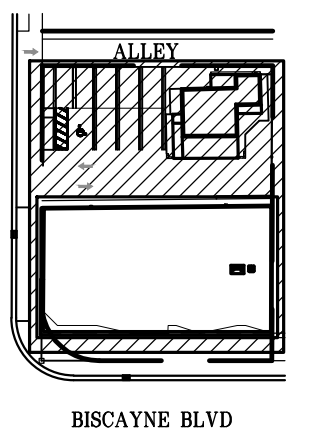


Renovations to
Commercial Buildings

7541 Biscayne Boulevard
Miami, FL 33138

Owners:
7541 Biscayne LLC



SITE LOCATOR

Mark	Date	Description

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS
SHOWN OR REPRESENTED BY THIS DRAWING
ARE OWNED BY, AND THE PROPERTY OF,
THE ARCHITECT AND WILL BE KEPT, STORED
AND DEVELOPED USE ON AND CONNECTION
WITH THE SPECIFIC PROJECT, NONE OF
WHICH SHALL BE USED BY OR DISCLOSED TO
ANY PERSON, FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT THE EXPRESS
WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF
KEY BISCAIYNE, INC.

ARCHITECT
ROBERT JOHN GRABOSKI, A.R. 0091596

PROJECT Yr. : 2013

CAD DWG FILE : 7541 Biscayne

DRAWN BY : R.J.

CHECKED BY : R.J.

SHEET TITLE

Ground Floor

Demolition PLAN

SHEET No.

A.A. 26002085

PROJECT Yr. : 2013

CAD DWG FILE : 7541 Biscayne

DRAWN BY : R.J.

CHECKED BY : R.J.

SHEET TITLE

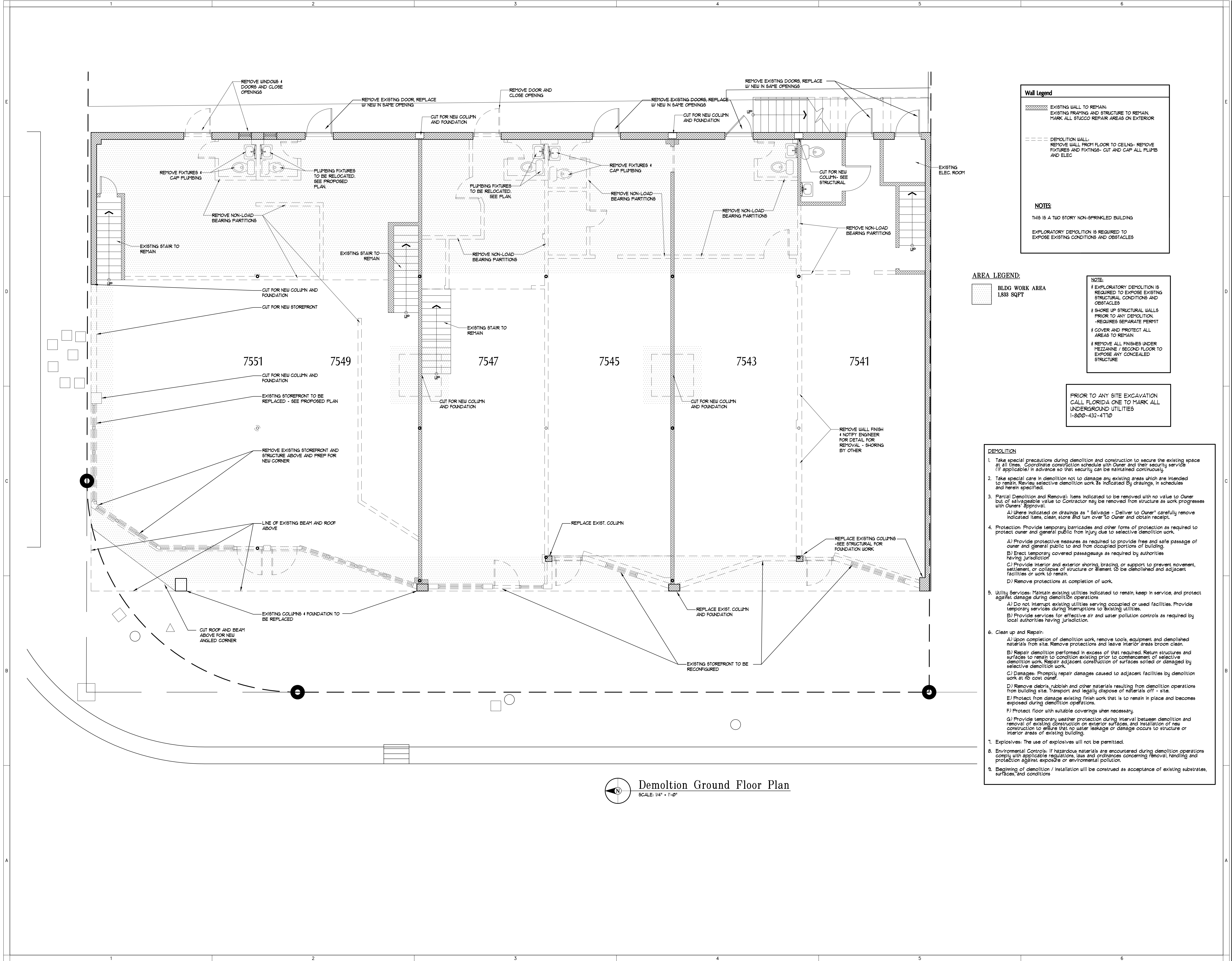
Ground Floor

Demolition PLAN

SHEET No.

A1.01

Sheet - of -



Wall Legend

EXISTING WALL TO REMAIN
EXISTING FRAMING AND STRUCTURE TO REMAIN
MARK ALL STUCCO REPAIR AREAS ON EXTERIOR

DEMOLITION WALL:
REMOVE WALL FROM FLOOR TO CEILING - REMOVE
FIXTURES AND FIXTURES - CUT AND CAP ALL FLUITS
AND ELEC

NOTES

THIS IS A TWO STORY NON-SPRINKLED BUILDING

EXPLORATORY DEMOLITION IS REQUIRED TO
EXPOSE EXISTING CONDITIONS AND OBSTACLES

AREA LEGEND:

BLDG WORK AREA
1,833 SQFT

NOTE:

- EXPLORATORY DEMOLITION IS REQUIRED TO EXPOSE EXISTING STRUCTURAL CONDITIONS AND OBSTACLES
- SHORE UP STRUCTURAL WALLS PRIOR TO ANY DEMOLITION - REQUIRES SEPARATE PERMIT
- COVER AND PROTECT ALL AREAS TO REMAIN
- REMOVE ALL FINISHES UNDER MEZZANINE / SECOND FLOOR TO EXPOSE ANY CONCEALED STRUCTURE

PRIOR TO ANY SITE EXCAVATION
CALL FLORIDA ONE TO MARK ALL
UNDERGROUND UTILITIES
1-800-432-4710

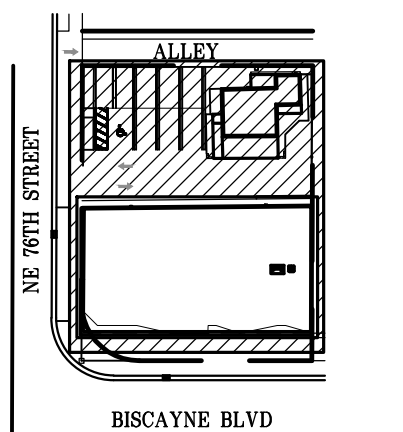
- DEMOLITION**
- Take special precautions during demolition and construction to secure the existing space at all times. Coordinate construction schedule with Owner and their security service (if applicable) in advance so that security can be maintained continuously.
 - Take special care in demolition not to damage any existing areas which are intended to remain. Review selective demolition work as indicated by drawings, in schedules and herein specified.
 - Partial Demolition and Removal: Items indicated to be removed with no value to Owner but of salvageable value to Contractor may be removed from structure as work progresses with Owners' approval.
 - A) Where indicated on drawings as "Salvage - Deliver to Owner" carefully remove indicated items, clean, store and turn over to Owner and obtain receipts.
 - Protection: Provide temporary barricades and other forms of protection as required to protect owner and general public from injury due to selective demolition work.
 - A) Provide protective measures as required to provide free and safe passage of owner and general public to and from occupied portions of building.
 - B) Erect temporary covered passageways as required by authorities having jurisdiction.
 - C) Provide interior and exterior shoring, bracing or support to prevent movement, settlement, or collapse of structure or element to be demolished and adjacent facilities or work to remain.
 - D) Remove protections at completion of work.
 - Utility Services: Maintain existing utilities indicated to remain, keep in service, and protect against damage during demolition operations.
 - A) Do not interrupt existing utilities serving occupied or used facilities. Provide temporary services during interruptions to existing utilities.
 - B) Provide services for effective air and water pollution controls as required by local authorities having jurisdiction.
 - Clean up and Repair:
 - A) Upon completion of demolition work, remove tools, equipment and demolished materials from site. Remove protections and leave interior areas broom clean.
 - B) Repair demolition performed in excess of that required. Return structures and surfaces to remain to condition existing prior to commencement of selective demolition work. Repair adjacent construction of surfaces soiled or damaged by selective demolition work.
 - C) Damages: Promptly repair damages caused to adjacent facilities by demolition work at no cost owner.
 - D) Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose of materials off - site.
 - E) Protect from damage existing finish work that is to remain in place and becomes exposed during demolition operations.
 - F) Protect floor with suitable coverings when necessary.
 - G) Provide temporary weather protection during interval between demolition and removal of existing construction on exterior surfaces, and installation of new construction to ensure that no water leakage or damage occurs to structure or interior areas of existing building.
 - Explosives: The use of explosives will not be permitted.
 - Environmental Controls: If hazardous materials are encountered during demolition operations comply with applicable laws and ordinances concerning removal, handling and protection against exposure or environmental pollution.
 - Beginning of demolition / installation will be construed as acceptance of existing substrates, surfaces, and conditions

Demolition Ground Floor Plan
SCALE: 1/4" = 1'-0"

Renovations to Commercial Buildings

7541 Biscayne Boulevard
Miami, FL 33138

Owners:
7541 Biscayne LLC
1244 Michigan Avenue
Miami Beach, FL 33139
305.905.2803



SITE LOCATOR

Mark	Date	Description
4/22/16		Big Comments
4/30/16		Shop Zoning Comments
10/10/16		HEP Waiver
8/16/14		Permit Set
4/16/14		HEP Rev. Comments
4/16/14		HEP Rev. Comments
3/16/14		HEP - Add'l to Mfg
3/7/14		HEP - mfg w/ staff

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHOWN OR REFERENCED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE ARCHITECT AND SHALL BE KEPT IN CONFIDENCE AND DEVELOPED USE ONLY IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF ANY PARTS, FIGS. OR CONNECTIONS FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF KEY BISCAYNE, INC.

ARCHITECT: ROBERT JOHN GRANSKI, AIA, 0091598

AA. 26002086
PROJECT Yr. : 2013
CAD DWG FILE : 7541 Biscayne
DRAWN BY :
CHECKED BY : R.J.
SHEET TITLE
Front Building
Ground Floor Plan

SHEET No.
A2.01
Sheet - of -

Wall Legend

- EXISTING WALL + STRUCTURE TO REMAIN:
COORDINATE NEW WORK AS NECESSARY.
REPLACE ALL INTERIOR FINISHES AS PER WALL TYPE BELOW
- 3 HR SEPARATION CBS WALL:
EXISTING CBS STRUCTURE TO REMAIN WITH NEW EXTENSION ABOVE. PATCH + REPAIR OR REPLACE AS NECESSARY FROM NEW WORK FOR UL 263 RATING. DESIGN NO. US04
- NEW MASONRY INFILL:
8" CMU w/ No. 3 LADDER TYPE JT REIN. # 16" O.C. 5/8" SMOOTH STUCCO (EXT.) AND 5/8" SHEETROCK BRAND MOLD TOUGH GYPSUM WALL BOARD w/ SMOOTH FINISH OVER 1 X 2 FT. LD. FURRING # 16" O.C. AND R-42 FOIL BACK INSUL.
- 2 HR RATED PARTITION WALL:
5 5/8" 18 GA. METAL STUDS # 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE.
- PARTITION WALL:
3 5/8" 20 GA. METAL STUDS # 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE w/ 3-1/2" FIBERGLASS BATT INSUL.
- PARTITION WALL:
3 5/8" 20 GA. METAL STUDS # 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE w/ 3-1/2" FIBERGLASS BATT INSUL.

NOTE:
USE 1/2" CEMENT BOARD w/ BUILDING PAPER BACKING FOR ALL WALLS WITH TILE STONE FINISH. PROVIDE MOIST RESISTANT BOARD ON WALLS TO RECEIVE PAINT AT BATHS (SEE GENERAL NOTES).

FIRE SEPARATION TO BE MAINTAINED.
PROVIDE 5/8" TYPE "X" GYP BOARD w/ UL263 FINISH RATING. FIRE STOP, CALK, PATCH AND BAND AS PER TOP AND BOTTOM JOINT ASSEMBLIES.

PROVIDE BLOCKING IN WALLS FOR MILLWORK, APPLIANCES, PLUMBING FIXTURES + ACCESSORIES.

NOTE:
PROVIDE LEVEL LANDING AT DOOR ENTRANCES CONFORMING WITH FBC ACCESSIBILITY SECTION 403. RAMPING SLOPE NOT TO EXCEED 1:8 OR 5%. THE CROSS SLOPE OF WALKING SURFACE SHALL NOT EXCEED 1:48.

MANEUVERING CLEARANCE TO COMPLY WITH FBC ACCESSIBILITY SECTION 404.2.4 AND TABLE 404.2.4.1.
FRONT APPROACH/ FULL SHALL PROVIDE 60" PERPENDICULAR TO DOORWAY WITH 18" PARALLEL TO DOORWAY BEYOND LATCH SIDE.
LATCH SIDE APPROACH/ FULL SHALL PROVIDE 48" PERPENDICULAR TO DOORWAY WITH 24" PARALLEL TO DOORWAY BEYOND LATCH SIDE.

OCCUPANCY NFPA CLASSIFICATION:
EXIST. MERCANTILE, ASSEMBLY GROSS AREA: CLASS B (a)
EXIST. MERCANTILE, 2HR SEPARATED AREAS: CLASS C

OCCUPANCY LOAD:
1ST FLOOR RETAIL AREA: 4,956
2ND FLOOR RETAIL AREA: 1,011
MEZZANINE STORAGE: 1,063
TOTAL AREA: 1,036 SQFT

*01 1ST FLOOR: 1,498 SQFT AND FLOOR: 1,011
*02 15'3" MERC X 33' + 504 SQFT 4TH MEZZANINE/ STOR PROVIDED
*03 15'3" MERC X 33' + 636 SQFT 5TH MEZZANINE/ STOR PROVIDED

OCCUPANT LOAD:
*01 1,498 MERC / 30 GROSS + 1,011 STOR / 60 GROSS = 61 OCC.
*02 15'3" MERC / 30 GROSS + 413 STOR / 300 GROSS = 92 OCC.
*03 15'3" MERC / 30 GROSS + 596 STOR / 300 GROSS = 66 OCC.

EGRESS:
*01 61 OCC. X 2 = 122' MIN. 32" REQ. 36" PROVIDED
*02 92 OCC. X 2 = 184' MIN. 32" REQ. 36" PROVIDED
*03 66 OCC. X 2 = 132' MIN. 32" REQ. 36" PROVIDED

EGRESS REQUIREMENTS:
TRAVEL DISTANCE IN NON-SPRINKLERED BLDG PER NFPA 101 317.6
-OCCUPANCY "M" EXIT ACCESS MAXIMUM TRAVEL DISTANCE: 50 FEET

MEANS OF EGRESS:
EGRESS PATH LESS THAN 10'
DIRECTION OF EGRESS

NOTE: BUILDING NOT COVERED BY FIRE SPRINKLER SYSTEM

FIRE ALARM:
NOT REQUIRED PER NFPA 313.4
BUILDING IS CLASS B (b)

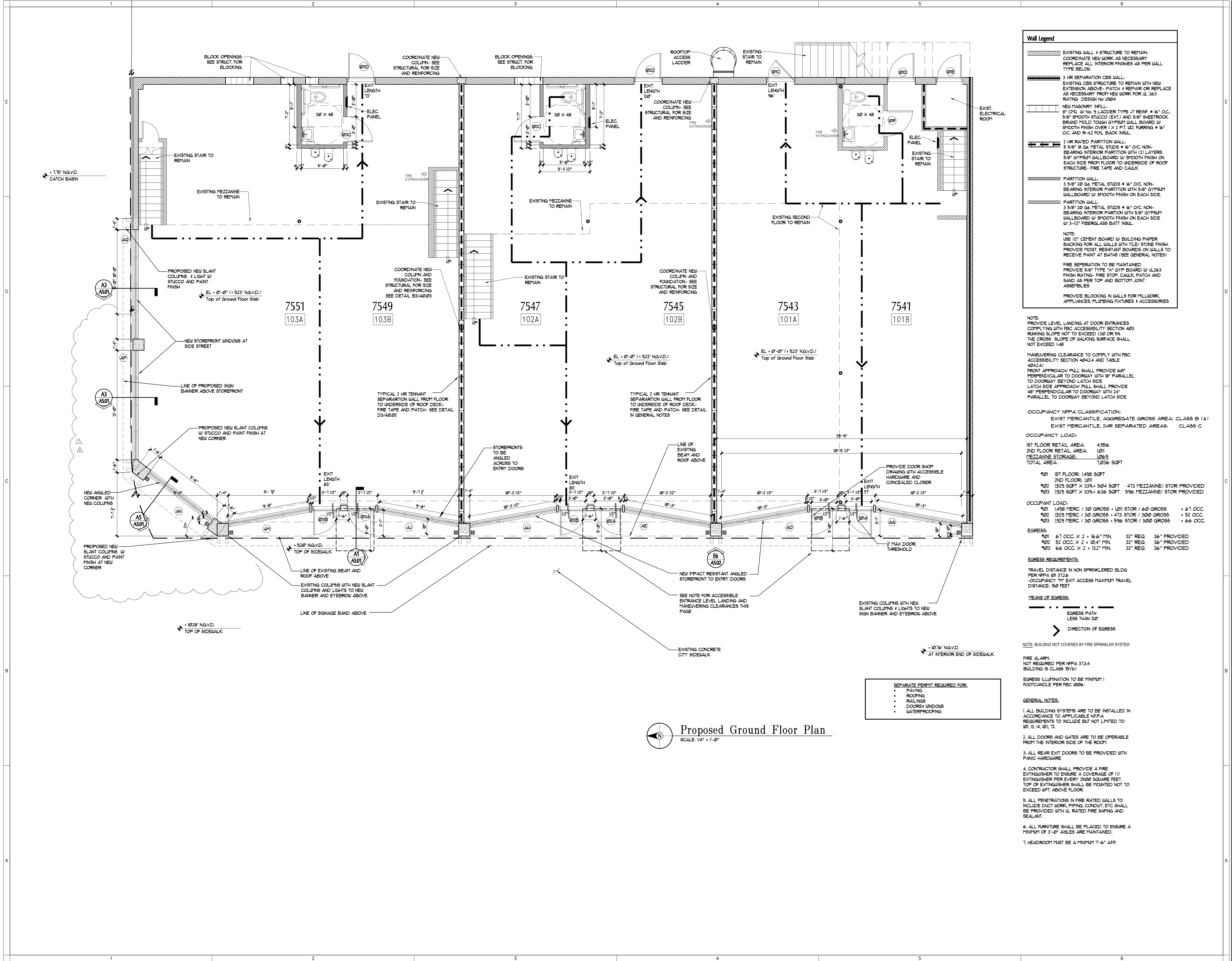
EGRESS ILLUMINATION TO BE MINIMUM 1 FOOTCANDLE PER FBC 1006.

- GENERAL NOTES:
- ALL BUILDING SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE TO APPLICABLE NFPA REQUIREMENTS TO INCLUDE BUT NOT LIMITED TO 101, 13, 14, 101, 12.
 - ALL DOORS AND GATES ARE TO BE OPERABLE FROM THE INTERIOR SIDE OF THE ROOM.
 - ALL REAR EXIT DOORS TO BE PROVIDED WITH PANIC HARDWARE.
 - CONTRACTOR SHALL PROVIDE A FIRE EXTINGUISHER TO ENSURE A COVERAGE OF (1) EXTINGUISHER PER EVERY 2500 SQUARE FEET. TOP OF EXTINGUISHER SHALL BE MOUNTED NOT TO EXCEED 6FT. ABOVE FLOOR.
 - ALL PENETRATIONS IN FIRE RATED WALLS TO INCLUDE DUCT WORK, PIPING, CONDUIT, ETC SHALL BE PROVIDED WITH UL RATED FIRE SAFING AND SEALANT.
 - ALL FURNITURE SHALL BE PLACED TO ENSURE A MINIMUM OF 3'-0" AISLES ARE MAINTAINED.
 - HEADROOM MUST BE A MINIMUM 7'-6" AFF.

SEPARATE PERMIT REQUIRED FOR:
• PAVING
• ROOFING
• RAILINGS
• DOORS + WINDOWS
• WATERPROOFING

Proposed Ground Floor Plan

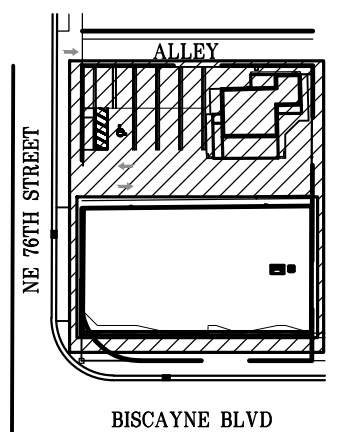
SCALE: 1/4" = 1'-0"



Renovations to Commercial Buildings

7541 Biscayne Boulevard
Miami, FL 33138

Owners:
7541 Biscayne LLC
1244 Michigan Avenue
Miami Beach, FL 33139
305.905.2803



SITE LOCATOR

Mark	Date	Description
4/22/16	4/22/16	Big Comments
4/30/16	4/30/16	Stop Zoning Comments
10/10/14	10/10/14	HEP Waiver
8/16/14	8/16/14	Permit Set
4/16/14	4/16/14	HEP rev. comments
4/16/14	4/16/14	HEP Res. Comments
5/16/14	5/16/14	HEP -Agr 1st Mtg
3/7/14	3/7/14	HEP -mtg w/ staff

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS SHOWN OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE ARCHITECT AND WILL BE KEPT, STORED AND DEVELOPED USE ON AND CONNECTION WITH THE SPECIFIED PROJECT. NONE OF ANY PARTS, FIGURES OR INFORMATION OF ANY KIND SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF KEY BISCAYNE, INC.

ARCHITECT: ROBERT JOHN GRADSKI, A.A. 0091598

A.A. 26002085
PROJECT Yr. : 2013
CAD DWG FILE : 7541 Biscayne
DRAWN BY :
CHECKED BY : R.J.

SHEET TITLE
Front Building 2nd Floor Plan

SHEET No.
A2.02
Sheet - of -

Wall Legend

- EXISTING WALL & STRUCTURE TO REMAIN: COORDINATE NEW WORK AS NECESSARY. REPLACE ALL INTERIOR FINISHES AS PER WALL TYPE BELOW.
- 3 HR SEPARATION CBS WALL: EXISTING CBS STRUCTURE TO REMAIN WITH NEW EXTENSION ABOVE. PATCH & REPAIR OR REPLACE AS NECESSARY FROM NEW WORK FOR UL 263 RATINGS DESIGN NO. US-4.
- NEW MASONRY INFILL: 8" CMU w/ No. 3 LADDER TYPE JT. REIN. @ 16" O.C. 5/8" SMOOTH STUCCO (EXT.) AND 5/8" SHEETROCK BRAND MOLD TOUGH GYPSUM WALL BOARD w/ SMOOTH FINISH OVER 1" X 2" FT. U.D. FURRING @ 16" O.C. AND R-42 FOIL BACK INSUL.
- 2 HR RATED PARTITION WALL: 5 5/8" @ 6" G6 METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH (2) LAYERS 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE FROM FLOOR TO UNDERSIDE OF ROOF STRUCTURE. FIRE TAPE AND CAULK.
- PARTITION WALL: 3 5/8" @ 6" G6 METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE.
- PARTITION WALL: 3 5/8" @ 6" G6 METAL STUDS @ 16" O.C. NON-BEARING INTERIOR PARTITION WITH 5/8" GYPSUM WALLBOARD w/ SMOOTH FINISH ON EACH SIDE w/ 3-1/2" FIBERGLASS BATT INSUL.

NOTE:
USE 1/2" CEMENT BOARD w/ BUILDING PAPER BACKING FOR ALL WALLS WITH TILE STONE FINISH. PROVIDE MOIST RESISTANT BOARDS ON WALLS TO RECEIVE PAINT AT BATHS (SEE GENERAL NOTES).

FIRE SEPARATION TO BE MAINTAINED. PROVIDE 5/8" TYPE "X" GYP BOARD w/ UL263 FINISH RATINGS. FIRE STOP CAULK PATCH AND SAND AS PER TOP AND BOTTOM JOINT ASSEMBLIES.

PROVIDE BLOCKING IN WALLS FOR MILLWORK, APPLIANCES, PLUMBING FIXTURES & ACCESSORIES.

NOTE:
PROVIDE LEVEL LANDING AT DOOR ENTRANCES COMPLYING WITH FBC ACCESSIBILITY SECTION 409. RUNNING SLOPE NOT TO EXCEED 1:20 OR 5%. THE CROSS SLOPE OF WALKING SURFACE SHALL NOT EXCEED 1:48.

MANEUVERING CLEARANCE TO COMPLY WITH FBC ACCESSIBILITY SECTION 404.2.4 AND TABLE 404.2.1.
FRONT APPROACH/ FULL SHALL PROVIDE 60" PERPENDICULAR TO DOORWAY WITH 18" PARALLEL TO DOORWAY BEYOND LATCH SIDE.
LATCH SIDE APPROACH/ FULL SHALL PROVIDE 48" PERPENDICULAR TO DOORWAY WITH 24" PARALLEL TO DOORWAY BEYOND LATCH SIDE.

OCCUPANCY NFPA CLASSIFICATION:
EXIST. MERCANTILE, AGGREGATE GROSS AREA: CLASS B (b)
EXIST. MERCANTILE, 2HR SEPARATED AREAS: CLASS C

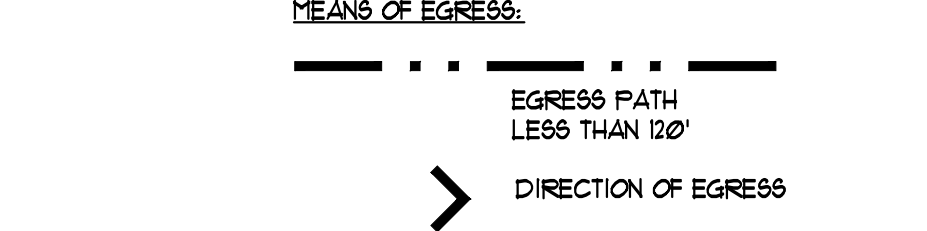
OCCUPANCY LOAD:
1ST FLOOR RETAIL AREA: 4,956
2ND FLOOR STORAGE: 1,011
MEZZANINE STORAGE: 1,063
TOTAL AREA: 1,036 SQFT

OCCUPANT LOAD:
101 1,498 MERC / 30 GROSS + 1,011 STOR / 300 GROSS = 53 OCC.
102 1,573 MERC / 30 GROSS + 473 STOR / 300 GROSS = 52 OCC.
103 1,573 MERC / 30 GROSS + 936 STOR / 300 GROSS = 66 OCC.

EGRESS:

101	53 OCC. X 2 = 106' MIN.	32" REQ.	36" PROVIDED
102	52 OCC. X 2 = 104' MIN.	32" REQ.	36" PROVIDED
103	66 OCC. X 2 = 132' MIN.	32" REQ.	36" PROVIDED

EGRESS REQUIREMENTS:
TRAVEL DISTANCE IN NON SPRINKLERED BLDG PER NFPA 101 §126
-OCCUPANCY 1st EXIT ACCESS MAXIMUM TRAVEL DISTANCE: 150 FEET

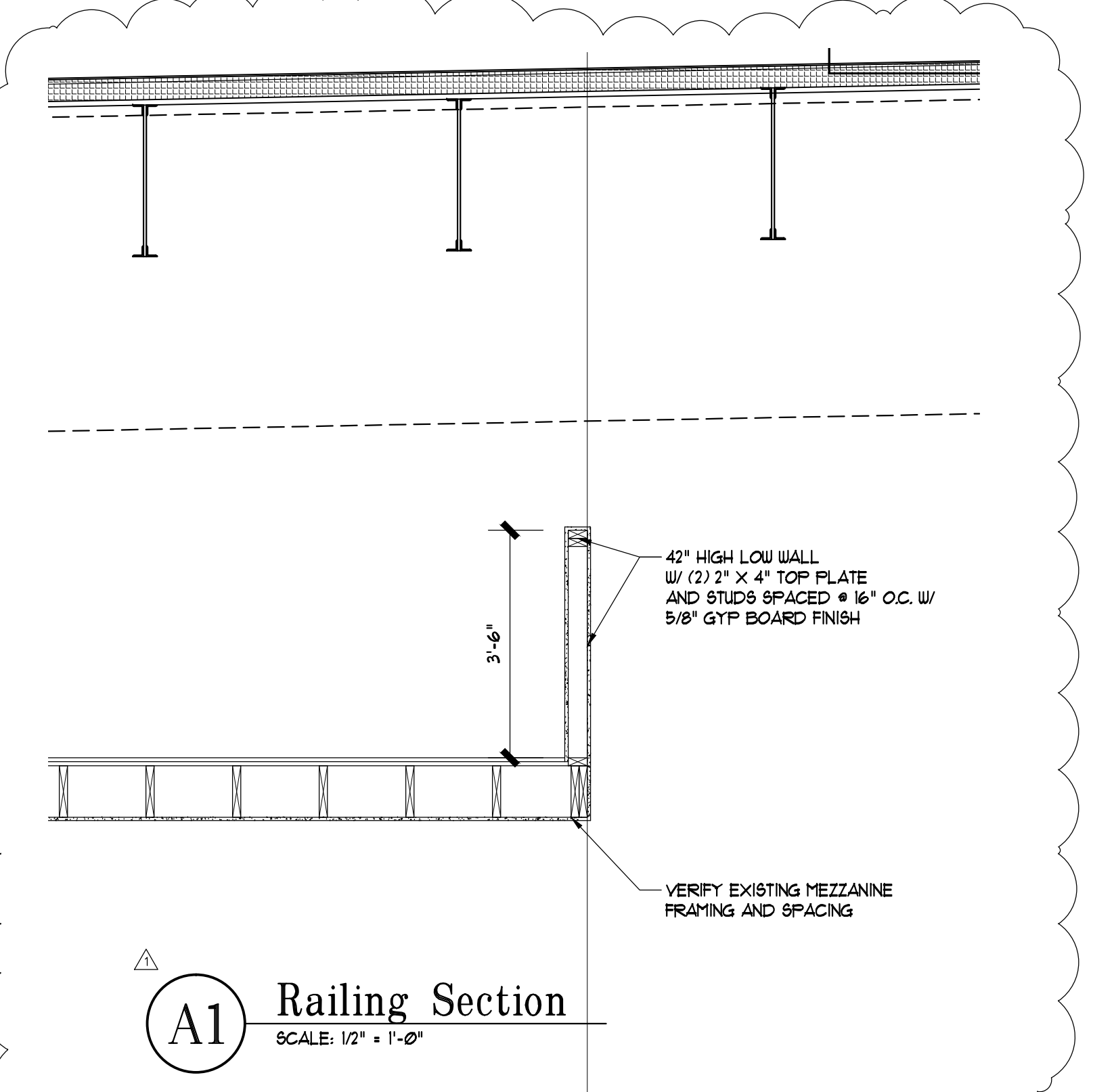
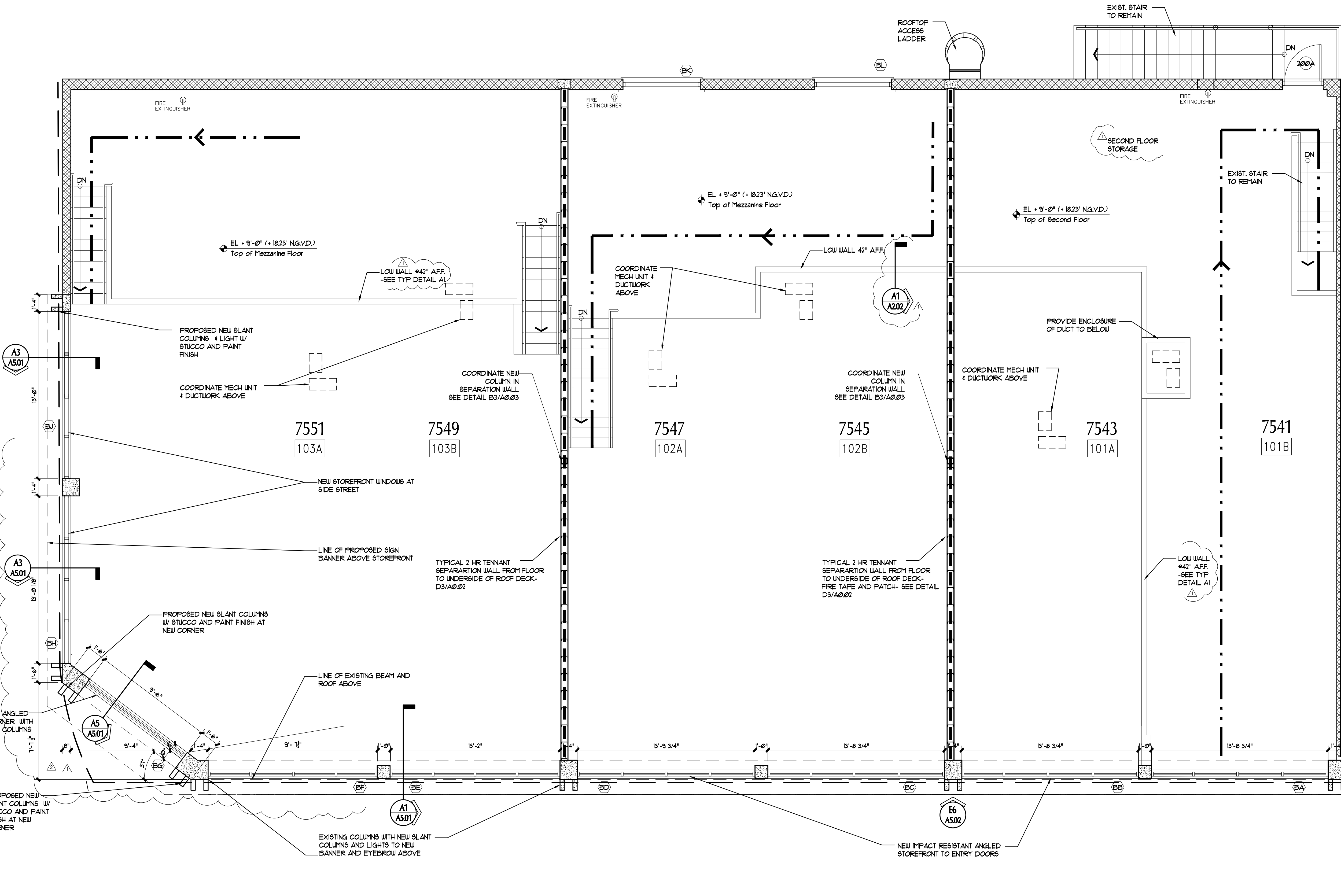


SEPARATE PERMIT REQUIRED FOR:

- PAVING
- ROOFING
- RAILINGS
- DOORSH WINDOWS
- WATERPROOFING

NOTE: BUILDING NOT COVERED BY FIRE SPRINKLER SYSTEM
FIRE ALARM: NOT REQUIRED PER NFPA §13.4. BUILDING IS CLASS B (b).
EGRESS ILLUMINATION TO BE MINIMUM 1 FOOTCANDLE PER FBC 1006.

- GENERAL NOTES:
- ALL BUILDING SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE TO APPLICABLE NFPA REQUIREMENTS TO INCLUDE BUT NOT LIMITED TO 101, 13, 14, 101, 12.
 - ALL DOORS AND GATES ARE TO BE OPERABLE FROM THE INTERIOR SIDE OF THE ROOM.
 - ALL REAR EXIT DOORS TO BE PROVIDED WITH PANIC HARDWARE.
 - CONTRACTOR SHALL PROVIDE 2-A FIRE EXTINGUISHERS TO ENSURE A COVERAGE OF (1) EXTINGUISHER PER EVERY 7500 SQUARE FEET. TOP OF EXTINGUISHER SHALL BE MOUNTED NOT TO EXCEED 6FT. ABOVE FLOOR.
 - ALL PENETRATIONS IN FIRE RATED WALLS TO INCLUDE DUCT WORK, PIPING, CONDUIT, ETC SHALL BE PROVIDED WITH UL RATED FIRE SAFING AND SEALANT.
 - ALL FURNITURE SHALL BE PLACED TO ENSURE A MINIMUM OF 3'-0" AISLES ARE MAINTAINED.
 - HEADROOM MUST BE A MINIMUM 7'-6" AFF.



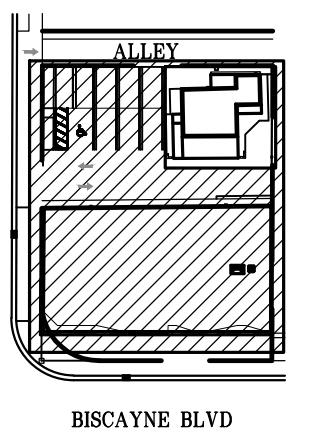
Proposed Second Floor Plan
SCALE: 1/4" = 1'-0"

Renovations to Commercial Buildings

7541 Biscayne Boulevard
Miami, FL 33138

Owners:

7541 Biscayne LLC
1244 Michigan Avenue
Miami Beach, FL 33139
305.905.2803



SITE LOCATOR

Mark	Date	Description
4/22/16	Blg. Comments	
4/30/16	Blg. Zoning Comments	
10/10/14	HEP Waiver	
8/16/14	Permit Set	
4/10/14	HEP Rev. Comments	
4/10/14	HEP Rev. Comments	
5/10/14	HEP -ADP1 to Mfg	
3/7/14	HEP -img w/ staff	

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHOWN OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, VILLAGE ARCHITECTS OF KEY BISCAYNE, INC. AND WILL BE USED ONLY FOR THE PROJECT AND DEVELOPER USE ON AND CONNECTION WITH THE SPECIFIC PROJECT. NO OTHER USE OR REPRODUCTION OF ANY PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN WITHOUT THE EXPRESS WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF KEY BISCAYNE, INC.

ARCHITECT: ROBERT JOHN GRABOSKI, AIA, 0091198

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

CHECKED BY: R.J.

SHEET TITLE

Back Building Floor Plans & Demo

SHEET No.

A.A. 26002085

PROJECT Yr.: 2013

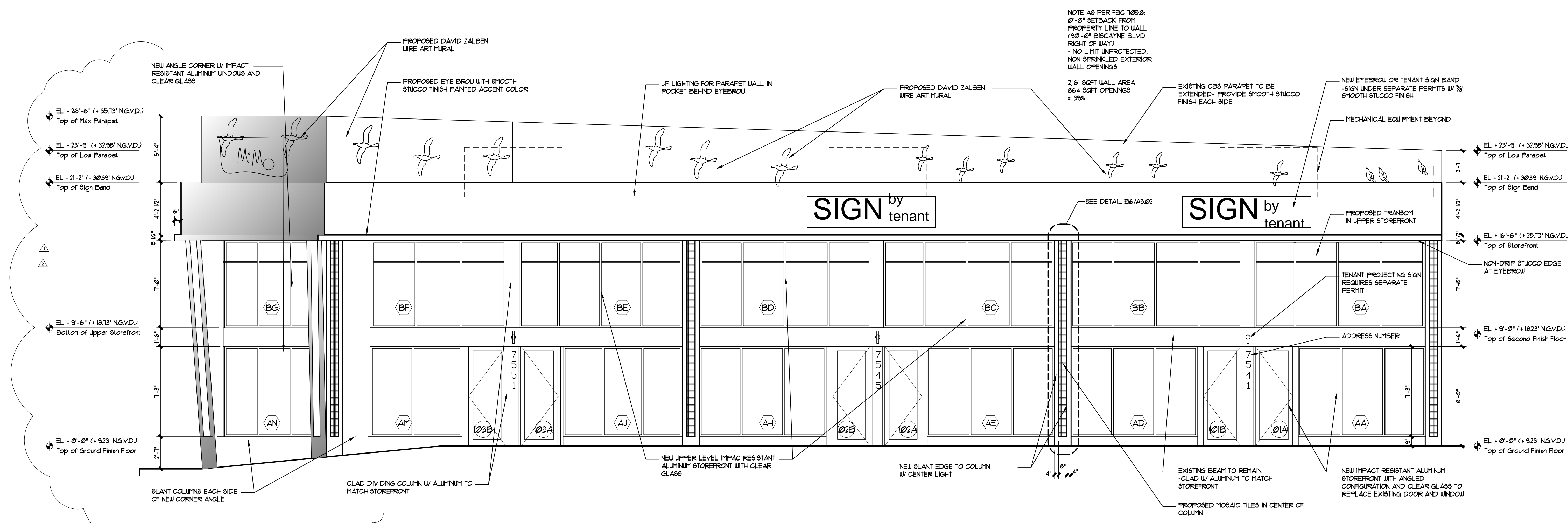
CAD DWG FILE: 7541 Biscayne

DRAWN BY: R.J.

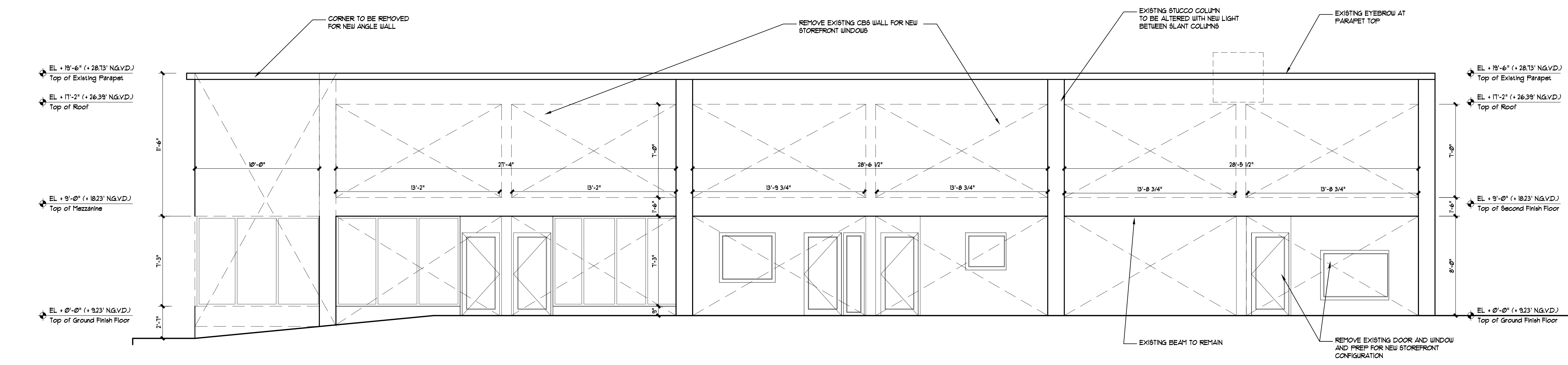
CHECKED BY: R.J.

Specialty Engineering Consultants, Inc.
 Gary McDougall, P.E.
 Structural Engineer No. 66214
 1640 SW 30th Ave. Suite #20
 Fort Lauderdale, Florida 33329
 Tel: (954) 752-2442
 Fax: (954) 752-2442
 E-Mail: gar@secinc.com

Mechanical / Electrical:
 JMM Consulting Engineers LLC
 Joseph M. Martin, P.E.
 Mechanical Eng. Lic. No. 66018
 8365 SW 124th Street Suite 100
 Miami, Florida 33156
 Tel: (305) 255-1021
 Fax: (305) 255-1420
 E-Mail: jmm@jmmce.com



Proposed Biscayne Blvd Elevation
 SCALE: 1/4" = 1'-0"



Existing Biscayne Blvd Elevation
 SCALE: 1/4" = 1'-0"

**Renovations to
 Commercial Buildings**

7541 Biscayne Boulevard
 Miami, FL 33138

Owners:
 7541 Biscayne LLC
 1244 Michigan Avenue
 Miami Beach, FL 33139
 305.905.2803

Mark	Date	Description
7/7/16		PW ROW Dedication
4/22/16		Big Comments
4/10/16		Sign Zoning Comments
10/10/14		HEP Waiver
8/16/14		Permit Set
4/16/14		HEP rev. comments
4/10/14		HEP Res. Comments
3/10/14		HEP -Appl. to Mg
3/7/14		HEP -mg w/ staff

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS
 SHOWN OR REPRESENTED BY THIS DRAWING
 ARE OWNED BY, AND THE PROPERTY OF,
 THE ARCHITECT AND WILL BE KEPT ON FILE
 AND DEVELOPED USE ON AND CONNECTION
 WITH THE SPECIFIC PROJECT, NONE OF
 SUCH IDEAS, DESIGN, ARRANGEMENTS OR
 PLANS SHALL BE USED BY OR DISCLOSED TO
 ANY PERSON FOR OR IN CONNECTION FOR ANY
 PURPOSE WHATSOEVER WITHOUT THE EXPRESSLY
 WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF
 KEY BISCAIYNE, INC.

ARCHITECT
 ROBERT JOHN GRABOSKI AR, 0091596

AA. 26002085

PROJECT Yr. : 2013
 CAD DWG FILE : 7541 Biscayne
 DRAWN BY :
 CHECKED BY : R.J.
 SHEET TITLE
 Biscayne Blvd
 Elevations

SHEET No.
A4.01
 Sheet - of -

Renovations to Commercial Buildings

7541 Biscayne Boulevard
Miami, FL 33138

Owners:

7541 Biscayne LLC
1244 Michigan Avenue
Miami Beach, FL 33139
305.905.2803

Mark	Date	Description
4/22/16	Big	Comments
4/30/16	Big	Zoning Comments
10/10/14	HEP	Walker
8/16/14	HEP	Permit Set
4/16/14	HEP	Rev. comments
4/10/14	HEP	Rev. Comments
3/10/14	HEP	-Agr/1st Mtg
3/7/14	HEP	-mtg w/ staff

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS
SHOWN OR REPRESENTED BY THIS DRAWING
ARE OWNED BY, AND THE PROPERTY OF,
THE ARCHITECT AND WILL BE KEPT ON FILE
AND DEVELOPED USE ON AND CONNECTION
WITH THE SPECIFIC PROJECT. NONE OF
THIS DRAWING, OR ANY PART THEREOF, OR
PLANS SHALL BE USED BY OR DISCLOSED TO
ANY PERSON FOR OR IN CONNECTION WITH
ANY PROJECT WHATSOEVER WITHOUT THE EXPRESSLY
WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF
KEY BISCAIYNE, INC.

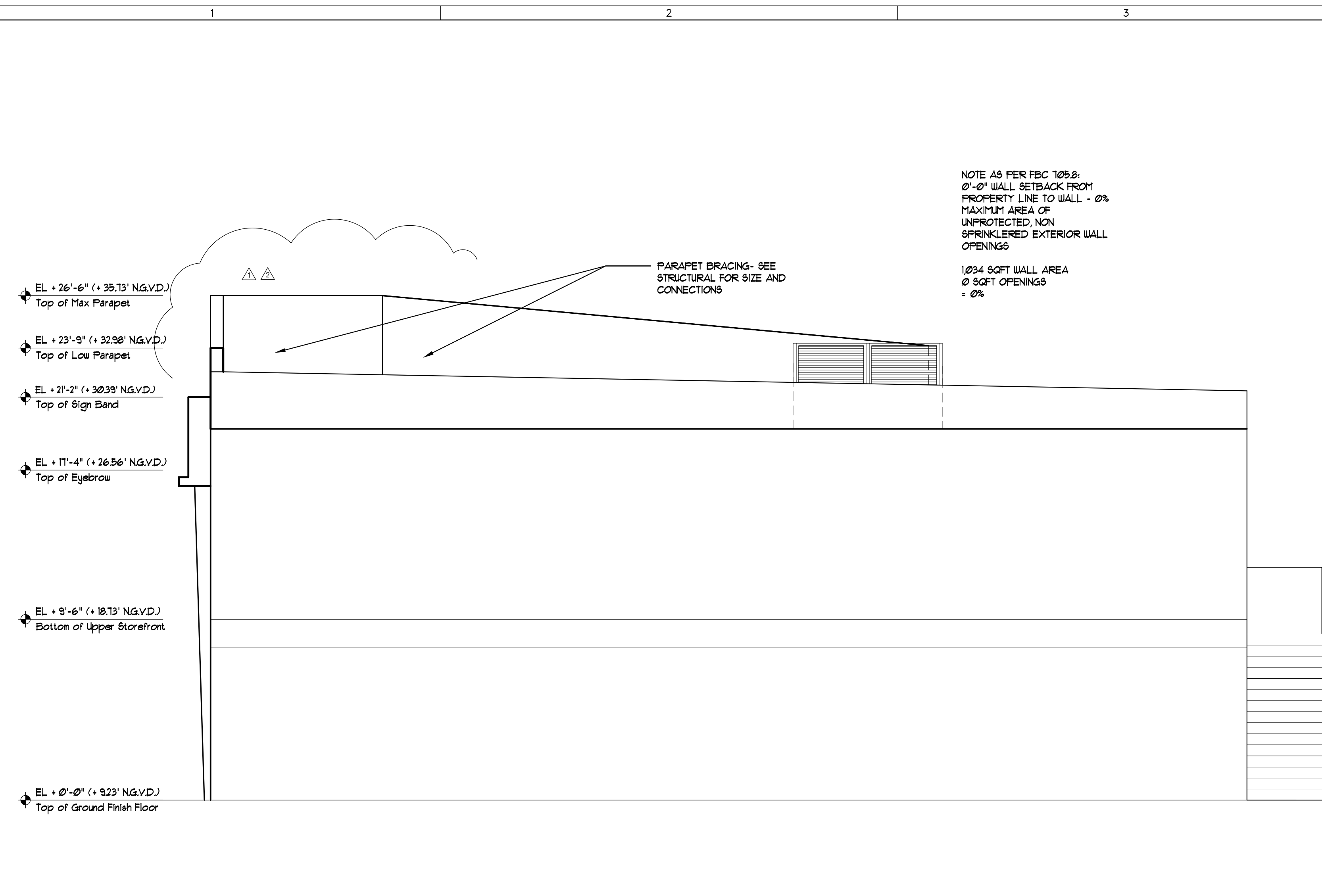
ARCHITECT
ROBERT JOHN GRABOSKI, AIA, 0091596

A.A. 26002085

PROJECT Yr. : 2013
CAD DWG FILE : 7541 Biscayne
DRAWN BY :
CHECKED BY : R.J.
SHEET TITLE
76th Street & Side
Elevations

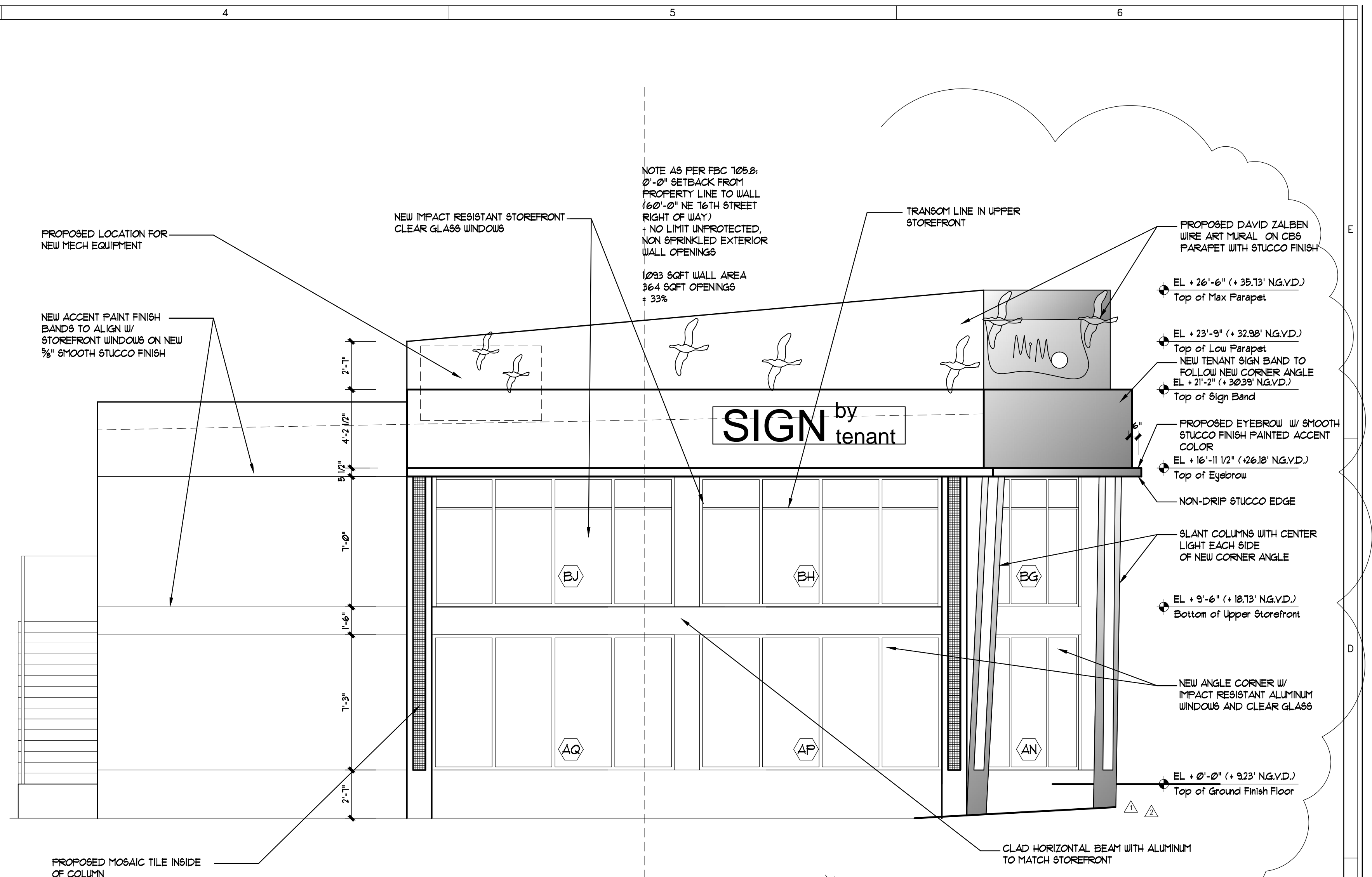
SHEET No.

A4.02
Sheet - of -



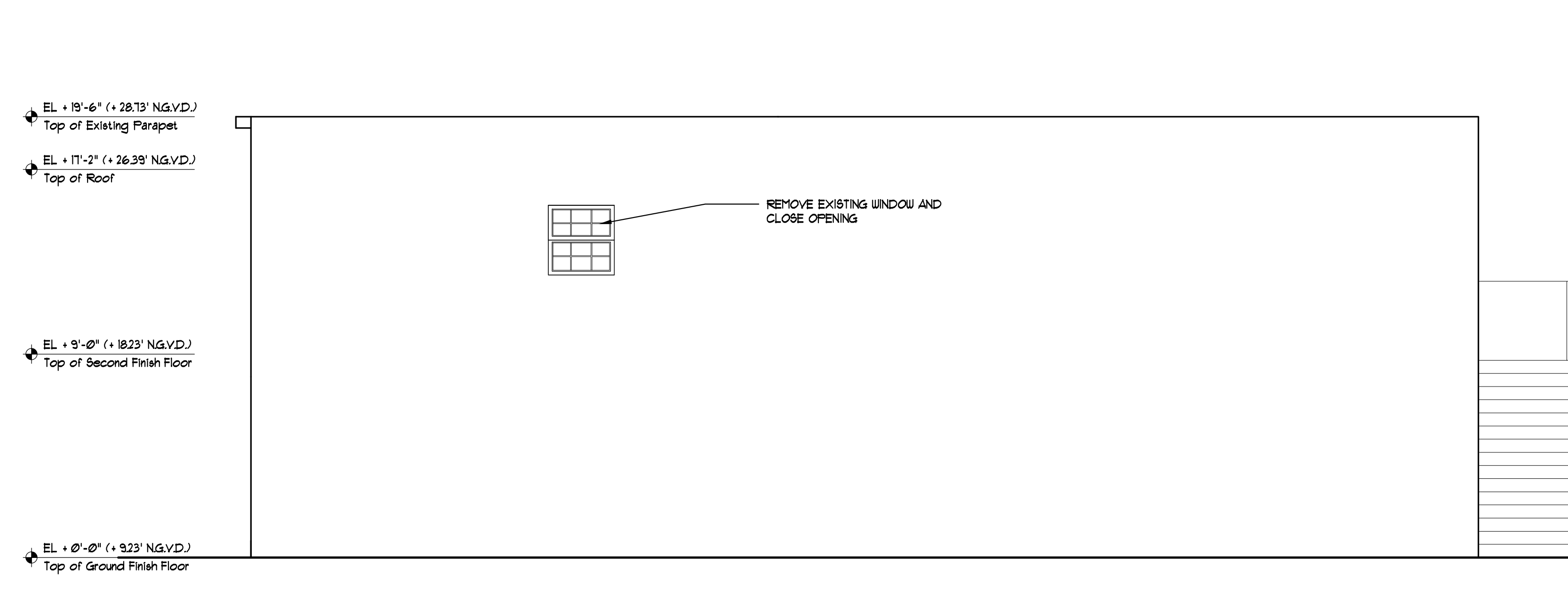
Proposed South Elevation

SCALE: 1/4" = 1'-0"



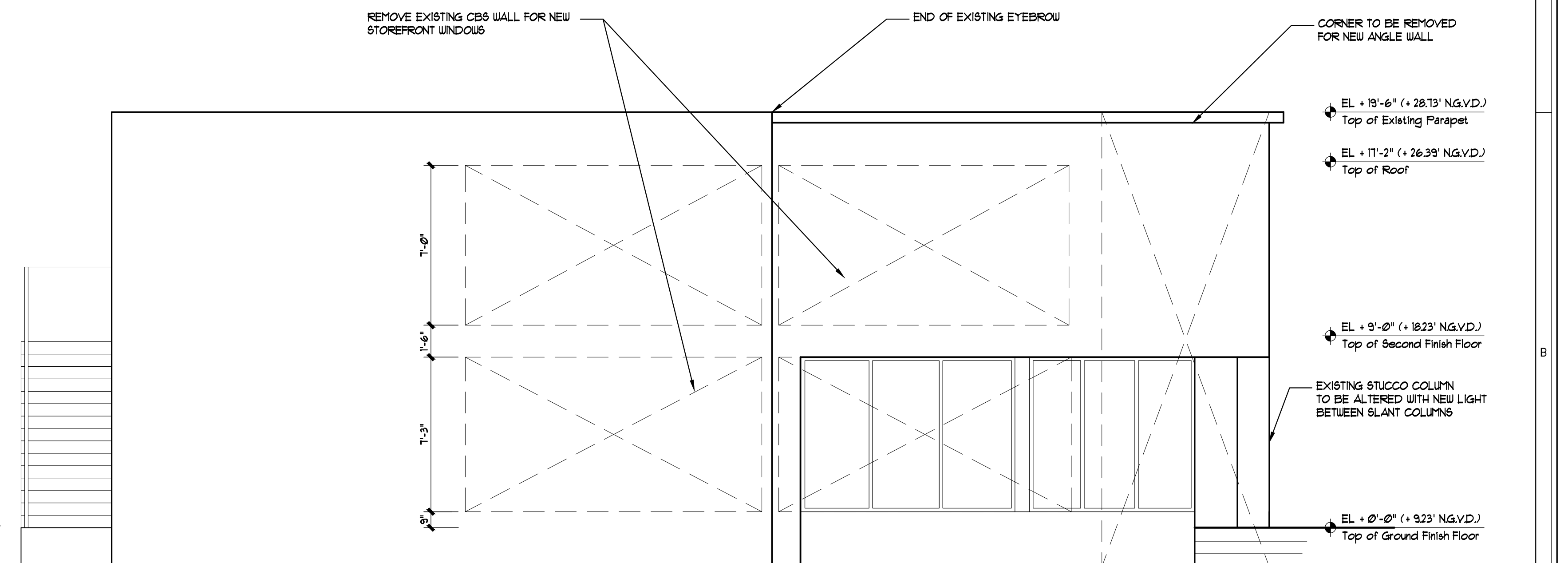
Proposed 76th Street Elevation

SCALE: 1/4" = 1'-0"



Existing South Elevation

SCALE: 1/4" = 1'-0"



Existing 76th Street Elevation

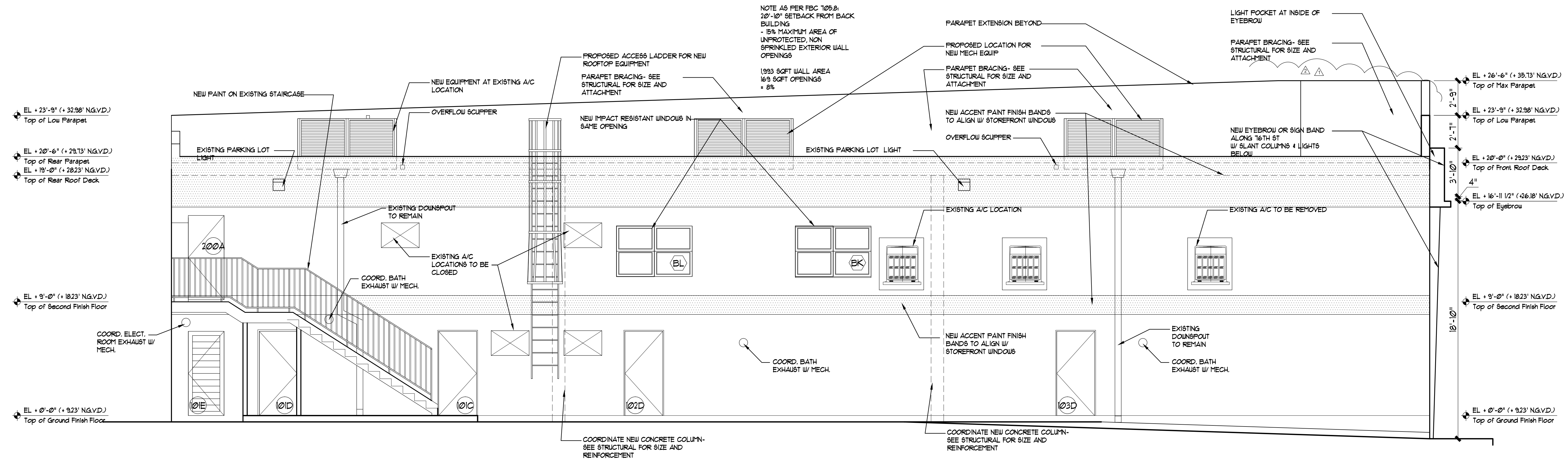
SCALE: 1/4" = 1'-0"

Renovations to Commercial Buildings

7541 Biscayne Boulevard
Miami, FL 33138

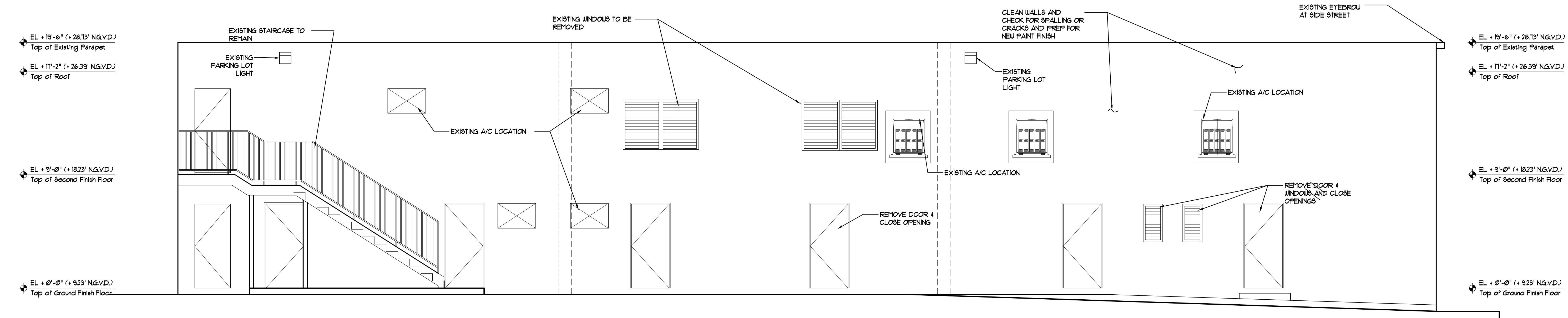
Owners:

7541 Biscayne LLC
1244 Michigan Avenue
Miami Beach, FL 33139
305.905.2803



Proposed Rear Elevation

SCALE: 1/4" = 1'-0"



Existing Rear Elevation

SCALE: 1/4" = 1'-0"

Mark	Date	Description
7/7/16		PW ROW Dedication
4/22/16		Big Comments
4/10/16		Stop Zoning Comments
10/10/14		HEP Waiver
8/16/14		Permit Set
4/16/14		HEP Rev. Comments
4/10/14		HEP Res. Comments
3/10/14		HEP -Agr'l to Mg
3/7/14		HEP -mg w/ staff

ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS
PROPOSED OR REPRESENTED BY THIS DRAWING
ARE OWNED BY, AND THE PROPERTY OF,
VILLAGE ARCHITECTS OF KEY BISCAYNE, INC.
AND DEVELOPED BY, AND IN CONNECTION
WITH THE SPECIFIC PROJECT, NONE OF
WHICH SHALL BE USED BY OR DISCLOSED TO
ANY PERSON, FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT THE EXPRESS
WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF
KEY BISCAYNE, INC.

ARCHITECT
ROBERT JOHN GRABOSKI AR 0091596

A.A. 26002086

PROJECT Yr. : 2013
CAD DWG FILE : 7541 Biscayne
DRAWN BY :
CHECKED BY : R.J.
SHEET TITLE
Rear Elevations

SHEET No.

A4.03
Sheet - of -

Specialty Engineering Consultants, Inc.
 Gary McDougall, P.E.
 Structural Engineer No. 66214
 1640 SW 30th Ave. Suite #20
 Bay City, Florida 33134
 Tel: (951) 752-5443
 Fax: (951) 752-5443
 E-Mail: gmc@secc.com

Mechanical / Electrical:
 JMM Consulting Engineers LLC
 Jose M. Martinez, P.E.
 Mechanical Eng. Lic. No. 66018
 6365 SW 124th Street, Suite 100
 Miami, Florida 33156
 Tel: (305) 256-1621
 Fax: (305) 256-1420
 E-Mail: jmmartinez@jmmce.com

Renovations to
 Commercial Buildings

7541 Biscayne Boulevard
 Miami, FL 33138

Owners:
 7541 Biscayne LLC
 1244 Michigan Avenue
 Miami Beach, FL 33139
 305.905.2803

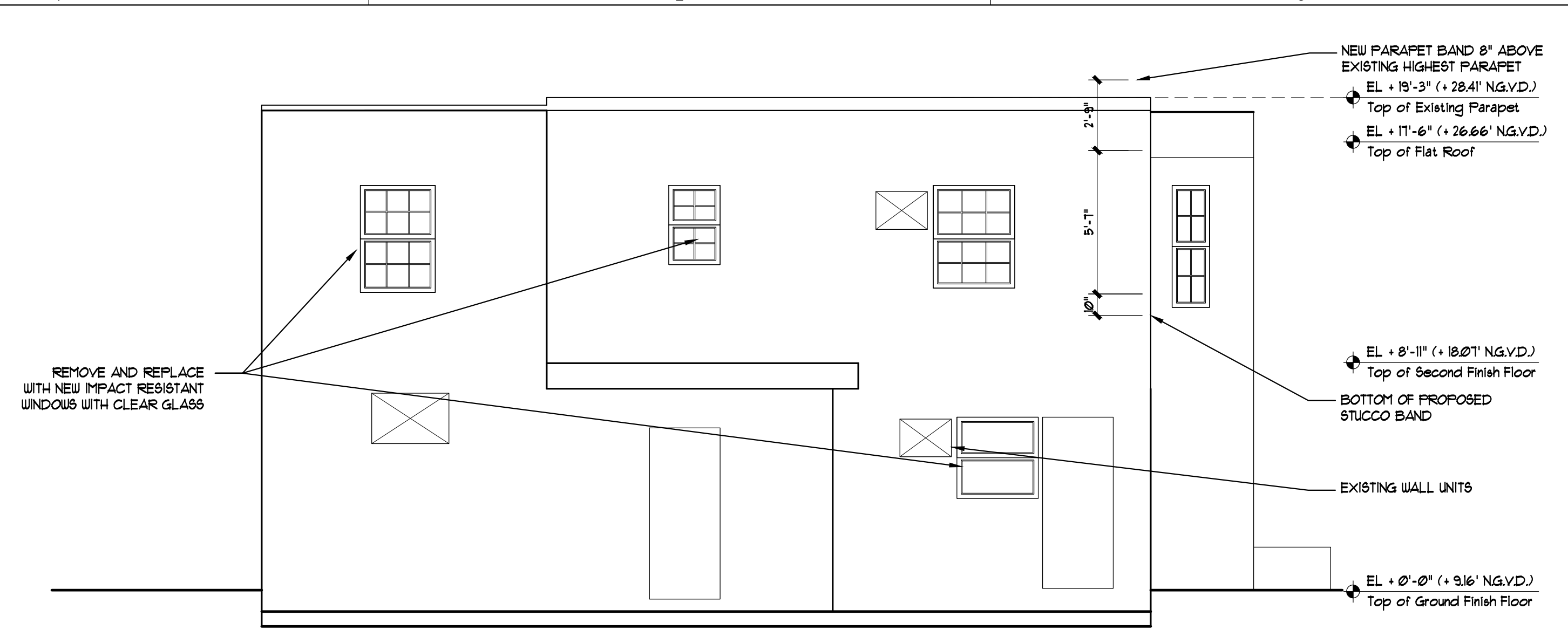
7/1/16	PW ROW Dedication
4/22/16	Big Comments
4/10/16	Stop Zoning Comments
10/10/14	HEP Waiver
8/16/14	Permit Set
4/16/14	HEP rev. comments
4/10/14	HEP Res. Comments
3/10/14	HEP -Adri' tel Mtg
3/7/14	HEP -mtg w/ staff

Mark Date Description

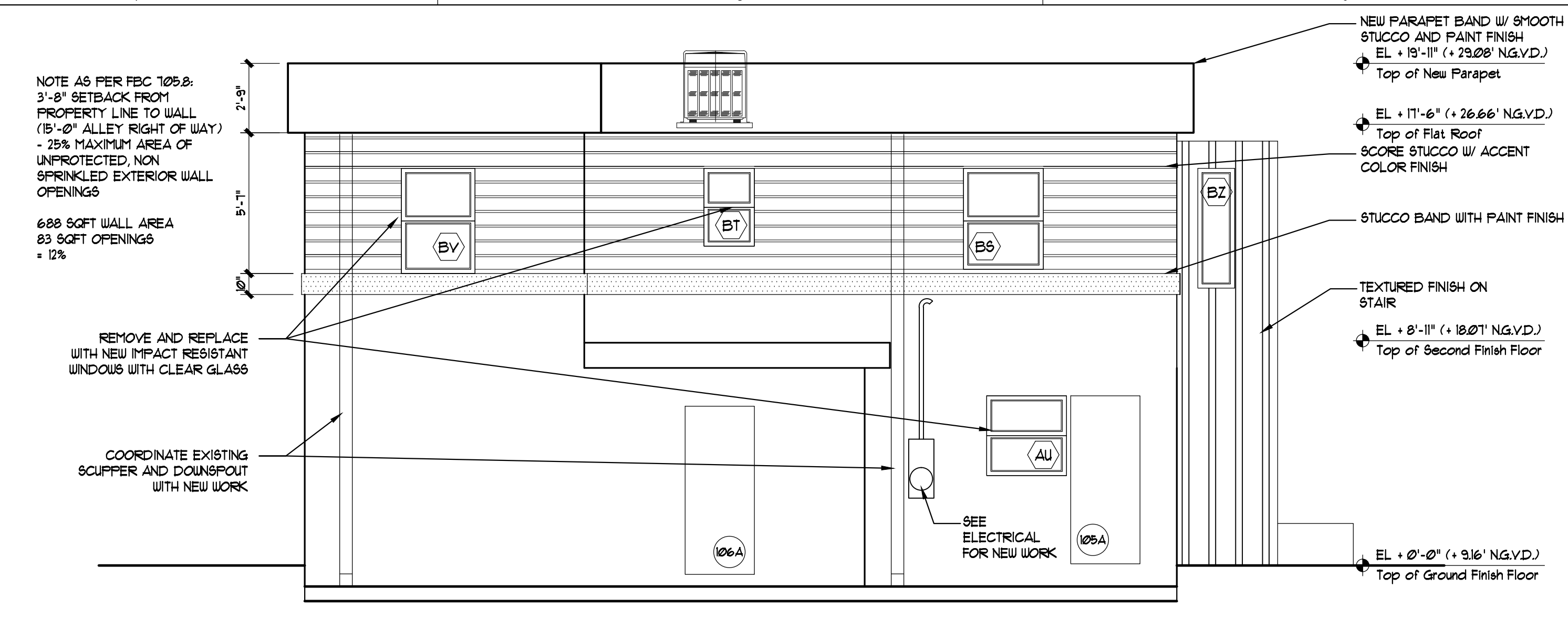
ALL IDEAS, DESIGN, ARRANGEMENTS AND PLANS SHOWN OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF THIS OFFICE AND WILL BE CREATED, DEVELOPED AND USED ONLY ON AND IN CONNECTION WITH THE SPECIFIC PROJECT, SCOPE OF SUCH LEGAL OBLIGATIONS, AGREEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE EXPRESS WRITTEN PERMISSION OF VILLAGE ARCHITECTS OF KEY BISCAYNE, INC.

ARCHITECT
 ROBERT JOHN GRABOSKI, AIA, 0091596

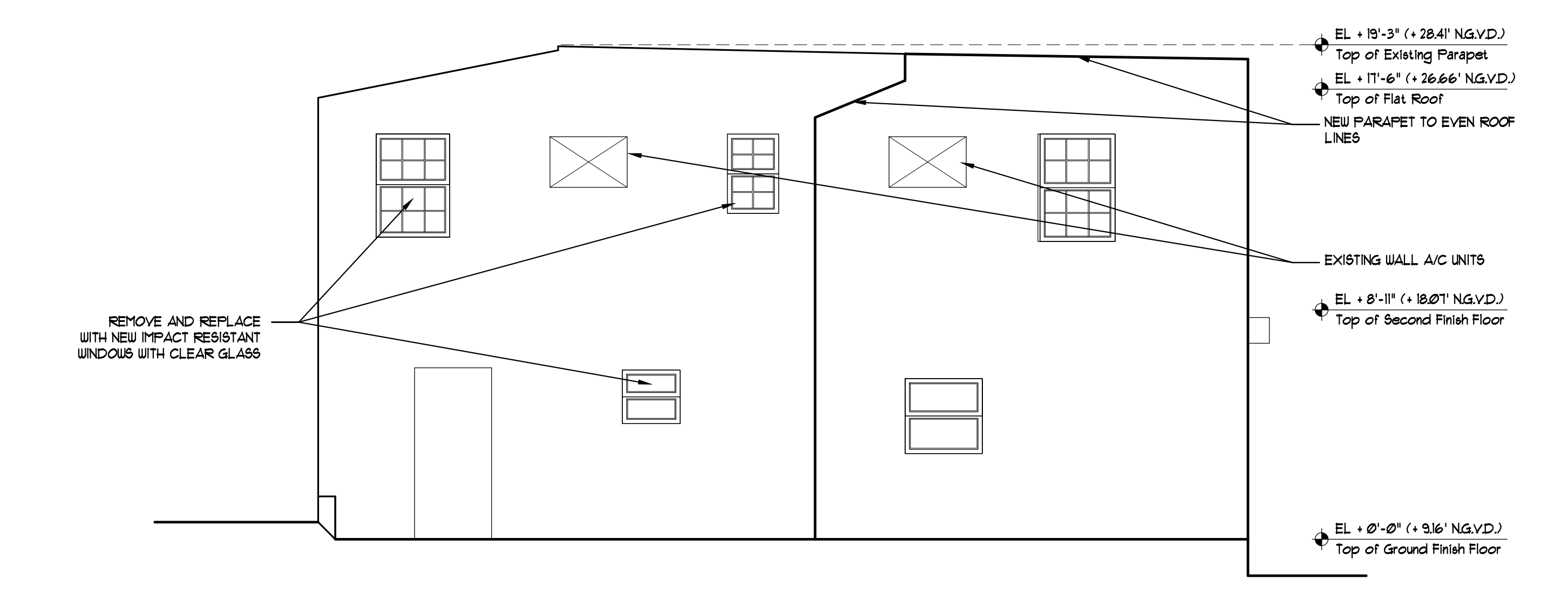
A.A. 26002086
 PROJECT Yr. : 2013
 CAD DWG FILE : 7541 Biscayne
 DRAWN BY :
 CHECKED BY : R.J.
 SHEET TITLE
 Rear Building Elevations



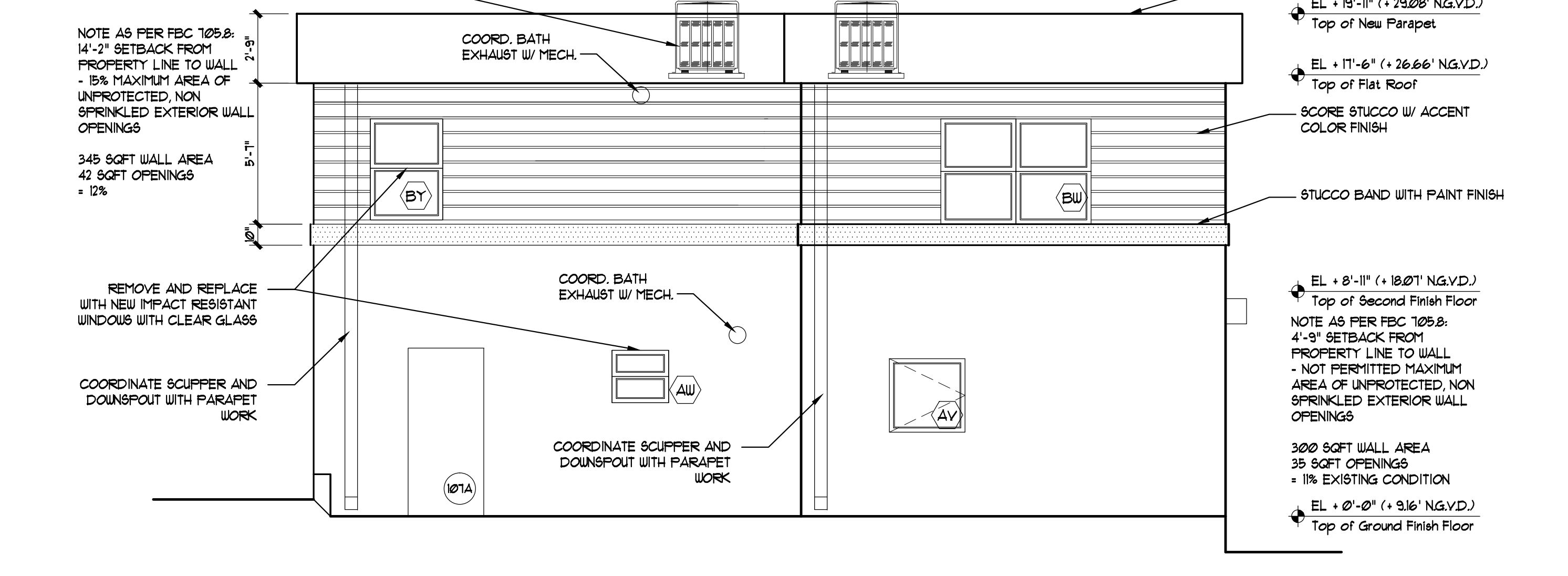
Existing Alley Elevation
 SCALE: 1/4" = 1'-0"



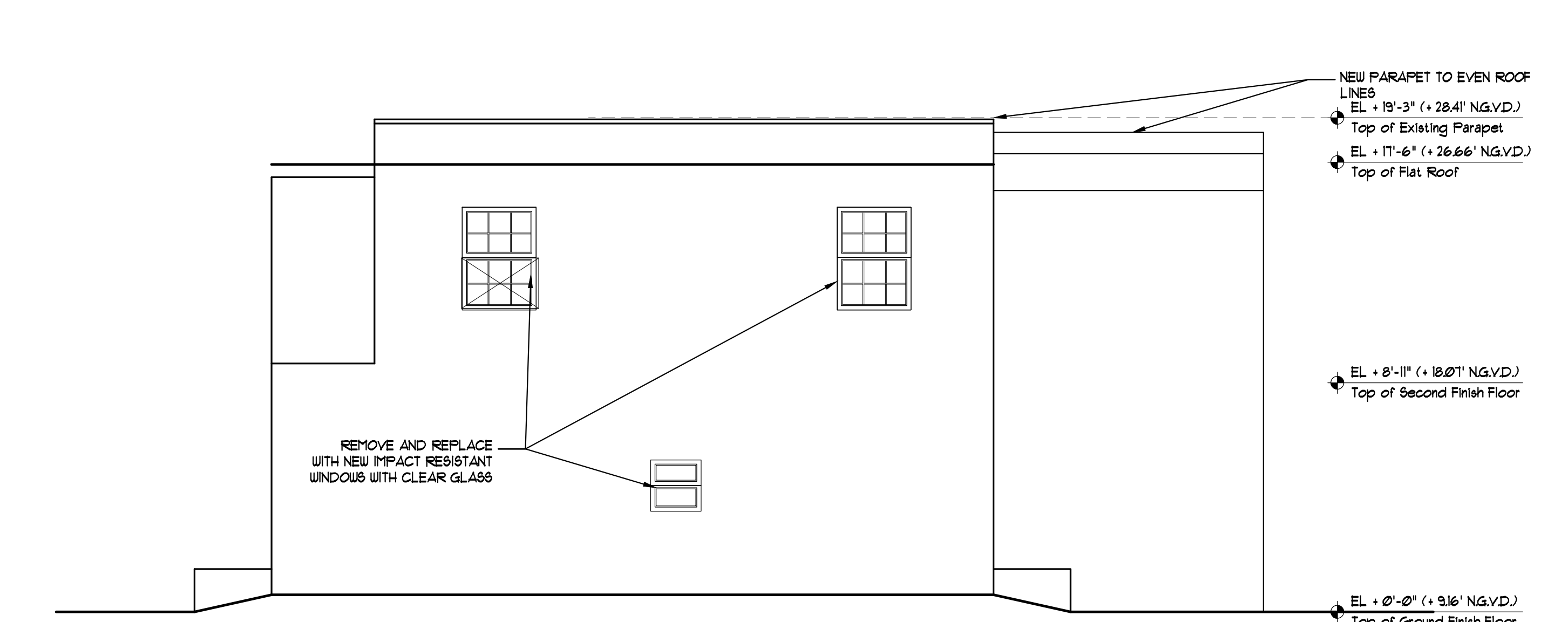
Proposed Alley Elevation
 SCALE: 1/4" = 1'-0"



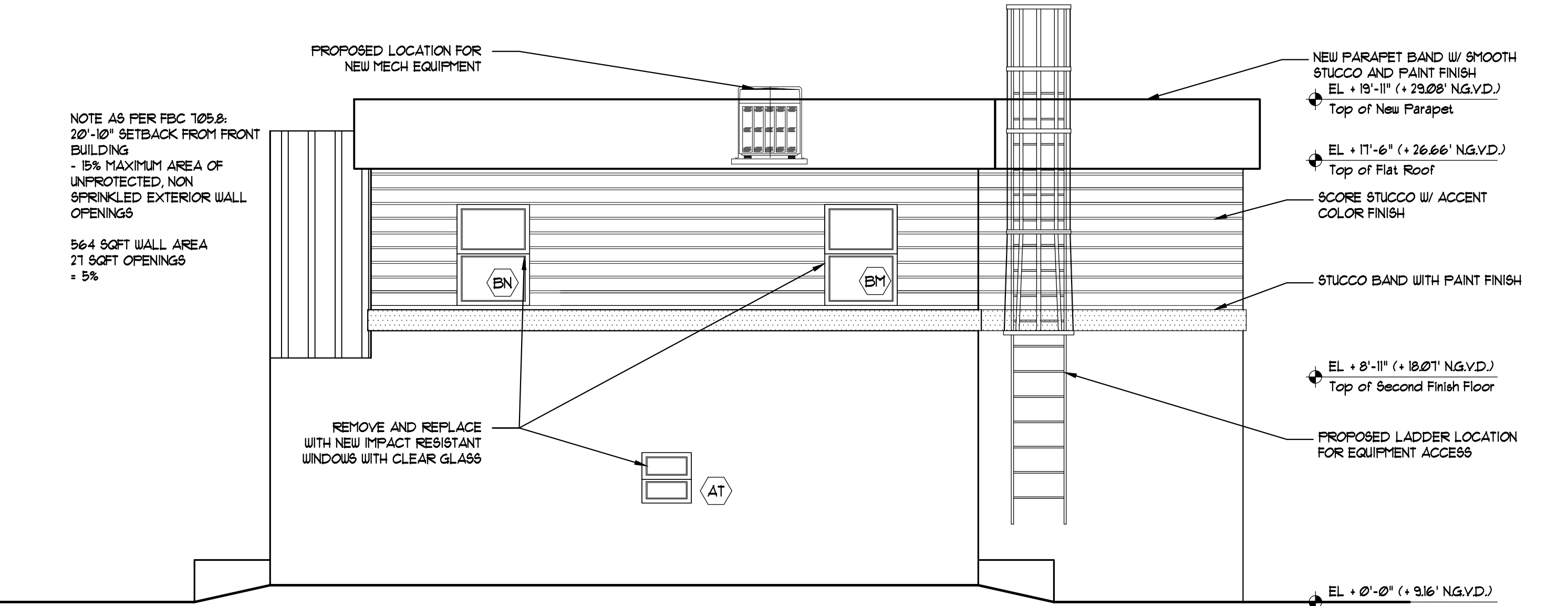
Existing South Elevation
 SCALE: 1/4" = 1'-0"



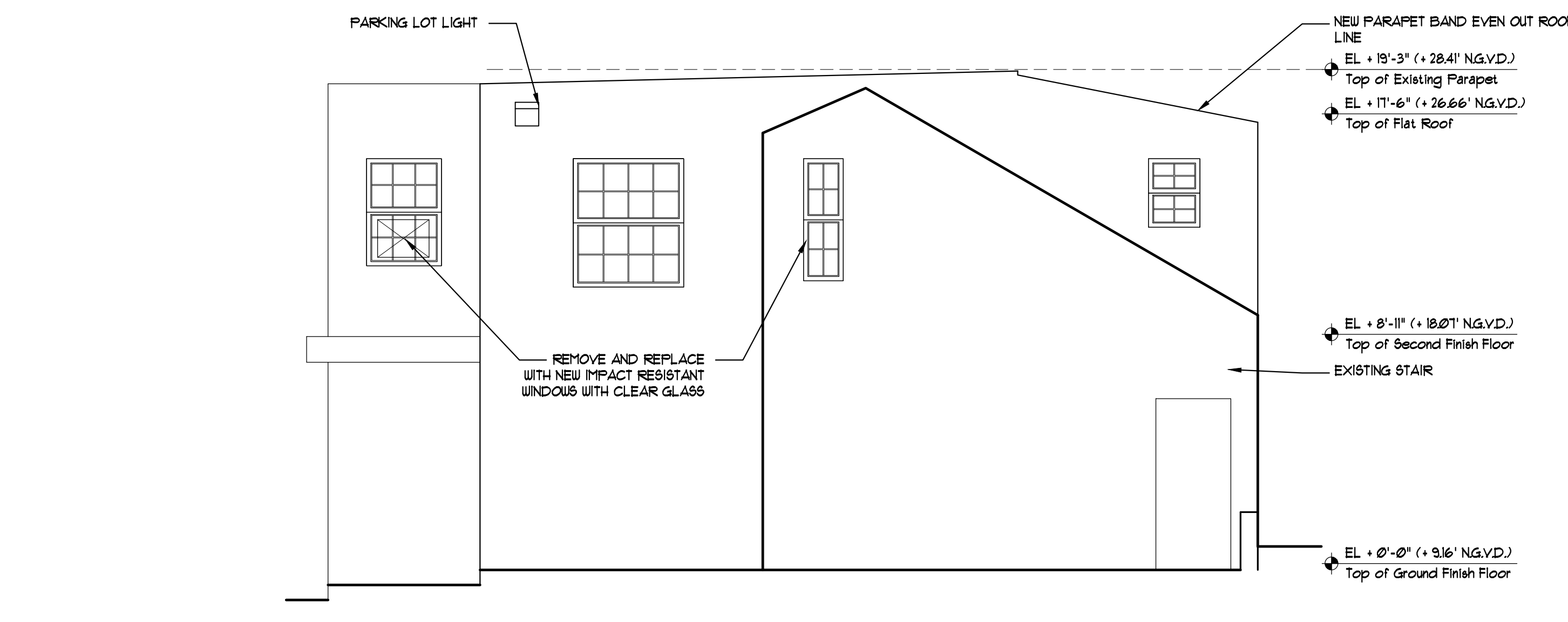
Proposed South Side Elevation
 SCALE: 1/4" = 1'-0"



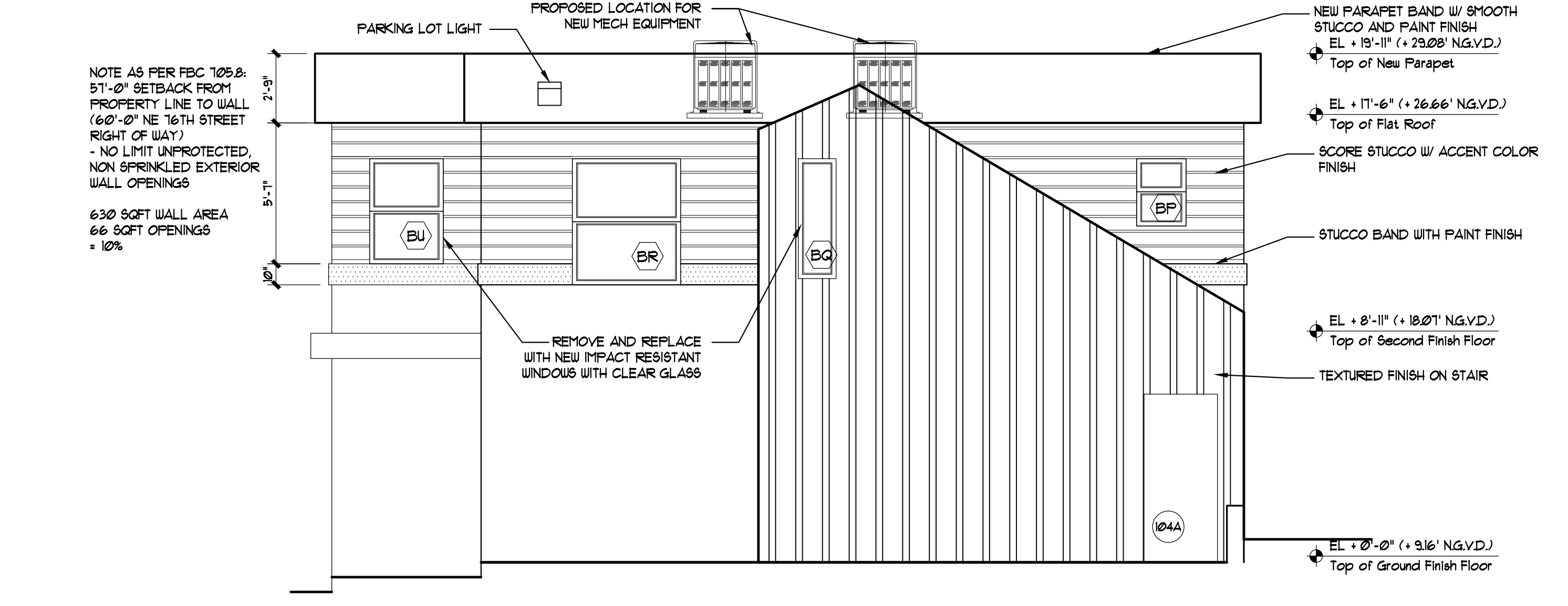
Existing West Elevation
 SCALE: 1/4" = 1'-0"



Proposed West Elevation
 SCALE: 1/4" = 1'-0"



Existing 76th Street Elevation
 SCALE: 1/4" = 1'-0"



Proposed 76th Street Elevation
 SCALE: 1/4" = 1'-0"