STEEL REINFORCEMENTS. |
| P. | "W/IT" (VERIFY W/ TENANT IN FIELD) MEANS VERIFY DIMENSIONS OR REQUIREMENTS W/ THE TENANT, TENANT'S FURNITURE VENDOR, OR TENANT'S EQUIPMENT SUPPLIER PRIOR TO INSTALLATION OR FABRICATION. |
| Q. | INSPECT ALL EXISTING PLUMBING FIXTURES TO DETERMINE ALL ARE IN GOOD WORKING ORDER PRIOR TO FINAL WALK THROUGH. REPLACE FIXTURES AS REQUIRED. |
| R. | RESTORE DOOR FINISH ON ALL EXISTING DOORS TO BE RELOCATED/REUSED PRIOR TO FINAL WALK-THROUGH. REPAIR OR REPLACE PARTS AS REQUIRED. |
| S. | WHEN PERFORMING CONSTRUCTION IN OCCUPIED TENANT SPACES AS PART OF AN EXPANSION PROJECT, EACH OCCUPIED SPACE AFFECTED BY THE CONSTRUCTION SHALL BE THOROUGHLY "CLEANED" IMMEDIATELY FOLLOWING CONSTRUCTION COMPLETION, REGARDLESS OF PROGRESS OR SCHEDULE OF OVERALL PROJECT. |
| T. | ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201 CONTRACTOR SHALL INFILL ALL VOIDS IN FLOOR LEFT BY ABANDONED OR REMOVED UTILITY DEVICES. RESTORE/MAINTAIN ALL FIRE RATINGS AND NOISE REDUCTION COEFFICIENTS. |
| U. | ALL CONTRACTORS AND SUB-CONTRACTORS PERFORMING ANY WORK ON THIS PROJECT SHALL BE INSURED AND BONDED. |
| V. | ALL FIRE PROTECTION SYSTEMS MUST REMAIN IN SERVICE DURING CONSTRUCTION. |
| W. | |
| X. | |

| SYMBOLS LEGEND | |
|--|--|
| THE DRAWING SYMBOLS / REFERENCE TAGS BELOW USED W/IN THE DOCUMENTS TO FOLLOW REPRESENT REFERENCE INFORMATION FOR LOCATING THE FOLLOWING: | |
| A. | PLAN SHEET TITLES: |
| B. | ELEVATION, SECTION, DETAIL SHEET TITLES: |
| C. | ROOM / SPACE TAGS: |
| D. | KEYNOTE REFERENCE TAGS: |
| E. | WALL / PARTITION / SHAFT / FLOOR ASSEMBLY TYPE TAGS: |
| F. | EXTERIOR / INTERIOR ELEVATION REFERENCE TAGS: |
| G. | ENLARGED PLAN / DETAIL REFERENCE TAG: |
| H. | SECTION REFERENCE TAG: |
| I. | ELEVATION LEVEL TAG FOR PLANS, ELEVATIONS, AND SECTIONS: |
| J. | EXISTING GRADE SPOT ELEVATION TAG FOR SITE PLAN: |
| K. | DOOR / WINDOW / OPENING SCHEDULE REFERENCE TAGS: |
| L. | REVISION TAGS: |

| PROJECT GENERAL NOTES | |
|-----------------------|--|
| NO. | THE FOLLOWING GENERAL NOTES SHALL PERTAIN AND APPLY TO THE ENTIRE SET OF CONSTRUCTION DOCUMENTS TO FOLLOW PRODUCED BY LUTTRELL ARCHITECTURE, LLC. |
| A. | GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM THEIR WORK IN ACCORDANCE W/ ALL APPLICABLE CODES GOVERNING EACH TRADE. |
| B. | CONTRACTOR SHALL BE RESPONSIBLE FOR COVERING AND PROTECTING EXISTING FINISH MATERIALS TO REMAIN THROUGHOUT CONSTRUCTION. |
| C. | CONTRACTOR SHALL BE RESPONSIBLE TO PATCH / REPAIR ANY EXISTING ADJACENT FINISHES OF EXISTING SHELL / CORE FINISHES / CONSTRUCTION SHOULD DAMAGE OCCUR DURING THIS BUILD-OUT / RENOVATION. |
| D. | EACH CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN THE FIELD PRIOR TO THE INITIATION OF WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS INTERFERING W/ THE ABILITY OF THE CONTRACTOR TO COMPLETE WORK AS OUTLINED ON THE CONSTRUCTION DRAWINGS. |
| E. | GENERAL CONTRACTOR SHALL REVIEW ALL OWNER PROVIDED EQUIPMENT VENDORS PRODUCT INFO AND SUBMITTALS FOR ADHERENCE AND PLACEMENT OF SAID EQUIPMENT IN ACCORDANCE W/ THE CONSTRUCTION DOCUMENTS TO FOLLOW. ANY AND ALL DISCREPANCIES SHALL BE PROVIDED TO ARCHITECT PRIOR TO CONSTRUCTION OF ASSOCIATED / ADJACENT BLDG. / SITE ELEMENTS IN WRITTEN FORMAT FOR REVIEW/APPROVAL OF BOTH ARCHITECT / OWNER REP. |
| F. | ALL SUBCONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH OTHER TRADES. LACK OF THIS COORDINATION RESULTING IN ADDED COST TO THE CONTRACT WILL BE BORNE BY THE SUBCONTRACTOR. |
| G. | TEMPORARY BARRICADES AND OTHER SAFETY MEASURES SHALL BE ERCTED AROUND HAZARDOUS AREAS IN ACCORDANCE W/ ALL APPLICABLE CODES AND ORDINANCES. |
| H. | EACH CONTRACTOR SHALL VERIFY DIMENSIONS IN THE FIELD PRIOR TO FABRICATION OF WORK. ANY AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION IN WRITTEN FORMAT FOR REVIEW AND APPROVAL OF BOTH THE ARCHITECT / OWNER REPRESENTATIVE. |
| I. | ALL DIMENSIONS SHOWN TO NEW PARTITIONS ARE TO FACE OF NEW STUD DRAWING, UNLESS NOTED OTHERWISE. |
| J. | CONTRACTOR SHALL ISOLATE ALL DISSIMILAR METALS. |
| K. | SEALANTS SHALL BE COMPATIBLE WHERE IN CONTACT W/ ONE ANOTHER. SEALANT FINISH COLOR SHALL MATCH SAMPLE AS APPROVED BY THE ARCHITECT. |
| L. | CONTRACTOR SHALL PROVIDE CAULKING OF JOINTS FOR DISSIMILAR EXPOSED TO VIEW MATERIALS AS REQUIRED BY THE ARCHITECT. CAULK FINISH COLOR SHALL MATCH SAMPLE AS APPROVED BY THE ARCHITECT. |
| M. | THE CONTRACTOR SHALL MAINTAIN A CLEAN AND ORGANIZED JOB SITE THROUGHOUT THE COURSE OF CONSTRUCTION. |
| N. | GENERAL CONTRACTOR TO HAVE PORTABLE FIRE EXTINGUISHERS PLACED ON FLOOR DURING CONSTRUCTION. |
| O. | DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING W/ CONSTRUCTION. |

| DIMENSION METHODOLOGY | |
|-----------------------|--|
| NO. | USE THE FOLLOWING METHODOLOGY FOR DIMENSIONING WITHIN THE SHEETS TO FOLLOW. ADHERE TO THE CONCEPTS BELOW UNLESS OTHERWISE NOTED. |
| A. | IN SITUATIONS WHERE THE DESIGN INTENT IS TO HAVE A TYPICAL SIZE FOR ELEMENTS, HOWEVER THE ACTUAL DIMENSION IS NOT CRITICAL, THE WORD "EQUAL OR EQ." IS USED IN LIEU OF THE ACTUAL DIMENSIONS. |
| B. | ENLARGED DETAILS (OR LARGEST SCALE PROVIDED) WILL GOVERN ALL DIMENSIONS IN CASES WHERE DIMENSIONS APPEAR IN PLAN, ELEVATIONS, DETAILS AND SECTIONS. |
| C. | DOORS LOCATED ADJACENT TO THE JAMB OF WALLS/PARTITIONS WILL NOT BE DIMENSIONED AND SHOULD BE CONSTRUCTED AS FOLLOWS UNLESS OTHERWISE NOTED. |
| D. | PARTITIONS ARE DIMENSIONED TO FACE OF CMU OR FACE OF METAL/WOOD STUD UNLESS OTHERWISE NOTED. TYPICALLY, THESE DIMENSIONS ARE SHOWN WITH A TICK AS DEMONSTRATED BELOW. |
| E. | DIMENSION STRINGS FROM FACE OF FINISHED SURFACE (EXISTING OR NEW) ARE GENERALLY SHOWN WITH AN ARROW AS DEMONSTRATED BELOW. THESE DIMENSIONS ARE OFTEN, BUT NOT ALWAYS, SHOWN WITH A "CLR" OR "MIN" DESIGNATION. "CLR" OR "MIN" DESIGNATIONS ARE ALWAYS FROM FACE OF FINISHED SURFACE DESPITE THE DIMENSION STRING TYPE, UNLESS NOTED OTHERWISE. |
| F. | DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. |

| ABBREVIATIONS | | | |
|---|---------------------------------------|------------|---|
| LISTED HERE AND USED WITHIN THE DOCUMENT SHEETS TO FOLLOW ARE LUTTRELL ARCHITECTURE OFFICE STANDARDS FOR CONSTRUCTION DOCUMENT TERMINOLOGY. PLEASE NOTE OTHER ACCEPTED ENGLISH ABBREVIATIONS OTHER THAN THE FOLLOWING MAY BE USED WITHIN THESE DOCUMENTS. | | | |
| ABBR. | DESCRIPTION | ABBR. | DESCRIPTION |
| & | AND | I.D. | INSIDE DIAMETER |
| @ | AT | I.E. | THAT IS |
| C | CENTERLINE | I.F. | INSIDE FACE |
| C | CENTERLINE OF SYMMETRY | I.G. | INSULATED GLASS |
| | | IR | IMPACT RESISTANT |
| | | INSUL | INSULATIONS |
| A.B. | ANCHOR BOLT | INT | INTERIOR |
| ACT | ACOUSTICAL CEILING TILE | IRT | INTEGRATED RETAIL TERMINAL |
| AFF | ABOVE FINISHED FLOOR | JAN. | JANITOR |
| | | JT. | JOINT |
| AHU | AIR HANDLING UNIT | K.O. | KNOCK OUT |
| ALUM | ALUMINUM | LB, LBS | POUND, POUNDS |
| ANSI | AMERICAN NATIONAL STANDARDS INSTITUTE | LMI | LARGE MISSILE IMPACT |
| APPROX. | APPROXIMATE, APPROXIMATELY | MATL. | MATERIAL |
| ASPH | ASPHALT | MAX | MAXIMUM |
| B.O. | BOTTOM OF | MECH | MECHANICAL |
| B.O.B. | BOTTOM OF BEAM | MFRG. | MANUFACTURER |
| B.B. | BASE PLATE | MIN | MINIMUM |
| BD. | BOARD | M.O. | MASONRY OPENING |
| B.F.E. | BASE FLOOD ELEVATION | MOD | MODIFIED |
| BLK | BLOCKING | MTL. | METAL |
| BLDG. | BUILDING | N/A | NOT APPLICABLE |
| BRG. | BEARING | NO. | NUMBER |
| BTM | BOTTOM | N.T.A. | NOT TO SCALE |
| B.U.R. | BUILT-UP ROOF | O.C. | ON CENTER |
| CAB | CABINET | O.D. | OUTSIDE DIAMETER |
| CCTV | CLOSED-CIRCUIT TELEVISION | O.F. | OUTSIDE FACE |
| C-I-P | CAST-IN-PLACE CONCRETE JOINT | OPP. | OPPOSITE |
| C.J. | CIRCUIT CONTROL | P. LAM. | PLASTIC LAMINATE |
| CKT | CIRCUIT | PART. | PARTIAL PARTITION |
| CLG. | CEILING | PLYWD. | PLYWOOD |
| CLR | CLEAR | PLF | POUNDS PER LINEAR FOOT |
| CMU | CONCRETE MASONRY UNIT | PSF | POUNDS PER SQUARE FOOT |
| COL | COLUMN | PSI | POUNDS PER SQUARE INCH |
| COLS | COLUMNS | PL | PLATE |
| CONC | CONCRETE | P.O.S. | POINT OF SALE |
| CONN | CONNECTION | P.T. | PRESSURE TREATED |
| CONST. JT. | CONSTRUCTION JOINT | P.T.D. | PAINTED |
| CONT. | CONTINUOUS CONTRACTING OFFICER | RAD | RADIUS |
| C.O. | COPPER | R.D. | ROOF DRAIN |
| CORR | CORRIDOR | RECEP. | RECEPTACLE |
| CPT | CARPET | REF | REFERENCE |
| CSK | COUNTERSUNK CERAMIC TILE | REINP | REINFORCEMENT |
| C.T. | COPPER | REQD | REQUIRED |
| CU | COPPER | RM | ROOM |
| DIA | DIAMETER | R.O. | ROUGH OPENING |
| DIAG | DIAGONAL | R.O.W. | RIGHT OF WAY |
| DIM | DIMENSION | S&T | SHRINKAGE AND TEMPERATURE SOLID CORE WOOD SECTION |
| DISP. | DISPLAY OR DISPENSER | SH. | SHEET |
| D.S. | DOWNSPOUT | SHTS. | SHEETS |
| DTL | DETAIL | SIM. | SIMILAR |
| DWG | DRAWING | SPECS | SPECIFICATIONS |
| EA | EACH | SF/SQ. FT. | SQUARE FEET |
| E.J. | EXPANSION JOINT | SQ. IN. | SQUARE INCHES |
| EL | ELEVATOR | S.S. | STAINLESS STEEL |
| ELEC. | ELECTRIC, ELECTRICAL | STD | STANDARD |
| ELEV | ELEVATION | STL | STEEL |
| ENT | ENTRANCE | SUSP | SUSPENDED |
| EQ. | EQUAL | SYN | SOUTHERN YELLOW PINE |
| E.W. | EACH WAY | T&G | TOP AND BOTTOM TONGUE & GROOVE |
| E.W.C. | ELECTRIC WATER COOLER | TELE. | TELEPHONE |
| EXIST | EXISTING | THICK | THICKNESS |
| EXP | EXPANSION | THRESH | THRESHOLD |
| EXT. | EXTERIOR | T.O. | TOP OF |
| FACP | FIRE ALARM CONTROL PANEL | T.O.A. | TOP OF BEAM |
| F.D. | FLOOR DRAIN | T.O.B. | TOP OF CONCRETE |
| F.E. | FIRE EXTINGUISHER | T.O.COL. | TOP OF COLUMN |
| F.E.C. | FIRE EXTINGUISHER CABINET | T.O.FIG. | TOP OF FOOTING |
| F.F. | FINISHED FLOOR | T.O.CMU. | TOP OF MASONRY |
| F.H.C. | FIRE HOUSE CABINET | TPH | TOILET PAPER HOLDER |
| FIN. | FINISH, FINISHED | T.S. | TUBE STEEL |
| FLR | FLOOR | TYP | TYPICAL |
| F.O. | FACE OF | UG | UNDERGROUND |
| FR | FRAME | U.L. | UNDERWRITERS LABORATORY UNLESS NOTED OTHERWISE |
| FT | FEET | UR | URNAL |
| FURN. | FURNITURE | V.B. | VINYL BASE |
| F.V. | FIELD VERIFY | VCT | VINYL COMPOSITE TILE |
| GA | GAUGE | VERT | VERTICAL |
| GALV. | GALVANIZED | VIF | VERIFY IN FIELD |
| GB | GRAB BAR | W.W.C. | VINYL WALL COVERING |
| G.C. | GENERAL CONTRACTOR | W | WIDE |
| G.F.I. | GROUND FAULT CIRCUIT INTERRUPTER | W/ | WITH |
| G.S. | GRAVEL STOP | WC | WATER CLOSET |
| G.T.I. | GRATE TOP INLET | WD | WATER |
| GWH | GAS WATER HEATER | WWF | WELDED WIRE FABRIC |
| GWB | GYPSUM WALL BOARD | W.W.R. | WELDED WIRE REINFORCEMENT |
| GYP. | GYPSUM | | |
| H | HIGH | | |
| HB | HOSE BIBB | | |
| H.C. | HOSE CONNECTION | | |
| HDW | HARDWARE | | |
| HGT. | HEIGHT | | |
| HM | HOLLOW METAL | | |
| HORIZ | HORIZONTAL | | |
| HT. | HEIGHT | | |



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Project | Tenant Information:
Alterations for:
Bali Hai Beach Resort
 6900 Gulf Drive, Holmes Beach, FL 34217

Additional Information:
 Consultant Information:

| PHASE ISSUED DRAWINGS: | | |
|------------------------|------------|--------------------|
| No. | Date | Phase Description |
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
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| REVISED DRAWINGS: | | |
|-------------------|------|----------------------|
| No. | Date | Revision Description |
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Professional Seal:
 07.31.2019

Shaun M. Luttrell AR0095921
 Project Number: **19-021**

Sheet Title:
GENERAL NOTES AND SYMBOLS

Original size is 24x36". Copy Reductions N.T.S.
 Sheet Number:

A001

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ADA/ABA ACCESSIBILITY REFERENCES

THE CONTRACTOR SHALL REFERENCE THE FOLLOWING CODES AND GUIDELINES IN PREPARATION OF THE WORK:

- 2017 FLORIDA BUILDING CODE - ACCESSIBILITY, SIXTH EDITION
- THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

ACCESSIBLE ROUTES

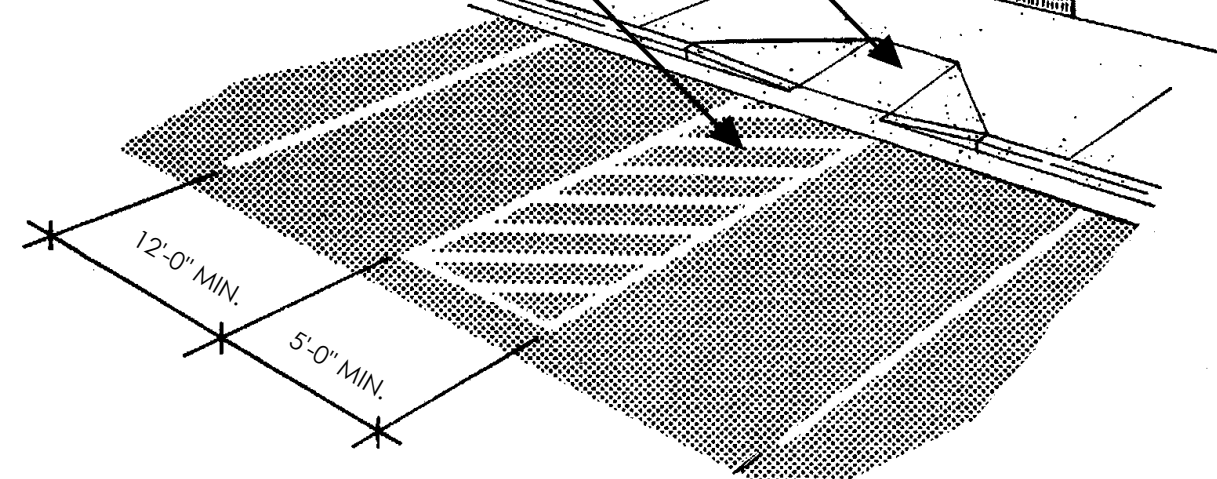
1. AN ACCESSIBLE ROUTE SHALL BE PROVIDED FROM THE DESIGNATED HANDICAP PARKING SPOTS TO THE OFFICE, ACCESSIBLE GUEST ROOMS, AND TO ALL SITE AMENITIES.

sign with international symbol of accessibility and "van accessible" designates van accessible parking

curb ramp installed outside access aisle area

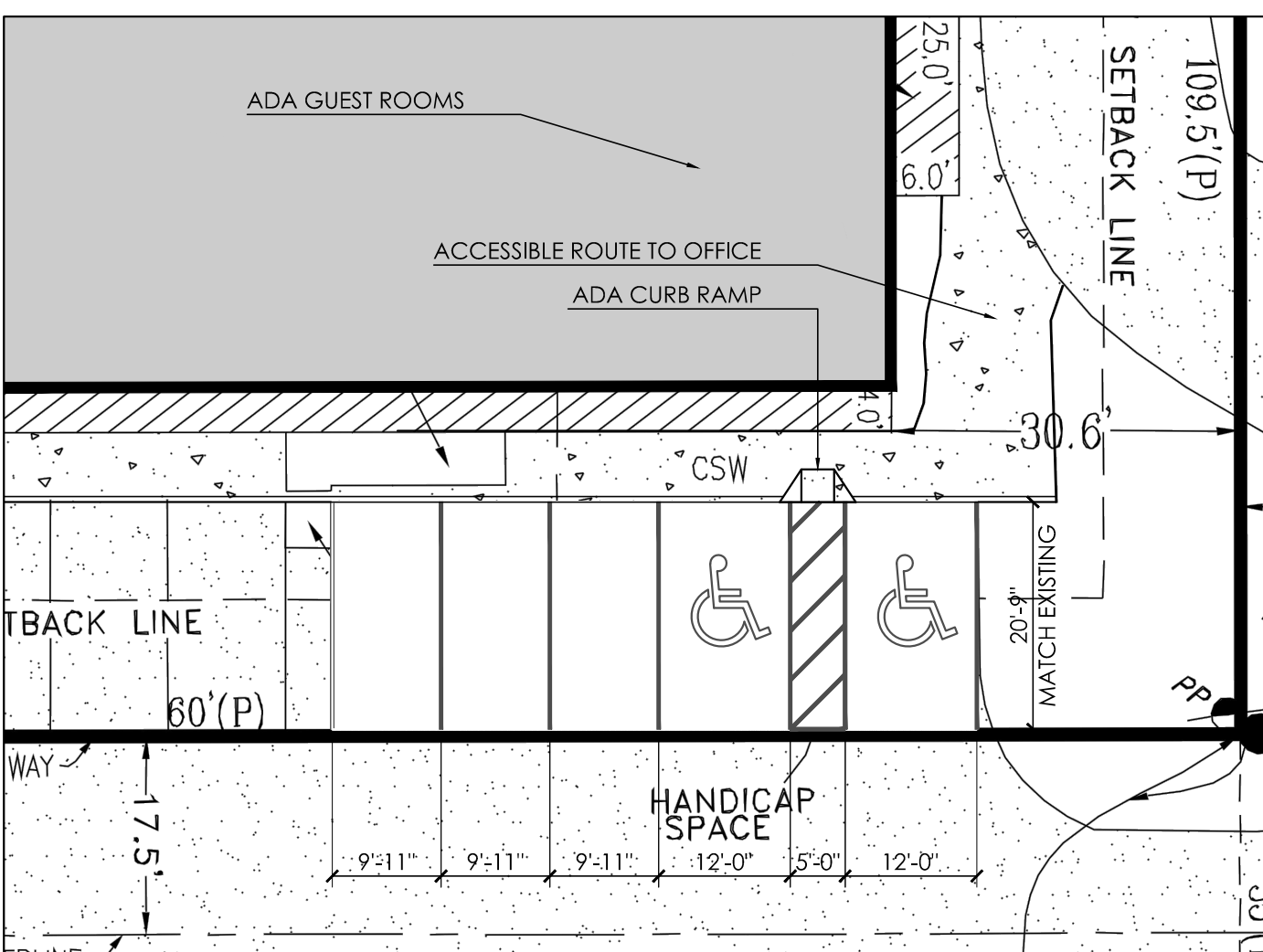
accessible route to entrance

level access aisle



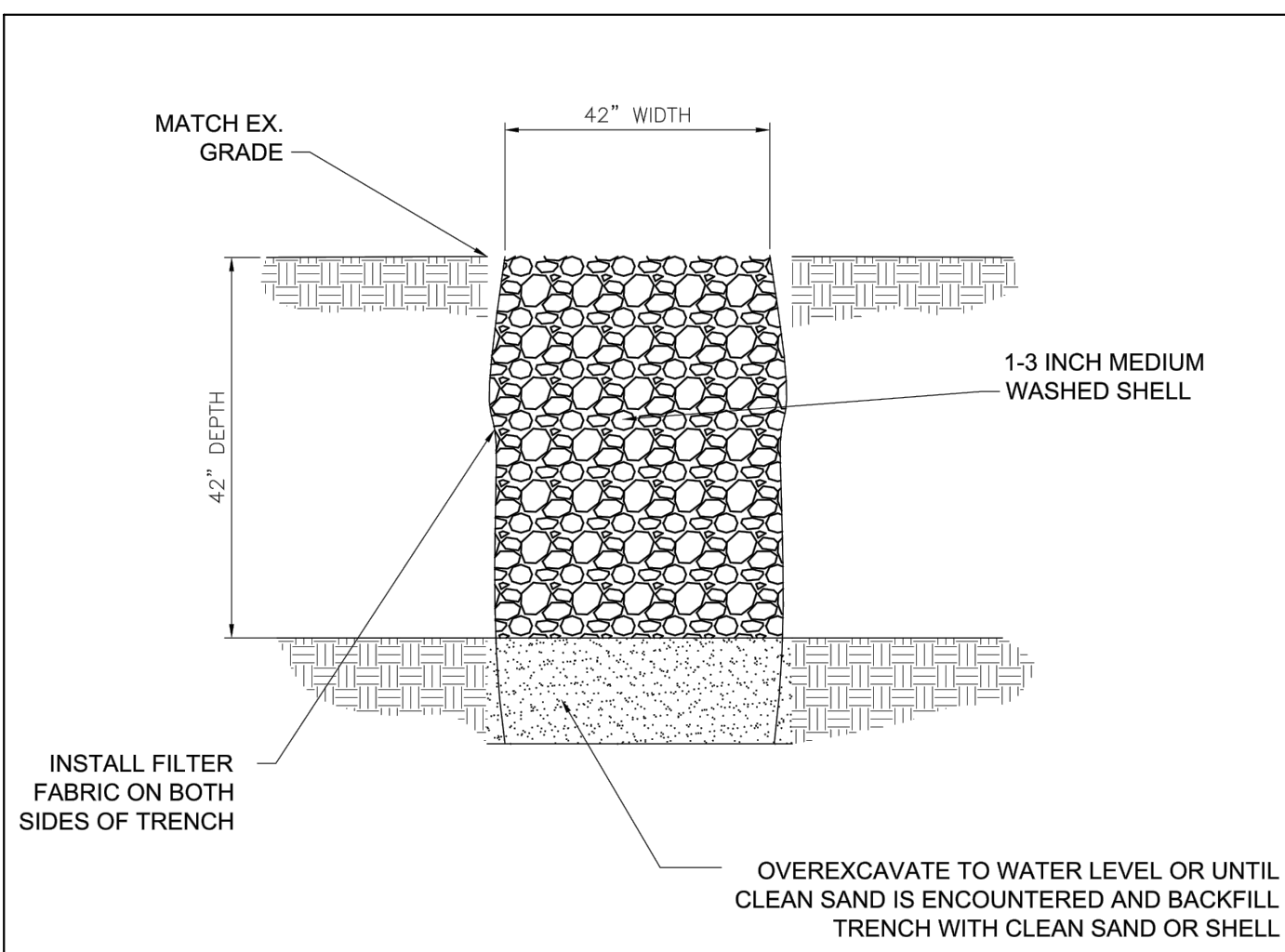
4 PROPOSED STRIPING AND CURB RAMP DIAGRAM

SCALE: N.T.S.



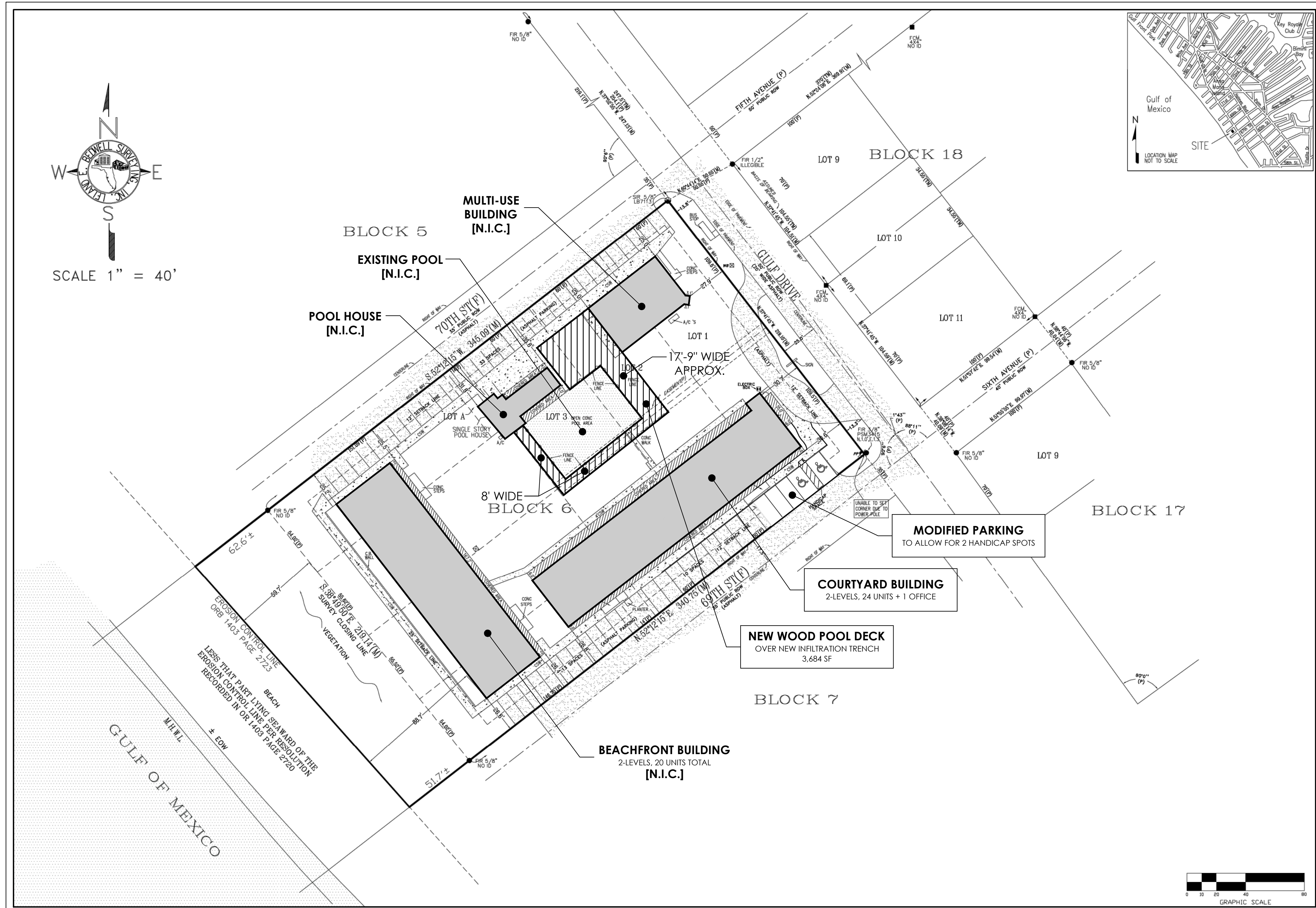
3 PROPOSED ADA PARKING

SCALE: 1/16"=1'-0"



2 TYPICAL INFILTRATION TRENCH UNDER WOOD POOL DECK

SCALE: N.T.S.



1 SITE PLAN

SCALE: 1"=40'-0"

PROJECT SUMMARY - SCOPE OF WORK

THE PROJECT CONSISTS OF LEVEL 2 ALTERATION "UPGRADES" TO AN EXISTING 2-STORY HOTEL WITH 2 UNITS BEING UPGRADED TO ACCESSIBLE ROOMS.

PROJECT SCOPE "COURTYARD GUEST ROOMS BUILDING":

1. REPLACEMENT OF INTERIOR FINISHES.
2. REPLACEMENT OF THE KITCHEN APPLIANCES AND CABINERY.
3. RETILING OF SHOWERS.
4. REPLACEMENT OF EXISTING PLUMBING FIXTURES IN PLACE.
5. REPLACEMENT OF EXISTING LIGHTING FIXTURES.
6. REPLACEMENT OF EXISTING POWER RECEPTACLES & SWITCHES IN PLACE.
7. REPLACEMENT OF UNIT ENTRY DOORS & SIDELITES TO IMPACT RESISTANT.
8. REPLACEMENT OF BALCONY/PORCH SLIDING GLASS DOORS TO IMPACT RESISTANT.
9. REPLACEMENT OF WINDOWS TO IMPACT RESISTANT.
10. RECONFIGURATION OF 2 UNITS FOR ADA/ACCESSIBILITY PURPOSES.
11. COMMUNICATION UPGRADES TO 2 UNITS FOR HEARING IMPAIRED GUESTS.

PROJECT SCOPE "SITE WORK":

1. SLIGHT MODIFICATION TO EXISTING PARKING TO ACCOMMODATE 1 ADDITIONAL HANDICAP PARKING SPOT. (2 SPOTS TOTAL)
2. WOOD DECK OVER POOL DECK W/ INFILTRATION TRENCH.



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Project | Tenant Information:

Alterations for:
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Holmes Beach, FL 34217

Additional Information:

Consultant Information:

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| No. | Date | Phase Description |
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Professional Seal:

07.31.2019
Shaun M. Luttrell AR0095921

Project Number: 19-021

Sheet Title: SITE PLAN

Original size is 24x36". Copy Reductions N.T.S.

Sheet Number:

A050

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PHASE ISSUED DRAWINGS:

| No. | Date | Phase Description |
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| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
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REVISED DRAWINGS:

| No. | Date | Revision Description |
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Professional Seal:

07.31.2019
Shaun M. Luttrell AR0095921

Project Number: 19-021

Sheet Title: SOUTH BUILDING PLAN

Original size is 24x36". Copy Reductions N.T.S.
Sheet Number:

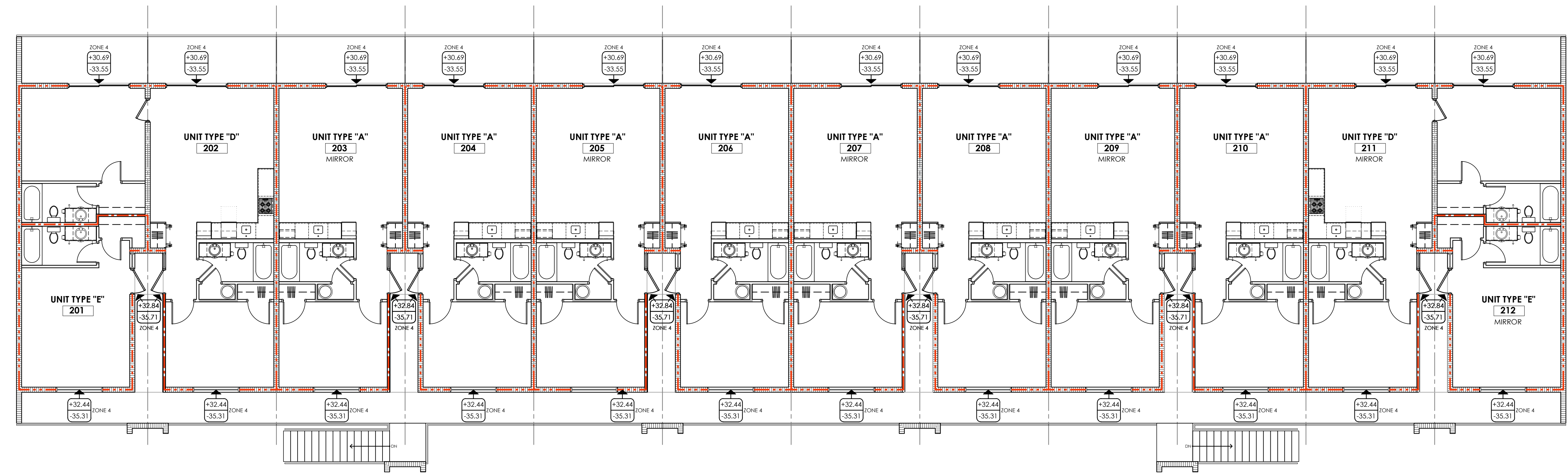
A110

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NO. STRUCTURAL LEGEND

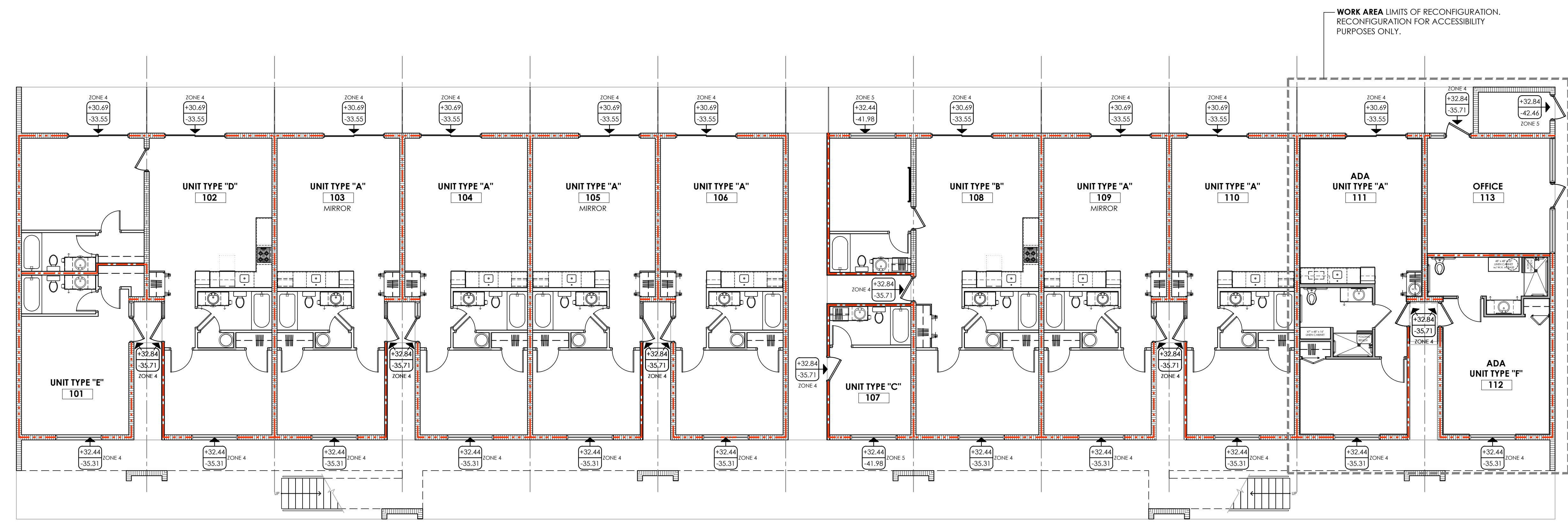
A. DESIGN WIND PRESSURES FOR COMPONENTS AND CLADDING (PSF) BASED ON V_{nom}:

| | | |
|--------|---|----------------------------|
| ZONE 4 | → | BUILDING ZONE DESIGNATION. |
| XXX.X | → | POSITIVE WIND PRESSURE. |
| -XXX.X | → | COMPONENT INDICATOR. |
| -XXX.X | → | NEGATIVE WIND PRESSURE. |



NOTE: REFER TO INDIVIDUAL UNIT PLAN SHEETS FOR UNIT INTERIOR LAYOUTS.

2 COURTYARD BUILDING - LEVEL 2 UNIT IDENTIFIER
SCALE: 1/8" = 1'-0"



LOCATION OF HANDICAP PARKING SPOTS, PARKING LOCATED IN CLOSE PROXIMITY TO ADA GUEST UNITS W/ CONTINUOUS PATH.

NOTE: REFER TO INDIVIDUAL UNIT PLAN SHEETS FOR UNIT INTERIOR LAYOUTS.

1 COURTYARD BUILDING - LEVEL 1 UNIT IDENTIFIER
SCALE: 1/8" = 1'-0"

8.6.2019, 4:27:58 PM

| NO. | ADA PLAN KEYNOTES (ADA UNITS ONLY) |
|-----|---|
| 1. | MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6. |
| 2. | MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1. |
| 3. | MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS. |
| 4. | "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR. |
| 5. | PROVIDE 60" DIAMETER CLEAR FLOOR AREA. |
| 6. | PROVIDE T-SHAPED TURNING SPACE. |
| 7. | MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608. |
| 8. | MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3. |
| 9. | MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2. |
| 10. | MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5. |
| 11. | SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7. |
| 12. | MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF. |
| 13. | MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306. |
| 14. | "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR. |

| NO. | FINISH SCHEDULE |
|-----|---|
| | THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. |
| A. | ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. |
| B. | FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET. |
| C. | GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O. |
| D. | PAINT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION. <ul style="list-style-type: none"> WALLS - EGGSHELL, COLOR T.B.D. TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D. |

| NO. | APPLIANCE LEGEND |
|-----|--|
| 1. | DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |
| 2. | RANGE / MICRO COMBO = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM. |
| 3. | REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |

| NO. | POWER & LIGHTING LEGEND |
|---|---|
| | SYMBOL DESCRIPTION: REFER TO ELECTRICAL PLANS. |
| NEW WALL MOUNTED VANITY LIGHT FIXTURE | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW 4" RECESSED LED DOWN LIGHT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW 4" RECESSED SHOWER LED DOWN LIGHT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW DECORATIVE CHANDELIER LIGHT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW CEILING MOUNTED EXHAUST FAN | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW SMOKE DETECTOR AND C.M. COMBO | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW PROGRAMMABLE THERMOSTAT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE | |
| DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET | |
| DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" | |
| SPECIAL CONNECTION FOR WATER HEATER | |
| LIGHT SWITCH, DECORA STYLE, WHITE COLOR | |
| ELECTRICAL PANEL, 100 AMPS | |

| NO. | FLOOR PLAN KEYNOTES |
|-----|---|
| 1. | TEXTURE CEILING TO BE ORANGE PEEL. SMOOTH TEXTURE WALLS. |
| 2. | NEW LUXURY VINYL TILE FLOORING. |
| 3. | NEW APPLIANCES. |
| 4. | NEW SHOWER WITH TEMPERED GLASS PARTITION. |
| | ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS. |
| 5. | NEW WATER HEATER. |
| 6. | NEW CABINERY AND COUNTERTOPS. |
| 7. | NEW DOOR & WINDOW TRIM/MOLDINGS. |
| 8. | NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD. |
| 9. | NEW TUB & WALL TILE. |
| 10. | NEW TILE @ SHOWER FLOOR & WALLS. |
| 11. | PAINT ALL WALLS, CEILINGS, & MOLDINGS. |
| 12. | ADD NEW BASE BOARDS. |
| 13. | NOT USED. |
| 14. | NEW CLOSET SHELVING. |
| 15. | NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.] |
| 16. | NEW KITCHEN SINK & FAUCET. |
| 17. | NEW BATHROOM VANITY SINK & FAUCET. |
| 18. | NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS. |
| 19. | NEW SHOWER CONTROL VALVE. |
| 20. | NEW TOILET. |
| 21. | NOT USED. |
| 22. | NEW MIRROR. |

| NO. | DEMOLITION KEYNOTES |
|-----|---|
| 1. | REMOVE FLOORING AND BASE BOARDS. |
| 2. | REMOVE CABINERY AND COUNTERTOPS. |
| 3. | REMOVE PLUMBING FIXTURES. |
| 4. | REMOVE MIRROR. |
| 5. | REMOVE DOORS. |
| 6. | REMOVE APPLIANCES. |
| 7. | REMOVE TILE FROM WALLS. |
| 8. | REMOVE WATER HEATER. |
| 9. | REMOVE CLOSET WALL. |
| 10. | REMOVE ALL SHELVING. |
| 11. | REMOVE BALCONY/PORCH DIVIDER. |
| 12. | REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES. |
| 13. | REMOVE WINDOW. |
| 14. | REMOVE SHOWER FLOOR & WALL TILES. |
| 15. | REMOVE WALL. |
| 16. | WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT. |
| 17. | REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT. |

| NO. | WALL + PARTITION LEGEND |
|-----|--|
| | SYMBOL DESCRIPTION |
| | EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL-F-FOLI INSULATION OVER 3/4" Furring STRIPS AND 1/2" GWB AT INTERIOR. |
| | EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| | EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| | EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| | PROPOSED INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

| ** DOOR SCHEDULE | | | | | | | | | | |
|------------------|---------------------|--------|---|-------|------------|--------|------|-------|-------|-------------|
| TYPE | OPENING INFORMATION | | | | | FRAME | | HDFVR | NOTES | |
| | NO. | WIDE | X | TALL | TYPE LABEL | FINISH | TYPE | | | FINISH |
| DOORS | EXTERIOR DOORS | | | | | | | | | |
| | 01 | 3'-0" | x | 6'-8" | D1 | PAINT | F1 | PAINT | A | UNIT ENTRY |
| | 02 | 8'-0" | x | 6'-8" | D2 | PAINT | F2 | P.F. | B | SGD |
| DOORS | INTERIOR DOORS | | | | | | | | | |
| | 11 | 2'-10" | x | 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 12 | 2'-4" | x | 6'-8" | D3 | PAINT | F3 | PAINT | C | BATHROOM |
| | 13 | 3'-0" | x | 6'-8" | D4 | PAINT | F4 | PAINT | D | DBL BI-FOLD |
| | 14 | 4'-0" | x | 6'-8" | D4 | PAINT | F4 | PAINT | D | DBL BI-FOLD |
| | 15 | 2'-10" | x | 6'-8" | D3 | PAINT | F3 | PAINT | E | CLOSET |
| | 16 | 2'-4" | x | 6'-8" | D3 | PAINT | F3 | PAINT | E | CLOSET |
| | 17 | 2'-8" | x | 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 18 | 3'-0" | x | 6'-8" | D3 | PAINT | F3 | PAINT | C | BATHROOM |
| | 19 | 3'-0" | x | 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 20 | 3'-0" | x | 6'-8" | D4 | PAINT | F4 | PAINT | D | BI-FOLD |
| | - | x | - | - | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - | - | - |

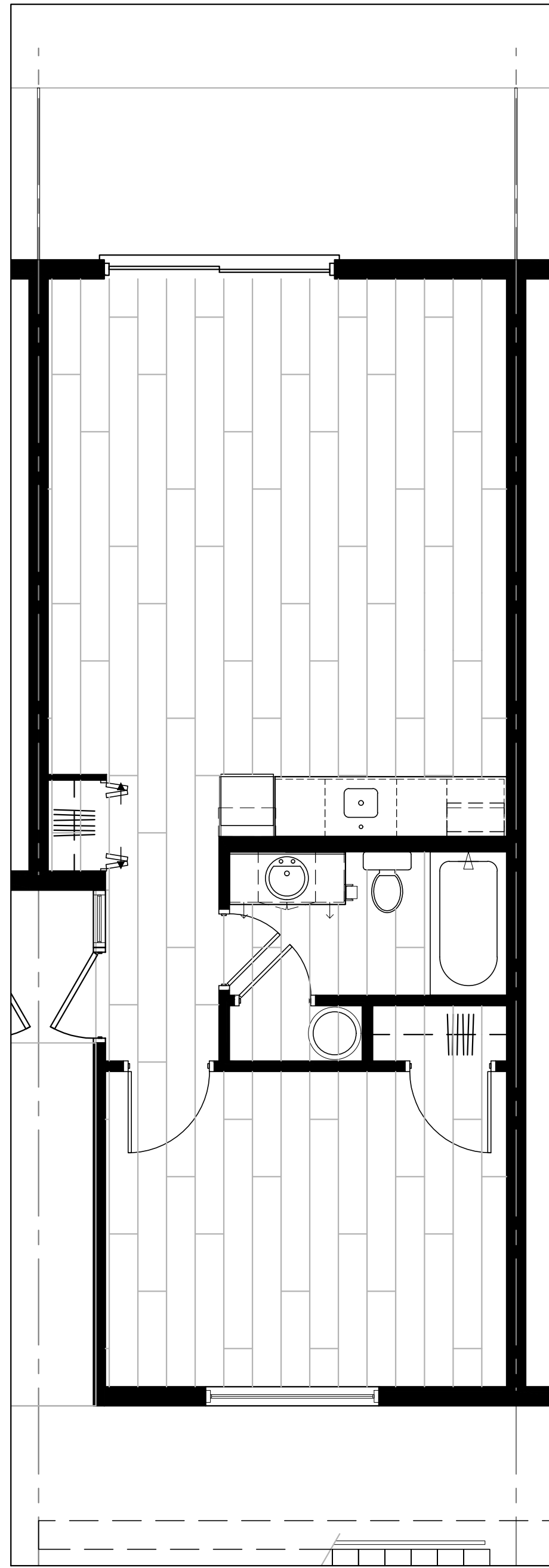
| GENERAL NOTES | |
|---------------|---|
| A. | THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION. |
| B. | [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. |
| C. | REFER TO UNIT PLAN SHEETS FOR DOOR TAGS. |

| ** WINDOW SCHEDULE | | | | | | | | | | |
|--------------------|---------------------|-------|---|-------|------------|--------|--------|-------|-------|---------|
| TYPE | OPENING INFORMATION | | | | | FRAME | | HDFVR | NOTES | |
| | NO. | WIDE | X | TALL | TYPE LABEL | FINISH | TYPE | | | FINISH |
| WINDOWS | W1 | 6'-0" | x | 4'-0" | G1 | CLEAR | SLIDER | ALUM | - | 1, 2, 3 |
| | W2 | 2'-8" | x | 6'-8" | G1 | CLEAR | FIXED | ALUM | - | 1, 2, 3 |
| | - | x | - | - | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - | - | - |

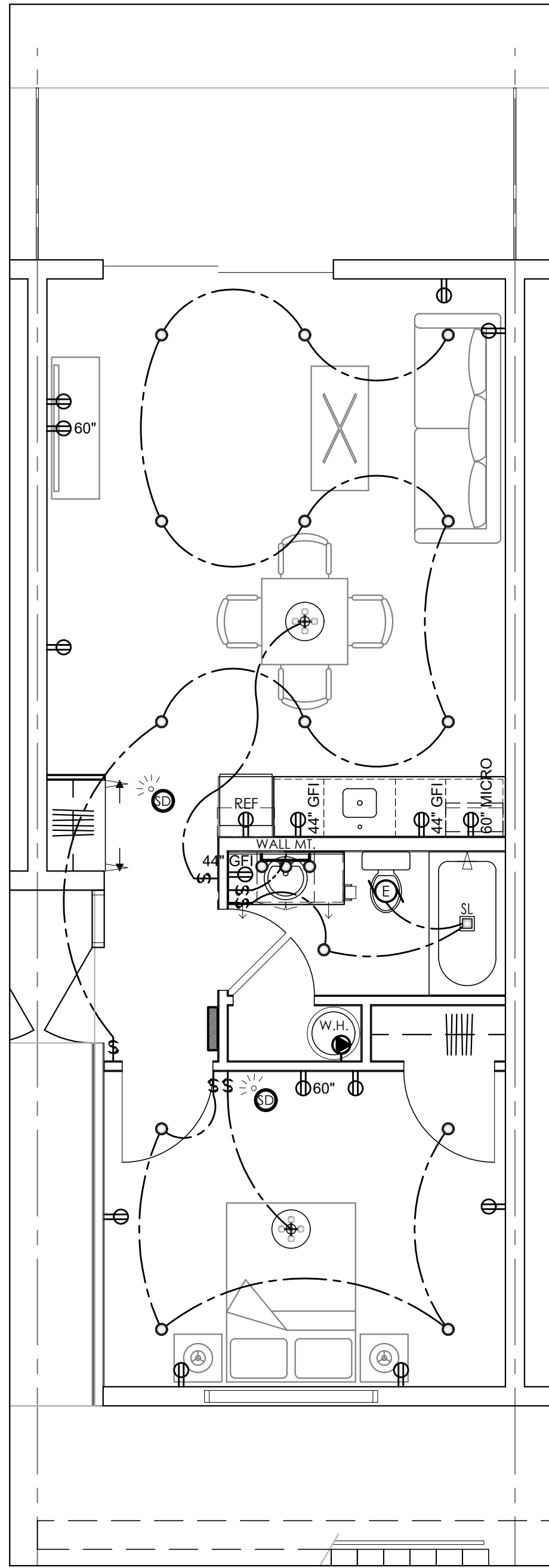
| GENERAL NOTES | |
|---------------|--|
| 1. | VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES |
| 2. | INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED. |
| 3. | PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS. |

| GLASS TYPES | |
|-------------|--|
| G1. | NOMINAL 1/4" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL. |
| G2. | TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201. |

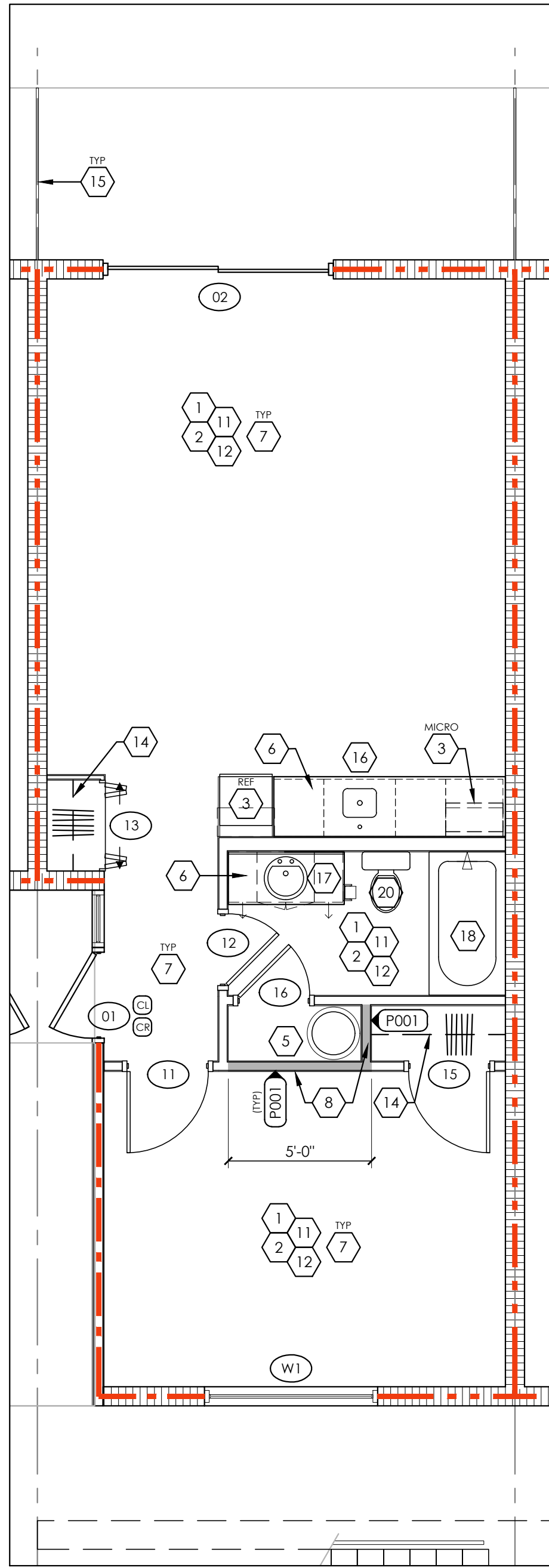
| GENERAL NOTES | |
|---------------|--|
| A. | WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR. |



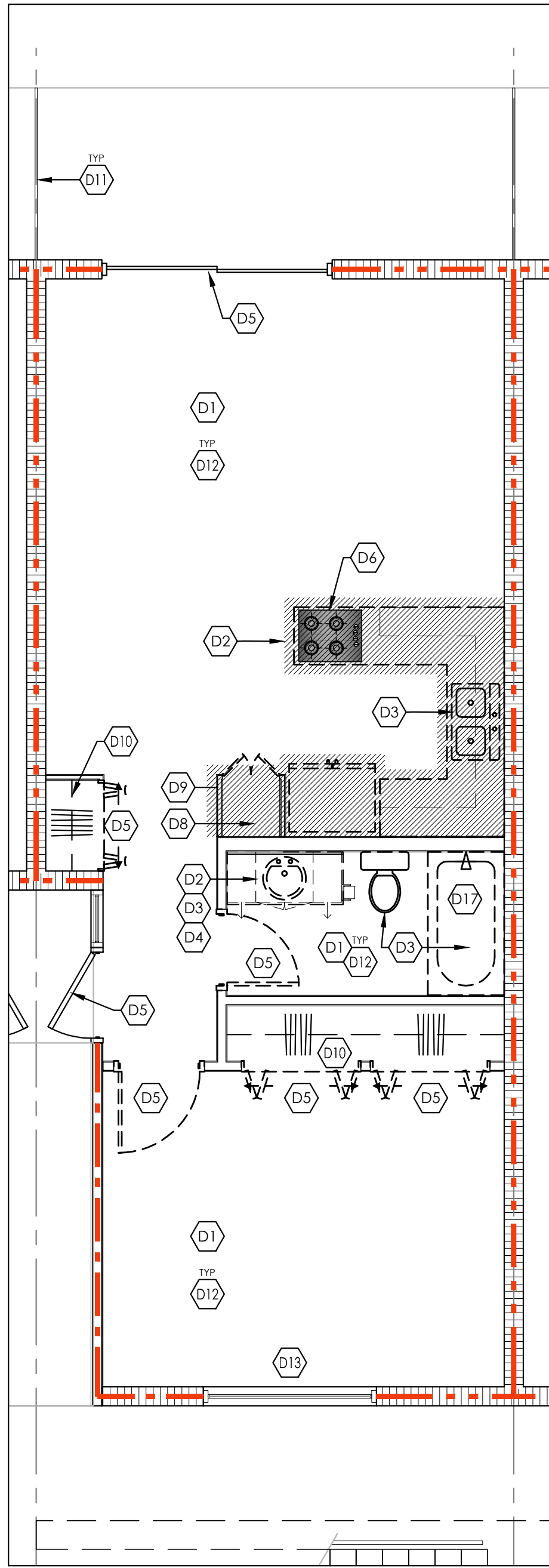
4 FINISH PLAN (T.B.D.) - UNIT TYPE "A"
SCALE: 1/4" = 1'-0"



3 REVISED LIGHTING PLAN - UNIT TYPE "A"
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN - UNIT TYPE "A"
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN - UNIT TYPE "A"
SCALE: 1/4" = 1'-0"



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Project | Tenant Information:
Alterations for:
Bali Hai Beach Resort
6900 Gulf Drive
Holmes Beach, FL 34217

Additional Information:

Consultant Information:

| PHASE ISSUED DRAWINGS: | | |
|------------------------|------------|--------------------|
| No. | Date | Phase Description |
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |

| REVISED DRAWINGS: | | |
|-------------------|------|----------------------|
| No. | Date | Revision Description |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
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| - | - | - |
| - | - | - |

Professional Seal:

07.31.2019
Shaun M. Luttrell AR0095921
Project Number: 19-021

Sheet Title:
UNIT TYPE "A"
FLOOR PLAN, FINISH PLAN,
POWER & LIGHTING PLAN

Original size is 24x36". Copy Reductions N.T.S.

Sheet Number:
A401

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| NO. | ADA PLAN KEYNOTES (ADA UNITS ONLY) |
|-----|---|
| 1. | MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6. |
| 2. | MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1. |
| 3. | MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS. |
| 4. | "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR. |
| 5. | PROVIDE 60" DIAMETER CLEAR FLOOR AREA. |
| 6. | PROVIDE T-SHAPED TURNING SPACE. |
| 7. | MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608. |
| 8. | MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3. |
| 9. | MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2. |
| 10. | MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5. |
| 11. | SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7. |
| 12. | MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF. |
| 13. | MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306. |
| 14. | "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR. |

| NO. | FINISH SCHEDULE |
|-----|---|
| | THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. |
| A. | ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. |
| B. | FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET. |
| C. | GYPHUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPHUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O. |
| D. | PAINT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION. <ul style="list-style-type: none"> • WALLS - EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D. |

| NO. | APPLIANCE LEGEND |
|-----|--|
| 1. | DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |
| 2. | RANGE / MICRO COMBO = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM. |
| 3. | REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |

| NO. | POWER & LIGHTING LEGEND |
|---|---|
| | SYMBOL DESCRIPTION: REFER TO ELECTRICAL PLANS. |
| NEW WALL MOUNTED VANITY LIGHT FIXTURE | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW 4" RECESSED LED DOWN LIGHT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW 4" RECESSED SHOWER LED DOWN LIGHT | • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| NEW DECORATIVE CHANDELIER LIGHT | • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| NEW CEILING MOUNTED EXHAUST FAN | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW SMOKE DETECTOR AND C.M. COMBO | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW PROGRAMMABLE THERMOSTAT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE | |
| DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET | |
| DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" | |
| SPECIAL CONNECTION FOR WATER HEATER | |
| LIGHT SWITCH, DECORA STYLE, WHITE COLOR | |
| ELECTRICAL PANEL, 100 AMPS | |

| NO. | FLOOR PLAN KEYNOTES |
|-----|---|
| 1. | TEXTURE CEILING TO BE ORANGE PEEL. SMOOTH TEXTURE WALLS. |
| 2. | NEW LUXURY VINYL TILE FLOORING. |
| 3. | NEW APPLIANCES. |
| 4. | NEW SHOWER WITH TEMPERED GLASS PARTITION. |
| | ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS. |
| 5. | NEW WATER HEATER. |
| 6. | NEW CABINERY AND COUNTERTOPS. |
| 7. | NEW DOOR & WINDOW TRIM/MOLDINGS. |
| 8. | NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD. |
| 9. | NEW TUB & WALL TILE. |
| 10. | NEW TILE @ SHOWER FLOOR & WALLS. |
| 11. | PAINTE ALL WALLS, CEILINGS, & MOLDINGS. |
| 12. | ADD NEW BASE BOARDS. |
| 13. | NOT USED. |
| 14. | NEW CLOSET SHELVING. |
| 15. | NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.] |
| 16. | NEW KITCHEN SINK & FAUCET. |
| 17. | NEW BATHROOM VANITY SINK & FAUCET. |
| 18. | NEW BATHROOM WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS. |
| 19. | NEW SHOWER CONTROL VALVE. |
| 20. | NEW TOILET. |
| 21. | NOT USED. |
| 22. | NEW MIRROR. |

| NO. | DEMOLITION KEYNOTES |
|-----|---|
| 1. | REMOVE FLOORING AND BASE BOARDS. |
| 2. | REMOVE CABINERY AND COUNTERTOPS. |
| 3. | REMOVE PLUMBING FIXTURES. |
| 4. | REMOVE MIRROR. |
| 5. | REMOVE DOORS. |
| 6. | REMOVE APPLIANCES. |
| 7. | REMOVE TILE FROM WALLS. |
| 8. | REMOVE WATER HEATER. |
| 9. | REMOVE CLOSET WALL. |
| 10. | REMOVE ALL SHELVING. |
| 11. | REMOVE BALCONY/PORCH DIVIDER. |
| 12. | REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES. |
| 13. | REMOVE WINDOW. |
| 14. | REMOVE SHOWER FLOOR & WALL TILES. |
| 15. | REMOVE WALL. |
| 16. | WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT. |
| 17. | REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT. |

| ** WALL + PARTITION LEGEND |
|---|
| SYMBOL DESCRIPTION |
| EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL-F-FOLI INSULATION OVER 3/4" Furring STRIPS AND 1/2" GWB AT INTERIOR. |
| EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| PROPOSED INTERIOR 2x FRAMED PARTITION : • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

| ** DOOR SCHEDULE | | | | | | | | | | |
|---------------------|--------|-------|------|-------|--------|-------|-------|--------|-------------|-------|
| OPENING INFORMATION | | | | | | | | | | |
| NO. | WIDE | TALL | TYPE | LABEL | FINISH | FRAME | TYPE | FINISH | HDRWR | NOTES |
| EXTERIOR DOORS | | | | | | | | | | |
| 01 | 3'-0" | 6'-8" | D1 | (45) | PAINT | F1 | PAINT | (A) | UNIT ENTRY | |
| 02 | 8'-0" | 6'-8" | D2 | - | PAINT | F2 | P.F. | (B) | SGD | |
| INTERIOR DOORS | | | | | | | | | | |
| 11 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM | |
| 12 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM | |
| 13 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD | |
| 14 | 4'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD | |
| 15 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET | |
| 16 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET | |
| 17 | 2'-8" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM | |
| 18 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM | |
| 19 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM | |
| 20 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | BI-FOLD | |
| - | - | - | - | - | - | - | - | - | - | - |
| - | - | - | - | - | - | - | - | - | - | - |

| GENERAL NOTES |
|--|
| A. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION. |
| B. [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. |
| C. REFER TO UNIT PLAN SHEETS FOR DOOR TAGS. |

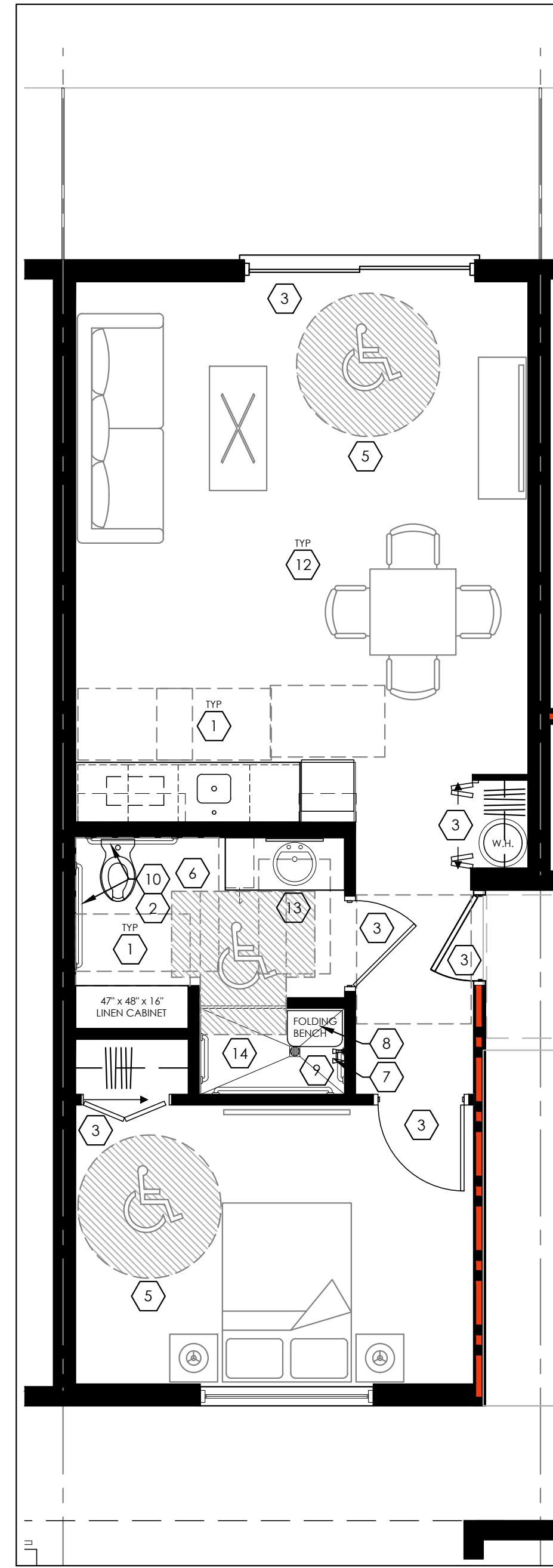
| NOTES |
|--|
| 1. UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR. |
| 2. SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS. |

| ** WINDOW SCHEDULE | | | | | | | | | | |
|---------------------|-------|-------|------|-------|--------|--------|------|--------|---------|-------|
| OPENING INFORMATION | | | | | | | | | | |
| NO. | WIDE | TALL | TYPE | LABEL | FINISH | FRAME | TYPE | FINISH | HDRWR | NOTES |
| WINDOWS | | | | | | | | | | |
| W1 | 6'-0" | 4'-0" | G1 | - | CLEAR | SLIDER | ALUM | - | 1, 2, 3 | |
| W2 | 2'-8" | 6'-8" | G1 | - | CLEAR | FIXED | ALUM | - | 1, 2, 3 | |
| - | - | - | - | - | - | - | - | - | - | - |
| - | - | - | - | - | - | - | - | - | - | - |

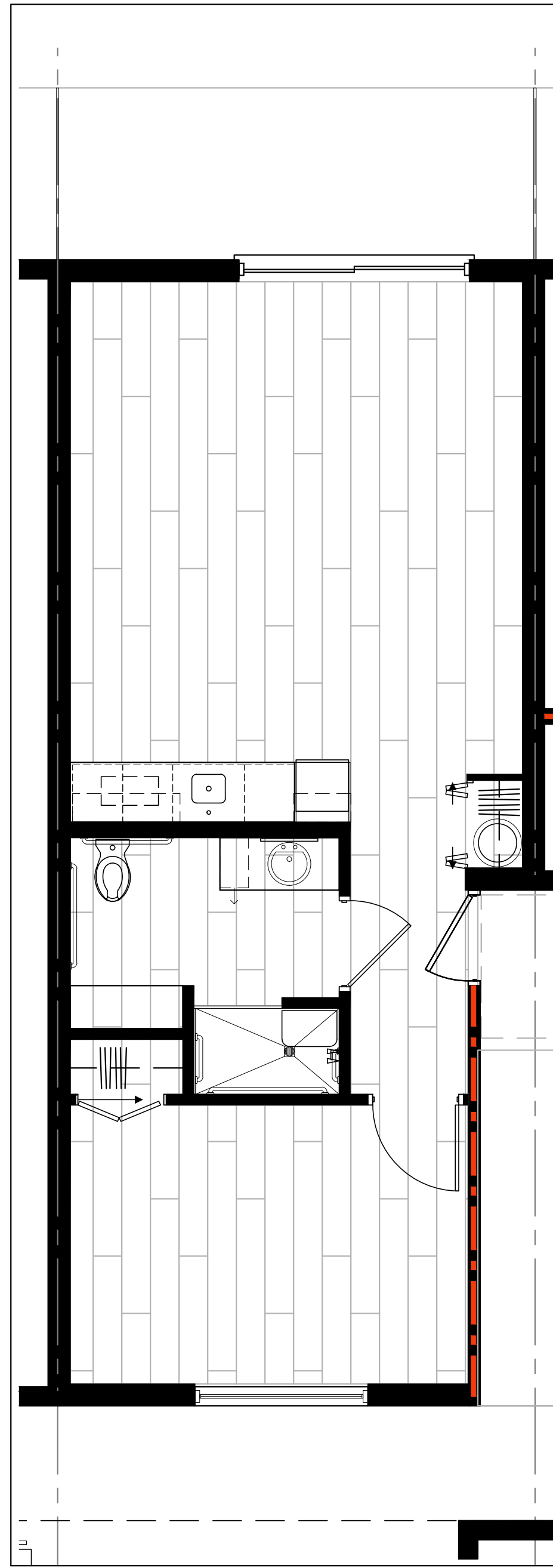
| NOTES |
|---|
| 1. VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES |
| 2. INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED. |
| 3. PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS. |

| NO. | GLASS TYPES |
|-----|--|
| G1. | NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL. |
| G2. | TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201. |

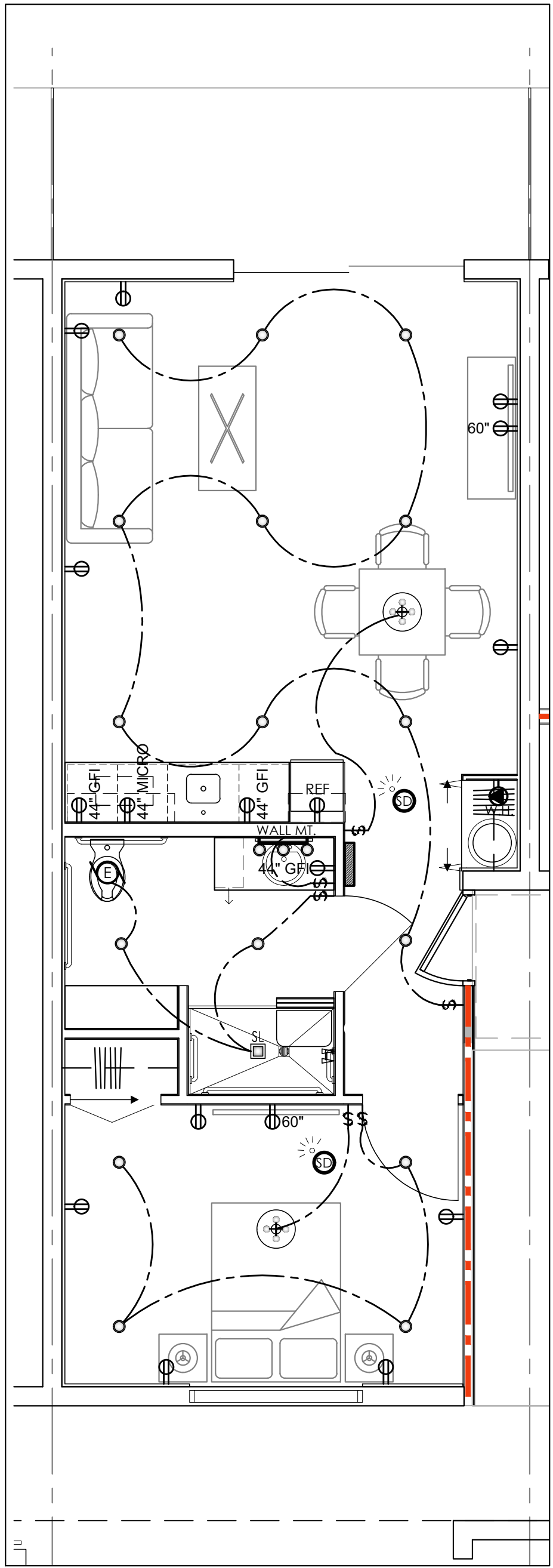
| NO. | GENERAL NOTES |
|-----|---|
| A. | WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR. |



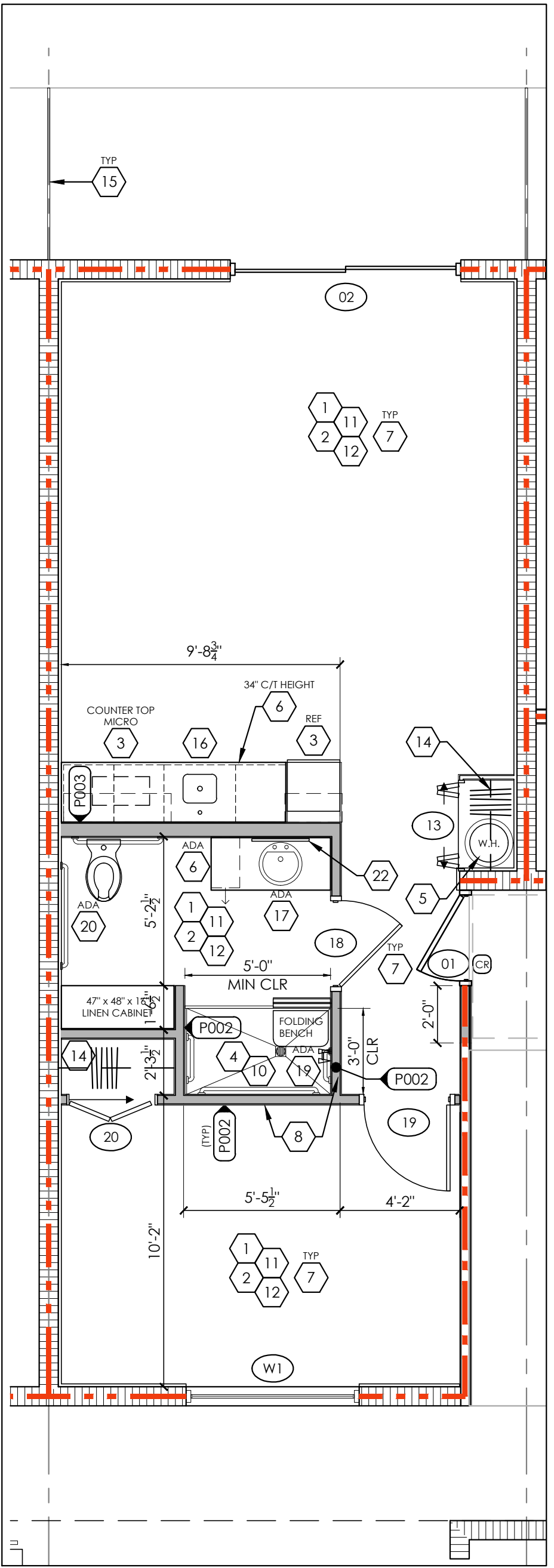
5 ADA PLAN - UNIT TYPE "A"
SCALE: 1/4" = 1'-0"



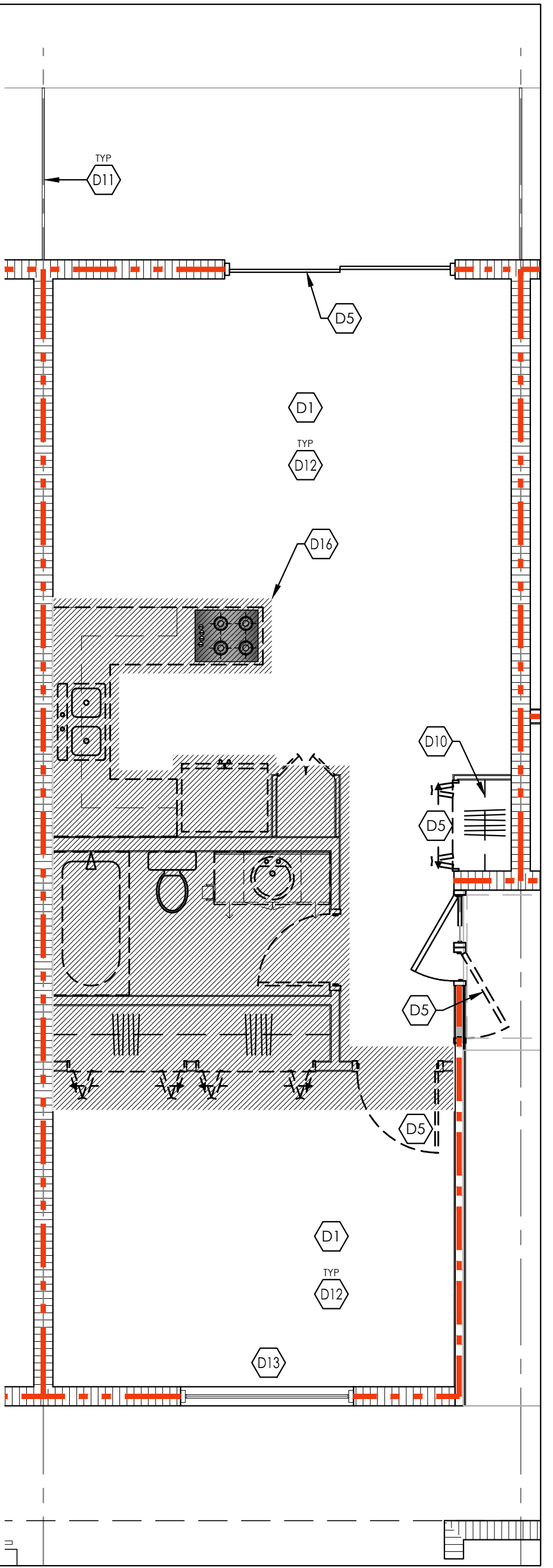
4 FINISH PLAN (T.B.D.) - UNIT TYPE "A" ADA
SCALE: 1/4" = 1'-0"



3 REVISED LIGHTING PLAN - UNIT TYPE "A" ADA
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN - UNIT TYPE "A" ADA
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN - UNIT TYPE "A" ADA
SCALE: 1/4" = 1'-0"



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Project | Tenant Information:
Alterations for:
Bali Hai Beach Resort
6900 Gulf Drive
Holmes Beach, FL 34217

Additional Information:
Consultant Information:

| PHASE ISSUED DRAWINGS: | | |
|------------------------|------------|--------------------|
| No. | Date | Phase Description |
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |

| REVISED DRAWINGS: | | |
|-------------------|------|----------------------|
| No. | Date | Revision Description |
| - | - | - |
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| - | - | - |

Professional Seal:

07.31.2019
Shaun M. Luttrell AR0095921
Project Number: 19-021

Sheet Title:
UNIT TYPE "A" ADA
FLOOR PLAN, FINISH PLAN,
POWER & LIGHTING PLAN
Original size is 24x36". Copy Reductions N.T.S.
Sheet Number:

A402
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| No. | Date | Phase Description |
|-----|------------|--------------------|
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
| - | - | - |
| - | - | - |
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| - | - | - |

| No. | Date | Revision Description |
|-----|------|----------------------|
| - | - | - |
| - | - | - |
| - | - | - |
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| - | - | - |
| - | - | - |
| - | - | - |

**** WALL + PARTITION LEGEND**

| SYMBOL | DESCRIPTION |
|--------|---|
| | EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL-F-FOLI INSULATION OVER 3/4" Furring STRIPS AND 1/2" GWB AT INTERIOR. |
| | EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| | EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| | EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| | PROPOSED INTERIOR 2x FRAMED PARTITION : • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

**** DOOR SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFWR | NOTES | |
|-------|---------------------|----------------|------|-------|--------|------|-------|-------|-------------|
| | NO. | WIDE X TALL | TYPE | LABEL | FINISH | TYPE | | | FINISH |
| DOORS | EXTERIOR DOORS | | | | | | | | |
| | 01 | 3'-0" x 6'-8" | D1 | (45) | PAINT | F1 | PAINT | (A) | UNIT ENTRY |
| | 02 | 8'-0" x 6'-8" | D2 | - | PAINT | F2 | P.F. | (B) | SGD |
| DOORS | INTERIOR DOORS | | | | | | | | |
| | 11 | 2'-10" x 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 12 | 2'-4" x 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM |
| | 13 | 3'-0" x 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD |
| | 14 | 4'-0" x 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD |
| | 15 | 2'-10" x 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET |
| | 16 | 2'-4" x 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET |
| | 17 | 2'-8" x 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 18 | 3'-0" x 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM |
| | 19 | 3'-0" x 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 20 | 3'-0" x 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | BI-FOLD |
| | | - | - | - | - | - | - | - | - |
| | - | - | - | - | - | - | - | - | |

- GENERAL NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION.
 - [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. REFER TO UNIT PLAN SHEETS FOR DOOR TAGS.
 -

- NOTES**
- UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR.
 - SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS.

**** WINDOW SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFWR | NOTES |
|---------|---------------------|---------------|------|-------|--------|--------|-------|---------|
| | NO. | WIDE X TALL | TYPE | LABEL | FINISH | TYPE | | |
| WINDOWS | W1 | 6'-0" x 4'-0" | G1 | - | CLEAR | SLIDER | ALUM | 1, 2, 3 |
| | W2 | 2'-8" x 6'-8" | G1 | - | CLEAR | FIXED | ALUM | 1, 2, 3 |
| | - | - | - | - | - | - | - | - |
| | - | - | - | - | - | - | - | - |
| | - | - | - | - | - | - | - | - |

- NOTES**
- VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES
 - INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED.
 - PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS.

NO. GLASS TYPES

| | |
|-----|---|
| G1. | NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL. |
| G2. | TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201. |

- NO. GENERAL NOTES**
- WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.

NO. DEMOLITION KEYNOTES

- REMOVE FLOORING AND BASE BOARDS.
- REMOVE CABINETS AND COUNTERTOPS.
- REMOVE PLUMBING FIXTURES.
- REMOVE MIRROR.
- REMOVE DOORS.
- REMOVE APPLIANCES.
- REMOVE TILE FROM WALLS.
- REMOVE WATER HEATER.
- REMOVE CLOSET WALL.
- REMOVE ALL SHELVING.
- REMOVE BALCONY/PORCH DIVIDER.
- REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES.
- REMOVE WINDOW.
- REMOVE SHOWER FLOOR & WALL TILES.
- REMOVE WALL.
- WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT.
- REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT.

NO. FLOOR PLAN KEYNOTES

- TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.
- NEW LUXURY VINYL TILE FLOORING.
- NEW APPLIANCES.
- NEW SHOWER WITH TEMPERED GLASS PARTITION.
ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.
- NEW WATER HEATER.
- NEW CABINETS AND COUNTERTOPS.
- NEW DOOR & WINDOW TRIM/MOLDINGS.
- NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.
- NEW TUB & WALL TILE.
- NEW TILE @ SHOWER FLOOR & WALLS.
- PAINT ALL WALLS, CEILINGS, & MOLDINGS.
- ADD NEW BASE BOARDS.
- NOT USED.
- NEW CLOSET SHELVING.
- NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]
- NEW KITCHEN SINK & FAUCET.
- NEW BATHROOM VANITY SINK & FAUCET.
- NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS.
- NEW SHOWER CONTROL VALVE.
- NEW TOILET.
- NOT USED.
- NEW MIRROR.

NO. POWER & LIGHTING LEGEND

| SYMBOL | DESCRIPTION: REFER TO ELECTRICAL PLANS. |
|--------|--|
| | NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| | NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| | NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW PROGRAMMABLE THERMOSTAT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" |
| | SPECIAL CONNECTION FOR WATER HEATER |
| | LIGHT SWITCH, DECORA STYLE, WHITE COLOR |
| | ELECTRICAL PANEL, 100 AMPS |

NO. FINISH SCHEDULE

THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER.

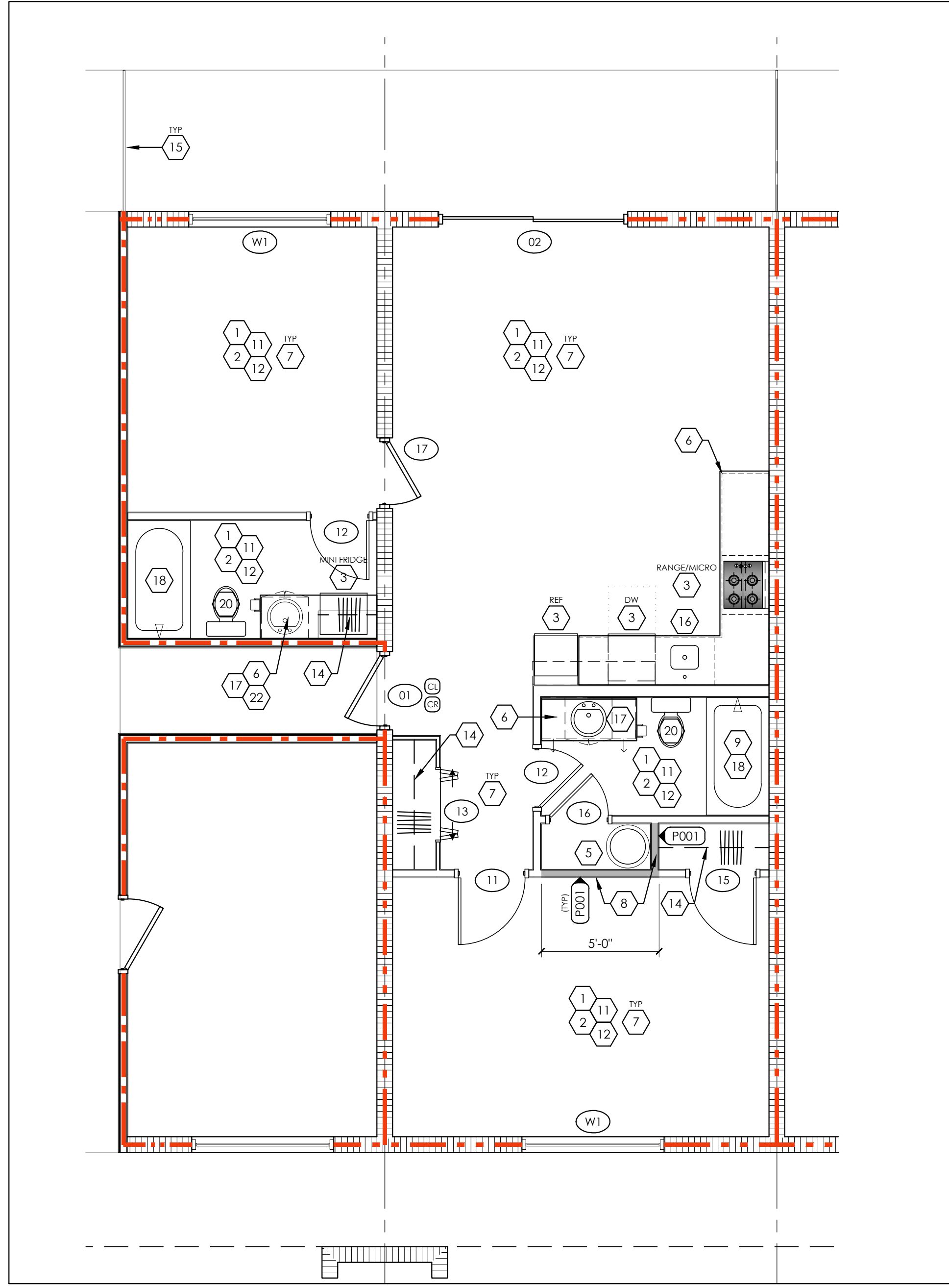
- ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
- FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
- GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
- PAINT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
 - WALLS - EGGSHELL, COLOR T.B.D.
 - TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

NO. APPLIANCE LEGEND

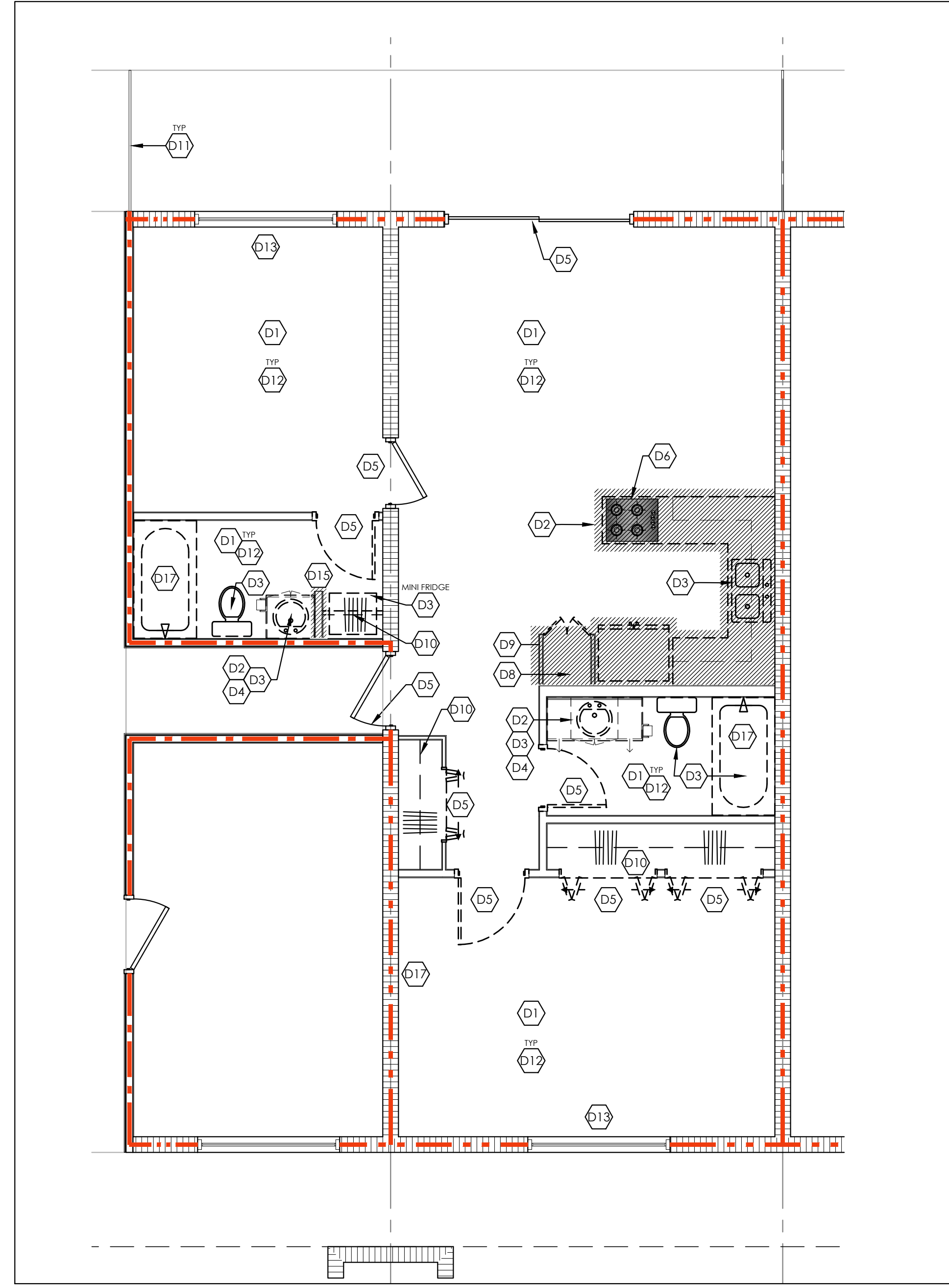
- DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- RANGE / MICRO COMBO = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.

NO. ADA PLAN KEYNOTES (ADA UNITS ONLY)

- MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
- MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1.
- MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
- "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
- PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
- PROVIDE T-SHAPED TURNING SPACE.
- MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608
- MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
- MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2.
- MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5.
- SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.
- MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
- MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.
- "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.



2 PROPOSED FLOOR PLAN - UNIT TYPE "B"
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN - UNIT TYPE "B"
SCALE: 1/4" = 1'-0"

PHASE ISSUED DRAWINGS:

| No. | Date | Phase Description |
|-----|------------|--------------------|
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

REVISED DRAWINGS:

| No. | Date | Revision Description |
|-----|------|----------------------|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

**** WALL + PARTITION LEGEND**

| SYMBOL | DESCRIPTION |
|--------|---|
| | EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL-F-FOLI INSULATION OVER 3/4" FURRING STRIPS AND 1/2" GWB AT INTERIOR. |
| | EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| | EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| | EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| | PROPOSED INTERIOR 2x FRAMED PARTITION : • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

**** DOOR SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFWR | NOTES | | |
|-------|---------------------|--------|-------|------|-------|--------|-------|-------|------|-------------|
| | NO. | WIDE | TALL | TYPE | LABEL | FINISH | | | TYPE | FINISH |
| DOORS | EXTERIOR DOORS | | | | | | | | | |
| | 01 | 3'-0" | 6'-8" | D1 | (45) | PAINT | F1 | PAINT | (A) | UNIT ENTRY |
| | 02 | 8'-0" | 6'-8" | D2 | - | PAINT | F2 | P.F. | (B) | SGD |
| DOORS | INTERIOR DOORS | | | | | | | | | |
| | 11 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 12 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM |
| | 13 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD |
| | 14 | 4'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD |
| | 15 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET |
| | 16 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET |
| | 17 | 2'-8" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 18 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM |
| | 19 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 20 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | BI-FOLD |
| | - | x | - | - | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - | - | - |

GENERAL NOTES

A. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION.
B. [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. REFER TO UNIT PLAN SHEETS FOR DOOR TAGS.

NOTES

1. UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR.
2. SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS.

**** WINDOW SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFWR | NOTES | | |
|---------|---------------------|-------|-------|------|-------|--------|--------|-------|------|---------|
| | NO. | WIDE | TALL | TYPE | LABEL | FINISH | | | TYPE | FINISH |
| WINDOWS | W1 | 6'-0" | 4'-0" | G1 | - | CLEAR | SLIDER | ALUM | - | 1, 2, 3 |
| | W2 | 2'-8" | 6'-8" | G1 | - | CLEAR | FIXED | ALUM | - | 1, 2, 3 |
| | - | x | - | - | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - | - | - |

NOTES

1. VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES
2. INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED.
3. PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS.

NO. GLASS TYPES

G1. NOMINAL 1/4" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL.
G2. TEMPERED GLASS. WHERE APPLICABLE. GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201.

NO. GENERAL NOTES

A. WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.

NO. DEMOLITION KEYNOTES

- REMOVE FLOORING AND BASE BOARDS.
- REMOVE CABINETS AND COUNTERTOPS.
- REMOVE PLUMBING FIXTURES.
- REMOVE MIRROR.
- REMOVE DOORS.
- REMOVE APPLIANCES.
- REMOVE TILE FROM WALLS.
- REMOVE WATER HEATER.
- REMOVE CLOSET WALL.
- REMOVE ALL SHELVING.
- REMOVE BALCONY/PORCH DIVIDER.
- REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES.
- REMOVE WINDOW.
- REMOVE SHOWER FLOOR & WALL TILES.
- REMOVE WALL.
- WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT.
- REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT.

NO. FLOOR PLAN KEYNOTES

- TEXTURE CEILING TO BE ORANGE PEEL. SMOOTH TEXTURE WALLS.
- NEW LUXURY VINYL TILE FLOORING.
- NEW APPLIANCES.
- NEW SHOWER WITH TEMPERED GLASS PARTITION.
ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.
- NEW WATER HEATER.
- NEW CABINETS AND COUNTERTOPS.
- NEW DOOR & WINDOW TRIM/MOLDINGS.
- NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.
- NEW TUB & WALL TILE.
- NEW TILE @ SHOWER FLOOR & WALLS.
- PAINT ALL WALLS, CEILINGS, & MOLDINGS.
- ADD NEW BASE BOARDS.
- NOT USED.
- NEW CLOSET SHELVING.
- NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]
- NEW KITCHEN SINK & FAUCET.
- NEW BATHROOM VANITY SINK & FAUCET.
- NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS.
- NEW SHOWER CONTROL VALVE.
- NEW TOILET.
- NOT USED.
- NEW MIRROR.

NO. POWER & LIGHTING LEGEND

| SYMBOL | DESCRIPTION: REFER TO ELECTRICAL PLANS. |
|--------|--|
| | NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| | NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| | NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW PROGRAMMABLE THERMOSTAT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" |
| | SPECIAL CONNECTION FOR WATER HEATER |
| | LIGHT SWITCH, DECORA STYLE, WHITE COLOR |
| | ELECTRICAL PANEL, 100 AMPS |

NO. FINISH SCHEDULE

THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER.

A. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

B. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.

C. GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.

D. PAINT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.

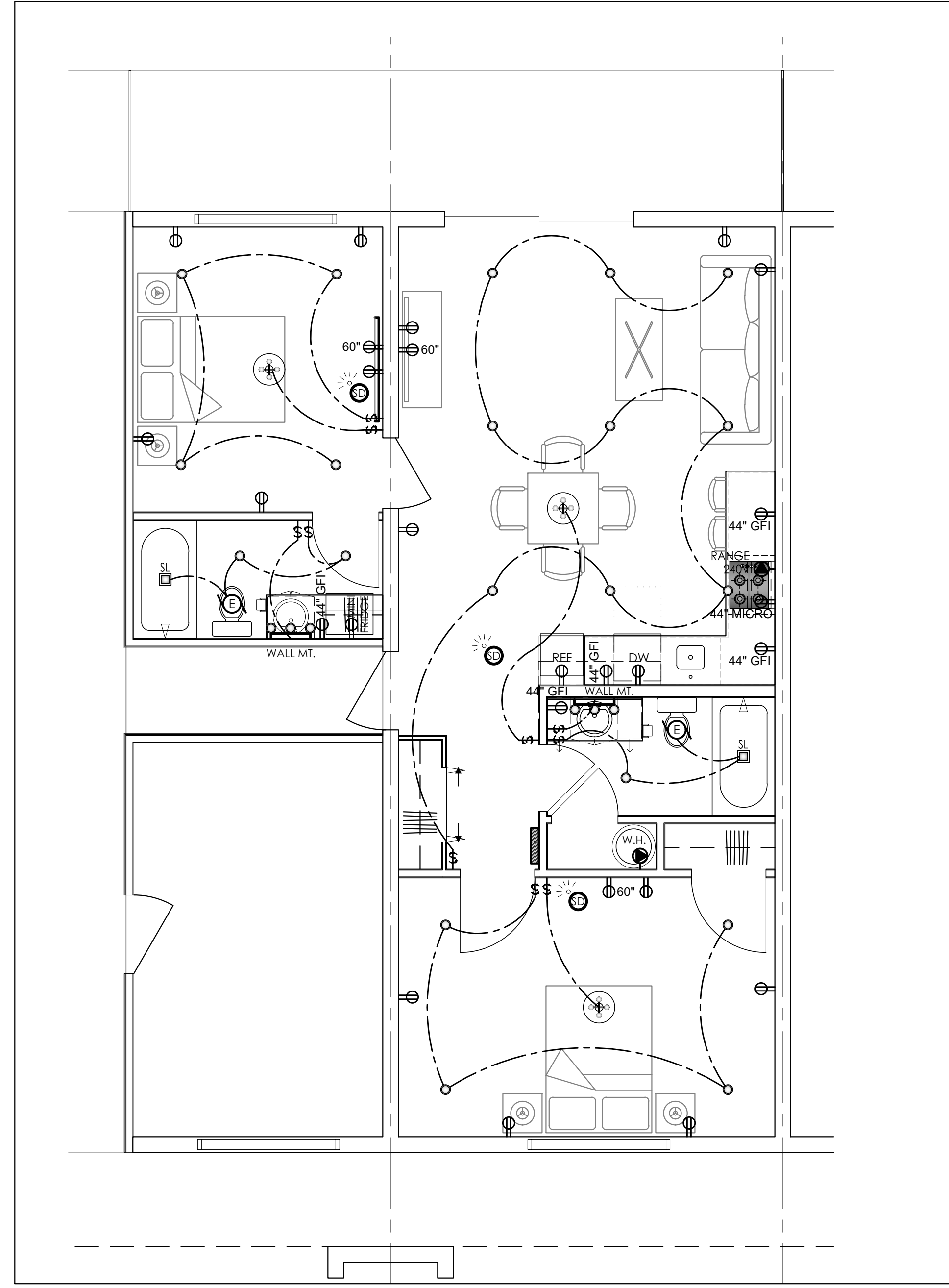
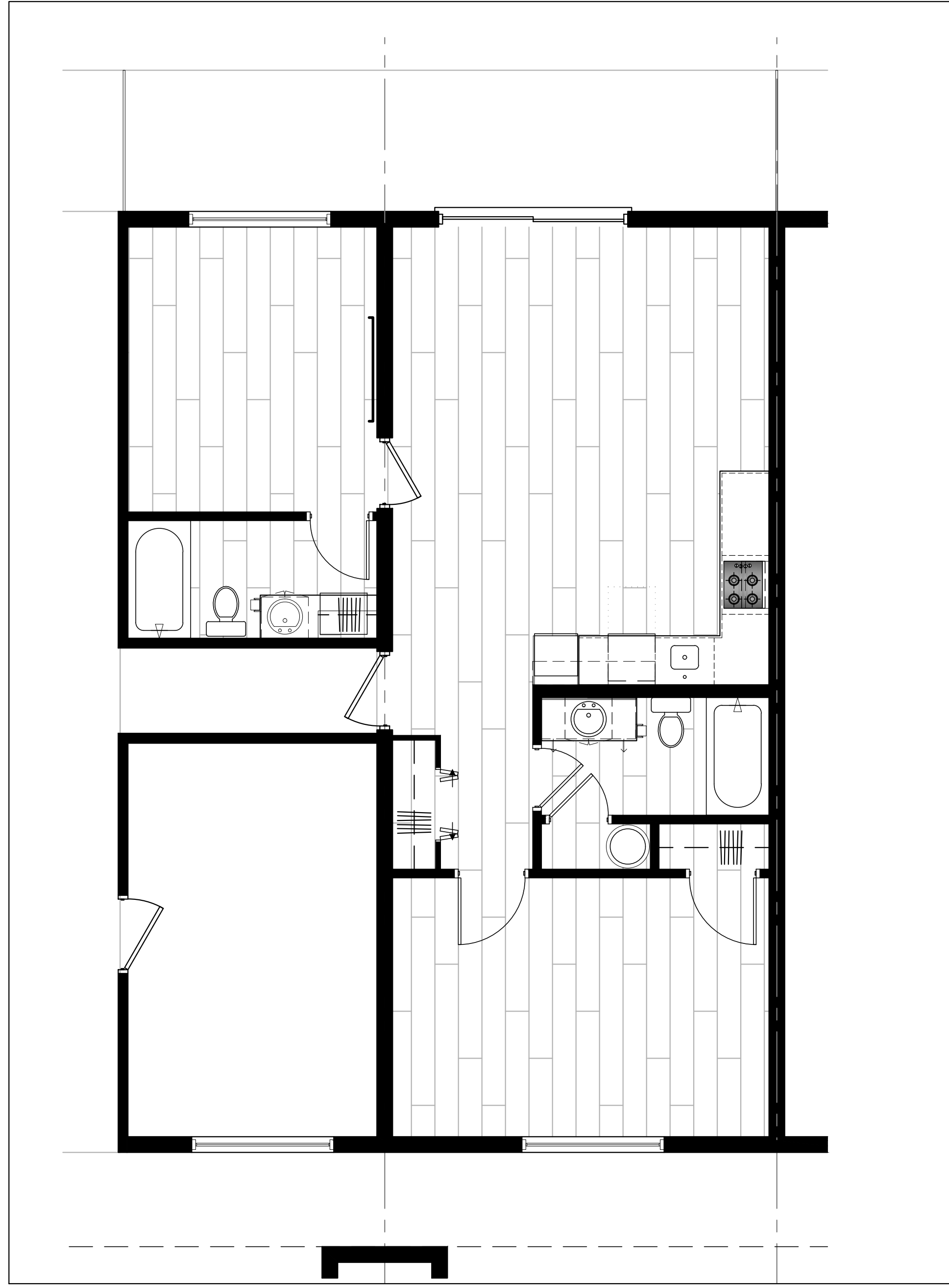
- WALLS - EGGSHELL, COLOR T.B.D.
- TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

NO. APPLIANCE LEGEND

- DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- RANGE / MICRO COMBO = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.

NO. ADA PLAN KEYNOTES (ADA UNITS ONLY)

- MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
- MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1.
- MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
- "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
- PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
- PROVIDE T-SHAPED TURNING SPACE.
- MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608.
- MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
- MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2.
- MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5.
- SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.
- MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
- MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.
- "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.



| No. | Date | Phase Description |
|-----|------------|--------------------|
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
| - | - | - |
| - | - | - |
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| No. | Date | Revision Description |
|-----|------|----------------------|
| - | - | - |
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| ** WALL + PARTITION LEGEND | |
|----------------------------|---|
| SYMBOL | DESCRIPTION |
| | EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL-F-Foil INSULATION OVER 3/4" FURRING STRIPS AND 1/2" GWB AT INTERIOR . |
| | EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| | EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| | EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| | PROPOSED INTERIOR 2x FRAMED PARTITION : • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

| ** DOOR SCHEDULE | | | | | | | | | | |
|------------------|---------------------|--------|-------|------|-------|--------|-------|--------|-------|-------------|
| TYPE | OPENING INFORMATION | | | | | | FRAME | | H/DWR | NOTES |
| | NO. | WIDE | TALL | TYPE | LABEL | FINISH | TYPE | FINISH | | |
| DOORS | EXTERIOR DOORS | | | | | | | | | |
| | 01 | 3'-0" | 6'-8" | D1 | (45) | PAINT | F1 | PAINT | (A) | UNIT ENTRY |
| | 02 | 8'-0" | 6'-8" | D2 | - | PAINT | F2 | P.F. | (B) | SGD |
| DOORS | INTERIOR DOORS | | | | | | | | | |
| | 11 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 12 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM |
| | 13 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD |
| | 14 | 4'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | DBL BI-FOLD |
| | 15 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET |
| | 16 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) | CLOSET |
| | 17 | 2'-8" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 18 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BATHROOM |
| | 19 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) | BEDROOM |
| | 20 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) | BI-FOLD |
| | - | x | - | - | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - | - | - |

| GENERAL NOTES | |
|---------------|---|
| A. | THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION. |
| B. | [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. |
| C. | REFER TO UNIT PLAN SHEETS FOR DOOR TAGS. |

| NOTES | |
|-------|---|
| 1. | UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR. |
| 2. | SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS. |

| ** WINDOW SCHEDULE | | | | | | | | | | |
|--------------------|---------------------|-------|-------|------|-------|--------|--------|--------|-------|---------|
| TYPE | OPENING INFORMATION | | | | | | FRAME | | H/DWR | NOTES |
| | NO. | WIDE | TALL | TYPE | LABEL | FINISH | TYPE | FINISH | | |
| WINDOWS | W1 | 6'-0" | 4'-0" | G1 | - | CLEAR | SLIDER | ALUM | - | 1, 2, 3 |
| | W2 | 2'-8" | 6'-8" | G1 | - | CLEAR | FIXED | ALUM | - | 1, 2, 3 |
| | - | x | - | - | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - | - | - |

| NOTES | |
|-------|--|
| 1. | VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES |
| 2. | INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED. |
| 3. | PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS. |

| NO. GLASS TYPES | |
|-----------------|--|
| G1. | NOMINAL 1/2" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL. |
| G2. | TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201. |

| NO. GENERAL NOTES | |
|-------------------|--|
| A. | WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR. |

| NO. DEMOLITION KEYNOTES | |
|-------------------------|---|
| 1. | REMOVE FLOORING AND BASE BOARDS. |
| 2. | REMOVE CABINETS AND COUNTERTOPS. |
| 3. | REMOVE PLUMBING FIXTURES. |
| 4. | REMOVE MIRROR. |
| 5. | REMOVE DOORS. |
| 6. | REMOVE APPLIANCES. |
| 7. | REMOVE TILE FROM WALLS. |
| 8. | REMOVE WATER HEATER. |
| 9. | REMOVE CLOSET WALL. |
| 10. | REMOVE ALL SHELVING. |
| 11. | REMOVE BALCONY/PORCH DIVIDER. |
| 12. | REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES. |
| 13. | REMOVE WINDOW. |
| 14. | REMOVE SHOWER FLOOR & WALL TILES. |
| 15. | REMOVE WALL. |
| 16. | WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT. |
| 17. | REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT. |

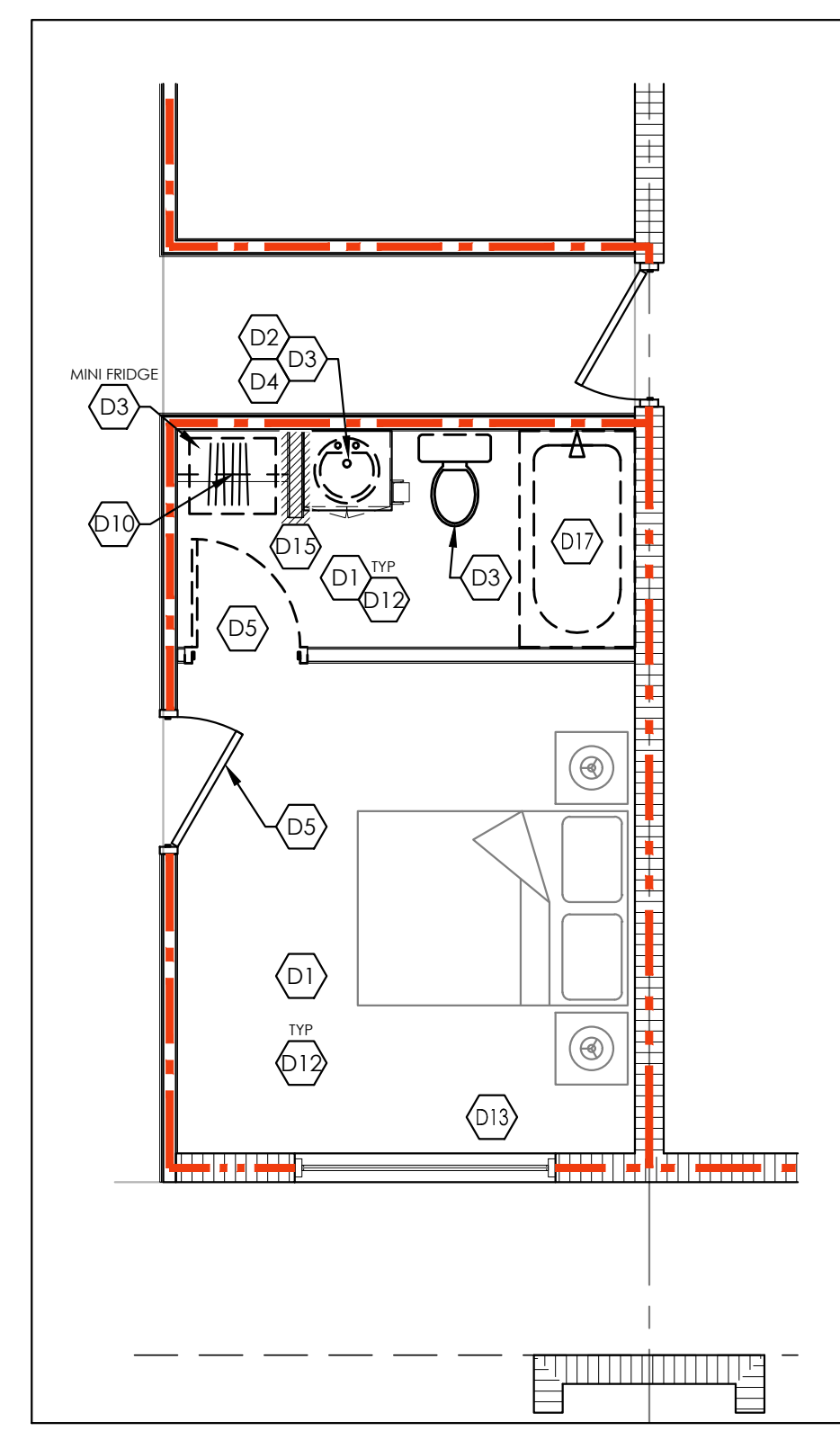
| NO. FLOOR PLAN KEYNOTES | |
|-------------------------|--|
| 1. | TEXTURE CEILING TO BE ORANGE PEEL. SMOOTH TEXTURE WALLS. |
| 2. | NEW LUXURY VINYL TILE FLOORING. |
| 3. | NEW APPLIANCES. |
| 4. | NEW SHOWER WITH TEMPERED GLASS PARTITION. ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS. |
| 5. | NEW WATER HEATER. |
| 6. | NEW CABINETS AND COUNTERTOPS. |
| 7. | NEW DOOR & WINDOW TRIM/MOLDINGS. |
| 8. | NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD. |
| 9. | NEW TUB & WALL TILE. |
| 10. | NEW TILE @ SHOWER FLOOR & WALLS. |
| 11. | PAINTE ALL WALLS, CEILINGS, & MOLDINGS. |
| 12. | ADD NEW BASE BOARDS. |
| 13. | NOT USED. |
| 14. | NEW CLOSET SHELVING. |
| 15. | NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.] |
| 16. | NEW KITCHEN SINK & FAUCET. |
| 17. | NEW BATHROOM VANITY SINK & FAUCET. |
| 18. | NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS. |
| 19. | NEW SHOWER CONTROL VALVE. |
| 20. | NEW TOILET. |
| 21. | NOT USED. |
| 22. | NEW MIRROR. |

| NO. POWER & LIGHTING LEGEND | |
|-----------------------------|--|
| SYMBOL | DESCRIPTION: REFER TO ELECTRICAL PLANS. |
| | NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| | NEW DECORATIVE CHANDELIER LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| | NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW PROGRAMMABLE THERMOSTAT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" |
| | SPECIAL CONNECTION FOR WATER HEATER |
| | LIGHT SWITCH, DECORA STYLE, WHITE COLOR |
| | ELECTRICAL PANEL, 100 AMPS |

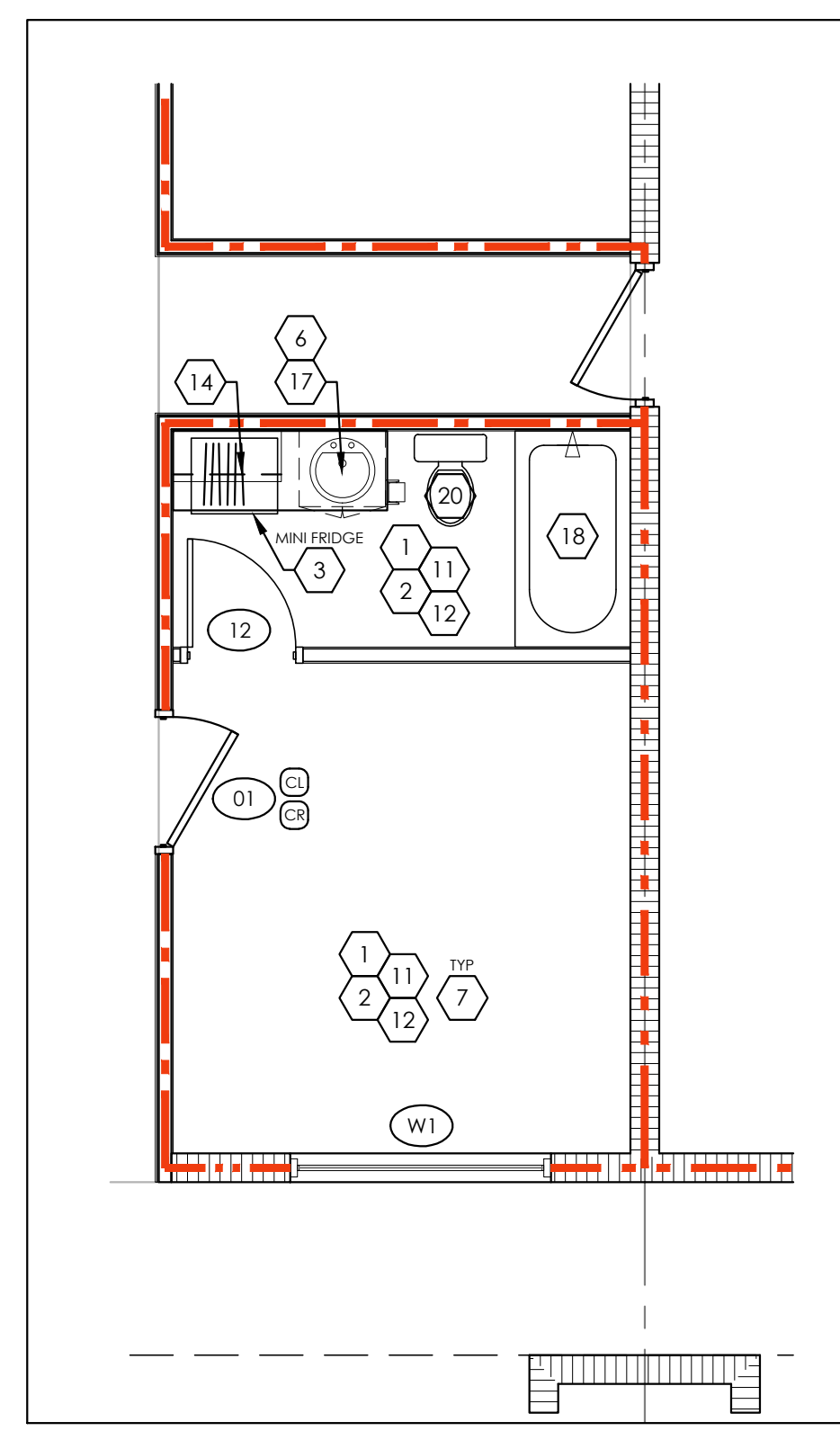
| NO. FINISH SCHEDULE | |
|---|---|
| THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. | |
| A. | ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. |
| B. | FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET. |
| C. | GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O. |
| D. | PAINT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION. • WALLS - EGGSHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D. |

| NO. APPLIANCE LEGEND | |
|----------------------|---|
| 1. | DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |
| 2. | RANGE / MICRO COMBO = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM. |
| 3. | REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |

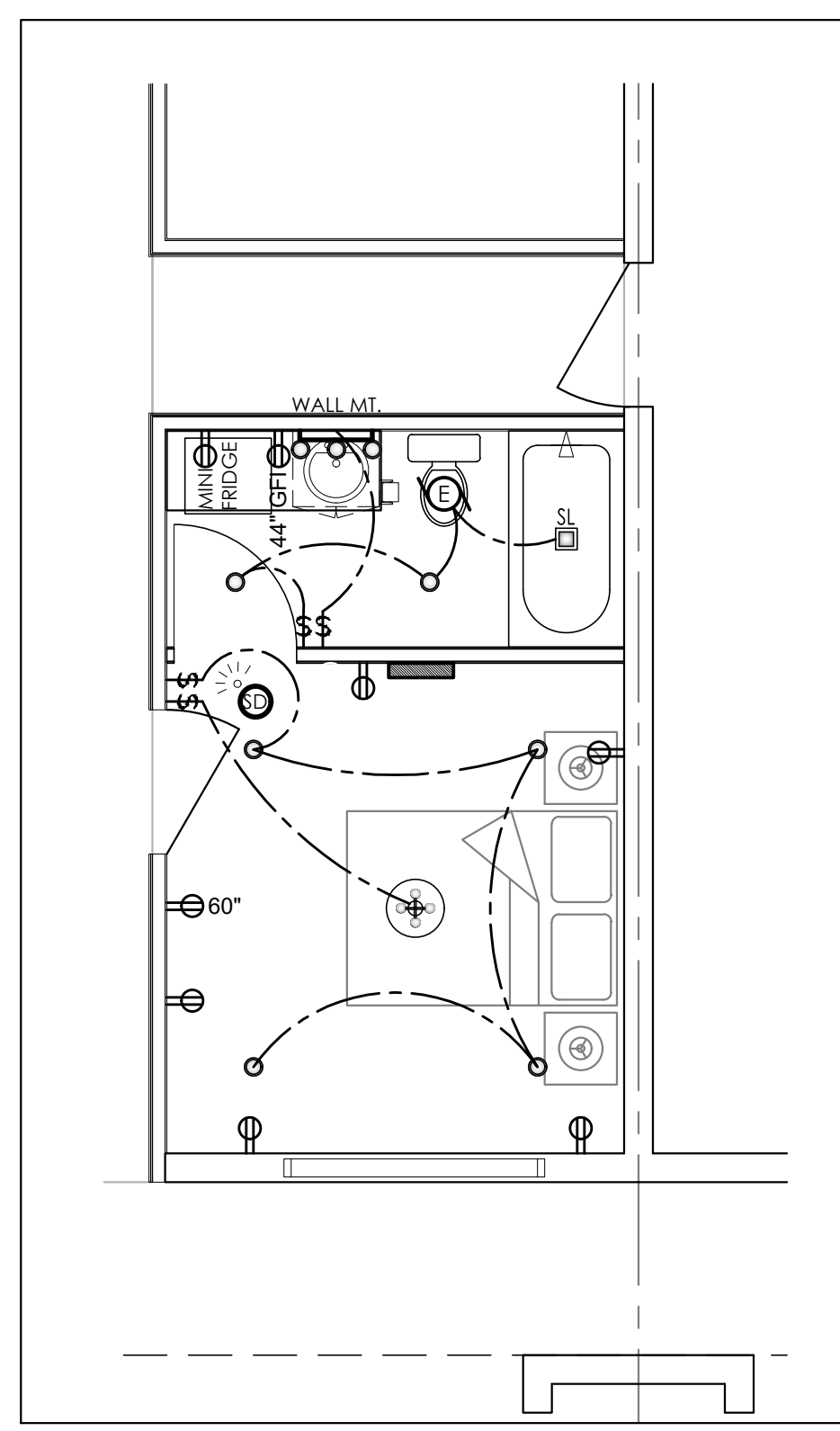
| NO. ADA PLAN KEYNOTES (ADA UNITS ONLY) | |
|--|---|
| 1. | MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6. |
| 2. | MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1. |
| 3. | MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS. |
| 4. | "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR. |
| 5. | PROVIDE 60" DIAMETER CLEAR FLOOR AREA. |
| 6. | PROVIDE T-SHAPED TURNING SPACE. |
| 7. | MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608 |
| 8. | MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3. |
| 9. | MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2. |
| 10. | MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5. |
| 11. | SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7. |
| 12. | MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF. |
| 13. | MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306. |
| 14. | "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR. |



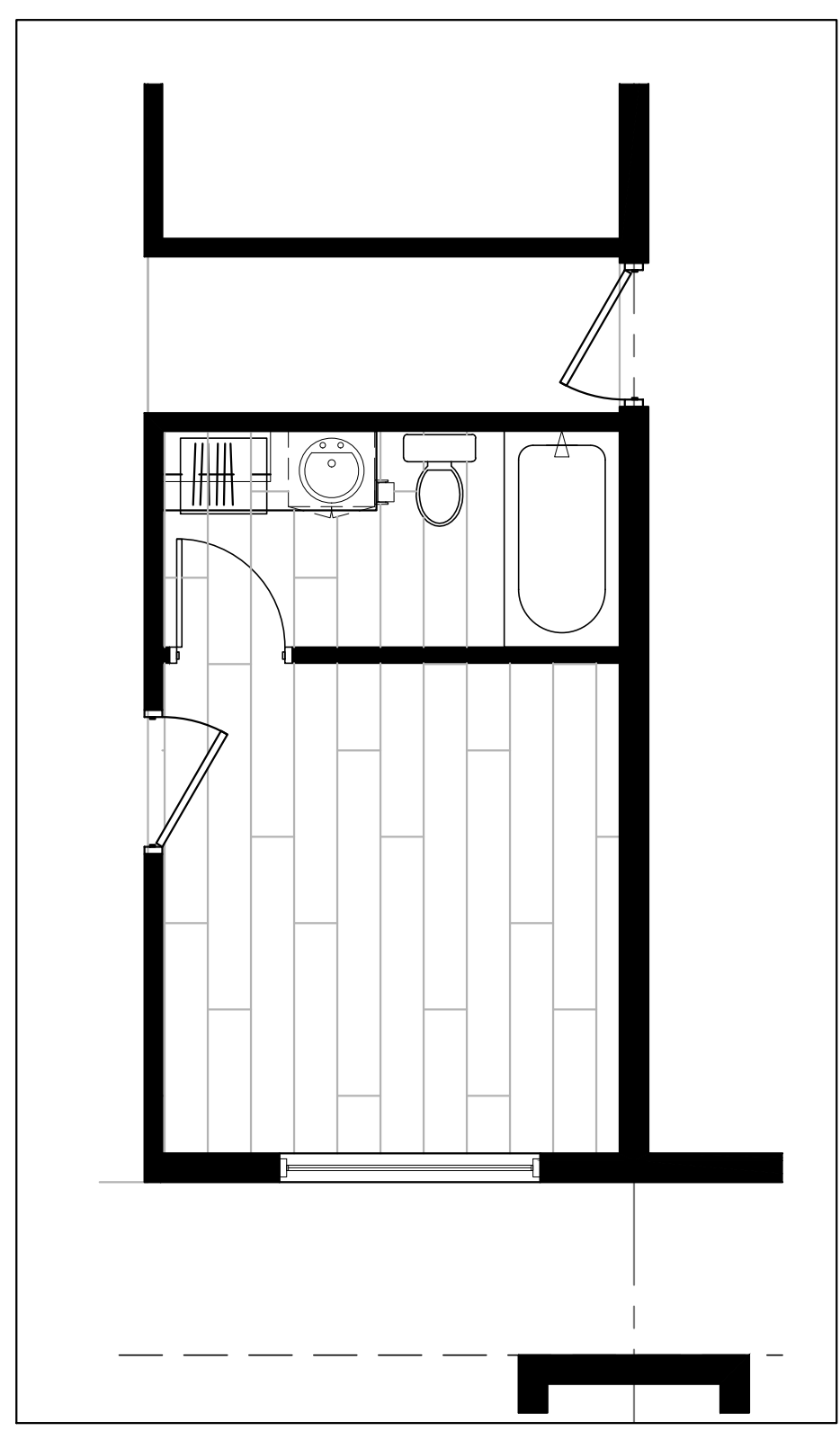
1 DEMOLITION PLAN - UNIT TYPE "C"
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN - UNIT TYPE "C"
SCALE: 1/4" = 1'-0"



3 REVISED LIGHTING PLAN - UNIT TYPE "C"
SCALE: 1/4" = 1'-0"



4 FINISH PLAN (T.B.D.) - UNIT TYPE "C"
SCALE: 1/4" = 1'-0"

| No. | Date | Phase Description |
|-----|------------|--------------------|
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

| No. | Date | Revision Description |
|-----|------|----------------------|
| - | - | - |
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| - | - | - |
| - | - | - |

**** WALL + PARTITION LEGEND**

| SYMBOL | DESCRIPTION |
|----------|---|
| [Symbol] | EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL-F-Foil INSULATION OVER 3/4" Furring STRIPS AND 1/2" GWB AT INTERIOR. |
| [Symbol] | EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| [Symbol] | EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| [Symbol] | EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| [Symbol] | PROPOSED INTERIOR 2x FRAMED PARTITION : • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

**** DOOR SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFVR | NOTES |
|-------|---------------------|----------------|------------|--------|-------|--------|-------|-------------|
| | NO. | WIDE X TALL | TYPE LABEL | FINISH | TYPE | FINISH | | |
| DOORS | EXTERIOR DOORS | | | | | | | |
| | 01 | 3'-0" x 6'-8" | D1 | PAINT | F1 | PAINT | A | UNIT ENTRY |
| | 02 | 8'-0" x 6'-8" | D2 | PAINT | F2 | P.F. | B | SGD |
| DOORS | INTERIOR DOORS | | | | | | | |
| | 11 | 2'-10" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 12 | 2'-4" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BATHROOM |
| | 13 | 3'-0" x 6'-8" | D4 | PAINT | F4 | PAINT | D | DBL BI-FOLD |
| | 14 | 4'-0" x 6'-8" | D4 | PAINT | F4 | PAINT | D | DBL BI-FOLD |
| | 15 | 2'-10" x 6'-8" | D3 | PAINT | F3 | PAINT | E | CLOSET |
| | 16 | 2'-4" x 6'-8" | D3 | PAINT | F3 | PAINT | E | CLOSET |
| | 17 | 2'-8" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 18 | 3'-0" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BATHROOM |
| | 19 | 3'-0" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 20 | 3'-0" x 6'-8" | D4 | PAINT | F4 | PAINT | D | BI-FOLD |
| | - | x | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - |

GENERAL NOTES

A. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION.

B. [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. REFER TO UNIT PLAN SHEETS FOR DOOR TAGS.

C.

NOTES

1. UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR.

2. SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS.

**** WINDOW SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFVR | NOTES |
|---------|---------------------|---------------|------------|--------|--------|--------|-------|---------|
| | NO. | WIDE X TALL | TYPE LABEL | FINISH | TYPE | FINISH | | |
| WINDOWS | W1 | 6'-0" x 4'-0" | G1 | CLEAR | SLIDER | ALUM | - | 1, 2, 3 |
| | W2 | 2'-8" x 6'-8" | G1 | CLEAR | FIXED | ALUM | - | 1, 2, 3 |
| | - | x | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - |

NOTES

1. VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES

2. INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED.

3. PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS.

NO. GLASS TYPES

G1. NOMINAL 1/4" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL.

G2. TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201.

NO. GENERAL NOTES

A. WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.

NO. DEMOLITION KEYNOTES

- REMOVE FLOORING AND BASE BOARDS.
- REMOVE CABINETS AND COUNTERTOPS.
- REMOVE PLUMBING FIXTURES.
- REMOVE MIRROR.
- REMOVE DOORS.
- REMOVE APPLIANCES.
- REMOVE TILE FROM WALLS.
- REMOVE WATER HEATER.
- REMOVE CLOSET WALL.
- REMOVE ALL SHELVING.
- REMOVE BALCONY/PORCH DIVIDER.
- REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES.
- REMOVE WINDOW.
- REMOVE SHOWER FLOOR & WALL TILES.
- REMOVE WALL.
- WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT.
- REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT.

NO. FLOOR PLAN KEYNOTES

- TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.
- NEW LUXURY VINYL TILE FLOORING.
- NEW APPLIANCES.
- NEW SHOWER WITH TEMPERED GLASS PARTITION.
ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.
- NEW WATER HEATER.
- NEW CABINETS AND COUNTERTOPS.
- NEW DOOR & WINDOW TRIM/MOLDINGS.
- NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.
- NEW TUB & WALL TILE.
- NEW TILE @ SHOWER FLOOR & WALLS.
- PAINT ALL WALLS, CEILINGS, & MOLDINGS.
- ADD NEW BASE BOARDS.
- NOT USED.
- NEW CLOSET SHELVING.
- NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]
- NEW KITCHEN SINK & FAUCET.
- NEW BATHROOM VANITY SINK & FAUCET.
- NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS.
- NEW SHOWER CONTROL VALVE.
- NEW TOILET.
- NOT USED.
- NEW MIRROR.

NO. POWER & LIGHTING LEGEND

| SYMBOL | DESCRIPTION: REFER TO ELECTRICAL PLANS. |
|----------|--|
| [Symbol] | NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| [Symbol] | NEW 4" RECESSED LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| [Symbol] | NEW 4" RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| [Symbol] | NEW DECORATIVE CHANDELIER LIGHT CONTRACTOR PROVIDED/INSTALLED. |
| [Symbol] | NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| [Symbol] | NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| [Symbol] | NEW PROGRAMMABLE THERMOSTAT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| [Symbol] | DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE |
| [Symbol] | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET |
| [Symbol] | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" |
| [Symbol] | SPECIAL CONNECTION FOR WATER HEATER |
| [Symbol] | LIGHT SWITCH, DECORA STYLE, WHITE COLOR |
| [Symbol] | ELECTRICAL PANEL, 100 AMPS |

NO. FINISH SCHEDULE

THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER.

A. ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.

B. FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.

C. GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.

D. PAINT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.

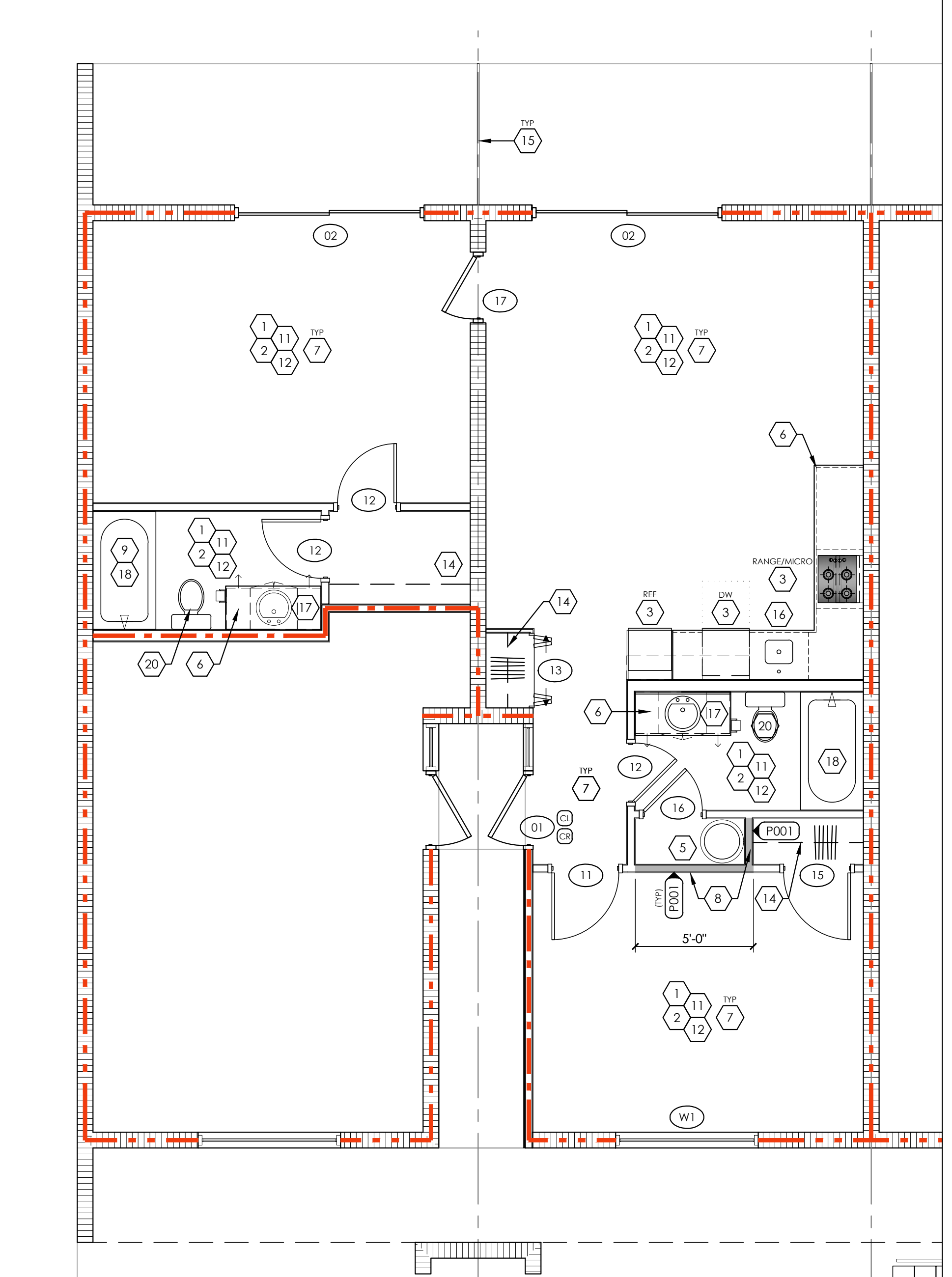
- WALLS - EGG SHELL, COLOR T.B.D.
- TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

NO. APPLIANCE LEGEND

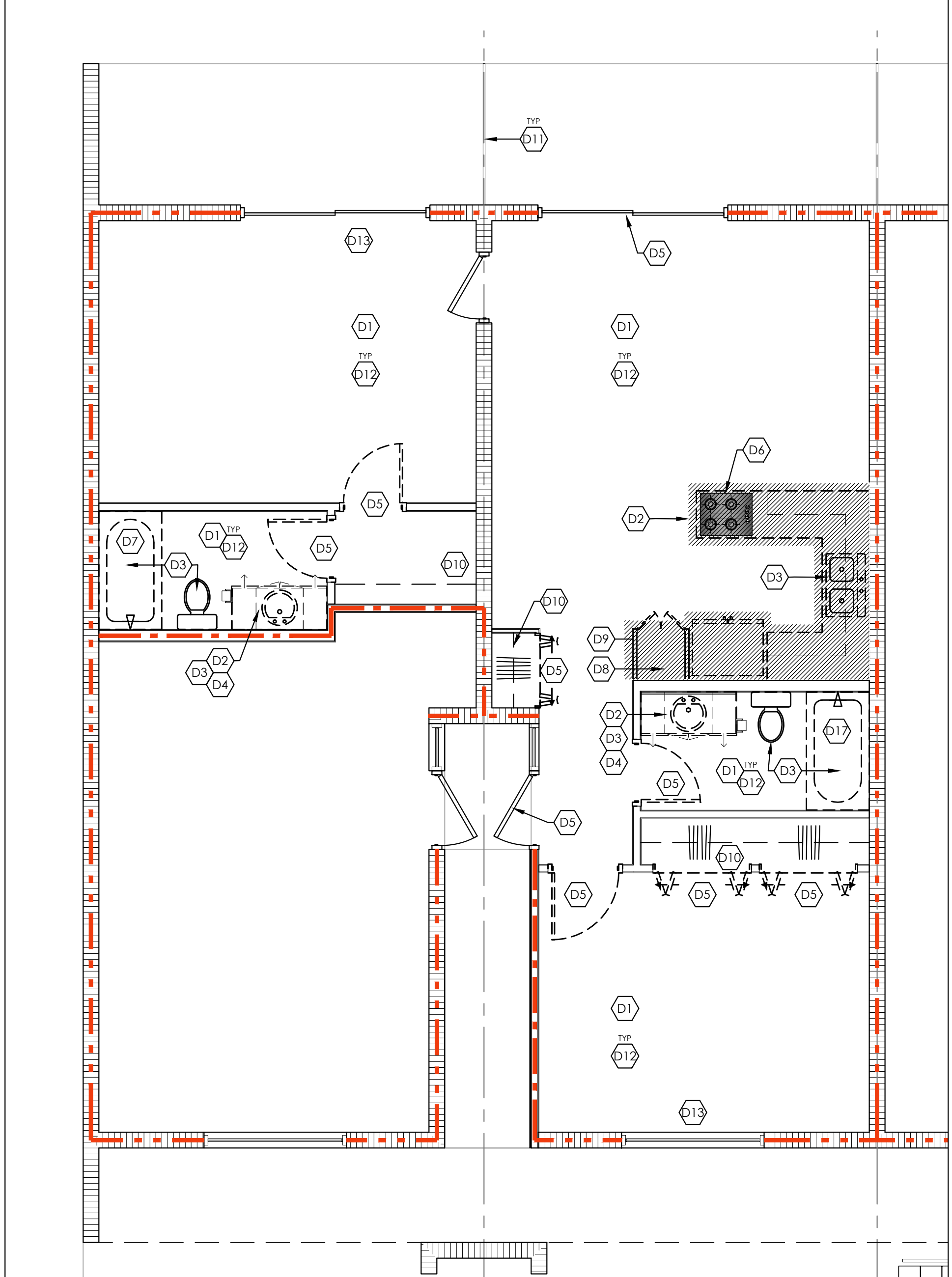
- DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- RANGE / MICRO COMBO = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.

NO. ADA PLAN KEYNOTES (ADA UNITS ONLY)

- MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
- MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1.
- MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
- "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
- PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
- PROVIDE T-SHAPED TURNING SPACE.
- MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608.
- MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
- MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2.
- MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5.
- SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.
- MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
- MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.
- "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.



2 PROPOSED FLOOR PLAN - UNIT TYPE "D"
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN - UNIT TYPE "D"
SCALE: 1/4" = 1'-0"

| No. | Date | Phase Description |
|-----|------------|--------------------|
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |

| No. | Date | Revision Description |
|-----|------|----------------------|
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

**** WALL + PARTITION LEGEND**

| SYMBOL | DESCRIPTION |
|--------|---|
| | EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL, R-FOLI INSULATION OVER 3/4" Furring STRIPS AND 1/2" GWB AT INTERIOR. |
| | EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| | EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| | EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| | PROPOSED INTERIOR 2x FRAMED PARTITION : • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

**** DOOR SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFVR | NOTES |
|-------|---------------------|----------------|------------|--------|-------|--------|-------|-------------|
| | NO. | WIDE X TALL | TYPE LABEL | FINISH | TYPE | FINISH | | |
| DOORS | EXTERIOR DOORS | | | | | | | |
| | 01 | 3'-0" x 6'-8" | D1 | PAINT | F1 | PAINT | A | UNIT ENTRY |
| | 02 | 8'-0" x 6'-8" | D2 | PAINT | F2 | P.F. | B | SGD |
| DOORS | INTERIOR DOORS | | | | | | | |
| | 11 | 2'-10" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 12 | 2'-4" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BATHROOM |
| | 13 | 3'-0" x 6'-8" | D4 | PAINT | F4 | PAINT | D | DBL BI-FOLD |
| | 14 | 4'-0" x 6'-8" | D4 | PAINT | F4 | PAINT | D | DBL BI-FOLD |
| | 15 | 2'-10" x 6'-8" | D3 | PAINT | F3 | PAINT | E | CLOSET |
| | 16 | 2'-4" x 6'-8" | D3 | PAINT | F3 | PAINT | E | CLOSET |
| | 17 | 2'-8" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 18 | 3'-0" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BATHROOM |
| | 19 | 3'-0" x 6'-8" | D3 | PAINT | F3 | PAINT | C | BEDROOM |
| | 20 | 3'-0" x 6'-8" | D4 | PAINT | F4 | PAINT | D | BI-FOLD |
| | - | x | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - |

- GENERAL NOTES**
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION.
 - (IF REQUIRED) ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS.
 - REFER TO UNIT PLAN SHEETS FOR DOOR TAGS.

- NOTES**
- UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR.
 - SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS.

**** WINDOW SCHEDULE**

| TYPE | OPENING INFORMATION | | | | FRAME | | HDFVR | NOTES |
|---------|---------------------|---------------|------------|--------|--------|--------|-------|---------|
| | NO. | WIDE X TALL | TYPE LABEL | FINISH | TYPE | FINISH | | |
| WINDOWS | W1 | 6'-0" x 4'-0" | G1 | CLEAR | SLIDER | ALUM | - | 1, 2, 3 |
| | W2 | 2'-8" x 6'-8" | G1 | CLEAR | FIXED | ALUM | - | 1, 2, 3 |
| | - | x | - | - | - | - | - | - |
| | - | x | - | - | - | - | - | - |

- NOTES**
- VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES
 - INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED.
 - PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS.

NO. GLASS TYPES

- G1. NOMINAL 1 5/16" INSULATED, IMPACT-RESISTANT CLEAR GLASS.** PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL.
- G2. TEMPERED GLASS.** WHERE APPLICABLE. GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201.

NO. GENERAL NOTES

- WALL BACKING SUPPORT** SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR.

NO. DEMOLITION KEYNOTES

- REMOVE FLOORING AND BASE BOARDS.
- REMOVE CABINETS AND COUNTERTOPS.
- REMOVE PLUMBING FIXTURES.
- REMOVE MIRROR.
- REMOVE DOORS.
- REMOVE APPLIANCES.
- REMOVE TILE FROM WALLS.
- REMOVE WATER HEATER.
- REMOVE CLOSET WALL.
- REMOVE ALL SHELVING.
- REMOVE BALCONY/PORCH DIVIDER.
- REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES.
- REMOVE WINDOW.
- REMOVE SHOWER FLOOR & WALL TILES.
- REMOVE WALL.
- WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT.
- REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT.

NO. FLOOR PLAN KEYNOTES

- TEXTURE CEILING TO BE ORANGE PEEL, SMOOTH TEXTURE WALLS.
- NEW LUXURY VINYL TILE FLOORING.
- NEW APPLIANCES.
- NEW SHOWER WITH TEMPERED GLASS PARTITION.
ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS.
- NEW WATER HEATER.
- NEW CABINETS AND COUNTERTOPS.
- NEW DOOR & WINDOW TRIM/MOLDINGS.
- NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD.
- NEW TUB & WALL TILE.
- NEW TILE @ SHOWER FLOOR & WALLS.
- PAINT ALL WALLS, CEILINGS, & MOLDINGS.
- ADD NEW BASE BOARDS.
- NOT USED.
- NEW CLOSET SHELVING.
- NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.]
- NEW KITCHEN SINK & FAUCET.
- NEW BATHROOM VANITY SINK & FAUCET.
- NEW BATHTUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS.
- NEW SHOWER CONTROL VALVE.
- NEW TOILET.
- NOT USED.
- NEW MIRROR.

NO. POWER & LIGHTING LEGEND

| SYMBOL | DESCRIPTION: REFER TO ELECTRICAL PLANS. |
|--------|---|
| | NEW WALL MOUNTED VANITY LIGHT FIXTURE • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW 4' RECESSED SHOWER LED DOWN LIGHT • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| | NEW DECORATIVE CHANDELIER LIGHT CONTRACTOR PROVIDED/INSTALLED. |
| | NEW CEILING MOUNTED EXHAUST FAN • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW SMOKE DETECTOR AND C.M. COMBO • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | NEW PROGRAMMABLE THERMOSTAT • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| | DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET |
| | DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" |
| | SPECIAL CONNECTION FOR WATER HEATER |
| | LIGHT SWITCH, DECORA STYLE, WHITE COLOR |
| | ELECTRICAL PANEL, 100 AMPS |

NO. FINISH SCHEDULE

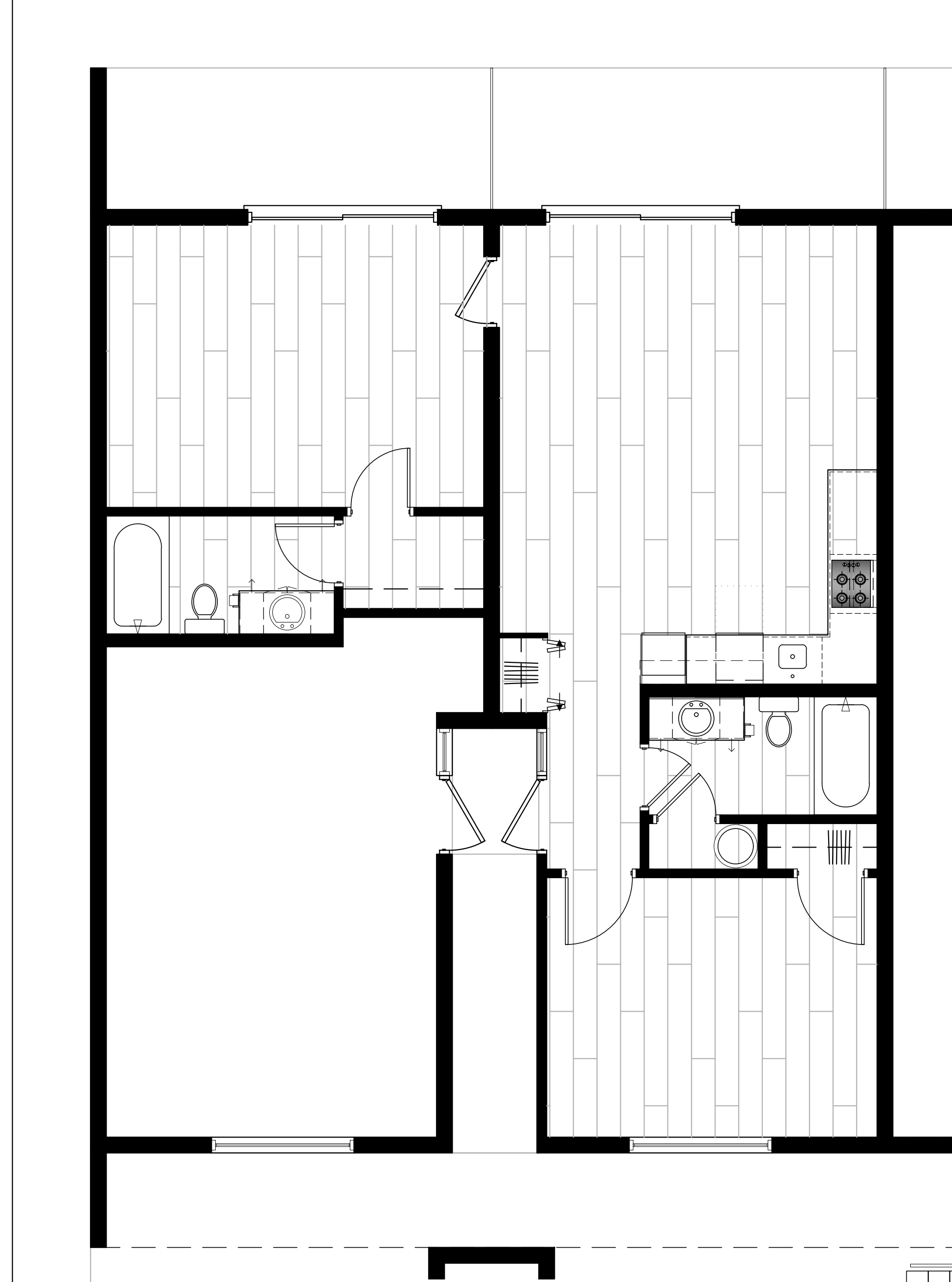
- THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER.
- ALL MATERIALS** SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.
 - FLOORING** SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET.
 - GYPSON WALL BOARD** = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. **ALL GYPSON SURFACES** TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O.
 - PAINT** = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION.
 - WALLS - EGGSHELL, COLOR T.B.D.
 - TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D.

NO. APPLIANCE LEGEND

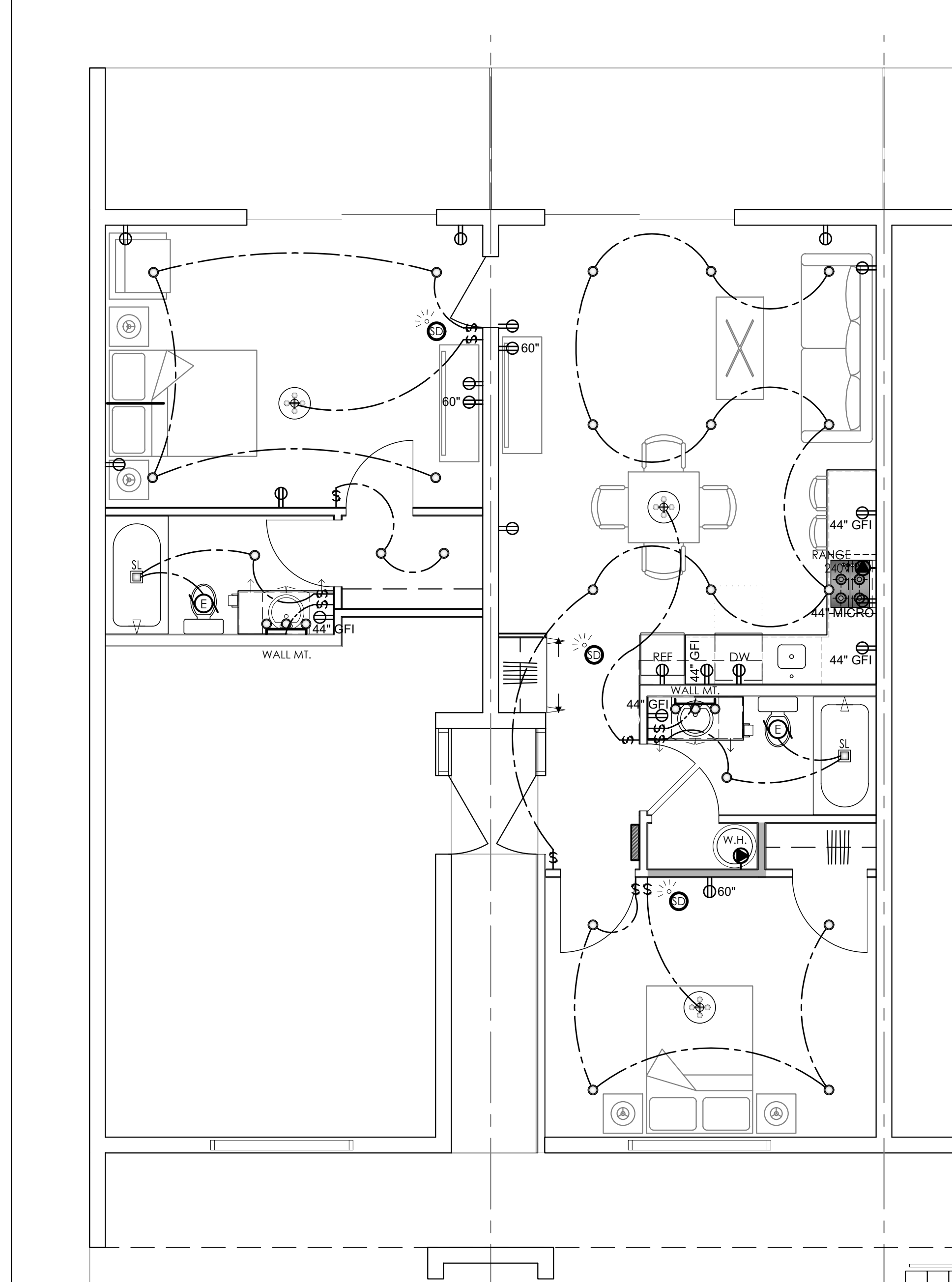
- DISH WASHER** = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.
- RANGE / MICRO COMBO** = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM.
- REFRIGERATOR** = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED.

NO. ADA PLAN KEYNOTES (ADA UNITS ONLY)

- MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6.
- MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1.
- MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS.
- "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR.
- PROVIDE 60" DIAMETER CLEAR FLOOR AREA.
- PROVIDE T-SHAPED TURNING SPACE.
- MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608.
- MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3.
- MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2.
- MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5.
- SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7.
- MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF.
- MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306.
- "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR.



2 FINISH PLAN (T.B.D.) - UNIT TYPE "D"
SCALE: 1/4" = 1'-0"



1 REVISED LIGHTING PLAN - UNIT TYPE "D"
SCALE: 1/4" = 1'-0"

| NO. | ADA PLAN KEYNOTES (ADA UNITS ONLY) |
|-----|---|
| 1. | MAINTAIN CLEAR FLOOR AREA AT ALL PLUMBING FIXTURES AS INDICATED IN THE FBC, ACCESSIBILITY CHAPTER 6. |
| 2. | MAINTAIN CLEAR FLOOR AREA AT WATER CLOSETS PER FBC, ACCESSIBILITY SECTION 604.3.1. |
| 3. | MAINTAIN CLEAR FLOOR AREA AT ALL DOORWAYS. |
| 4. | "STANDARD" ROLL-IN SHOWER TO BE 30" X 60" MIN CLEAR. |
| 5. | PROVIDE 60" DIAMETER CLEAR FLOOR AREA. |
| 6. | PROVIDE T-SHAPED TURNING SPACE. |
| 7. | MOUNT SHOWER CONTROLS PER FBC, ACCESSIBILITY SECTION 608. |
| 8. | MOUNT SHOWER SEAT PER FBC, ACCESSIBILITY SECTION 610.3. |
| 9. | MOUNT SHOWER GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 608.3.2. |
| 10. | MOUNT WATER CLOSET GRAB BARS PER FBC, ACCESSIBILITY SECTION 609 & 604.5. |
| 11. | SHOWER THRESHOLD SHALL COMPLY WITH FBC, ACCESSIBILITY SECTION 608.7. |
| 12. | MOUNT ALL SWITCHES AND CONTROLS (INCLUSIVE OF APPLIANCES) PER FBC, ACCESSIBILITY SECTION 308 WITH CLEAR FLOOR AREAS PER SECTIONS 305 & 306. UNDER ALL CIRCUMSTANCES, THE MAX HEIGHT SHALL BE 48" AFF. |
| 13. | MAINTAIN KNEE AND TOE CLEARANCE AT VANITY SINK PER FBC, ACCESSIBILITY SECTION 306. |
| 14. | "ALTERNATE" ROLL-IN SHOWER TO BE 36" X 60" MIN CLEAR. |

| NO. | FINISH SCHEDULE |
|-----|--|
| | THE INTENT OF THE FINISHES IS TO MEET INDUSTRY STANDARDS FOR HOTEL SPECIFICATIONS. ALL FINISH MATERIALS SHALL BE SELECTED BY THE OWNER. |
| A. | ALL MATERIALS SELECTED SHALL BE INSTALLED WITH STRICT ADHERENCE TO THE MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. |
| B. | FLOORING SHALL BE WARRANTED FOR A PERIOD OF 10 YEARS BY A MAJOR MANUFACTURER. REFER TO FLOORING FINISH LEGEND THIS SHEET. |
| C. | GYPSUM WALL BOARD = 1/2" GWB U.N.O. USE MOLD AND MOISTURE RESISTANT GWB AT BOTH SIDES OF ALL WET WALLS. USE CEMENT BOARD AT ALL TILE WALLS. ALL GYPSUM SURFACES TO BE PAINTED GWB WITH A SMOOTH TEXTURE U.N.O. |
| D. | PAINT = PRIME AND PAINT COATS SHALL BE APPLIED IN A 2-COAT MINIMUM, WITH 3-COATS HIGHLY RECOMMENDED. "HOLIDAYS" WILL NOT BE ACCEPTED. PAINT SHALL BE COMPLETED BY A PROFESSIONAL PAINT CREW AFTER ACCEPTANCE OF A SMOOTH FINISH GWB INSTALLATION. <ul style="list-style-type: none"> • WALLS - EGG SHELL, COLOR T.B.D. • TRIM/CASING/DOORS - SEMI-GLOSS, COLOR T.B.D. |

| NO. | APPLIANCE LEGEND |
|-----|--|
| 1. | DISH WASHER = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |
| 2. | RANGE / MICRO COMBO = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. OVER-THE-RANGE MICROWAVE TO CONTAIN A RECIRCULATING VENT SYSTEM. |
| 3. | REFRIGERATOR = OWNER SELECTED, CONTRACTOR PROVIDED & INSTALLED. |

| NO. | POWER & LIGHTING LEGEND |
|---|---|
| | SYMBOL DESCRIPTION: REFER TO ELECTRICAL PLANS. |
| NEW WALL MOUNTED VANITY LIGHT FIXTURE | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW 4" RECESSED LED DOWN LIGHT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW 4" RECESSED SHOWER LED DOWN LIGHT | • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| NEW DECORATIVE CHANDELIER LIGHT | • SPEC = OWNER SELECTED CONTRACTOR PROVIDED/INSTALLED. |
| NEW CEILING MOUNTED EXHAUST FAN | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW SMOKE DETECTOR AND C.M. COMBO | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| NEW PROGRAMMABLE THERMOSTAT | • SPEC = OWNER SELECTED • CONTRACTOR PROVIDED/INSTALLED. |
| DUPLEX ELECTRICAL OUTLET @ 18" A.F.F. TO CENTER OF OUTLET, UNLESS NOTED OTHERWISE | |
| DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET | |
| DUPLEX ELECTRICAL OUTLET @ 44" A.F.F. TO CENTER OF OUTLET WITH "GROUND FAULT CIRCUIT INTERRUPTER" | |
| SPECIAL CONNECTION FOR WATER HEATER | |
| LIGHT SWITCH, DECORA STYLE, WHITE COLOR | |
| ELECTRICAL PANEL, 100 AMPS | |

| NO. | FLOOR PLAN KEYNOTES |
|-----|--|
| 1. | TEXTURE CEILING TO BE ORANGE PEEL. SMOOTH TEXTURE WALLS. |
| 2. | NEW LUXURY VINYL TILE FLOORING. |
| 3. | NEW APPLIANCES. |
| 4. | NEW SHOWER WITH TEMPERED GLASS PARTITION. ACCESSIBLE SHOWER NOTE: ADA ROLL-IN SHOWERS TO RECEIVE FRAMED WALL AT BENCH LOCATIONS TO 4'-0" AFF W/ TEMPERED GLASS ABOVE. PROVIDE MINIMUM OF 36" CLEAR ENTRY INTO ADA ROLL-IN SHOWERS. |
| 5. | NEW WATER HEATER. |
| 6. | NEW CABINETS AND COUNTERTOPS. |
| 7. | NEW DOOR & WINDOW TRIM/MOLDINGS. |
| 8. | NEW WALL, 2X4 @ 16" O.C. W/ 1/2" GYP BD. |
| 9. | NEW TUB & WALL TILE. |
| 10. | NEW TILE @ SHOWER FLOOR & WALLS. |
| 11. | PAINT ALL WALLS, CEILINGS, & MOLDINGS. |
| 12. | ADD NEW BASE BOARDS. |
| 13. | NOT USED. |
| 14. | NEW CLOSET SHELVING. |
| 15. | NEW NON-COMBUSTIBLE BALCONY/PORCH DIVIDER. [T.B.D.] |
| 16. | NEW KITCHEN SINK & FAUCET. |
| 17. | NEW BATHROOM VANITY SINK & FAUCET. |
| 18. | NEW BATH TUB, WALL TILES, TUB FAUCET, OVERHEAD FAUCET, AND SHOWER CONTROLS. |
| 19. | NEW SHOWER CONTROL VALVE. |
| 20. | NEW TOILET. |
| 21. | NOT USED. |
| 22. | NEW MIRROR. |

| NO. | DEMOLITION KEYNOTES |
|-----|---|
| 1. | REMOVE FLOORING AND BASE BOARDS. |
| 2. | REMOVE CABINETS AND COUNTERTOPS. |
| 3. | REMOVE PLUMBING FIXTURES. |
| 4. | REMOVE MIRROR. |
| 5. | REMOVE DOORS. |
| 6. | REMOVE APPLIANCES. |
| 7. | REMOVE TILE FROM WALLS. |
| 8. | REMOVE WATER HEATER. |
| 9. | REMOVE CLOSET WALL. |
| 10. | REMOVE ALL SHELVING. |
| 11. | REMOVE BALCONY/PORCH DIVIDER. |
| 12. | REMOVE ALL UNIT LIGHTING FIXTURES, RECEPTACLES, & SWITCHES. |
| 13. | REMOVE WINDOW. |
| 14. | REMOVE SHOWER FLOOR & WALL TILES. |
| 15. | REMOVE WALL. |
| 16. | WITHIN HATCHED AREA, REMOVE ALL WALLS, DOORS, APPLIANCES, PLUMBING FIXTURES, ELECTRICAL WIRING/DEVICES/LIGHTING, AND FINISHES IN PREPARATION FOR REVISED ACCESSIBLE LAYOUT. |
| 17. | REMOVE TUB, WALL TILES, AND PLUMBING FIXTURES IN PREPARATION FOR REPLACEMENT. |

| ** WALL + PARTITION LEGEND |
|---|
| SYMBOL DESCRIPTION |
| EXISTING LOAD BEARING EXTERIOR WALL : [TO REMAIN] • W201 = EXISTING 8" CMU BEARING WALL-F-FOIL INSULATION OVER 3/4" FURRING STRIPS AND 1/2" GWB AT INTERIOR. |
| EXISTING 2-HR RATED TENANT SEPARATION WALL : [TO REMAIN] • W202 = EXISTING 8" CMU BEARING UNIT SEPARATION WALL |
| EXISTING/INFILL 1-HR RATED EXTERIOR WALL : [TO REMAIN] • W101 = EXISTING 2x4 WD STUD PARTITION |
| EXISTING INTERIOR 2x FRAMED PARTITION : [TO REMAIN] • P001 = EXISTING 2x4 WD STUD PARTITION |
| PROPOSED INTERIOR 2x FRAMED PARTITION : • P002 = PROPOSED 2x4 WD STUD PARTITION, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS • P003 = PROPOSED 2x6 WD STUD PARTITION COMMONLY FOUND AT WET WALLS, MATCH EXISTING ADJACENT STUD SIZE & DOOR INFILL OPENINGS |

| ** DOOR SCHEDULE | | | | | | | | |
|------------------|---------------------|-------|------|-------|--------|------|--------|-----------------|
| TYPE | OPENING INFORMATION | | | | FRAME | | HDWR | NOTES |
| NO. | WIDE | TALL | TYPE | LABEL | FINISH | TYPE | FINISH | |
| EXTERIOR DOORS | | | | | | | | |
| 01 | 3'-0" | 6'-8" | D1 | (45) | PAINT | F1 | PAINT | (A) UNIT ENTRY |
| 02 | 8'-0" | 6'-8" | D2 | - | PAINT | F2 | P.F. | (B) SGD |
| INTERIOR DOORS | | | | | | | | |
| 11 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) BEDROOM |
| 12 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) BATHROOM |
| 13 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) DBL BI-FOLD |
| 14 | 4'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) DBL BI-FOLD |
| 15 | 2'-10" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) CLOSET |
| 16 | 2'-4" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (E) CLOSET |
| 17 | 2'-8" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) BEDROOM |
| 18 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) BATHROOM |
| 19 | 3'-0" | 6'-8" | D3 | - | PAINT | F3 | PAINT | (C) BEDROOM |
| 20 | 3'-0" | 6'-8" | D4 | - | PAINT | F4 | PAINT | (D) BI-FOLD |
| - | - | - | - | - | - | - | - | - |
| - | - | - | - | - | - | - | - | - |

| GENERAL NOTES |
|---|
| A. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY HARDWARE LOCKING REQUIREMENTS FOR EACH ROOM W/ OWNER PRIOR TO CONSTRUCTION. |
| B. [IF REQUIRED] ALL LOCKS TO BE MASTER-KEYED TO BUILDING STANDARD SYSTEM - COORDINATE WITH PROPERTY MANAGER. GENERAL CONTRACTOR IS RESPONSIBLE FOR HIRING AND COORDINATING A LOCK SMITH TO KEY ALL SUITE ENTRY LOCKS. REFER TO UNIT PLAN SHEETS FOR DOOR TAGS. |
| C. |

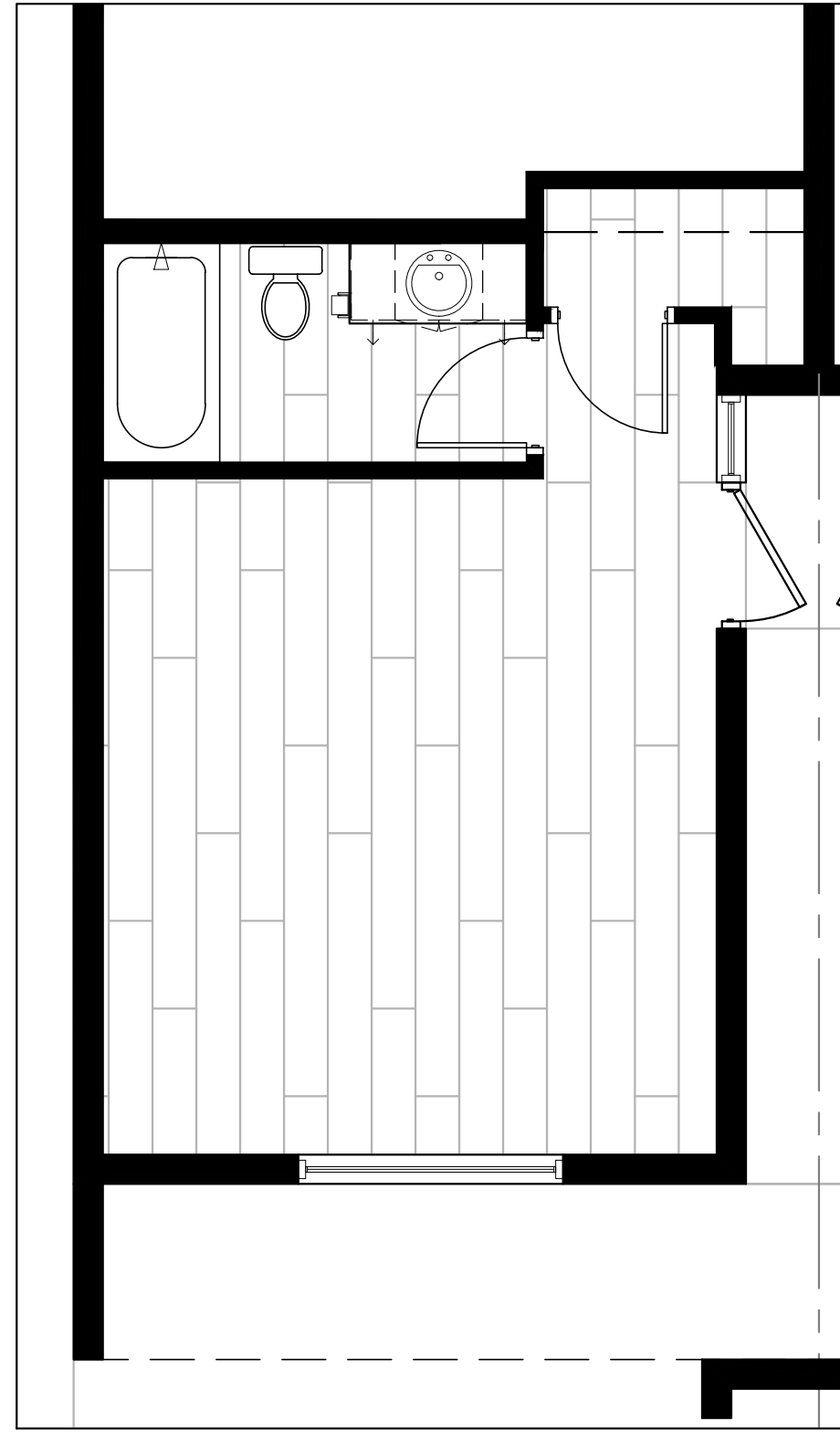
| NOTES |
|--|
| 1. UNIT ENTRY DOOR. IMPACT RESISTANT WOOD DOOR. |
| 2. SLIDING GLASS DOORS. IMPACT RESISTANT ALUMINUM DOORS. |

| ** WINDOW SCHEDULE | | | | | | | | |
|--------------------|---------------------|-------|------|-------|--------|--------|--------|-----------|
| TYPE | OPENING INFORMATION | | | | FRAME | | HDWR | NOTES |
| NO. | WIDE | TALL | TYPE | LABEL | FINISH | TYPE | FINISH | |
| WINDOWS | | | | | | | | |
| W1 | 6'-0" | 4'-0" | G1 | - | CLEAR | SLIDER | ALUM | - 1, 2, 3 |
| W2 | 2'-8" | 6'-8" | G1 | - | CLEAR | FIXED | ALUM | - 1, 2, 3 |
| - | - | - | - | - | - | - | - | - |
| - | - | - | - | - | - | - | - | - |

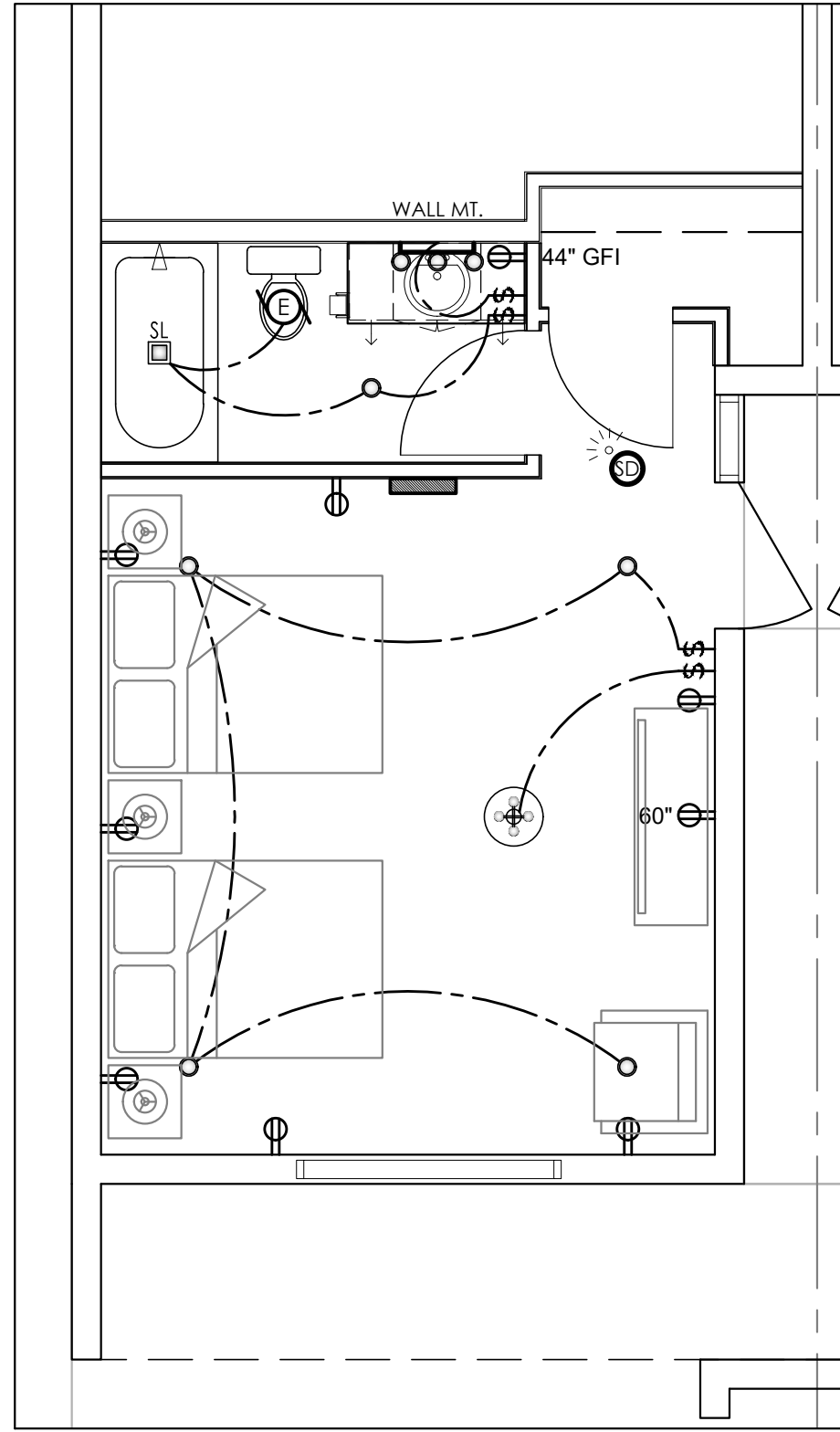
| NOTES |
|---|
| 1. VERIFY ALL EXISTING OPENINGS & SIZE WINDOWS TO CONFORM TO THESE OPENING SIZES |
| 2. INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH THE INSTALLATION REQUIREMENTS OF THE FLORIDA PRODUCT APPROVED WINDOW(S) SELECTED. |
| 3. PROPER FLASHING AND WEATHER RESISTANT SHALL BE CONSIDERED WITHIN THE SCOPE OF THE WINDOW INSTALLER AND SHALL BE PERFORMED ACCORDING TO THE WINDOW MANUFACTURER'S DETAILS FOR WINDOW REPLACEMENT IN FLORIDA COASTAL ENVIRONMENTS. |

| NO. | GLASS TYPES |
|-----|---|
| G1. | NOMINAL 1/4" INSULATED, IMPACT-RESISTANT CLEAR GLASS. PROVIDE GLAZING ACCORDING TO THE OPTIONS AVAILABLE PER FLORIDA PRODUCT APPROVAL # 14218.2 OR APPROVED EQUAL. |
| G2. | TEMPERED GLASS. WHERE APPLICABLE, GLASS SHOWER ENCLOSURES SHALL BE TEMPERED GLASS. ALL TEMPERED GLASS TO CONFORM W/ CPSC 16-CFR PART 1201. |

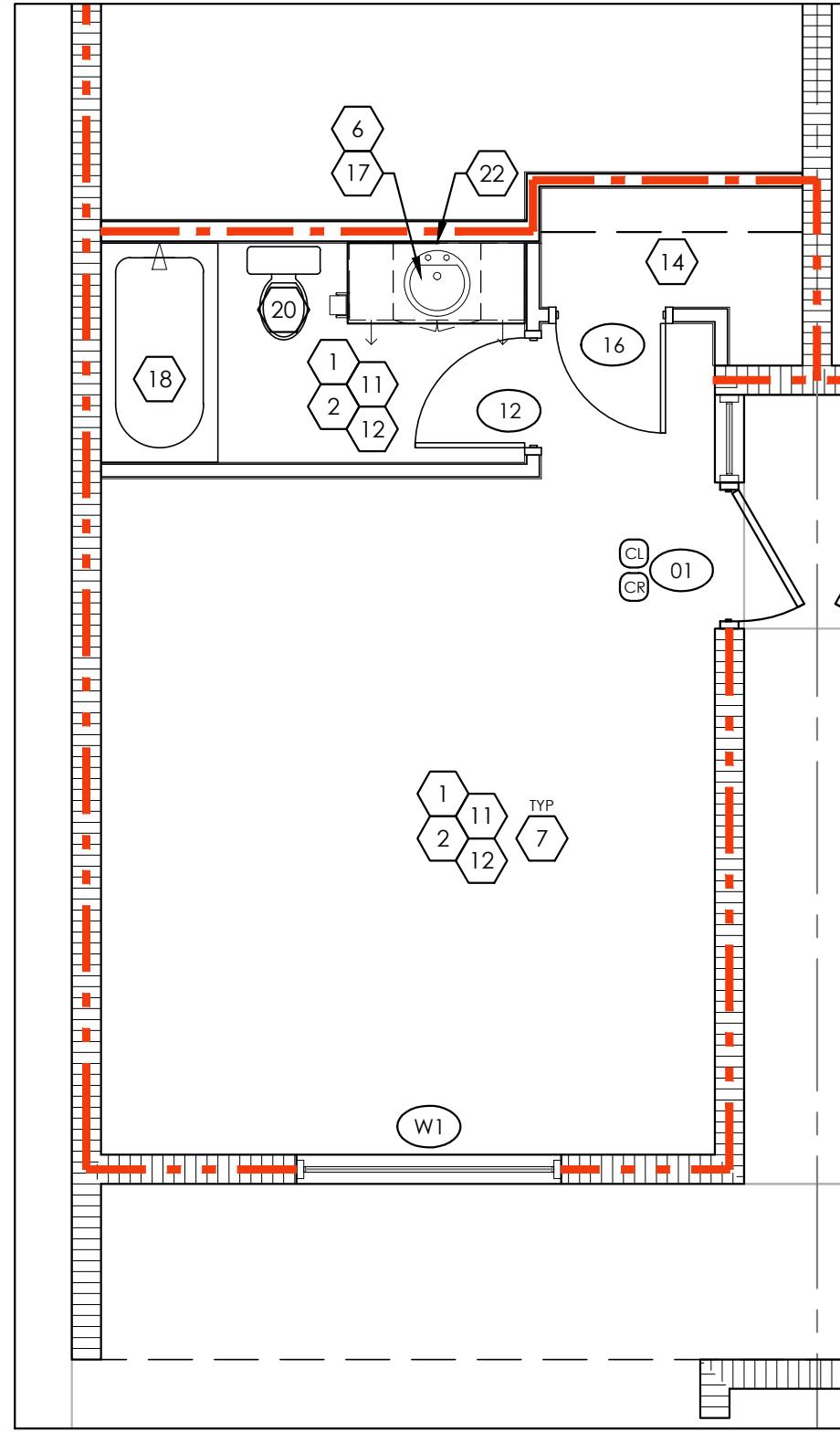
| NO. | GENERAL NOTES |
|-----|---|
| A. | WALL BACKING SUPPORT SHALL BE PROVIDED FOR ALL APPLICABLE WALL-MOUNTED FIXTURES, INCLUDING BUT NOT LIMITED TO LIVING AND BEDROOM TELEVISIONS, CABINETS, ETC. LOCATIONS TO BE DETERMINED BY THE GENERAL CONTRACTOR. |



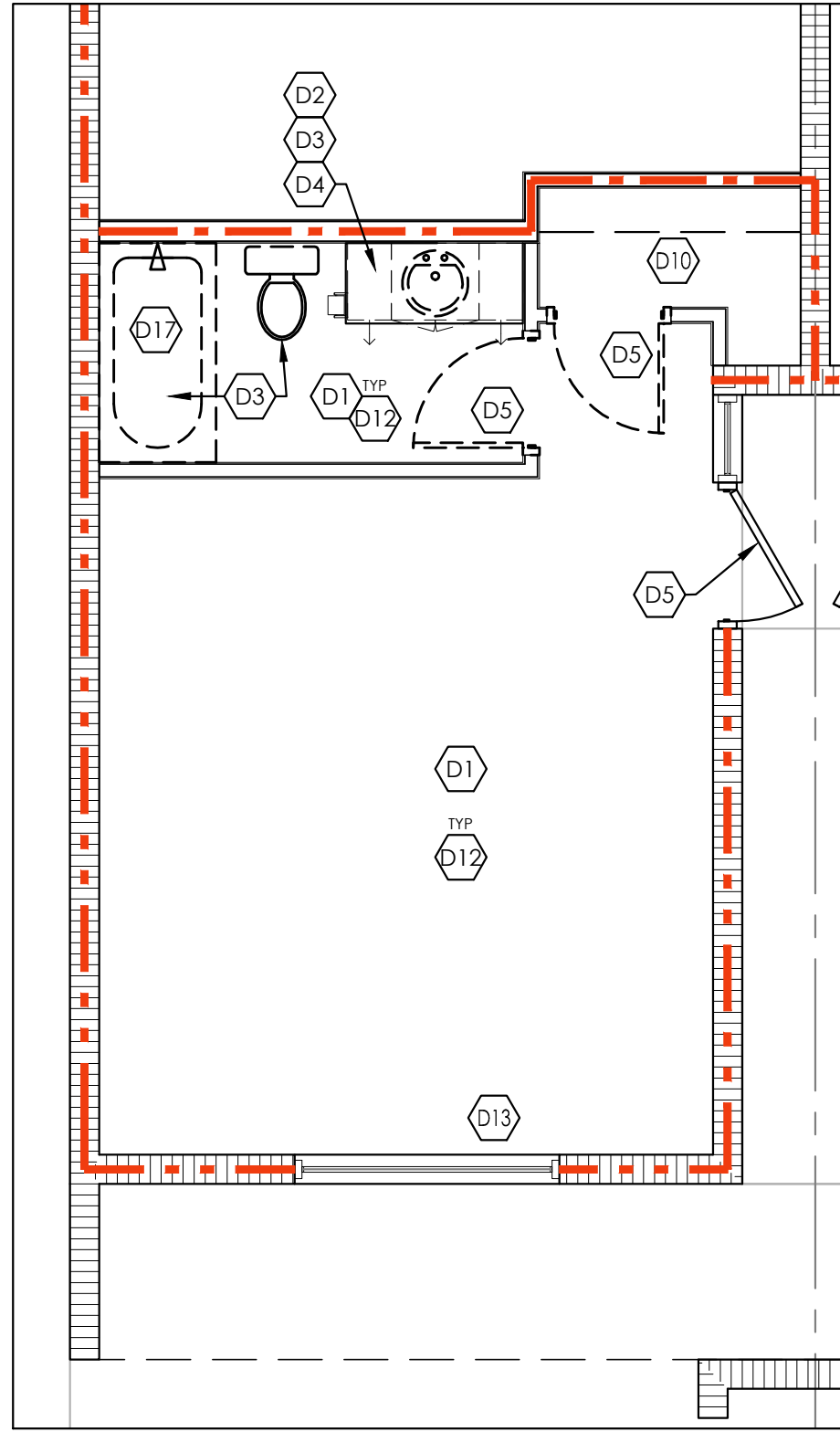
4 FINISH PLAN (T.B.D.) - UNIT TYPE "E"
SCALE: 1/4" = 1'-0"



3 REVISED LIGHTING PLAN - UNIT TYPE "E"
SCALE: 1/4" = 1'-0"



2 PROPOSED FLOOR PLAN - UNIT TYPE "E"
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN - UNIT TYPE "E"
SCALE: 1/4" = 1'-0"

| PHASE ISSUED DRAWINGS: | | |
|------------------------|------------|--------------------|
| No. | Date | Phase Description |
| 1 | 05.15.2019 | Owner Check Set |
| 2 | 05.28.2019 | Permit Set |
| 3 | 07.26.2019 | Updated Permit Set |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |

| REVISED DRAWINGS: | | |
|-------------------|------|----------------------|
| No. | Date | Revision Description |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
| - | - | - |
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