

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: _____
INTERIOR RENOVATION /REMODEL FOR "GALOPIN RESTAURANT"
Address: _____
358 NORTH PARK AVENUE, WINTER PARK, FLORIDA 32789

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

ROMAN YURKIEWICZ, BFY ASSOCIATES INC
Applicant's Name: _____
203 GLENVIEW BLVD., DAYTONA BCH., FL 32118
Applicant's Address: _____
386-258-2261 386-255-9354
Applicant's Telephone: _____ FAX: _____
BFY4@AOL.COM
Applicant's E-mail Address: _____
Relationship to Owner: OWNER'S ARCHITECT

Owner's Name: Jerome Rappard

Owner's Address: 358 N Park Ave, Winterpark, Fl

Owner's Telephone: 407 951 5790 FAX: ~~407 951 5790~~ (407) 878-1732

Owner's E-mail Address: Info @ Galopin Winterpark . com

Signature of Owner: _____

Contact Person: Jason Jessmore

Contact Person's Telephone: 315 720 5700 E-mail Address: info @ galopin Winterpark . com

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

The project is an alteration/interior remodeling to an existing two story restaurant which is approximately 7000sf of which 3900sf is on the first floor and 3100sf is on the second floor. The facility was constructed over 80 years ago and has been the existing use for decades.

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration): \$ Estimated Project Budget is \$125,000.00

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

During the construction the concern of providing vertical accessibility to the second floor became an issue and the consideration of providing a platform lift on the existing stairs would not be able to be accomplished to comply with applicable code, safety and constructability issues. The owner was informed of the 20% rule and it is our opinion that we meet the requirements of the 20% rule; therefore we are submitted for this waiver.

7. Requirements requested to be waived. Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue: Compliance with Section 553.509 Florida State Statutes

1. **553.509 Vertical accessibility.**--Nothing in sections 553.501-553.513 or the guidelines shall be **construed to relieve the owner** of any building, structure, or facility governed by those sections **from the duty to provide vertical accessibility to all levels** above and below the occupiable grade level, regardless of whether the guidelines require an elevator to be installed in such building, structure, or facility.

553.512 Modifications and waivers; advisory council -

(1) The Florida Building Commission shall provide by regulation criteria for granting individual modifications of, or exceptions from, the literal requirements of this part upon a determination of unnecessary, unreasonable, or extreme hardship, provided such waivers shall not violate federal accessibility laws and regulations and shall be reviewed by the Accessibility Advisory Council. The commission shall establish by rule a fee to be paid upon submitting a request for a waiver as provided in this section. **Notwithstanding any other provision of this subsection, if an applicant for a waiver demonstrates economic hardship in accordance with 28 C.F.R. s. 36.403(f)(1), a waiver shall be granted.**

8. Reason(s) for Waiver Request: The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. **Notwithstanding any other provision of this subsection, if an applicant for a waiver demonstrates economic hardship in accordance with 28 C.F.R. s. 36.403(f)(1), a waiver shall be granted.**

Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

The issue of the requirement for vertical accessibility to all levels, as mandated by the Florida State Statutes, section 553.509 VERTICAL ACCESSIBILITY. This section states that - **Nothing in sections 553.501 - 553.513 or the guidelines shall be construed to relieve the owner of any building, structure, or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the habitable grade level, regardless of whether the guidelines require an elevator to be installed in such building, structure, or facility.** Furthermore Florida State Statutes, section 553.512 states that the Florida Building Commission shall provide by regulation criteria for **granting individual modifications of, or exceptions from, the literal requirements of this part** upon a **determination of unnecessary, unreasonable, or extreme hardship**, provided such waivers shall not violate federal accessibility laws and regulations and shall be reviewed by the Accessibility Advisory Council. Notwithstanding any other provision of this subsection, if an applicant for a waiver demonstrates economic hardship in accordance with 28 C.F.R. s. 36.403(f)(1), a waiver shall be granted. The FACBC requires the following – Section 202.4 Alterations Affecting Primary Function Areas. In addition to the requirements of 202.3, an alteration that affects or could affect the usability of or access to an area containing a primary function shall be made so as to ensure that, to the maximum extent feasible, the path of travel to the altered area, including the rest rooms, telephones, and drinking fountains serving the altered area, are readily accessible to and usable by individuals with disabilities, unless such alterations are disproportionate to the overall alterations in terms of cost pursuant to 202.4.1.Alterations to windows, hardware, controls, electrical outlets, and signage shall not be deemed to be alterations that affect the usability of or access to an area containing a primary function. Section 202.4.1 Disproportionate Cost states that alterations made to provide an accessible path of travel to the altered area will be deemed disproportionate to the overall alteration when the cost exceeds 20% of the cost of the alteration to the primary function area. Costs that may be counted as expenditures required to provide an accessible path of travel may include: (i) costs associated with providing an accessible entrance and an accessible route to the altered area; (ii) costs associated with making restrooms accessible, such as installing grab bars,

enlarging toilet stalls, insulating pipes, or installing accessible faucet controls; (iii) costs associated with providing accessible telephones, such as relocating the telephone to an accessible height, installing amplification devices, or installing a text telephone (TTY); (iv) costs associated with relocating an inaccessible drinking fountain. 202.4.2 Accessible Features in the Event of Disproportionality. When the cost of alterations necessary to make the path of travel to the altered area fully accessible is disproportionate to the cost of the overall alteration, the path of travel shall be made accessible to the extent that it can be made accessible without incurring disproportionate costs. In choosing which accessible elements to provide, priority should be given to those elements that will provide the greatest access, in the following order: (i) an accessible entrance; (ii) an accessible route to the altered area; (iii) at least one accessible restroom for each sex or a single unisex restroom; (iv) accessible telephones; (v) accessible drinking fountains; and (vi) when possible, additional accessible elements such as parking, storage, and alarms.

The project cost is \$125,000 which includes the following costs that would not be counted towards the 20% calculation –

• <u>General Requirements</u>	<u>\$7500</u>
• <u>Masonry</u>	<u>\$1200</u>
• <u>Wood and Plastics</u>	<u>\$8500 (not all of this would be used for calculations)</u>
• <u>Finishes</u>	<u>\$7500 (not all of this would be used for calculations)</u>
• <u>Equipment</u>	<u>\$500</u>
• <u>Mechanical</u>	<u>\$39000 (not all of this would be used for calculations)</u>
• <u>Electrical</u>	<u>\$27000 (not all of this would be used for calculations)</u>
• <u>ADA Lift</u>	<u>\$15000 - \$20000 (not used but noted)</u>

Sub-Total \$48200 (using a percentage of the noted items)

Therefore you would then have \$125,000 minus \$48200 for this non applicable related work and minus \$15000 for the lift giving you a number of \$41800. Based upon the estimate from the contractor \$44900 is being spent on accessibility compliance issues. Therefore 20 percent of \$42000 is \$8400 required to be spent on accessibility issues and \$44900 has been spent which is greater than the required 20%. Based upon these calculations a waiver shall be granted pursuant to section 553.512. This facility is an existing two story restaurant and all food and drink services are the same for each floor with the modification to the first floor toilet rooms to be fully accessible.

Substantial financial costs will be incurred by the owner if the waiver is denied.

See response comments above.

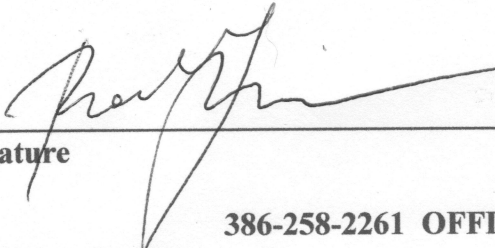
The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. See attached letter from Access Lifts indicating that a lift would start at \$18,500 if it could be configured to work within the existing switchback stair.

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

Under Florida State Statutes a waiver can be granted for one of the following reasons - a determination of unnecessary, unreasonable, or extreme hardship. We believe that we would qualify under an unreasonable, an extreme hardship and technically infeasible due to the applicable requirements of 553.512 - **Notwithstanding any other provision of this subsection, if an applicant for a waiver demonstrates economic hardship in accordance with 28 C.F.R. s. 36.403(f)(1), a waiver shall be granted.** We concur with the reasoning as so stated under item 8.



Signature

ROMAN YURKIEWICZ

Printed Name

Phone number:
(SEAL)

386-258-2261 OFFICE 386-405-3152 CELL

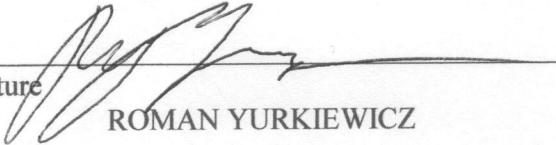


CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 10TH day of AUGUST, 2012

Signature



ROMAN YURKIEWICZ

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. **The project includes an extensive restaurant (assembly occupancy) remodel/renovation in an older downtown two story building requiring the owner to provide vertical accessibility due to tripping the threshold for compliance. A lift was to be provided at the time of permitting approval (as shown on attached plans). The builder & architect had difficulty in retrofitting a compliant lift for the main stairway which has two intermediate landings. The plans included with this application are the same plans submitted for building department review. If the 20% cost for providing accessibility is met, then we have no objection to granting the waiver requested by the applicant.**

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction? **YES**

Yes No Cost of Construction: **Valuation listed on permit is \$125,000**

Comments/Recommendation: Provide lift or show that the 20% disproportionate cost is met for upgrading accessibility features for the renovation.

Jurisdiction: **City of Winter Park, Florida**

Building Official or Designee

Signature

George J. Wiggins, 8/20/12

George J. Wiggins, CBO

Director of Building/Legislative Affairs

BU514

Certification Number

Telephone/FAX

407-599-3426/407-691-6513

Address: **401 S. Park Avenue, Winter Park, FL 32789.**

Schindler Elevator Corporation



August 20, 2012

Marisol Williams, President
Reel Builders, LLC

RE: Park Ave. Project

Marisol,

Confirming our conversation concerning my site visit; I don't see where you can reasonably attempt to add any kind of vertical transportation without major modification to the structure. The only real option would be to have the City allow you an easement extension to occupy a portion of the sidewalk on the North side of the building so that an elevator could be installed.

If for some reason the City allows and easement then the cost of an elevator would be \$38,000 excluding all construction costs of the hoistway, electrical including three phase power, and life safety.

I wish I could have found a workable alternative that would have resulted in a sale but no luck on this one. Please keep us in mind for any future projects requiring vertical transportation and vertical accessibility products.

Sincerely,
SCHINDLER ELEVATOR CORPORATION

A handwritten signature in black ink, appearing to read 'Tim Newton', written over a horizontal line.

Tim Newton



EXHIBIT A1

Estimate Summary Sheet

Division	Total LMES	Comments	SQFT
01 General Requirements	\$7,500.00	Supervision on Site Labor, Small Tools, Dumpsters, Material Misc, Engineering	\$0.86
01a Demo/Interior	\$0.00	N/A	
02 Site Work	\$0.00	N/A	\$0.00
03 Concrete	\$500.00	Floor Cuts and Pour/Pin Back	\$0.06
04 Masonry	\$1,200.00	Stucco Exterior	\$0.14
05 Metals	\$5,432.00	Framing	\$0.62
06 Wood and Plastics	\$8,500.00	Trim Carpentry	\$0.98
07 Thermal & Moisture Protection	\$1,200.00	Ceiling and Floor Insulation	\$0.14
08 Doors & Windows	\$6,500.00	Front Door, Glass Kitchen Window	\$0.75
09 Finishes	\$7,500.00	Painting, Glass Wall-Stairs	\$0.86
10 Specialties	\$5,900.00	Bathroom Partitions	\$0.68
11 Equipment	\$500.00		\$0.06
12 Furnishings	\$0.00	N/A	\$0.00
13 Special Construction	\$0.00	N/A	\$0.00
14 Conveying Systems	\$15,000.00	ADA Chair lift	\$1.72
15 Mechanical	\$39,000.00	Plumbing, HVAC, Fire Sprinklers, Extnhuishers	\$4.48
16 Electrical	\$27,000.00	Electrical, Lighting	\$3.10
	\$125,732		\$14.45
Profit and Overhead	\$12,573		\$1.45
Miscellaneous @	0		
Contingency @	0		
			\$15.90
			\$15.90

Average Cost per Square foot = **Cost / SF**
\$16



Reel Builders, LLC

ADA Galopin Costs

Date: August 18, 2012
To: Larry Schneider
Project: Galopin
358 N. Park Avenue
Winter Park, FL 32789

Description

ADA Improvement Costs Breakdown

Bathroom Partitions - for ADA Bathrooms	\$ 5,722.64
Mulvaney Plumbing - for ADA Bathrooms	\$ 10,088.25
Hudson Security Systems- Firelife Safety	\$ 11,185.75
Albert Mills Concrete cuts- for ADA bathrooms	\$ 500.00
Mills & Nebraska Hardware/Doors/Signage- throughout restaurant	\$ 1,371.40
Stinson Carpet and Tile- for Bathrooms	\$ 12,574.50
Reel Builders Re-framing - for ADA bathrooms	\$ 3,500.00
TOTAL	\$ 44,942.54

Thank you!

Access Lifts And Elevators Inc.

Access Lifts and Elevators Inc.
Phone: 954 826-5438 Fax: 954-894-7707
8362 Pines Blvd #380
Pembroke Pines, Florida 33024



PROPOSAL

SUBMITTED TO: Marisol Williams, MBA
President
Reel Builders, LLC
t. 561-789-9374
Email: marisol@reelbuilders.net

REPAIRED BY: Jim Jeschonek
Access Lifts and Elevators
Mobile: 561-602-7506
Email: jim.jeschonek@gmail.com

PROJECT: Galopin at 358 N. Park Avenue, Winter Park, FL

DATE: 8/20/2012

Hello Marisol

After talking to you, we really have eliminated a number of possibilities, I have attached various brochures and planning guides for you to review, please call or email me with any questions

1. Incline lift ADA Compliant : the width lost on the staircase is apx 12" your staircase is only 42" wide this would take the clear width down to 30" which I do not believe the fire marshal would accept
2. Flow 2 stair case, there have been some instances where they have allowed this in place of a wheel chair lift or incline lift, the problem is it is not ADA compliant and not made for a commercial application
3. Wheel chair lift, requires a 3" pit, and a spot to get on and off both on the second floor and first floor, because it is ADA compliant you will need to keep a 5' turn around radius clear in front of the door both on the second floor and first floor, need also a 52"x57" space plus will need a shaft and or enclosure.

4. Elevator is ada compliant will need 14" pit 6'x7' space for unit and a separate 5'x5' room for the equipment. Again you will need the turnaround radius of 5' kept clear at both entrances

The biggest concern is you do not have the space on the stair case without making it wider for a ada lift, and these units must park on the first floor landing or second floor landing, the simplest solution is a stair lift which is not ADA compliant

5. In regards to our flow stairlift, as mentioned earlier it is not per say ADA compliant and is made more for private home use. But a custom made unit such as the Flow 2 stairlift would normally start at a cost of \$18,500.00 The flow takes a minium of 15 weeks to produce once it is put into production,

Feel free to call me with any other questions or concerns

Thank You

Access Lifts and Elevators Inc

BY: Jim Jeschonek
Jim Jeschonek
Accessibilty Sales Executive



photo 1

8/20/2012

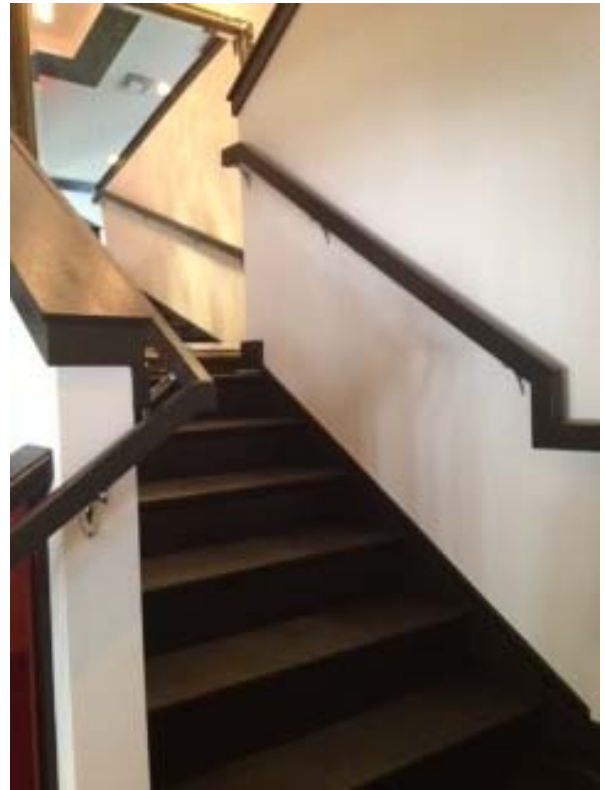


photo 2

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photo 3

8/20/2012



photo 4

8/20/2012

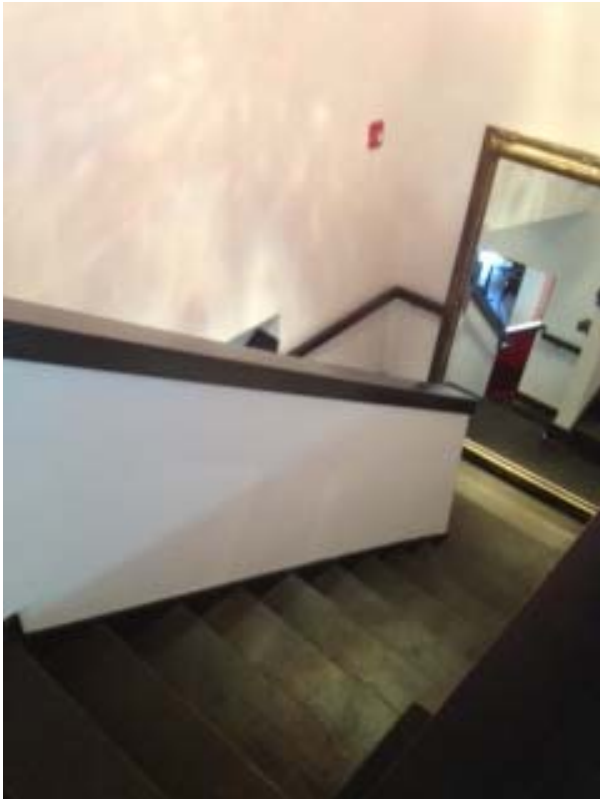
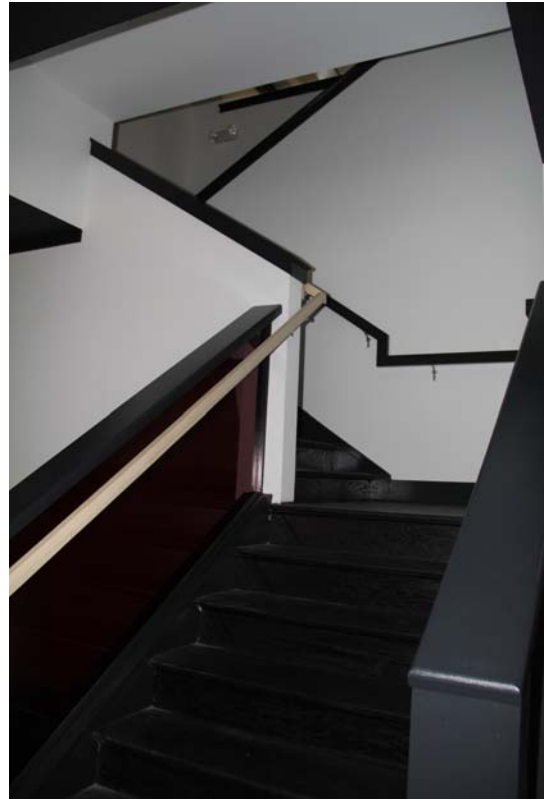


photo 5

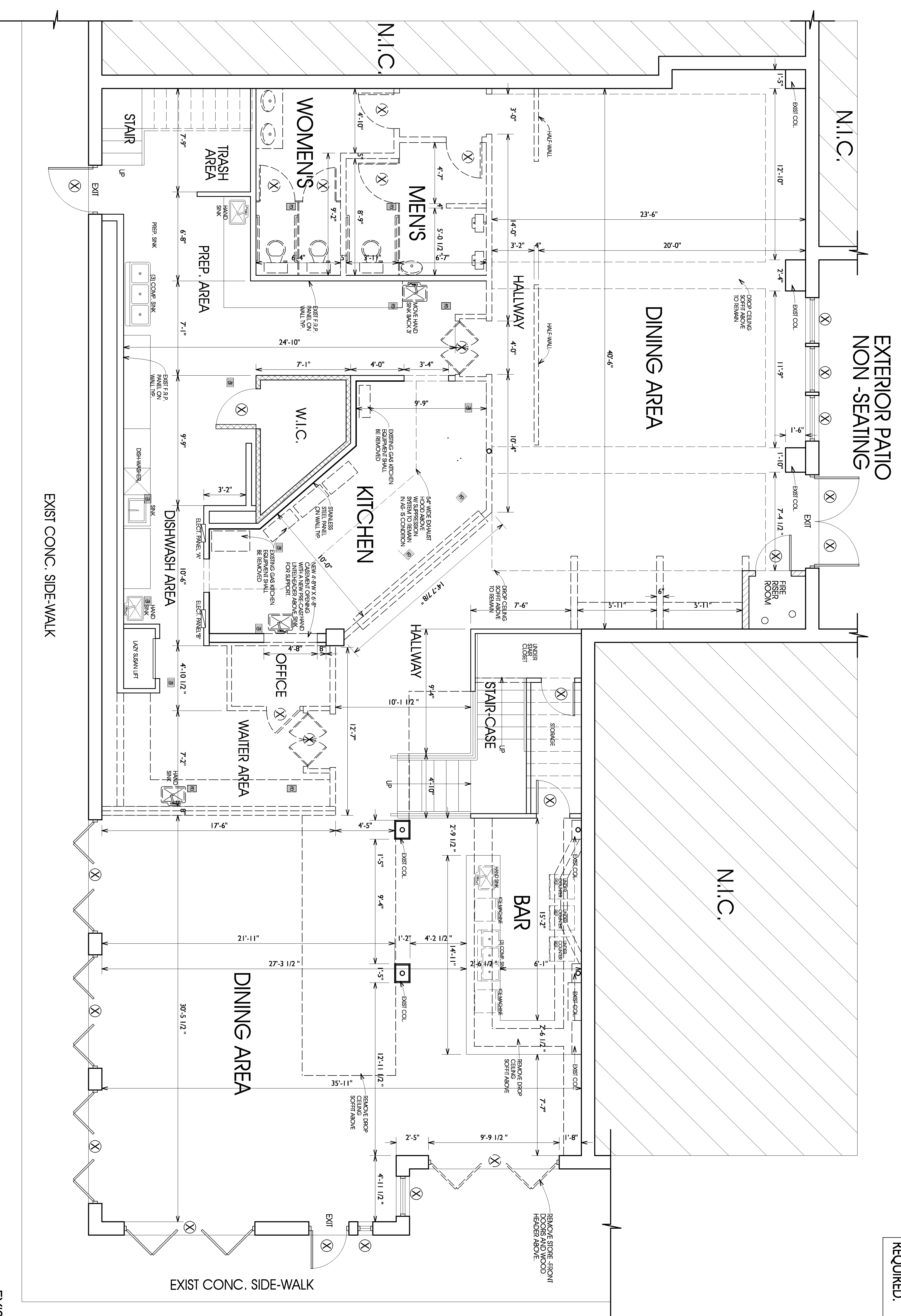
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2012_08_15_0690

8/15/2012

NOTE: NO CHANGE OF OCCUPANCY USE AND EXISTING HVAC SYSTEMS TO REMAIN IN AS-BUILT CONDITION. THEREFORE NO ENERGY OR LOAD CALCULATIONS ARE REQUIRED.



E. CANTON AVE.

N. PARK AVE.

X EXISTING FIRST FLOOR PLAN:
 3,900 S.F. A/C GROSS - AS-BUILT
 SCALE: 1/4" = 1'-0"

EXISTING WALL TABLE/CHART
 - - - - - AREA OF SELECTIVE DEMOLITION
 _____ EXISTING EXTERIOR CMU WALL TO REMAIN
 _____ EXISTING INTERIOR PARTITION WALL TO REMAIN

COPYRIGHT © - BFY ASSOCIATES INC. 2012
 GENERAL NOTES:
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS,
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.

-BFY-
 Associates Inc.
 A.A. 26001107

DESIGN STATEMENT:
 ALL WORK AND ALL CALCULATIONS MUST COMPLY WITH THE 2010 EDITION OF THE FLORIDA BUILDING CODE. BUILDING TO MEET 140 MPH WIND LOAD INTERNAL PRESSURE COEFFICIENT IS 0.18 IN ACCORDANCE WITH SECTION 1609 WIND EXPOSURE - 'C' BUILDING CATEGORY - 'II' IMPORTANCE FACTOR - 'I'

NEW INTERIOR RENOVATION / REMODEL FOR "GALOPIN RESTAURANT"
 PROJECT LOCATION: 358 N. PARK AVE, WINTER PARK, FLORIDA 32789
 GENERAL CONTRACTOR: REEL BUILDERS INC.

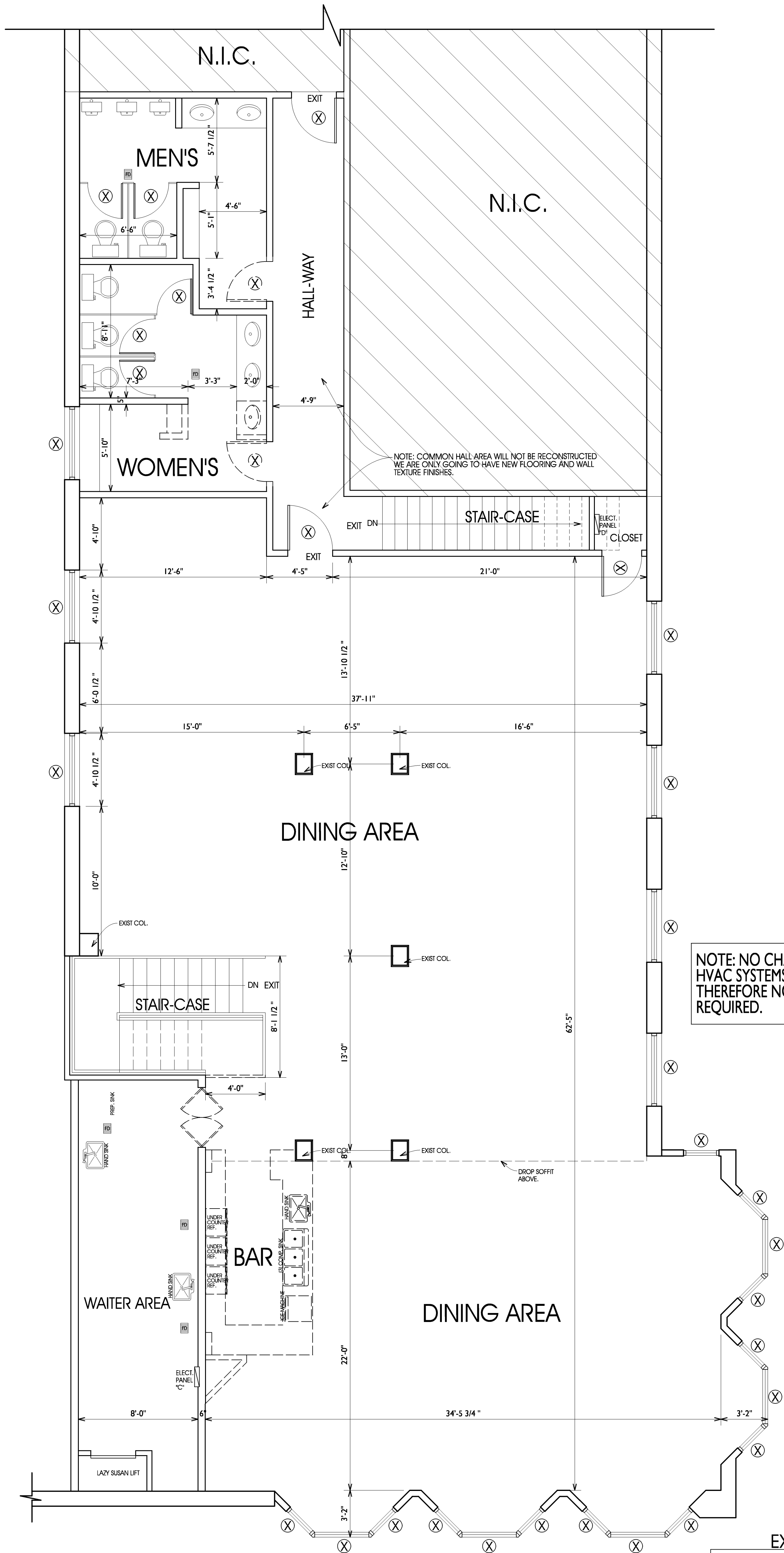
-BFY Associates Inc.
 Consulting/Design/Planning/Architecture/Interior Architecture
 Keren M. Yurkewicz, Architect R.L. Reg. No. AR 001512
 200 Geneva Blvd., Dayton Beach, FL 32118 Ph: 386.256.2181
 Email: bfy@aol.com

EXISTING FIRST FLOOR PLAN
 DATE REVISION: JUNE 27, 2012
 SCALE AS INDICATED

Sharon M. Yurkewicz
 R. Reg. No. AR 001512
 Registered Architect

PERMIT APPLICATION #12-884





NOTE: NO CHANGE OF OCCUPANCY USE, AND EXISTING HVAC SYSTEMS TO REMAIN IN AS-IS CONDITION. THEREFORE NO ENERGY OR LOAD CALCULATIONS ARE REQUIRED.

- EXISTING WALL TABLE/CHART
- AREA OF SELECTIVE DEMOLITION
 - EXISTING EXTERIOR CMU WALL TO REMAIN
 - EXISTING INTERIOR PARTITION WALL TO REMAIN
 - EXISTING EXTERIOR WOOD FRAME WALL TO REMAIN

X EXISTING SECOND FLOOR PLAN:
X-2 3,120 S.F. A/C GROSS AS-BUILT SCALE: 1/4" = 1'-0"

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 GENERAL NOTES:
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS,
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.

B-FY Associates Inc.
 Consulting/Design/Architectural/Interior/Exterior/Construction Management
 Roman M. Yurkiewicz, Architect, F.L. Reg. No. AR 0015112
 200 Glenview Blvd., Daytona Beach, FL 32118 P: 386.729.2561
 Email: rm@bfy.com

DATE REVISION: JUNE 27, 2012
 SCALE: AS INDICATED

EXISTING SECOND FLOOR PLAN

Project: Galopin X2
 Roman Yurkiewicz, Registered Architect
 F.L. Reg. No. AR 0015112

NEW INTERIOR RENOVATION / REMODEL FOR "GALOPIN RESTAURANT"

PROJECT LOCATION: 358 N. PARK AVE, WINTER PARK, FLORIDA 32789
 GENERAL CONTRACTOR: REEL BUILDERS INC.

DESIGN STATEMENT:
 ALL WORK AND ALL CALCULATIONS MUST COMPLY WITH THE 2010 EDITION OF THE FLORIDA BUILDING CODE. BUILDING TO MEET 140 MPH WIND LOAD INTERNAL PRESSURE COEFFICIENT IS 0.18 IN ACCORDANCE WITH SECTION 1609 WIND EXPOSURE - 'C' BUILDING CATEGORY - 'II' IMPORTANCE FACTOR - 'I'

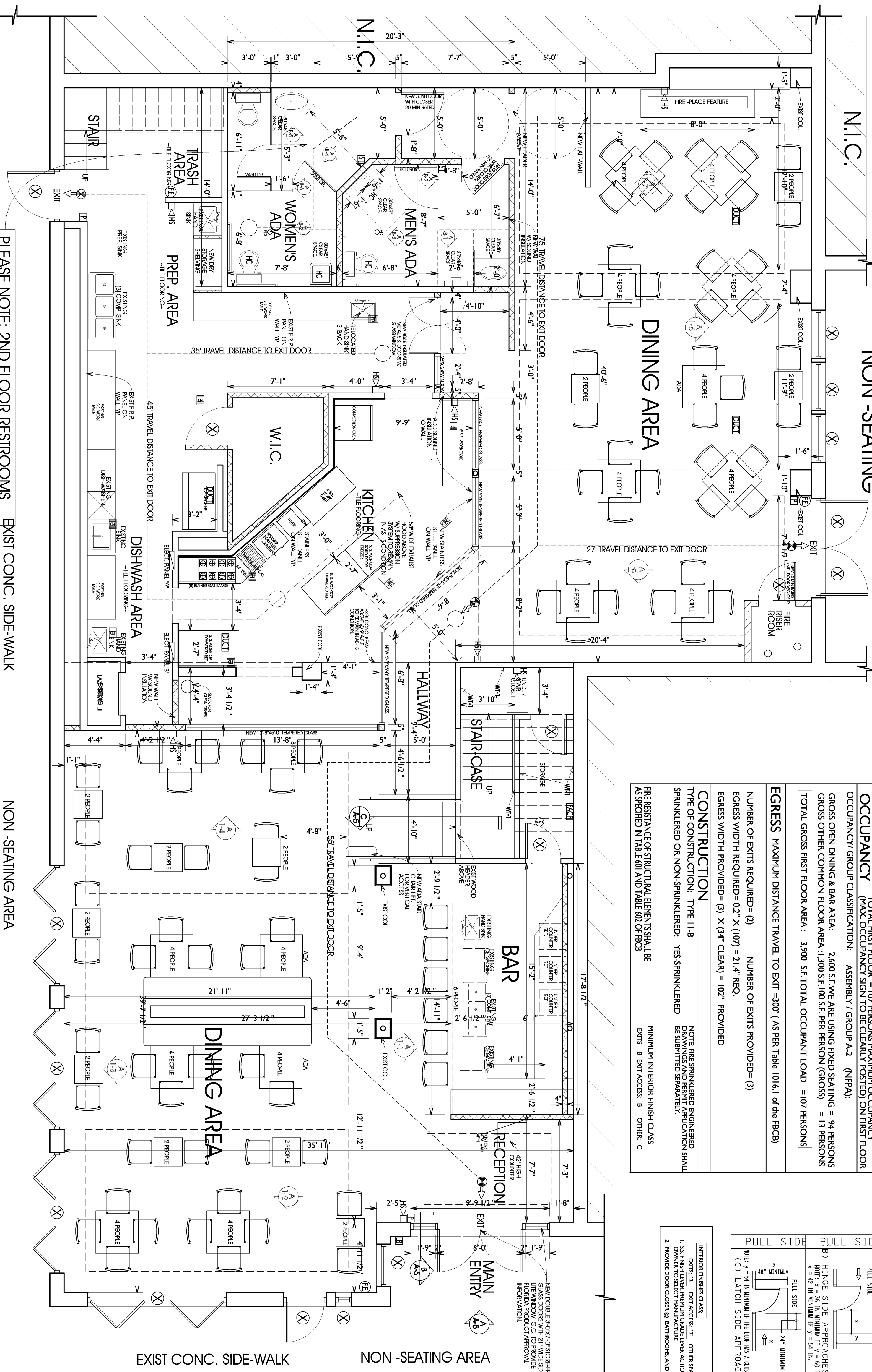
PERMIT APPLICATION #12-884

NORTH

B-FY Associates Inc.
 A.A. 26001107

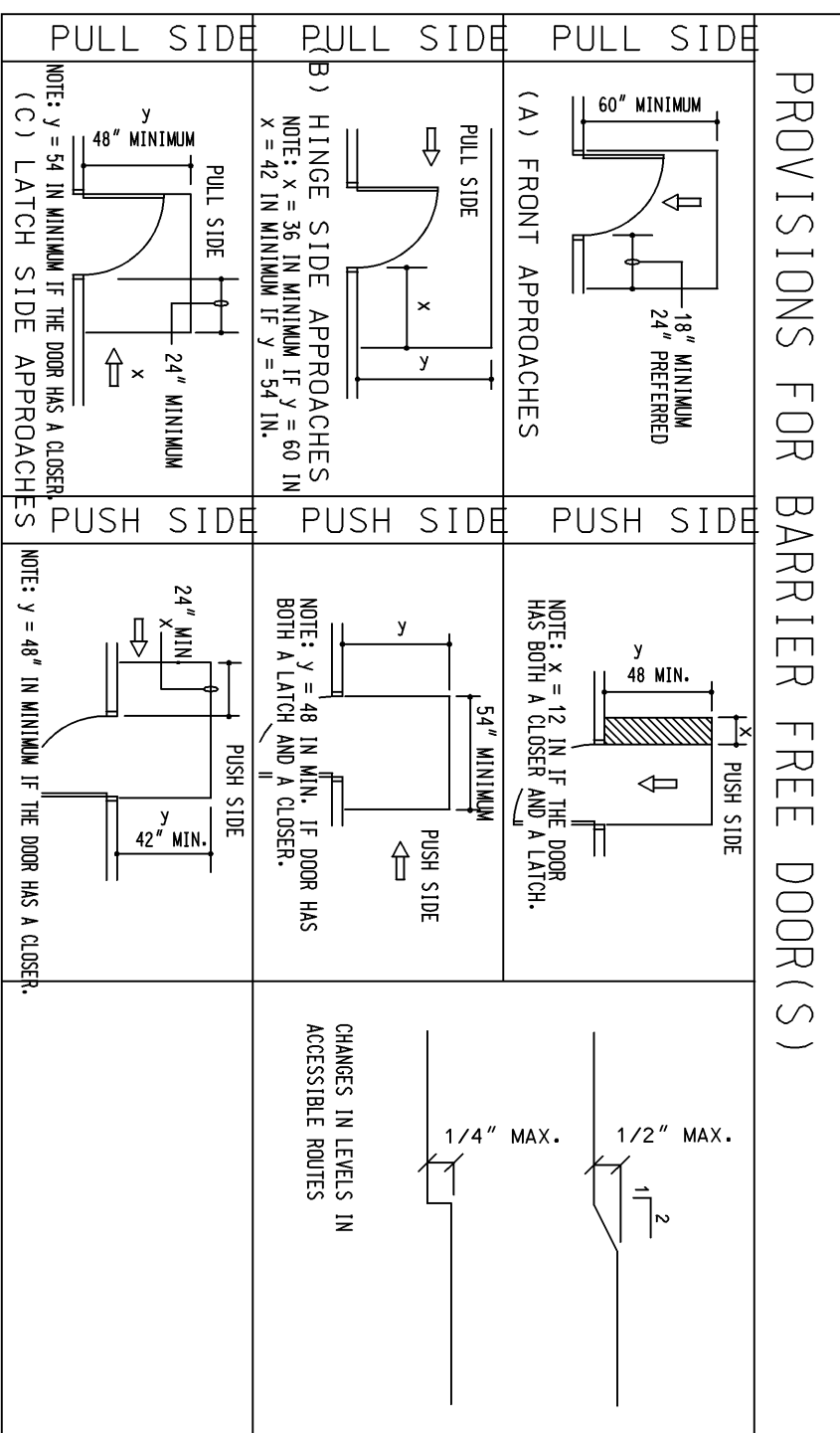
**PUB BUILDING ADD (16 SEATS)
FOR A TOTAL OF 191 SEATS.**

**EXTERIOR PATIO
NON-SEATING**



PLEASE NOTE: 2ND FLOOR RESTROOMS AND FIXTURES SHALL REMAIN IN AS-IS CONDITION/LOCATION. WE ARE GOING TO MODIFY FIRST FLOOR RESTROOMS AND ADD NEW ADA STAIR-CASE CHAIR LIFT TO MEET 20% ADA ACCESSIBLE RULE. TO MEET SECTION 202.4 ALTERATIONS OF 2010 FCC ACCESSIBILITY.

APPLICABLE CODES	
BUILDING:	FBCB 2010 EDITION
PLUMBING:	FBCP 2010 EDITION
LIFE SAFETY:	FBCP 2010 EDITION
MECHANICAL:	FBCM 2010 EDITION
ELECTRICAL:	NEC 2008 EDITION
GAS:	FBCG 2010 EDITION
OCCUPANCY	TOTAL FIRST FLOOR = 107 PERSONS MAXIMUM OCCUPANCY (MAX. OCCUPANCY SIGN TO BE CLEARLY POSTED) ON FIRST FLOOR
OCCUPANCY / GROUP CLASSIFICATION:	ASSEMBLY / GROUP A-2 (N.R.P.A.)
GROSS OPEN DINING & BAR AREA:	2,600 S.F. W/ ARE USING FIXED SEATING = 94 PERSONS
GROSS OTHER COMMON FLOOR AREA:	1,300 S.F. (100 S.F. PER PERSON (GROSS)) = 13 PERSONS
TOTAL GROSS FIRST FLOOR AREA:	3,900 S.F. TOTAL OCCUPANT LOAD = 107 PERSONS
EGRESS	MAXIMUM DISTANCE TRAVEL TO EXIT = 300' (AS PER TABLE 1016.1 OF THE FBCB)
NUMBER OF EXITS REQUIRED = (2)	NUMBER OF EXITS PROVIDED = (3)
EGRESS WIDTH REQUIRED = 0.2" X (107) = 21.4" REQ.	
EGRESS WIDTH PROVIDED = (3) X (4" CLEAR) = 102" PROVIDED	
CONSTRUCTION	TYPE I, II, B
TYPE OF CONSTRUCTION:	YES-SPRINKLERED
SPRINKLERED ON NON-SPRINKLERED:	YES-SPRINKLERED
FIRE RESISTANCE OF STRUCTURAL ELEMENTS SHALL BE AS DESCRIBED IN TABLE 601 AND TABLE 603 OF FBCB	MINIMUM INTERIOR FINISH CLASS EXITS: A. EXIT ACCESS; B. OTHER; C.



LIFE SAFETY LEGEND

- EXIT WILLUM, EXIT SIGN & CLASS ABC MODEL NO. S-992Z UL RATING 1A-10B-C
- AREA CALCULATIONS: GROSS FIRST FLOOR TOTAL AC. AREA: 3,900 SF NUMBER OF TENANTS: 1
- PATH-OF TRAVEL DISTANCE TO EXIT

NOTE: NO CHANGE OF OCCUPANCY USE, AND EXISTING HVAC SYSTEMS TO REMAIN IN AS-IS CONDITION. THEREFORE NO ENERGY OR LOAD CALCULATIONS ARE REQUIRED.

NOTE: EXISTING 54" WIDE EXHAUST HOOD WITH SUPPRESSION SYSTEM TO REMAIN IN AS-IS CONDITION. THIS EXHAUST HOOD WAS PERMITTED PREVIOUSLY BY PREVIOUS RESTAURANT BUSINESS OWNER, AND SHALL REMAIN IN EXACT KITCHEN LOCATION.

HUDSON SECURITY FIRE ALARM CONTRACTOR- FIRE ALARM LEGEND TABLE

- 15 HORN STROBE
- 17 FIRE ALARM PULL STATION
- 18 KEY LOCK BOX
- 20 STROBE
- 21 SMOKE DETECTOR
- 22 FIRE ALARM CONTROL PANEL

ADDENDUM #2 ON JUNE 27, 2012 FOR FIRE ALARM TO PERMIT APPLICATION #12-884

A-1 PROPOSED FIRST FLOOR PLAN:
WITH LIFE SAFETY PLAN 3,900 S.F. A/C GROSS
SCALE: 1/4" = 1'-0"

1ST FLOOR FIXED SEATING: = 94 PEOPLE
2ND FLOOR FIXED SEATING: = 81 PEOPLE
TOTAL FIXED SEATING = 175 PEOPLE

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GENERAL NOTES:
ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS, ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.

-BRY- Associates Inc.
A.A. 26001107

DESIGN STATEMENT:
ALL WORK AND ALL CALCULATIONS MUST COMPLY WITH THE 2010 EDITION OF THE FLORIDA BUILDING CODE. BUILDING TO MEET 140 MPH WIND LOAD INTERNAL PRESSURE COEFFICIENT IS 0.18 IN ACCORDANCE WITH SECTION 1609 WIND EXPOSURE - C BUILDING CATEGORY - "II" IMPORTANCE FACTOR - "I"

PERMIT APPLICATION #12-884

NEW INTERIOR RENOVATION / REMODEL FOR "GALOPIN RESTAURANT"

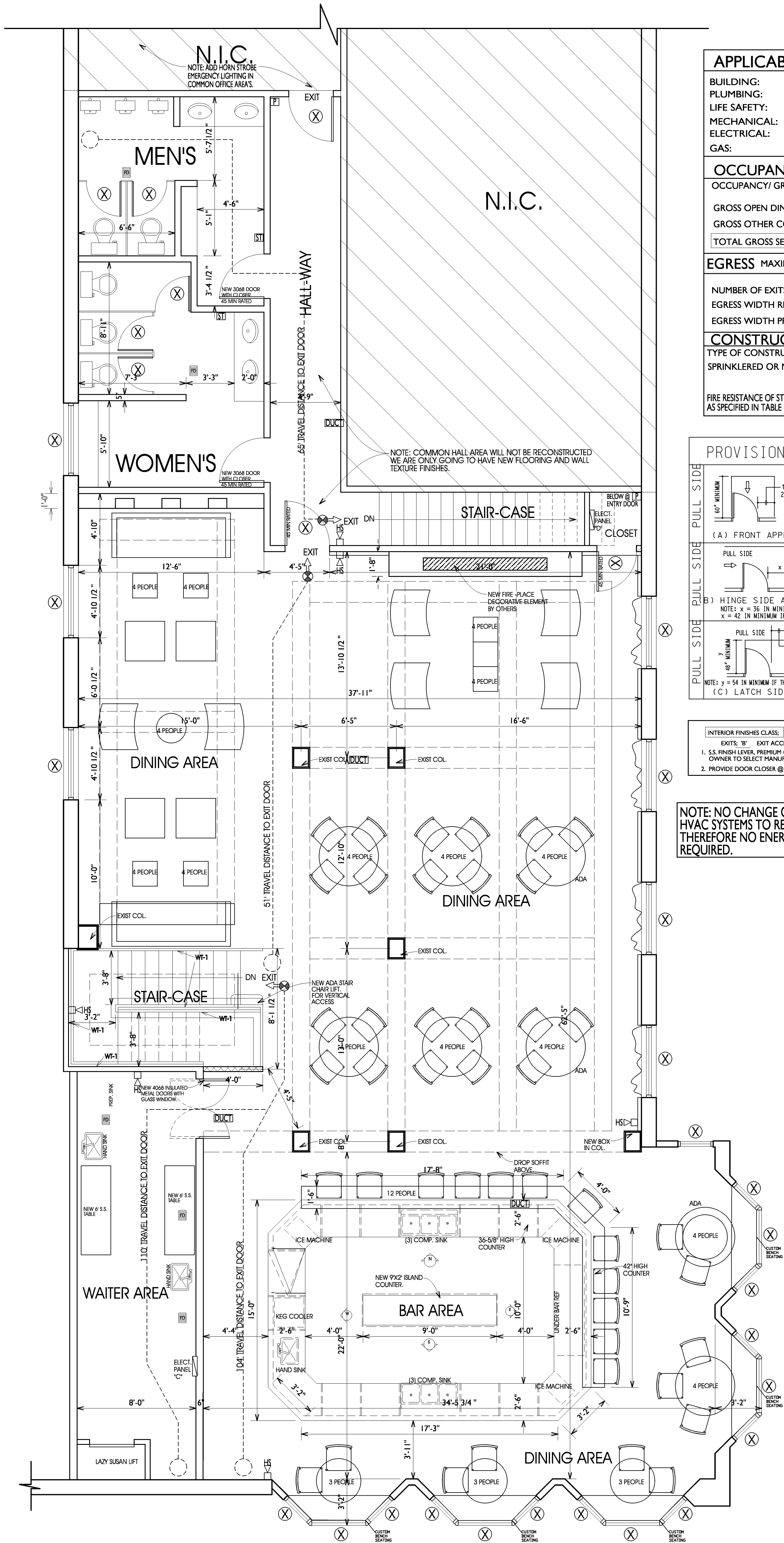
PROJECT LOCATION: 358 N. PARK AVE, WINTER PARK, FLORIDA 32789
GENERAL CONTRACTOR: REEL BUILDERS INC.

-BRY Associates Inc.
200 Geneva Blvd, Dayton Beach, FL 32118 Ph: 386.256.2381
Email: bry@aol.com

DATE REVISION: JUNE 27, 2012
SCALE: AS INDICATED

PROPOSED FIRST FLOOR PLAN

Registered Architect



APPLICABLE CODES	
BUILDING:	FBCB 2010 EDITION
PLUMBING:	FBCB 2010 EDITION
LIFE SAFETY:	FFPC 2010 EDITION
MECHANICAL:	FBCM 2010 EDITION
ELECTRICAL:	NEC 2008 EDITION
GAS:	FBCG 2010 EDITION
OCCUPANCY	
TOTAL SECOND FLOOR = 91 PERSONS MAXIMUM OCCUPANCY (MAX. OCCUPANCY SIGN TO BE CLEARLY POSTED)	
OCCUPANCY / GROUP CLASSIFICATION: ASSEMBLY / GROUP A-2 (NFPA):	
GROSS OPEN DINING & BAR AREA: 2,120 S.F. WE ARE USING FIXED SEATING = 81 PERSONS	
GROSS OTHER COMMON FLOOR AREA : 1,000 S.F. 100 S.F. PER PERSON (GROSS) = 10 PERSONS	
TOTAL GROSS SECOND FLOOR AREA : 3,120 S.F. TOTAL OCCUPANT LOAD = 91 PERSONS	
EGRESS MAXIMUM DISTANCE TRAVEL TO EXIT = 300' (AS PER Table 1016.1 of the FBCB)	
NUMBER OF EXITS REQUIRED = (2) NUMBER OF EXITS PROVIDED = (2)	
EGRESS WIDTH REQUIRED = 0.2" X (91) = 18.2" REQ.	
EGRESS WIDTH PROVIDED = (2) X (34" CLEAR) = 68" PROVIDED	
CONSTRUCTION	
TYPE OF CONSTRUCTION: TYPE II-B	
SPRINKLERED OR NON-SPRINKLERED: YES-SPRINKLERED	
NOTE: FIRE SPRINKLERED ENGINEERED DRAWINGS AND PERMIT APPLICATION SHALL BE SUBMITTED SEPARATELY.	
FIRE RESISTANCE OF STRUCTURAL ELEMENTS SHALL BE AS SPECIFIED IN TABLE 601 AND TABLE 602 OF FBCB	
MINIMUM INTERIOR FINISH CLASS EXITS: B, EXIT ACCESS: B, OTHER: C	

PROVISIONS FOR BARRIER FREE DOOR(S)			
PULL SIDE	(A) FRONT APPROACHES	PUSH SIDE	CHANGES IN LEVELS IN ACCESSIBLE ROUTES
	(B) HINGE SIDE APPROACHES	PUSH SIDE	
PULL SIDE	(C) LATCH SIDE APPROACHES	PUSH SIDE	

INTERIOR FINISHES CLASS:
 EXITS: 'B' EXIT ACCESS; 'B' OTHER SPACES; 'C'
 1. S.S. FINISH LEVER, PREMIUM GRADE LEVER ACTION HARDWARE TO BE USED
 OWNER TO SELECT MANUFACTURE
 2. PROVIDE DOOR CLOSER @ BATHROOMS, AND EXIT EGRESS DOORS

NOTE: NO CHANGE OF OCCUPANCY USE, AND EXISTING HVAC SYSTEMS TO REMAIN IN AS-IS CONDITION, THEREFORE NO ENERGY OR LOAD CALCULATIONS ARE REQUIRED.

LIFE SAFETY LEGEND	
	EXIT WILLUM, EXIT SIGN &
	FIRE EXTINGUISHER PER NFPA 10, CLASS ABC, MODEL NO. S-9872, UL RATING 1A: 10B: C
	PATH OF TRAVEL DISTANCE TO EXIT
AREA CALCULATIONS: GROSS	
FIRST FLOOR	
TOTAL A/C AREA: 3,120 SF	
NUMBER OF TENANTS: 1	

-HUDSON SECURITY FIRE ALARM CONTRACTOR-

FIRE ALARM LEGEND TABLE	
	HOORN STROBE
	FIRE ALARM (PULL STATION)
	KEY LOCK BOX
	STROBE
	SMOKE DETECTOR
	FIRE ALARM CONTROL PANEL

ADDENDUM #2 ON JUNE 27, 2012 FOR FIRE ALARM TO PERMIT APPLICATION #12-884

1ST FLOOR FIXED SEATING: = 94 PEOPLE
 2ND FLOOR FIXED SEATING: = 81 PEOPLE
 TOTAL FIXED SEATING = 175 PEOPLE

A A-2 PROPOSED SECOND FLOOR PLAN: WITH LIFE SAFETY PLAN 3,120 S.F. A/C GROSS WITH FIRE ALARM SCALE: 1/4" = 1'-0"

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 GENERAL NOTES:
 ALL GENERAL & SUB-CONTRACTORS TO FIELD VERIFY ALL DIMENSIONS.
 ELECTRICAL, WATER, SEWER AND GAS SERVICE LOCATIONS.

-BFY Associates Inc.
 Consulting/Design/Engineering/Architecture/Interior
 200 Geneva Blvd, Dayton, OH 45424
 Phone: 937.233.2281
 Email: info@bfy.com

PROPOSED SECOND FLOOR PLAN

DATE REVISION: JUNE 27, 2012
 SCALE AS INDICATED

Shawn A.2
 Roman Yurkewicz
 Registered Architect

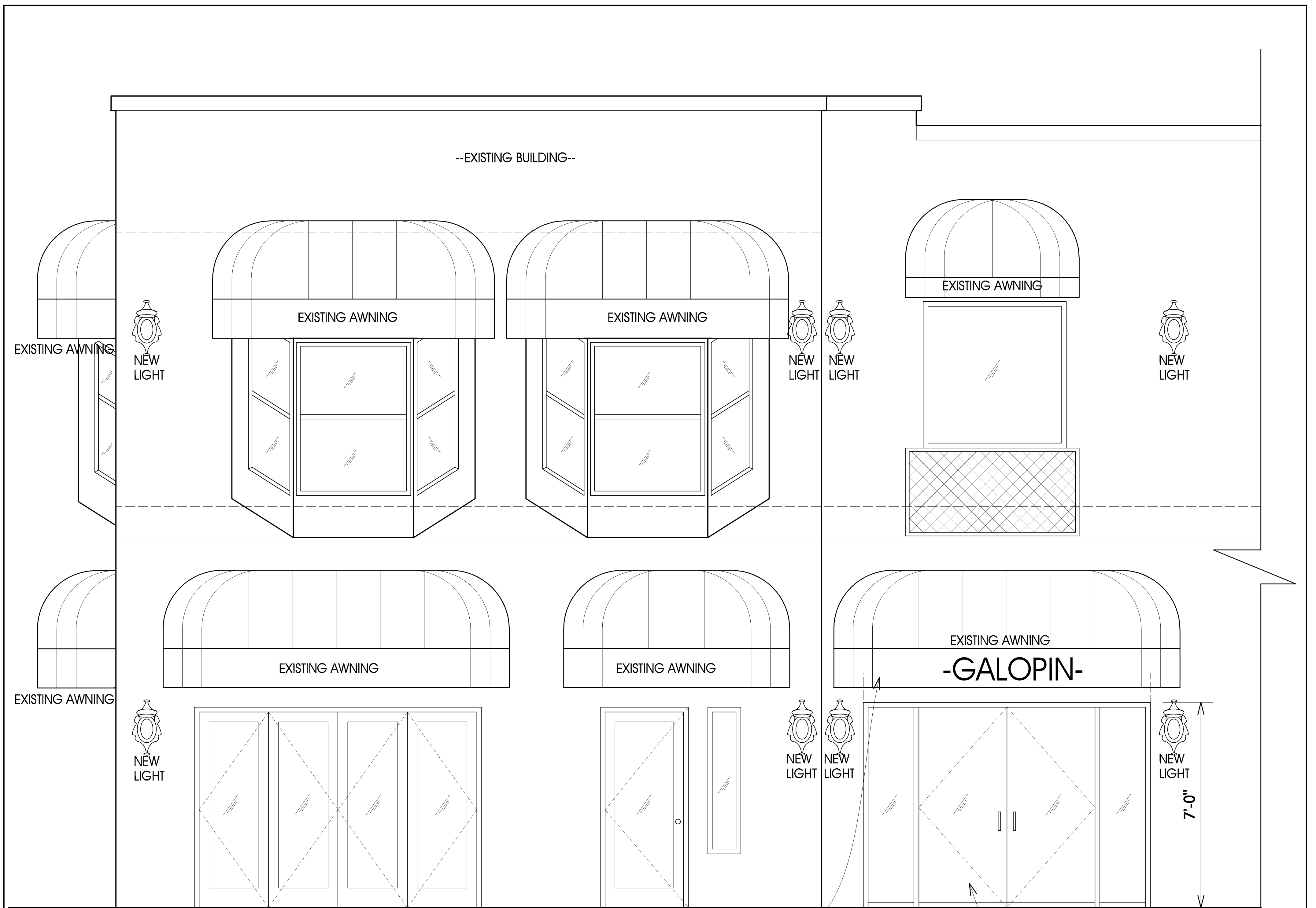
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 BUILDING CATEGORY - 'II'
 IMPORTANCE FACTOR - '1'

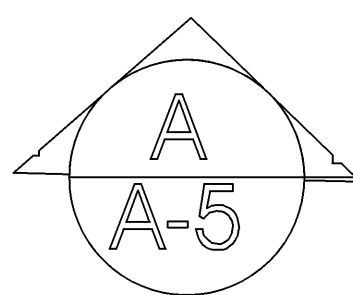
PERMIT APPLICATION #12-884

-BFY-
 Associates Inc.
 A.A. 26001107

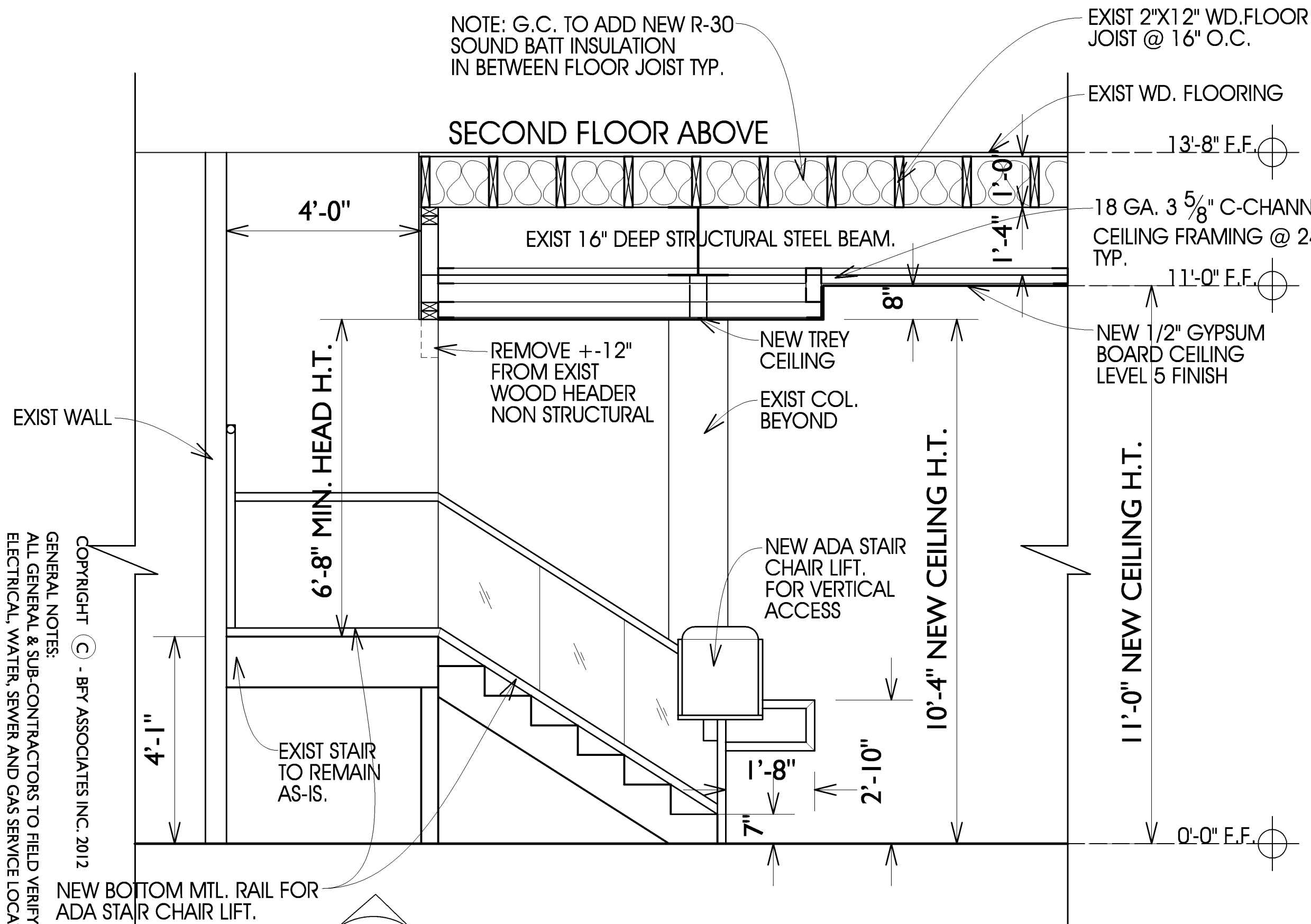


NOTE: EXISTING 2"x12" TRIPLE WOOD HEADER/BREAM TO REMAIN IN AS- IS CONDITION

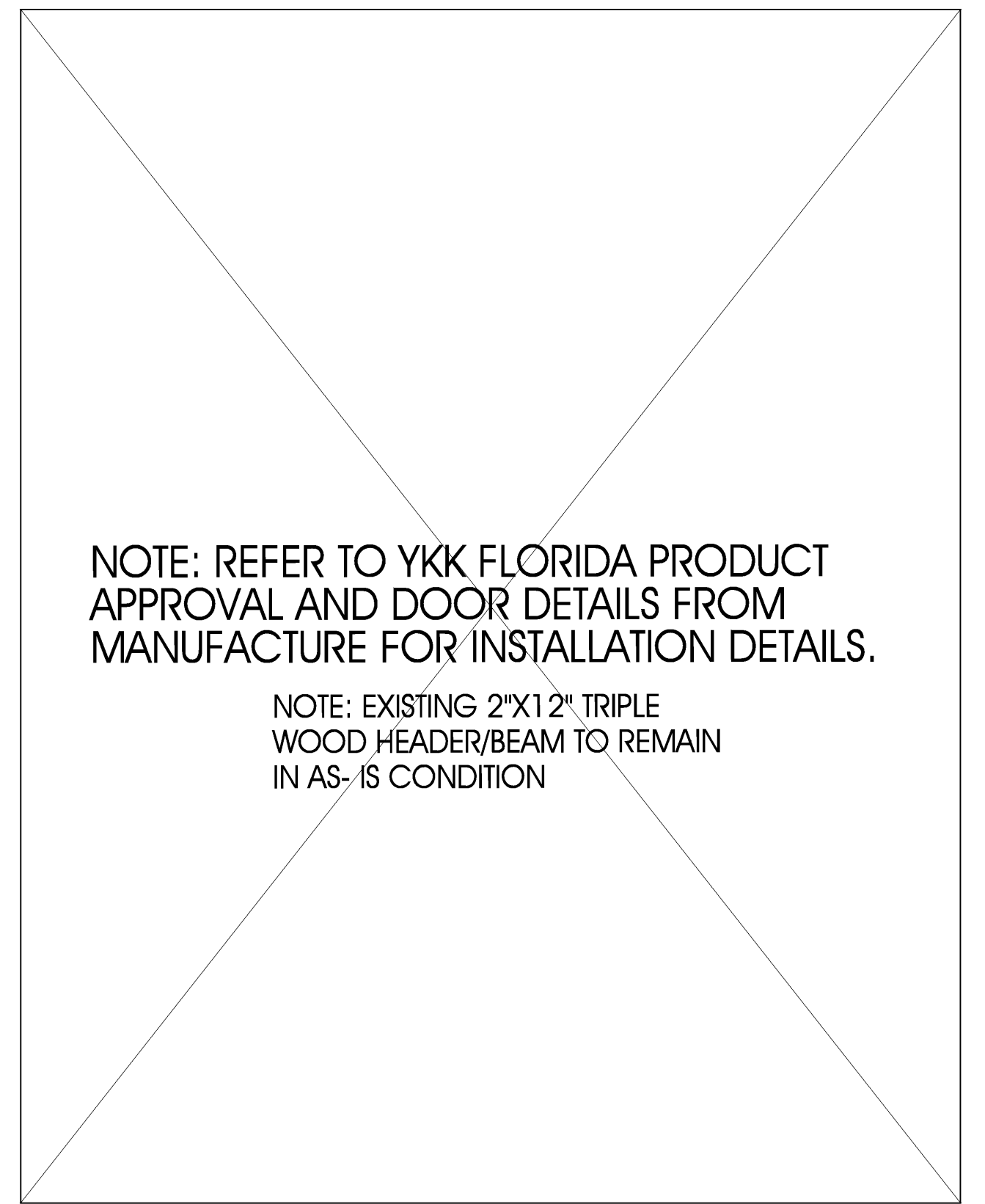
NEW DOUBLE 3'-0"x 7'-0" STORE-FRONT GLASS DOORS WITH 21" WIDE SIDE LITE WINDOW. G.C. TO PROVIDE FLORIDA PRODUCT APPROVAL INFORMATION.



PROPOSED FRONT BUILDING ELEVATION:
SCALE: 1/2" = 1'-0"

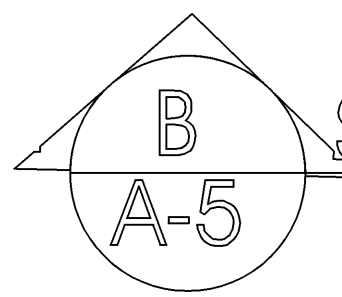


STAIR SECTION DETAIL:
SCALE: 1/2" = 1'-0"



NOTE: REFER TO YKK FLORIDA PRODUCT APPROVAL AND DOOR DETAILS FROM MANUFACTURE FOR INSTALLATION DETAILS.

NOTE: EXISTING 2"x12" TRIPLE WOOD HEADER/BREAM TO REMAIN IN AS- IS CONDITION



STORE-FRONT SECTION DETAIL:
SCALE: 1/2" = 1'-0"

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200 Geneva Blvd, Daytona Beach, FL 32118 Ph: 386.259.2381
Email: bfy@aol.com

Consulting: Design/Build/Manage/Operate/Finance
Roman M. Yurkewicz, Architect P.L.L.C. No. A4 0101512

REGISTRATION NO. 1512
Roman Yurkewicz
Registered Architect

B-F-Y Associates Inc.

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NORTH