

**Department of Community Affairs
FLORIDA BUILDING COMMISSION
2555 Shumard Oak Boulevard
Tallahassee, Florida 32399-2100**

NOTICE TO WAIVER APPLICANTS

Please make certain you comply with the following:

- ⌚ The person submitting the waiver request application as the Applicant **MUST** sign the application. Should you fail to do so, your application will be returned.
- ⌚ If a licensed design professional (architect or engineer) has designed the project, his or her comments **MUST** be included as a part of this application.
- ⌚ Be as explicit as possible. The more information provided to the Florida Building Commission, the more informed its decisions can be. If you are claiming financial hardship, please specify why and to what degree.
- ⌚ If at all possible, **PLAN TO ATTEND the Accessibility Advisory Council and the Florida Building Commission meetings**. Sometimes pertinent facts are inadvertently omitted, or information provided/presented in the Request for Waiver application is not clear. Your attendance at the meetings to answer questions will enhance the possibility of the waiver being approved, since the Council and the Commission will receive the most complete information – from you. When we receive the completed application, we will send you a notice of the time, date, and place for both the Council and the Commission meetings.

Enclosed is a **List of Required Information** and the **Request for Waiver** application.

If you have any questions or would like additional information, please call the Codes and Standards Section at (850) 487-1824.

Please mail this application to the Department of Community Affairs at the address above. As well as a hard copy, please include a copy of the application and drawings or plans on a CD in PDF format. NOTE: Please do not send CAD files, but rather scan the CAD files and save as a pdf. Must be in Microsoft Compatible format.

NOTE: Failure to submit electronically will not have any bearing on whether your petition is heard by the Commission, however, electronic filing will facilitate the Commission's movement toward utilizing CD technology to display the waiver application and attached floor plans to the Counsel and Commission.

This application is available in alternate formats upon request.

LIST OF REQUIRED INFORMATION:

1. _____ Drawings that will clearly present your project and that identify the issue(s) that relate to the waiver you are requesting. As a minimum, the following drawings must be submitted:
 - a. Project site plan
 - b. 24" x 36" minimum size drawings
 - c. Building/project sections (if necessary to assist in understanding the waiver request)
 - d. Enlarged floor plan(s) of the area in question
2. _____ One set of reduced scale (11" x 17") versions of the drawings submitted in item one above.
3. _____ One set of overhead transparencies (8 1/2" x 11") of the drawings submitted in item one above. When numerous features are shown on the drawings, please designate the location of the waiver items by highlighting or outlining in color the affected areas.
4. _____ When substantial financial cost of compliance is alleged, supporting cost estimates with quotes from at least two vendors or contractors and catalog information.
5. _____ If you feel photographs and/or renderings are necessary for your presentation, provide 40 legible color photocopies of the photographs and/or renderings. If color photocopies of photographs are provided, use a minimum size of 4" x 6" photographs with a maximum of two photographs per photocopied page.
6. _____ Please submit a hard copy of this application to the Department of Community Affairs. PLEASE NOTE: Although not required by Rule 9B-7, F.A.C., in addition to the hard copy please include a copy of the application and drawings or plans on a CD in PDF format.

General Information:

a. **Equipment:** A CD projector is provided at the Accessibility Advisory Council and Florida Building Commission meetings. Any other equipment necessary for your presentation, such as an overhead projector, TV/VCR, slide or LCD projectors, etc., is the responsibility of the applicant.

b. **Verbal Descriptions:** Presentations may be to sight or hearing impaired persons; visual presentations should consider adequate verbal and text descriptions of charts and pictures.

Your application will be reviewed by the Accessibility Advisory Council. You will have the opportunity to answer questions and/or make a short presentation **not to exceed 15 minutes**. The Council will provide recommendations to the Florida Building Commission. The Commission will review the application. You will have another opportunity to answer questions and/or give a short presentation **not to exceed 15 minutes**. The Commission will consider all information and the Council's recommendation before voting on the waiver.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: MEDICAL OFFICES FOR PREVEECARE

Address: 123 North Krome Avenue

Homestead, Florida 33030

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name:..... Ian Iglesias

Applicant's Address:..... 123 North Krome Avenue

Homestead, FL. 33030----

Applicant's Telephone: 305-245-1700 FAX: 305-245-7200

Applicant's E-mail Address: ian.iglesias@iiconcontractors.com

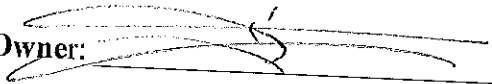
Relationship to Owner: Managing Member LLC

Owner's Name: 123 North Krome LLC.

Owner's Address: 123 North Krome Avenue Homestead, FL 33030

Owner's Telephone: 305-245-1700 FAX: 305-245-7200

Owner's E-mail Address: ian.iglesias@iiconcontractots.com

Signature of Owner: 

Contact Person: Ian Iglesias

Contact Person's Telephone: 305-245-1700 E-mail Address: 305-245-7200

This application is available in alternate formats upon request.

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Owner's Telephone: 305-245-1700 FAX: 305-245-7200-----

Owner's E-mail Address: ian.iglesias@iiconcontractots.com

Signature of Owner: 

Contact Person: Ian Iglesias

Contact Person's Telephone: 305-245-1700 E-mail Address: 305-245-7200-----

This application is available in alternate formats upon request.
Form No. 2001-01

3. Please check one of the following:

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

This is a 2 story existing building. Each floor is a 2, 995. square feet.

The renovation is taking place on the ground floor only.

The use is Commercial clerical offices.

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration): \$110,216

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

- Under Design Under Construction*
- In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

We are in the process of renovating this facility and we would like to address the accessibility issue at this time. We feel that the construction of an elevator to the second floor is too large a cost for us to bear at this time. Furthermore, we will not be remodeling the second floor.

All patient activity will take place on the ground floor.

7. Requirements requested to be waived. Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1:.....F.S. 553.509 Vertical accessibility.....

Issue

2: _____

Issue

3: _____

8. Reason(s) for Waiver Request: The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner has made a **diligent investigation** into the costs of compliance with the code, but

cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

All costs associated with elevator installation : \$83,966.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. We received a quote from Florida Elevator Sales and Service. (See quote included).
All additional costs such as structural, mechanical, Electrical and cosmetics have been incorporated in a break down also included

b. _____

c. _____

10. Licensed Design Professional: Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

Signature

Printed Name

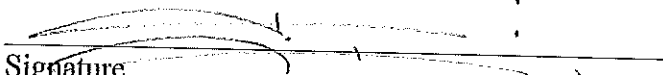
Phone number _____

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 20 day of APRIL, 20 12


Signature

Ian Iglesias
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. FS553.509 Vertical Accessibility

b. City of Homestead Building Official Mr. Tom Lampert

c. _____

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction _____

Comments/Recommendation _____

Jurisdiction _____

Building Official or Designee _____
Signature

Printed Name

Certification Number

Telephone/FAX

Address: _____

Form No.: 2001-02, Page 1 of 2

Certification of Licensed Design Professional for Replicated Designs to be Placed on Consent Agenda

Note: This form is to be used only for cases in which design documents are duplicates of previously approved waivers and the project can be placed on a Consent Agenda pursuant to Rule 9B-7.003(3), Florida Administrative Code.

I, _____, a licensed architect/engineer in the state of Florida, whose Florida license number is _____, hereby state as follows:

1. I am the architect/engineer of record for the project known as (name of project) _____, for which the Owner seeks a waiver of one or more accessibility requirements in an application to which this Certification is attached.

2. I hereby certify that to the best of my knowledge and belief to the Florida Building Commission that the design documents for the (insert project described in paragraph 1 above) _____ are the same as the design documents previously submitted to the Commission and referenced in paragraph 3 below, except that the two projects are built or to be built on different parcels of land at different locations.

3. The licensed design professional of record (identify the licensed design professional of record), _____, prepared the design documents for the project known as _____, for which the majority of the Accessibility Advisory Council recommended approval and the Commission granted a waiver of one or more accessibility requirements in Final Order No. _____.

Printed Name: _____ Affix certification seal below:

Address: _____

Telephone: _____

Fax: _____

E-Mail Address: _____

Certification of Applicant for Replicated Designs to be Placed on Consent Agenda

Note: This form is to be used only for cases in which design documents are duplicates of previously approved waivers and the project can be placed on a Consent Agenda pursuant to Rule 9B-7.003(3), Florida Administrative Code.

I, _____, am applying for placement on the Consent Agenda pursuant to Rule 9B-7.003(3), Florida Administrative Code. I (check one of the following and complete blanks):

I am the owner of this Project (name of project) _____,

and was the owner of the project known as _____,

I am the franchisee of this Project (name of project) _____,

am under the same franchiser (name of franchiser) _____

who was the franchiser of the project known as _____,

I am the licensee of this Project (name of project) _____,

am under the same licensor (name of licensor) _____,

who was the licensor of the project known as _____,

for which the majority of the Accessibility Advisory Council recommended approval, and the Florida Building Commission granted a waiver of one or more accessibility requirements in Final Order No. _____.

I hereby swear or affirm that the above information to the best of my knowledge is true and correct.

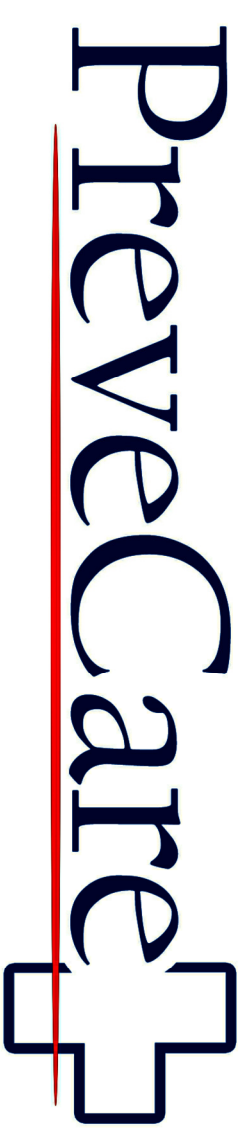
Dated this _____ day of _____, 20 _____

Signature

Printed Name

Providing false information to the Florida Building Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

Offices for



123 North Krome Avenue Homestead, Florida

INDEX OF DRAWINGS

1 of 12 COVER SHEET

d e m o l i t i o n

D-1 INTERIOR DEMOLITION PLAN
ELECTRICAL DEMOLITION

a r c h i t e c t u r a l

A-1 FLOOR PLAN

A-2 ELEVATIONS

A-3 WALL SECTIONS

A-4 SCHEDULES

A-5 FURNITURE PLAN

m e c h a n i c a l

M-1 AIR CONDITIONING PLAN

p l u m b i n g

P-1 PLUMBING PLANS

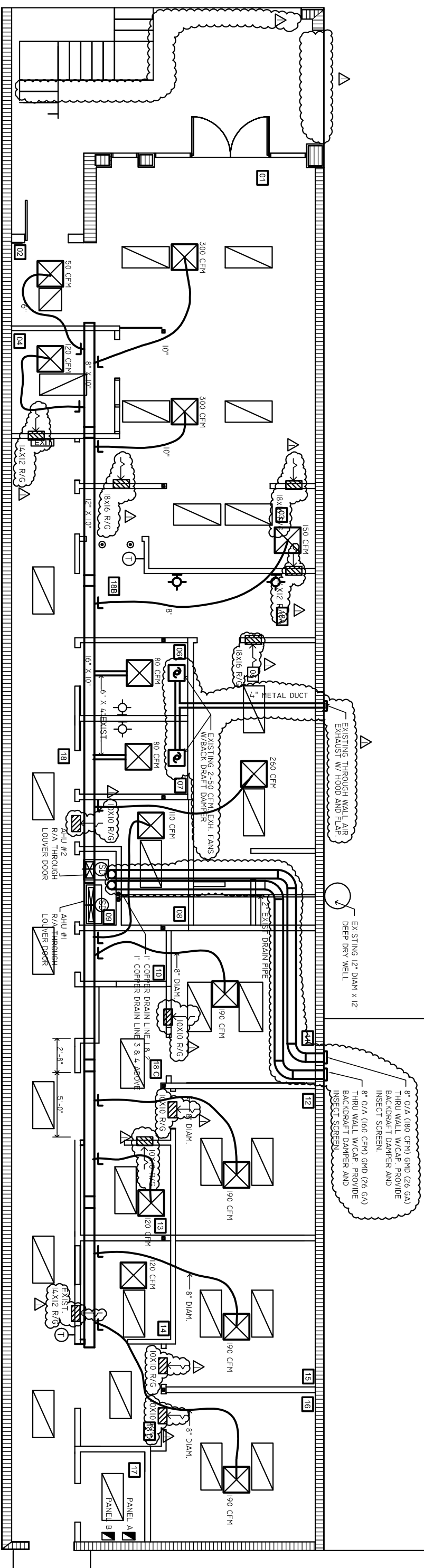
e l e c t r i c a l

E-1 ELECTRICAL PLAN

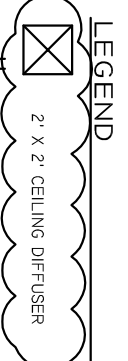
E-2 ELECTRICAL PANELS

s t r u c t u r a l

S-1 STRUCTURAL



AIRCONDITIONING PLAN
SCALE: 1/4" = 1'-0"



EXISTING A/C UNITS 1 & 2

AIR HANDLER	
BRAND	GOODMAN
MODEL	ARUF364216AB
EER	13 SEER
ELECTRIC SERVICE	208/240V 1PH 60HZ
NOMINAL TONS	3.5 TONS
CFM	1400
COOLING (BTU/H)	36,000-42,000
HEATER KW	
V-C-P	
AMPACITY	
CONDENSING UNIT	
BRAND	REEM
MODEL	RAPAD42JAZ
SEER	(14.05)
REF LINES	1/8" 1/2"
VCP	
AMPS	26
AMPACITY	26
CIRCUIT BREAKER	40 AMPS #8THHN W/GROUND
PROGRAMMABLE THERMOSTAT	
TWO STAGE COOL	
TWO STAGE HEAT	

HVAC DESIGN REQUIRES:

REQUIREMENT	YES	NO
OUT SMOKE DETECTOR		X
FIRE DAMPER(S)		X
SMOKE DAMPER(S)		X
FIRE RATED ENCLOSURE		X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		X
FIRE STOPPING (FOR REFERENCE LINES)		X
SMOKE CONTROL		X
PROGRAMMABLE THERMOSTAT		X

OUTSIDE AIR CALCULATION

A/C EQUIP. TAG NO.	AREA SERVED SQ. FT.	PEOPLE	OUTSIDE AIR REQ'D CFM/SQ. FT.	REQUIRED CFM/A.	USED CFM/A.
E-AHU-1	1089	8	20	20	160
E-AHU-2	1189	9	20	20	180

NOTES:
1 OUTDOOR AIR PROVISIONS FOR VENTILATION SHALL SATISFY THE MINIMUM REQUIREMENTS FOR ACCEPTABLE INDOOR AIR QUALITY AS PER ASHRAE 62.1-2009 VENTILATION RATE PROCEDURE.
2 THE FULL VOLUME OF OUTSIDE AIR ESTABLISHED IN THIS SCHEDULE SHALL BE DELIVERED TO THE SPACE AT ALL TIMES THAT THE BUILDING IS OCCUPIED.

FAN SCHEDULE

FAN TAG	MANUFACTURER AND MODEL NO.	AREA SERVED	CFM @ 0.5\"/>
EF-1	INDUVE DT80	BATHROOMS	50 @ 0.25\"/>
			120 V/60
			DIRECT

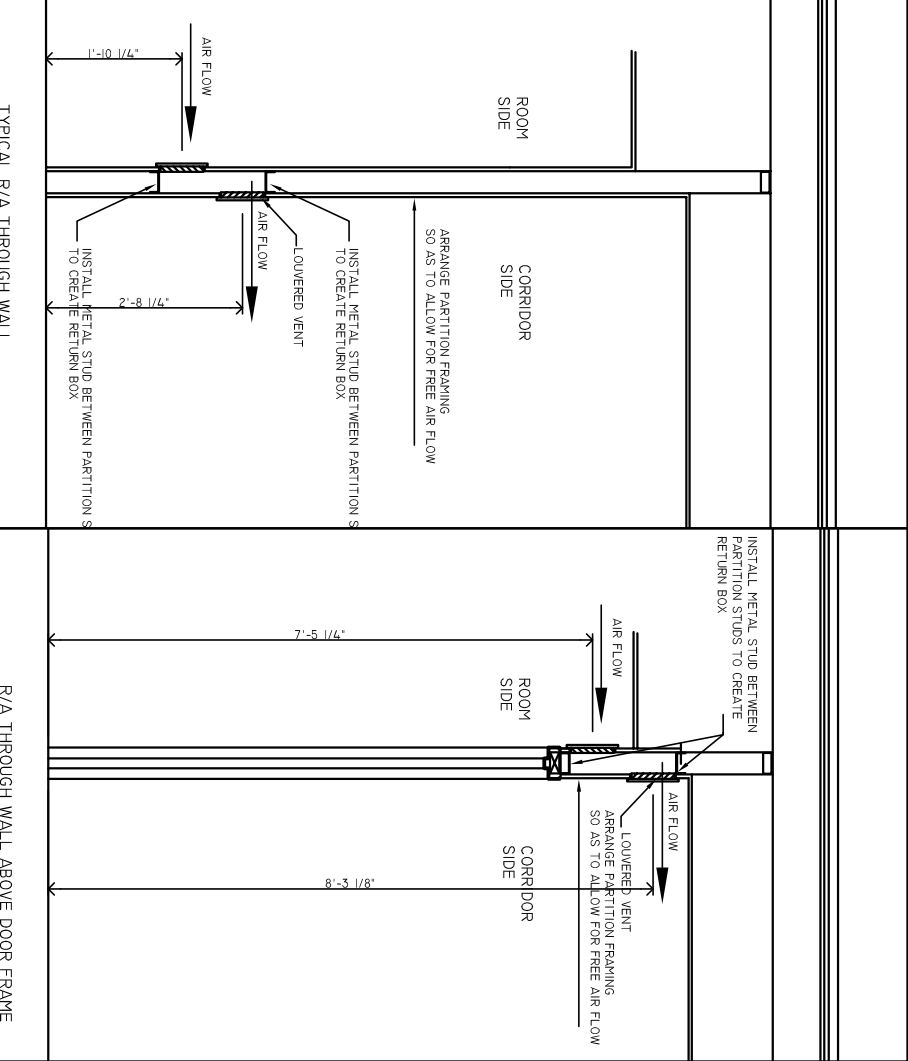
NOTES:

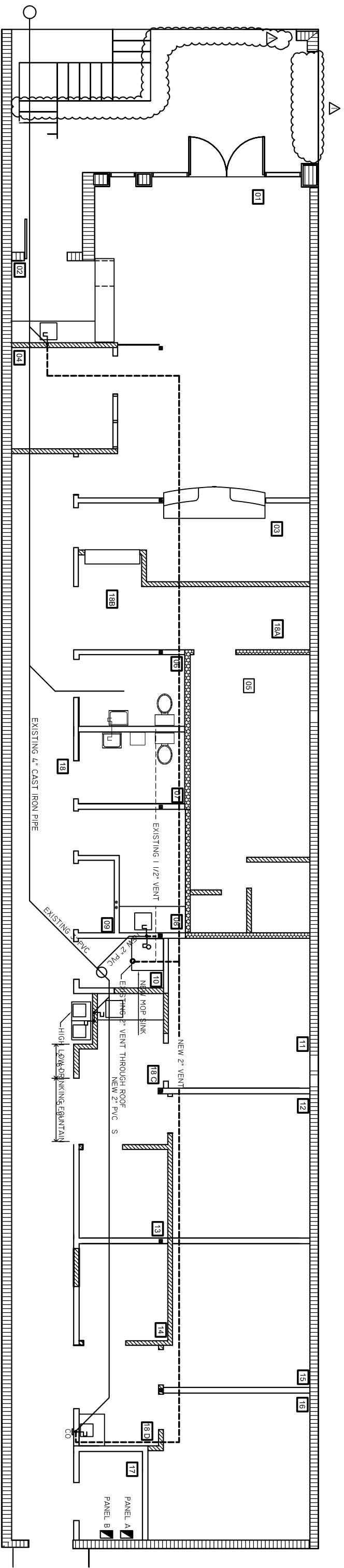
NOTE:
NO COMBUSTIBLES ALLOWED IN A/C CLOSET

NOTE:
NO LOAD CALCULATION NEEDED SINCE THERE ARE NO CHANGE IN OCCUPANCY NO CHANGE IN SQUARE FEET

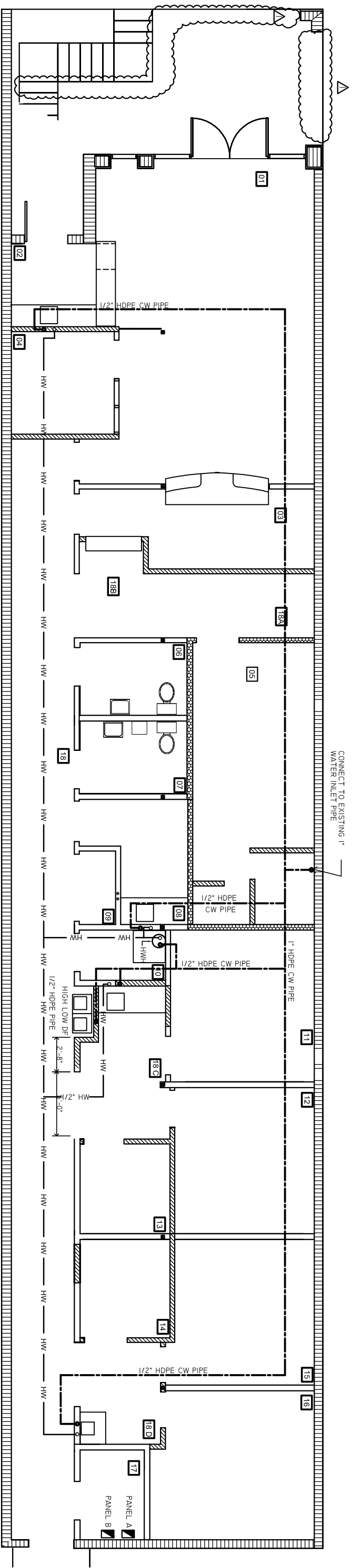
REVISIONS

NO.	REVISION	DATE
1	ADDED SCHEDULES AND R/A GRILLES TO CORR. & W/TH PLAN REVIEW COMMENTS OF 10/16/2011. GENERAL REVISION REDUCING SCOPE OF WORK	12/20/2011





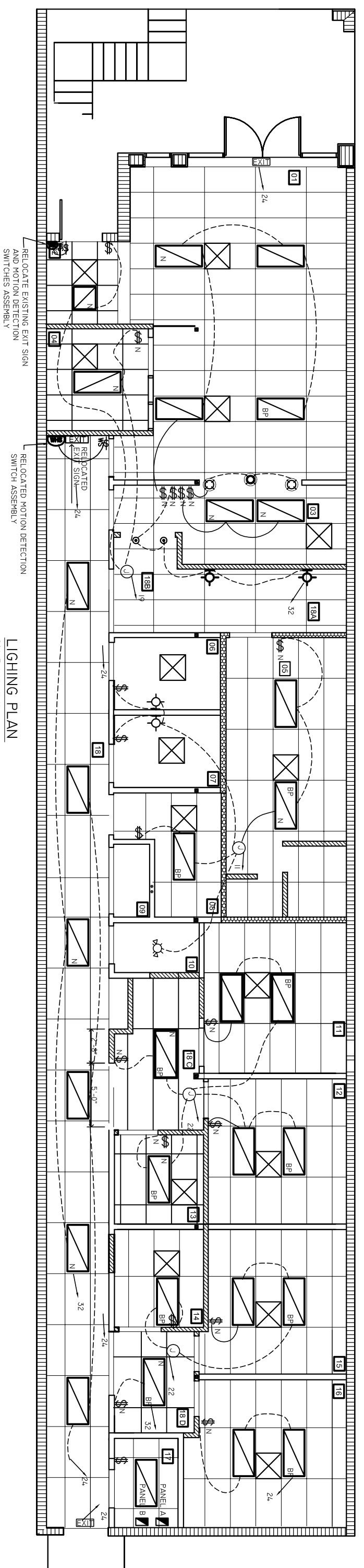
NEW SANITARY SEWER PLAN
SCALE: 1/4" = 1'-0"



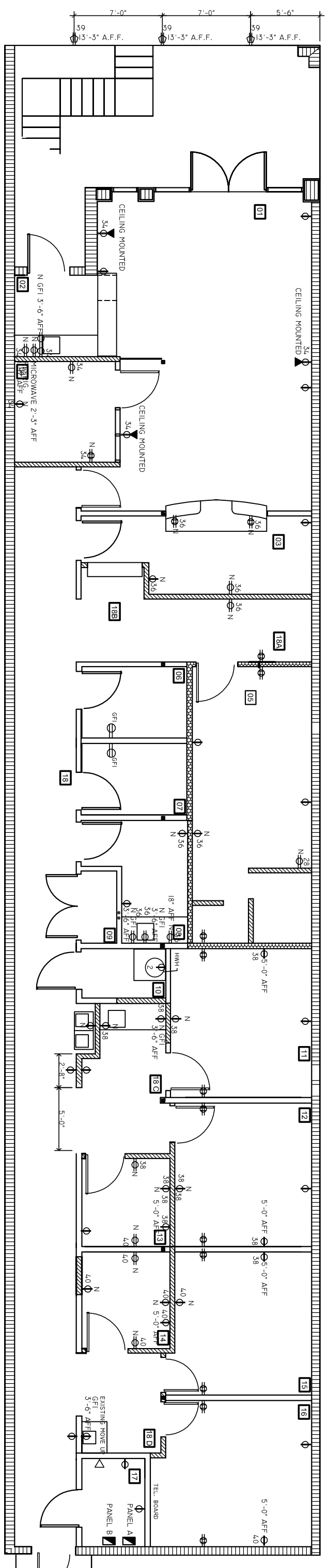
DOMESTIC WATER PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		DATE
NO.	REVISION	DATE
1	OMITTED MASONRY WALL - GENERAL REVISION REDUCING SCOPE OF WORK	12/20/2011

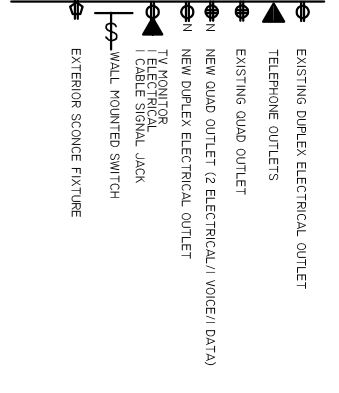
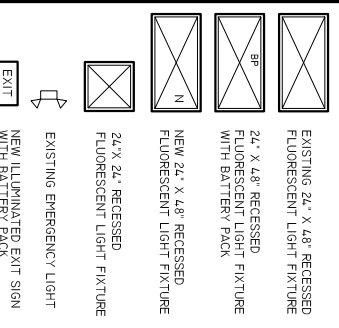
 ICON CONTRACTORS CORP. 123 North Main Street Tallahassee, FL 32302-1234 Phone: (904) 555-1234	PROJECT: MEDICAL CENTER PROJECT LOCATION: 123 N. ROQUE AVE TALENT, FL 32080	CONTRACT / PROJECT NUMBER: 	DATE: SEP. 24, 2011 SCALE: 1/4" = 1'-0" DESIGN BY: JSS/SSS ATTACHED:	ISSUED:
	CONTRACTOR / MANAGEMENT: PRELIMINARY PLANS	DATE: 12/20/2011 SCALE: 1/4" = 1'-0" DESIGN BY: JSS/SSS ATTACHED:	ISSUED:	ISSUED:



LIGHTING PLAN
SCALE: 1/4" = 1'-0"



TELEPHONE DATA AND ELECTRIC PLAN
SCALE: 1/4" = 1'-0"



REVISIONS		DATE
NO.	REVISION	DATE
1	CHANGED MARGERY WALL PER NEW REVISION REDUCING SCALE OF WORK	12/20/2011

CONTRACTOR / MANAGER	DATE - SEP 28 2011	DRAWING
SCALE 1/4" = 1'-0"	PROJECTED BY - [Name]	
PROJECT - [Name]	DATE - [Date]	E-1
PROJECT LOCATION - [Address]	SCALE - [Scale]	

ILCON CONTRACTORS CORP.
 1225 NORTH WYOMING AVENUE
 DENVER, CO 80202
 TEL: 303.733.1100 FAX: 303.733.1101

PROJECT: DENVER MEDICAL CENTER
PROJECT LOCATION: 350 N. ROCKE AVE
CONTRACT / PROJECT NUMBER: [Number]
CONTRACTOR / MANAGER: [Name]
SCALE: 1/4" = 1'-0"
DATE: SEP 28 2011
PROJECTED BY: [Name]

22,000 MINIMUM A/C RATING (PANEL & MAIN SUPPLYING PANEL)

ELECTRIC PANEL "A"

¾ CU IN 2" C

SINGLE PHASE					SINGLE PHASE						
CIR	DESCRIPTION	WIRE	COND	TRIP	LOAD	CIR	DESCRIPTION	WIRE	COND	TRIP	LOAD
1	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	2	WATER HEATER	#10	1/2"	IP-60	7.2
3	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	4	MULTIPOLE CIRCUIT ABOVE				
5	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	6	A/C COMPRESSOR #1 EXIST	#10	1/2"	IP-40	
7	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	8	MULTIPOLE CIRCUIT ABOVE				
9	ROOF TOP GFI EXIST	#12	1/2"	IP-20	GL	10	A/C COMPRESSOR #2 EXIST.	#10	1/2"	IP-40	
11	LIGHTING EXISTING	#12	1/2"	IP-20	GL	12	MULTIPOLE CIRCUIT ABOVE				
13	EXTERIOR LIGHTING EXIST	#12	1/2"	IP-20	GL	14	AIR HANDLER UNIT #1 EXIST.	#10	1/2"	IP-40	
15	EXTERIOR LIGHTS FRONT	#12	1/2"	IP-20	GL	16	MULTIPOLE CIRCUIT ABOVE				
17	GFI RESTROOMS	#12	1/2"	IP-20	GL	18	AIR HANDLER UNIT #2 EXIST.	#10	1/2"	IP-40	
19	LIGHTING EXISTING	#12	1/2"	IP-20	GL	20	MULTIPOLE CIRCUIT ABOVE				
21	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	22	LIGHTING EXISTING	#12	1/2"	IP-20	GL
23	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	24	EXIT & EMERG LIGHTS EXIST.	#12	1/2"	IP-20	GL
25	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	26	ELECTRICAL ROOM NEW	#12	1/2"	IP-20	
27	RECEPTACLES NEW	#12	1/2"	IP-20	GL	28	X-RAYS GENERATOR NEW	#10	1/2"	IP-80	
29	RECEPTACLES NEW	#12	1/2"	IP-20	GL	30	MULTIPOLE CIRCUIT ABOVE				
31	RECEPTACLES NEW	#12	1/2"	IP-20	GL	32	RECEPTACLES NEW	#12	1/2"	IP-20	GL
33	RECEPTACLES NEW	#12	1/2"	IP-20	GL	34	RECEPTACLES NEW	#12	1/2"	IP-20	GL
35	RECEPTACLES NEW	#12	1/2"	IP-20	GL	36	RECEPTACLES NEW	#12	1/2"	IP-20	GL
37	EXIT SIGNS NEW	#12	1/2"	IP-20	GL	38	RECEPTACLES NEW	#12	1/2"	IP-20	GL
39	SPARE					40	SPARE				

GENERAL LIGHTING 2802 SQ. FT X .0035KW 9.8

TOTAL DEMAND LOAD

FIRST 10KW @ 100%

A/C LOAD @ 100%

TOTAL

10

ELECTRIC PANEL "B"

¾ CU IN 2" C

SINGLE PHASE					SINGLE PHASE						
CIR	DESCRIPTION	WIRE	COND	TRIP	LOAD	CIR	DESCRIPTION	WIRE	COND	TRIP	LOAD
1	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	2	AIR HANDLER UNIT # 3 EXIST	#10	1/2"	IP-60	
3	EXIT & EMERG. LIGHTS EXIST	#12	1/2"	IP-20	GL	4	MULTIPOLE CIRCUIT ABOVE				
5	LIGHTING EXISTING	#12	1/2"	IP-20	GL	6	AIR HANDLER # 3 EXISTING	#10	1/2"	IP-60	
7	GFI RESTROOMS EXISTING	#12	1/2"	IP-20	GL	8	MULTIPOLE CIRCUIT ABOVE				
9	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	10	A/C COMPRESSOR #3 EXIST.	#10	1/2"	IP-40	
11	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	12	MULTIPOLE CIRCUIT ABOVE				
13	SMALL APPLIANCES EXIST	#12	1/2"	IP-20	GL	14	A/C COMPRESSOR # 4 EXIST.	#10	1/2"	IP-40	
15	REFRIGERATOR EXISTING	#12	1/2"	IP-20	GL	16	MULTIPOLE CIRCUIT ABOVE				
17	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL	18	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL
19	LIGHTS/RECEPTACLES EXIST	#12	1/2"	IP-20	GL	20	LIGHTS & RECEPT EXIST	#12	1/2"	IP-20	GL
21	LIGHTING/RECEPTACLES EXIST	#12	1/2"	IP-20	GL	22	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL
23	LIGHTING EXISTING	#12	1/2"	IP-20	GL	24	RECEPTACLES EXISTING	#12	1/2"	IP-20	GL
25	OPEN EXISTING	#12	1/2"	IP-20	GL	26	SIGNS EXISTING	#12	1/2"	IP-20	GL
27	SPARE					28	SPARE				
29	SPARE					30	SPARE				
31	SPARE					32	SPARE				
33	SPARE					34	SPARE				
35	SPARE					36	SPARE				
37	SPARE					38	SPARE				
39	SPARE					40	SPARE				

GENERAL LIGHTING 2802 SQ. FT X .0035KW 9.8

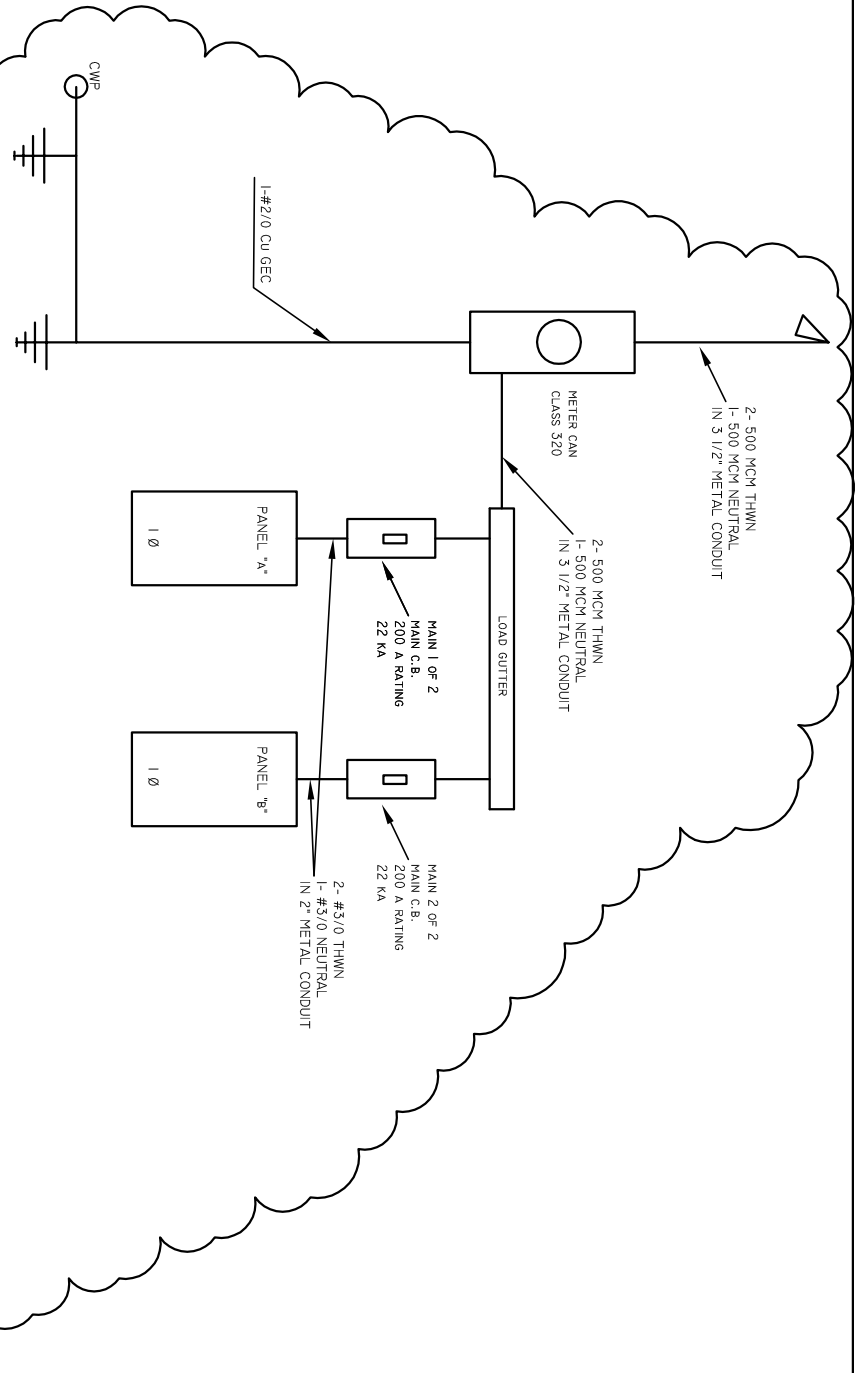
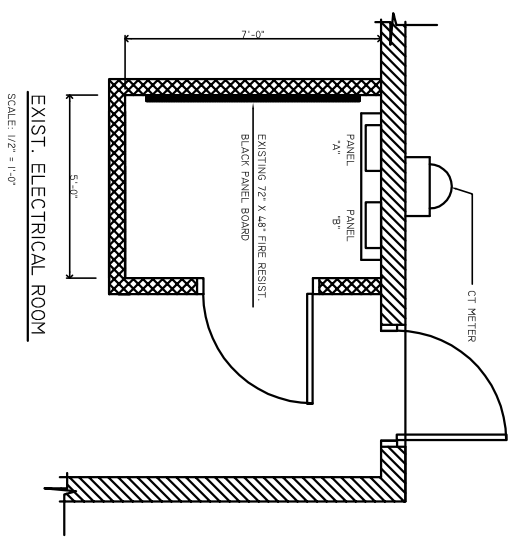
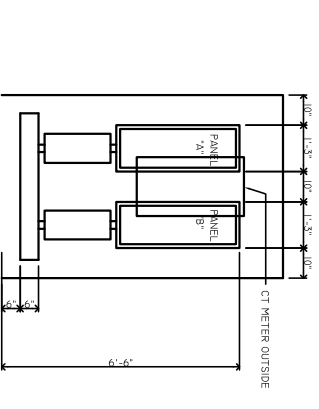
TOTAL DEMAND LOAD

FIRST 10KW @ 100%

A/C LOAD @ 100%

TOTAL

10



LOAD CALCULATION (SERVICE ENTRANCE CONDUCTORS):

LIGHTING LOAD:	2665 x 3.5 = 9327 VA	2965 x 3.5 = 10375 VA	19704 VA x 1.25 = 24630 VA
1ST FLOOR			
2ND FLOOR			
SIGN LOAD:			1500 VA
RECEPTACLES LOAD: (NEC 220-13)	180 x 80 = 14400 VA	360 x 2 = 720 VA	15120 VA
FIRST 10000 VA @ 100%			10000 VA
REMAINER @ 50%			2560 VA
EQUIPMENT LOAD:			12560 VA
X-RAY GENERATOR	240 V	Ø	XXXX VA
WATER FOUNTAINS	120 V	Ø	600 VA
REFRIGERATOR	120 V	Ø	1200 VA
WATER HEATER	240 V	Ø	4500 VA
A/C LOAD @ 100%:			
A/C UNIT-1	5 KW	Ø	9600 VA
A/C COMPRESSOR	9.6 KW	Ø	9600 VA
HEATER ELEMENT	240 V	Ø	9600 VA
A/C UNIT-2	5 KW	Ø	9600 VA
A/C COMPRESSOR	9.6 KW	Ø	9600 VA
HEATER ELEMENT	240 V	Ø	9600 VA
A/C UNIT-3	5 KW	Ø	9600 VA
A/C COMPRESSOR	9.6 KW	Ø	9600 VA
HEATER ELEMENT	240 V	Ø	9600 VA
MOTOR LOAD:			
EXHAUST FAN-1	60W	Ø	120 VA
LARGE MOTOR @ 25 %:	5000 x 0.25 =		1250 VA
TOTAL LOAD:	78160 / 240 =	325 AMPS	78160 VA

VOLTAGE DROP CALCULATIONS:

FEDER CONDUCTORS AND BRANCH CIRCUITS:

215-2(A)(3) FPN NO. 2

210-19(A), FPN 4, TABLE 8, CH. 9

ALLOWABLE VD:

VD = 240 V X 5%

VD = 12 V

R = 0.0797 OHMS/1000' FOR #3/0 CU

R = 2.05 OHMS/1000' FOR #2 CU

VD = 2 X R X L X I / 1000

I = 20 AMPS

LENGTH = 10 FT #3/0 THWN 0.0008 OHMS

LENGTH = 100 FT #12 THWN 0.205 OHMS

VD = 2 X 2.058 X 100 X 20 / 1000

VD = 9.05 V

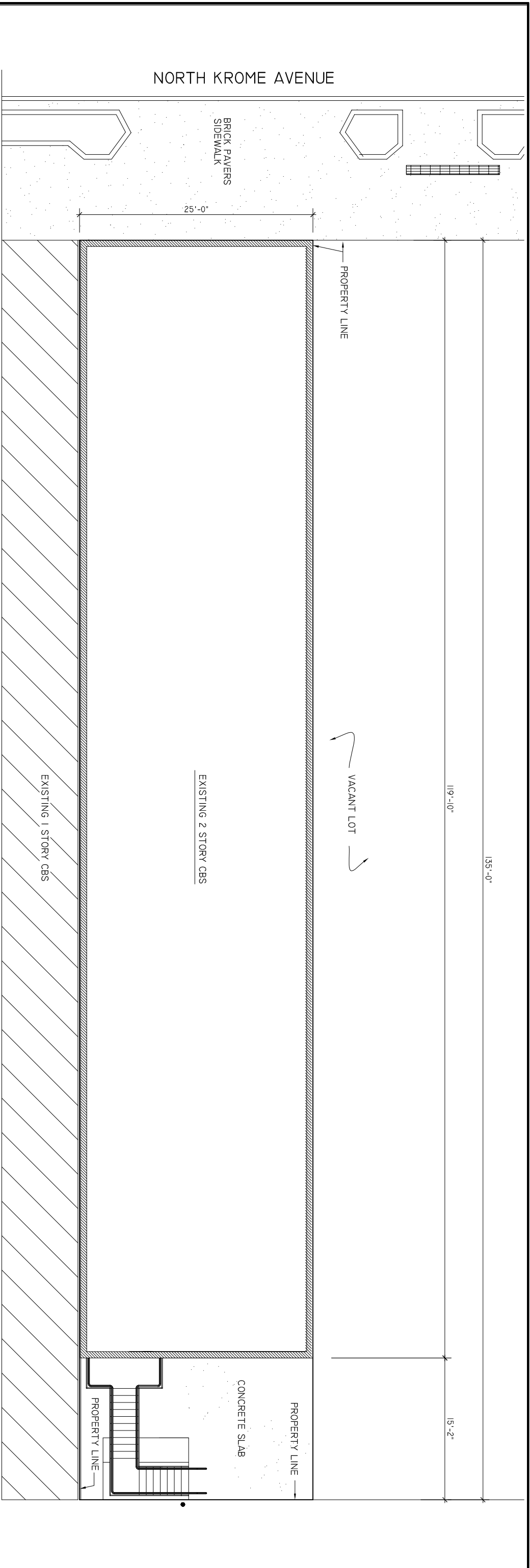
VOLTAGE DROP FOR LONGER CIRCUIT IS WITHIN THE ALLOWABLE RANGE.

NO.	REVISIONS	DATE
1	REVISED TO COMPLY WITH PLAN REVIEW COMMENTS OF	12/20/2011

ILCON CONTRACTORS CORP.
 12345 INDUSTRIAL BLVD
 TAMPA, FL 33604
 (813) 555-1234

PROJECT NAME: MEDICAL CENTER	CONTRACT / PROJECT NUMBER
PROJECT LOCATION: 123 N. ROAD AVE	ESTIMATE NUMBER
DATE: 12/20/2011	REVISIONS
DATE: 12/20/2011	DATE: 12/20/2011

E-1



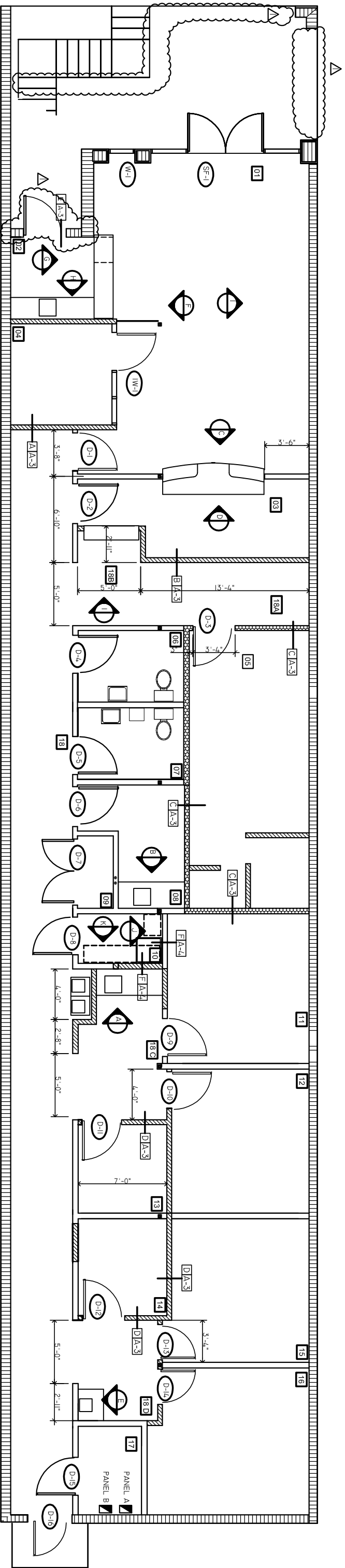
PROJECT DESCRIPTION

- EXISTING 2 STORY MASONRY BUILDING BUILT IN 1911.
- TOTAL AREA TO BE REMODELED 2995 SF
- REMODELING WILL OCCUR ON THE GROUND FLOOR ONLY.
- EXISTING USE OF GROUND FLOOR IS COMMERCIAL OFFICES AND DOCTORS OFFICES
- REMODELLED AREA WILL BE USED FOR MEDICAL OFFICES.

SITE PLAN
SCALE 3/16" = 1'-0"

REVISIONS		DATE
NO.	REVISION	
1	ADDED DRAWING SITE PLAN	4/12/2012

<p>ICON CONTRACTORS CORP. 123 north 1st street homestead, fl 33453 telephone: 305-225-1002 fax: 305-445-7000</p>	<p>PROJECT PRECARE MEDICAL CENTER PROJECT LOCATION: 123 N. KROME AVE HOMESTEAD, FL 33453</p>	<p>CONTRACT / PROJECT NUMBER CONTRACTING / MANAGEMENT</p>	<p>DATE: SEP. 2, 2011 SCALE: 3/16" = 1'-0" DATE: 4/12/2012 APPROVED:</p>	<p>DRAWING SITE-1</p>
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FLOOR PLAN
SCALE 1/2"=1'-0"

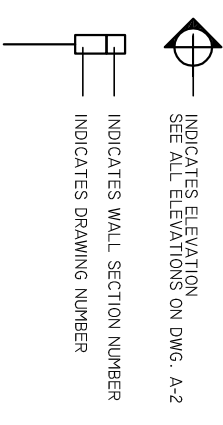
ROOM NUMBERS

NO	NAME
01	LOBBY
02	SERVICE AREA
03	RECEPTION
04	MARKETING
05	X-RAYS
06	WOMENS TOILET
07	MENS TOILET
08	LABORATORY
09	AHU # 1 AHU # 2
10	MOP CLOSET
11	EXAMINATION ROOM
12	EXAMINATION ROOM
13	EXAMINATION ROOM
14	EXAMINATION ROOM
15	EXAMINATION ROOM
16	EXAMINATION ROOM
17	COMMUNICATION & ELECTRICAL ROOM
18	CORRIDOR
18A	WHEEL CHAIR STORAGE
18B	PAYMENT WINDOW
18C	EXAM ROOM VESTIBULE 1
18D	EXAM ROOM VESTIBULE 2

FINISH SHCHEDULE

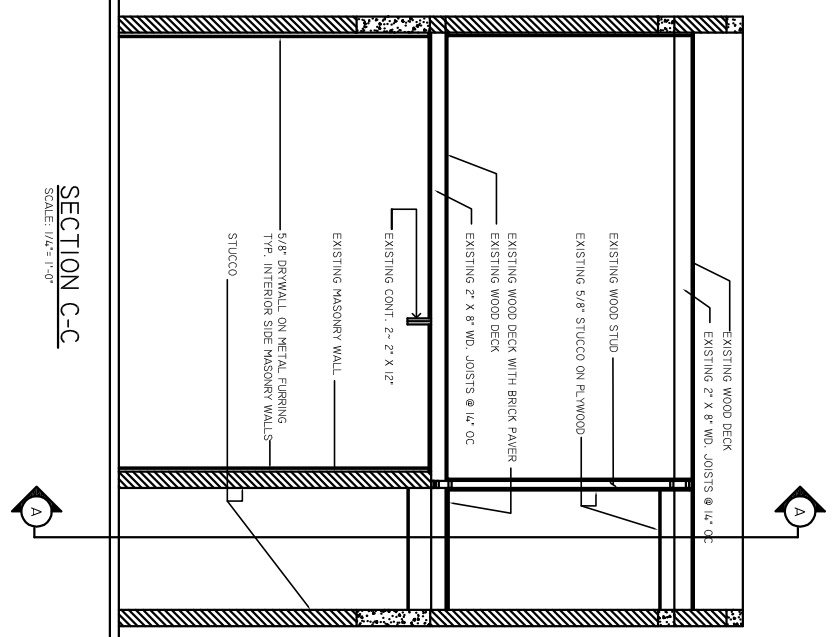
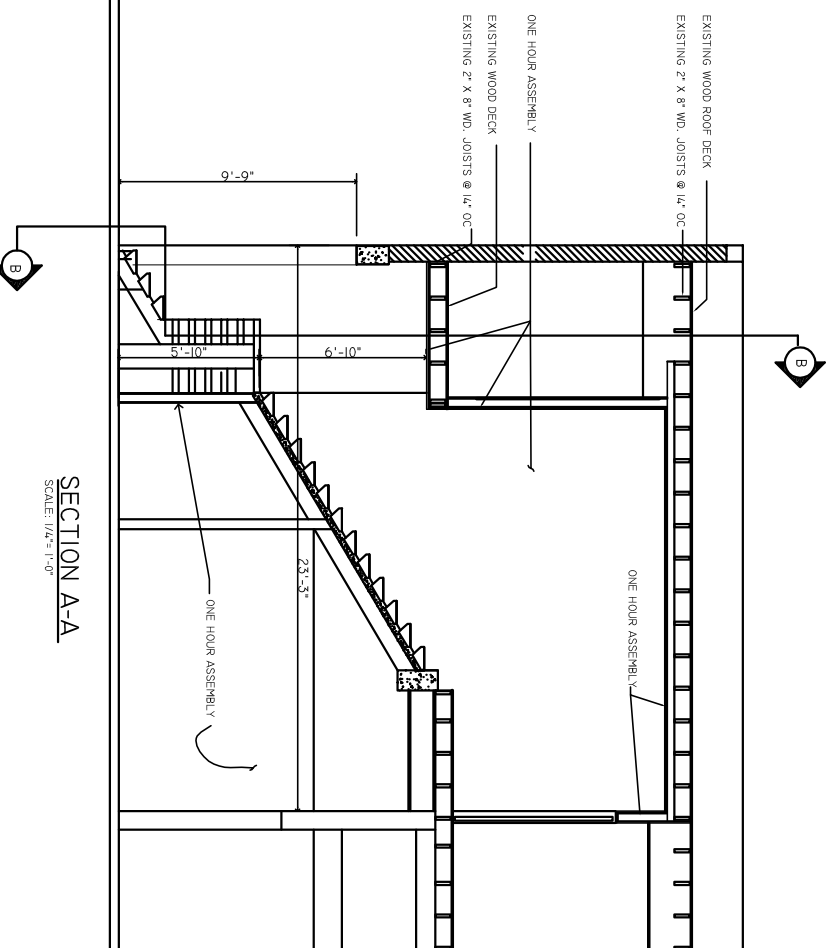
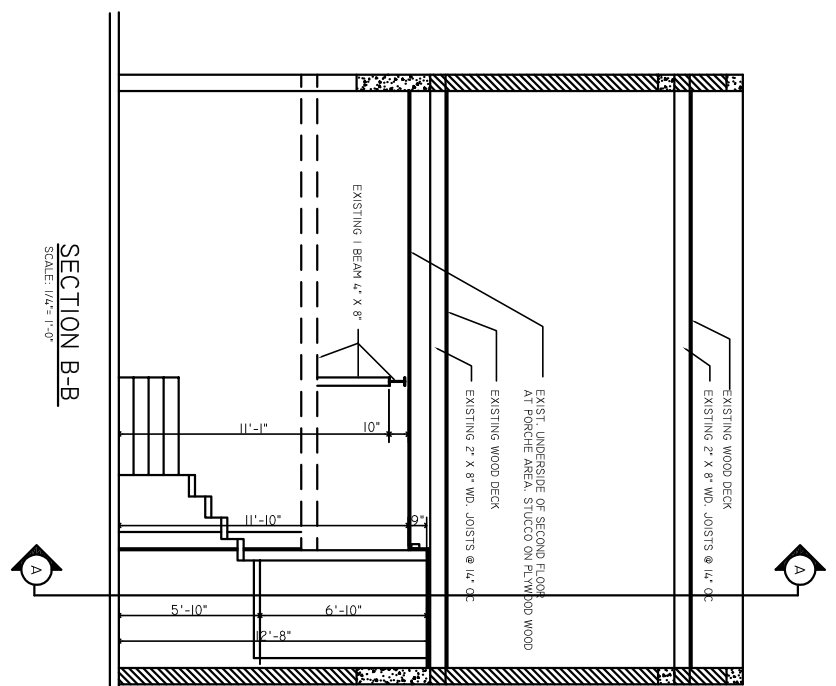
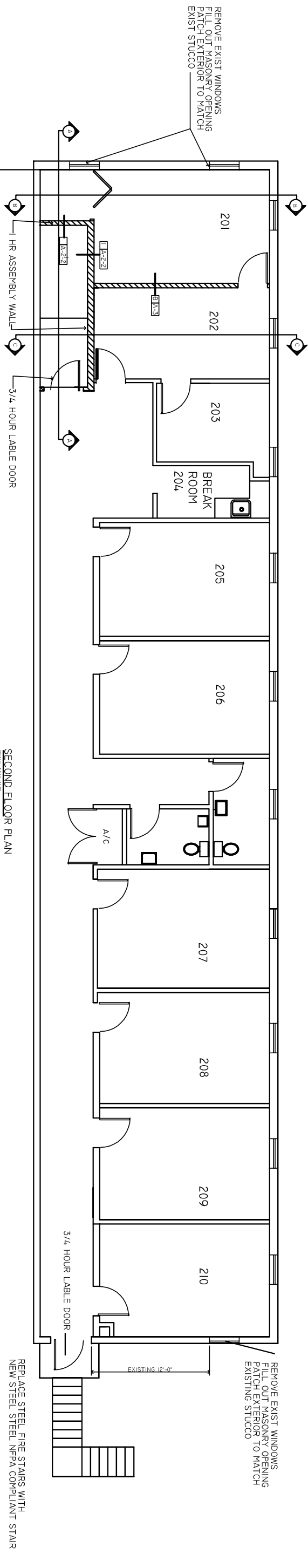
ROOM	NAME	WALLS	CEILING	FLOOR	BASE	REMARKS	NOTES
01	LOBBY	5/8" DRYWALL	ACUSTIC TILE	PORCELAIN TILE	6" FIBER BOARD	SPECIAL FINISHES SEE ELEVATION "C" DWG A-2	
02	SERVICE AREA	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL	SPECIAL FINISHES SEE ELEVATION "G" DWG A-2	
03	RECEPTION	5/8" DRYWALL	ACUSTIC TILE	VCT	6" FIBER BOARD		
04	MARKETING	5/8" DRYWALL	ACUSTIC TILE	PORCELAIN TILE	6" FIBER BOARD		
05	X-RAYS	5/8" DRYWALL LEAD LINED	ACUSTIC TILE	VCT	4" VINYL		
06	WOMENS TOILET	5/8" DRYWALL	ACUSTIC TILE	CERAMIC TILE	CERAMIC TILE		
07	MENS TOILET	5/8" DRYWALL	ACUSTIC TILE	CERAMIC TILE	CERAMIC TILE		
08	LABORATORY	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL		
09	AHU #1 / AHU #2	5/8" DRYWALL	OPEN	CONCRETE	N/A		
10	MOP CLOSET	5/8" DRYWALL	OPEN	VCT	4" VINYL		
11	EXAMINATION ROOM	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL		
12	EXAMINATION ROOM	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL		
13	EXAMINATION ROOM	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL		
14	EXAMINATION ROOM	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL		
15	EXAMINATION ROOM	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL		
16	EXAMINATION ROOM	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL		
17	COMMUNICATION & ELECTRICAL ROOM	5/8" DRYWALL	ACUSTIC TILE	CONCRETE			
18	CORRIDOR	5/8" DRYWALL	ACUSTIC TILE	EXISTING PORCELAIN TILE	6" FIBER BOARD		
18A	WHEEL CHAIRS	5/8" DRYWALL	ACUSTIC TILE	PORCELAIN TILE	6" FIBER BOARD	MATCH EXISTING CORRIDOR PORCELAIN TILE	
18B	PAYMENT WINDOW	5/8" DRYWALL	ACUSTIC TILE	PORCELAIN TILE	6" FIBER BOARD	MATCH EXISTING CORRIDOR PORCELAIN TILE	
18C	EXAM ROOM VESTIBULE	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL	MATCH EXISTING CORRIDOR PORCELAIN TILE	
18D	EXAM ROOM VESTIBULE	5/8" DRYWALL	ACUSTIC TILE	VCT	4" VINYL	MATCH EXISTING CORRIDOR PORCELAIN TILE	

LEGEND

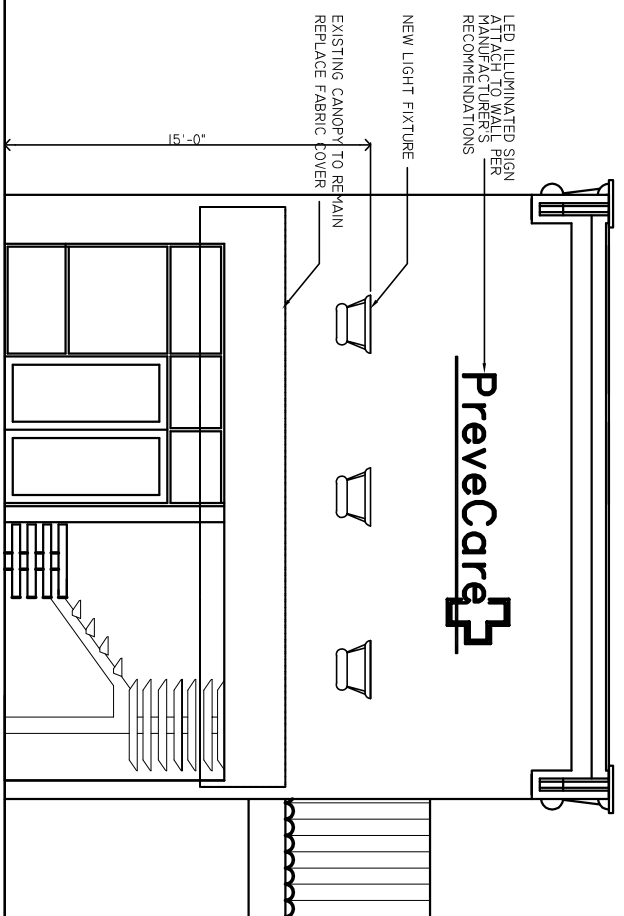


REVISIONS		DATE
NO.	REVISION	DATE
1	OMITTED MASONRY WALL. GENERAL REVISION REDUCING SCOPE OF WORK	12/20/2011

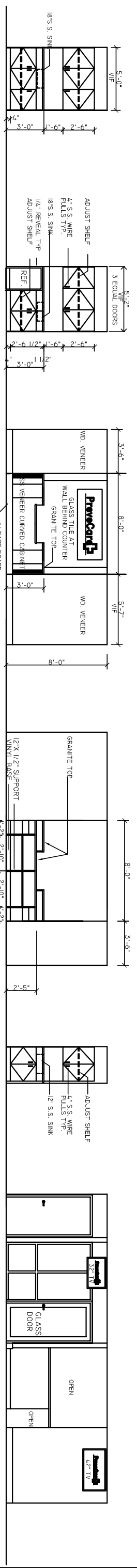
ICON CONTRACTORS CORP. DESIGN ENGINEERS PERMIT 123 NORTH 1ST STREET TAMPAH, FL 33602-1000	PROJECT / PROJECT NUMBER PRELIMINARY MEDICAL CENTER PROJECT LOCATION: 123 N. ROYAL AVE TAMPAH, FL 33602-1000	CONTRACT / PROJECT NUMBER CONTRACT NO. 12345678	CONTRACTOR / MANAGEMENT DESIGNING FLOOR PLAN	DATE REV. 12/20/11 DESIGN BY: JSM/SSS CHECKED BY: JSM/SSS	SCALE A-1
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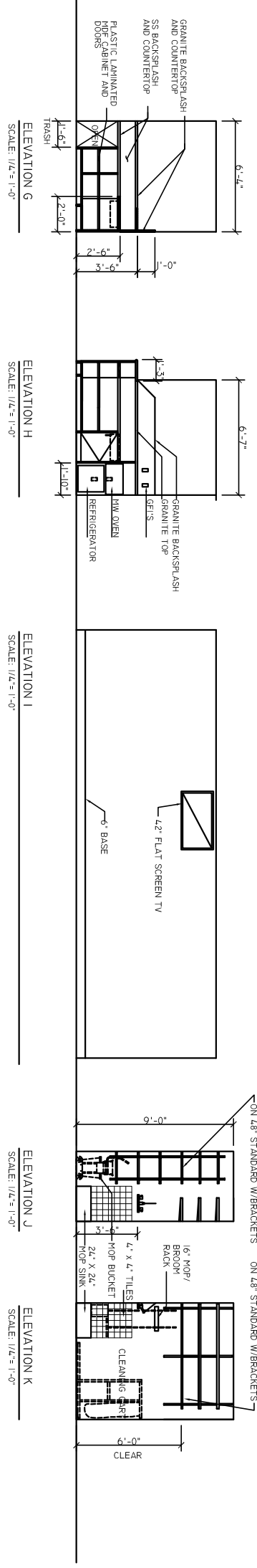
 ICON CONTRACTORS CORP. 123 North Main Street Tallahassee, FL 32301 Phone: 904-555-1234	PROJECT: MEDICAL CENTER PROJECT LOCATION: 123 N. ROYAL AVE DATE: 10/20/2024	CONTRACT / PROJECT NUMBER: 2024-001	CONTRACTOR / MANAGEMENT: PROJECT MANAGER	DATE: 10/20/2024 SCALE: 1/4"=1'-0" BY: [Signature] CHECKED: [Signature]	REVISION: A-1-2
	PROJECT MANAGER: [Name] PROJECT LOCATION: 123 N. ROYAL AVE DATE: 10/20/2024	CONTRACT / PROJECT NUMBER: 2024-001	CONTRACTOR / MANAGEMENT: PROJECT MANAGER	DATE: 10/20/2024 SCALE: 1/4"=1'-0" BY: [Signature] CHECKED: [Signature]	REVISION: A-1-2



INTERIOR ELEVATIONS
SCALE 1/4" = 1'-0"



ALL CABINETS SHALL BE BUILT W/ MDF
ALL DOORS SHALL BE MDF W/ PLASTIC LAM ON BOTH SIDES
EDGES SHALL BE COVERED IN PVC
ALL BACKSPLASHES SHALL BE FULL BACKSPLASH ON ALL 3 SIDES WHERE APPLICABLE

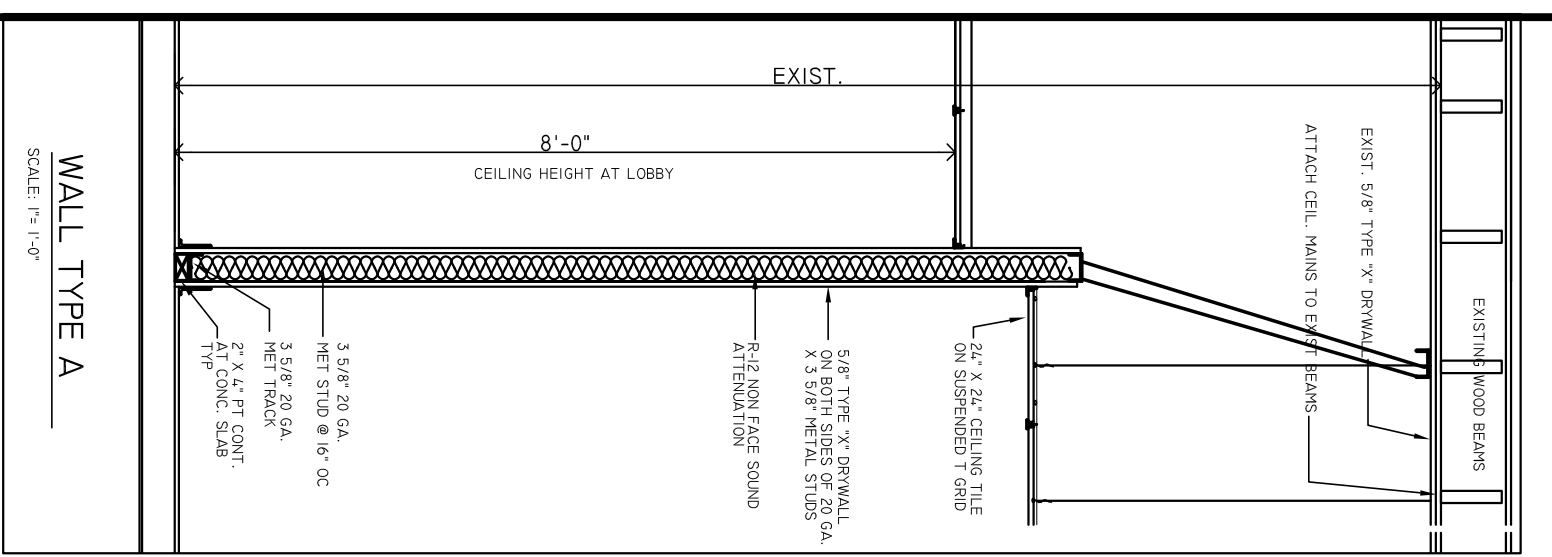


REVISIONS	
NO.	REVISION
1	GENERAL REVISION REDUCING SCOPE OF WORK
	DATE
	12/20/2011

ICON CONTRACTORS CORP.
DESIGN ENGINEERING DEPARTMENT
123 North 1st Street
Tampa, Florida 33602-1000 | Tel: 813-241-7100

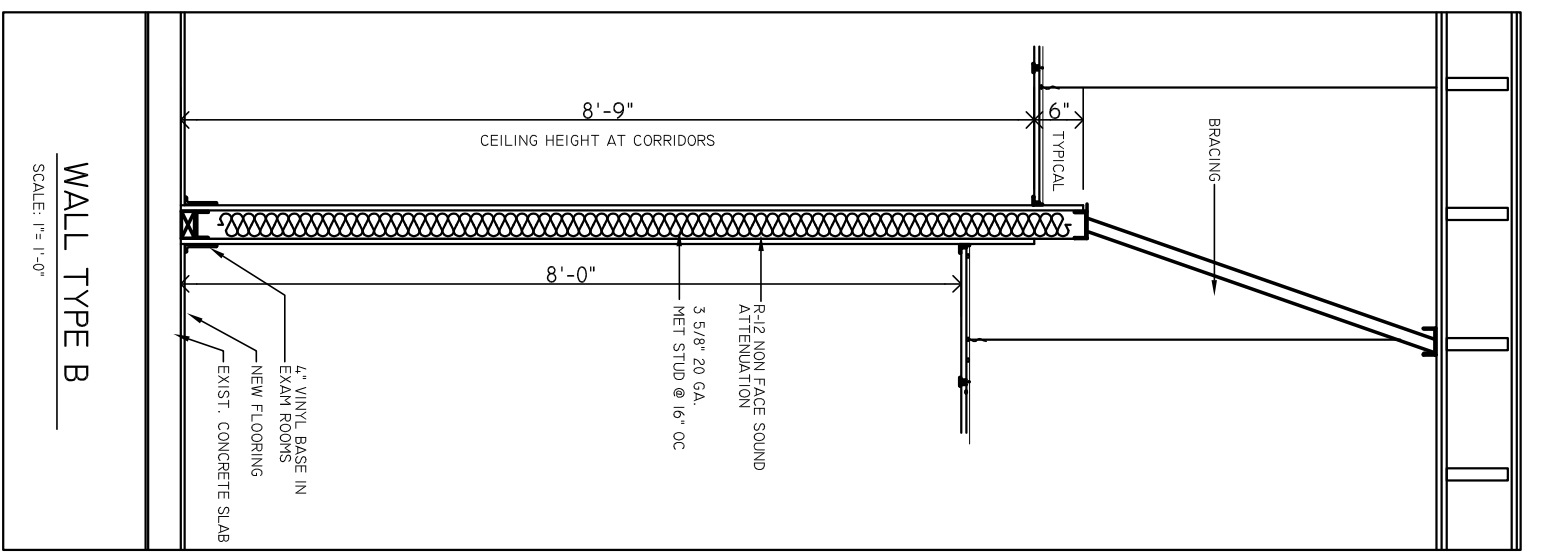
PROJECT: PREVE CARE MEDICAL CENTER
PROJECT LOCATION: 133 N. ROQUE AVE
TAMPA, FL 33602

CONTRACT / PROJECT NUMBER: []
CONTRACTOR / MANAGEMENT: []
DATE: SEP 2 2011
SCALE: A-2



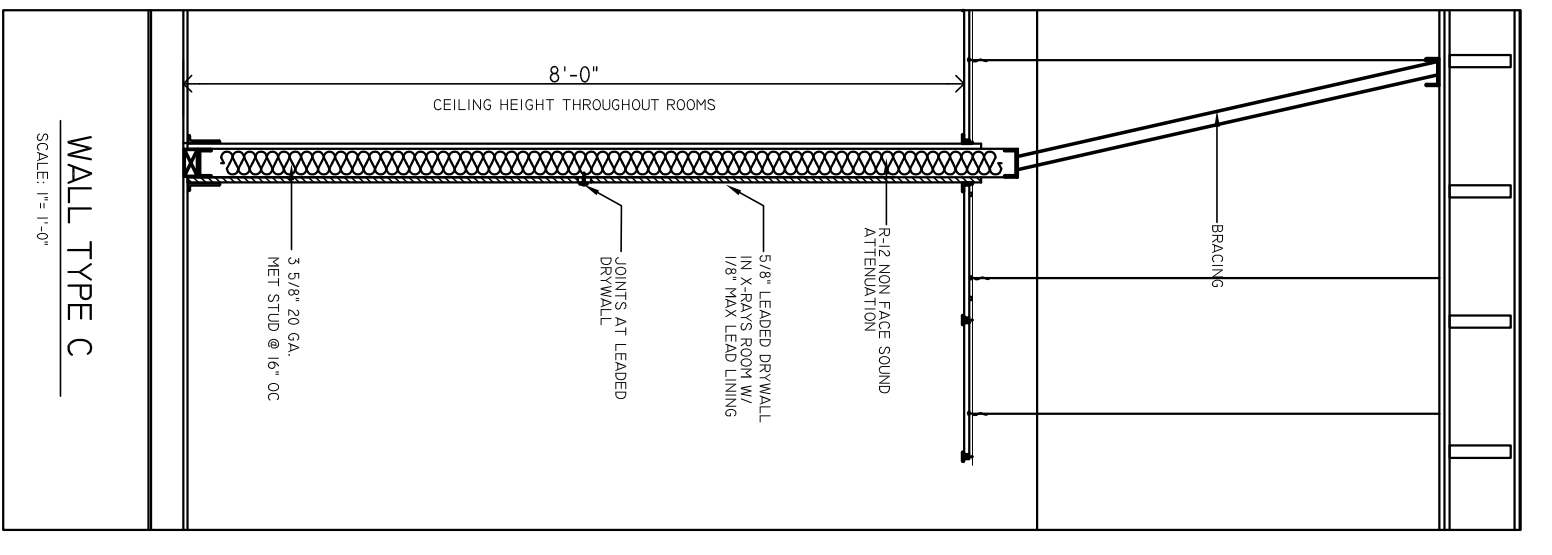
WALL TYPE A

SCALE: 1" = 1'-0"



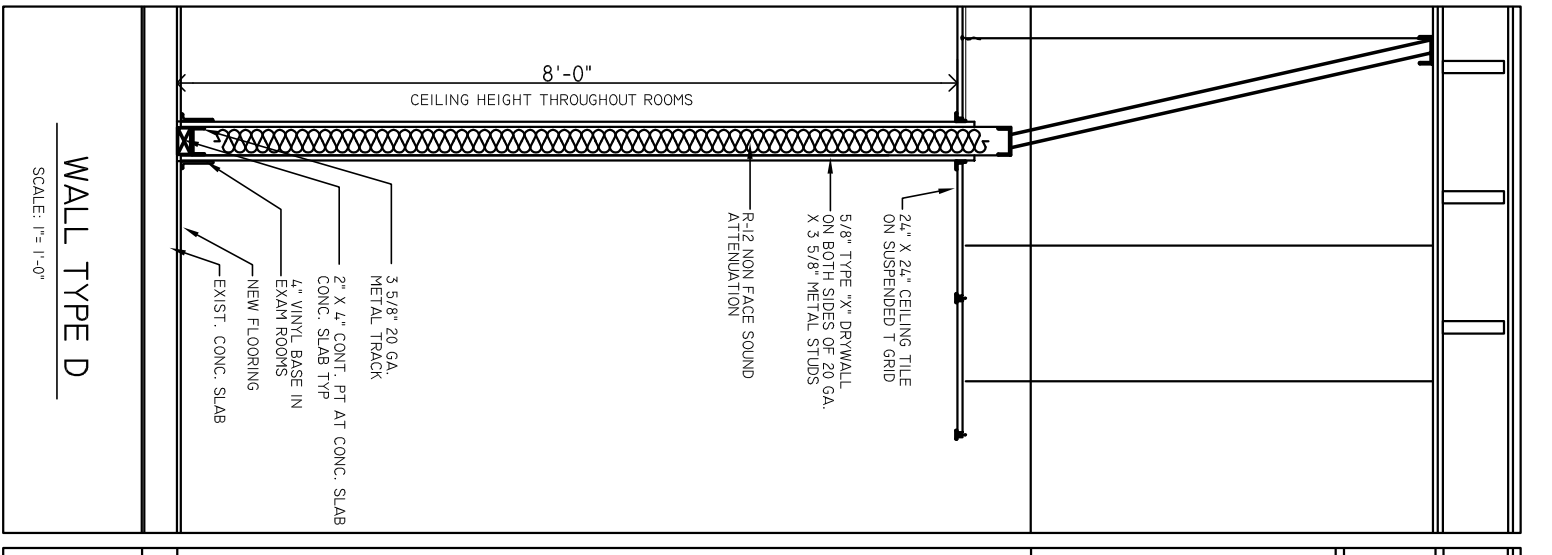
WALL TYPE B

SCALE: 1" = 1'-0"



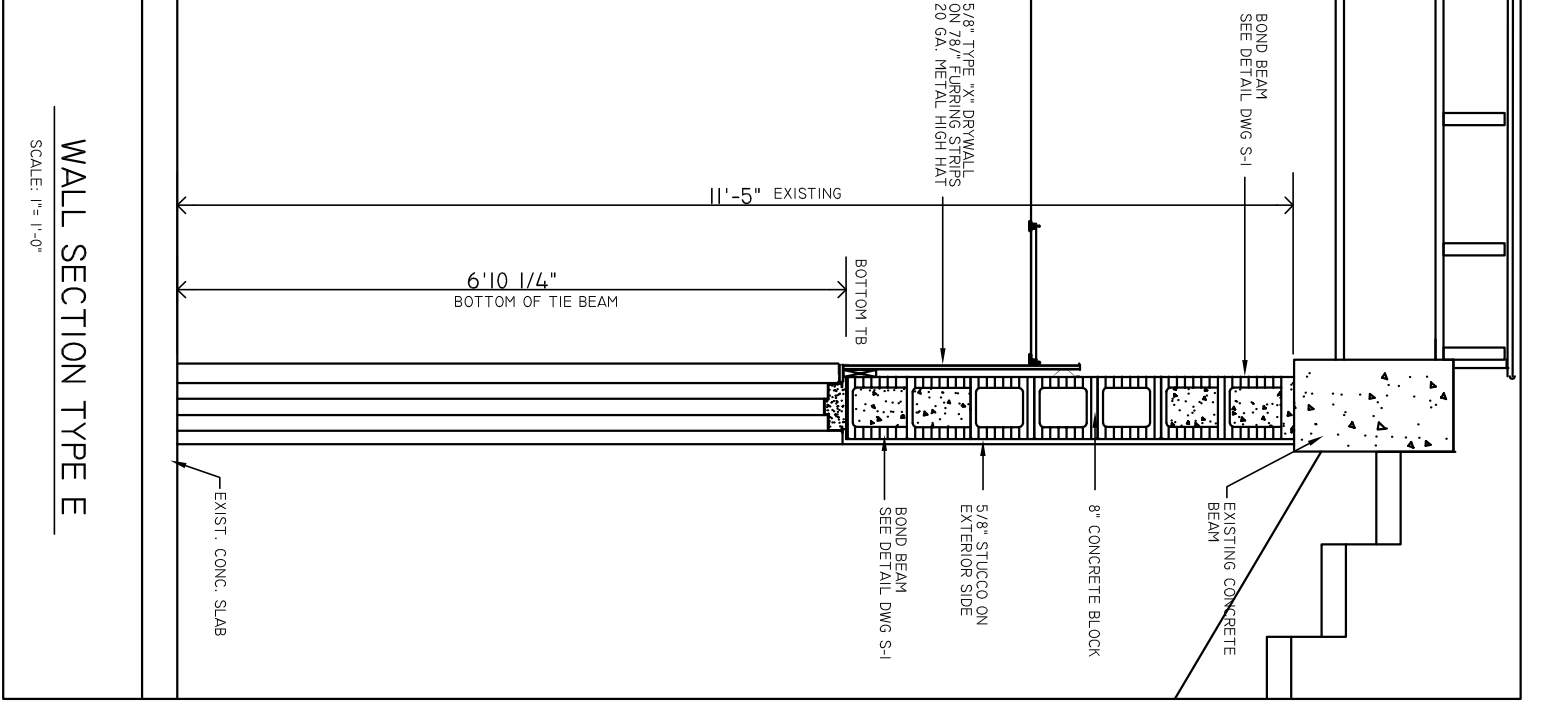
WALL TYPE C

SCALE: 1" = 1'-0"



WALL TYPE D

SCALE: 1" = 1'-0"



WALL SECTION TYPE E

SCALE: 1" = 1'-0"

REVISIONS	
NO.	DATE
1	12/20/2011
REVISED MASONRY WALL SECTION.	

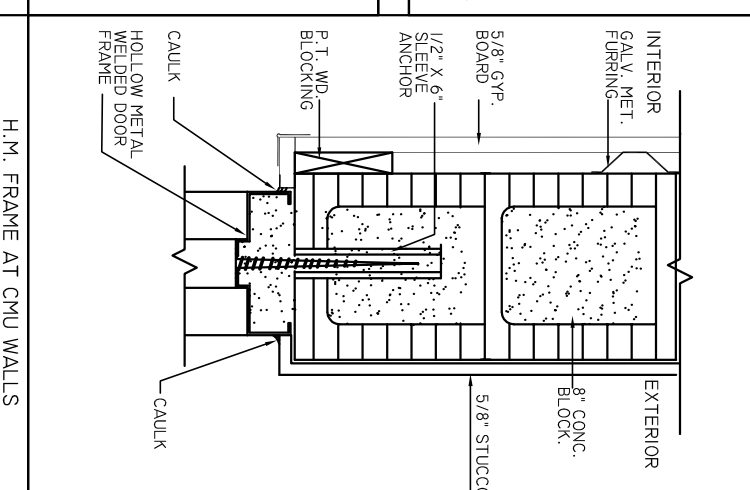
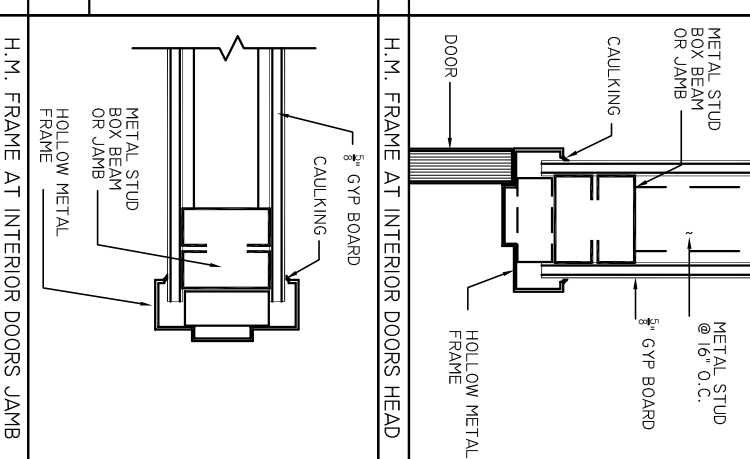
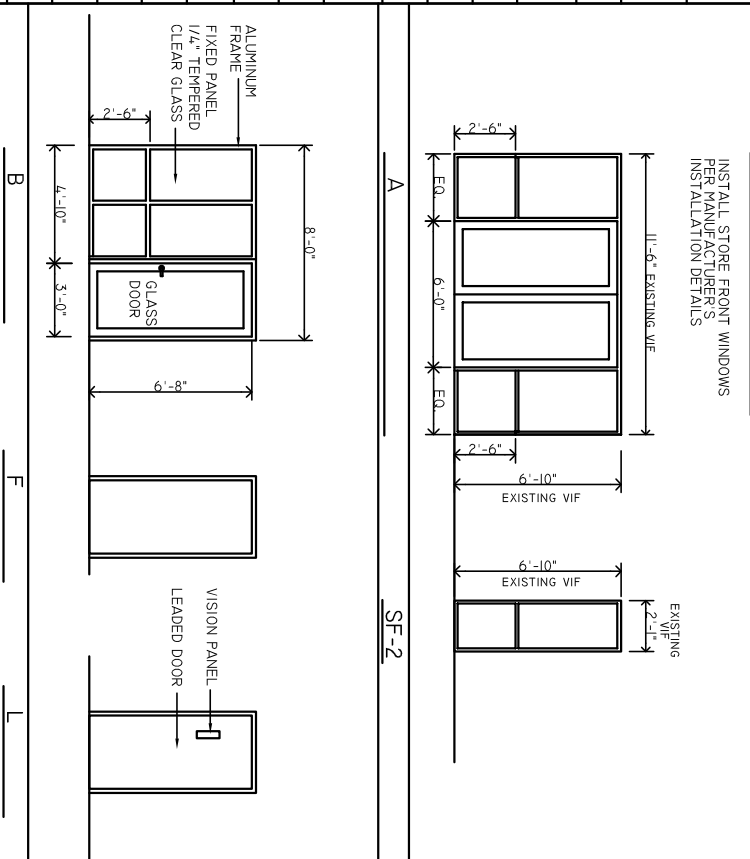
DOOR SCHEDULE

GROUP NO.	TYPE	DOOR			FRAME			HARDWARE NO.	REMARKS
		DIMENSIONS	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL		
SF-1	A	EXISTING	ALUM / GLASS	SEE REMARKS	ALUMINUM	WHITE ALUM	1	STORE FRONT HURRICANE RESISTANT. TINTED GLASS INSULATED	
D-1	F	3'-0" X 6'-8"	SC. WOOD	VARNISH	HOLLOW METAL	PAINT	3	ELECTRIC BUZZER	
D-2	F	3'-0" X 6'-8"	SC. WOOD	VARNISH	EXISTING H.M.	PAINT	4		
D-3	L	3'-0" X 6'-8"	SC. WOOD LEAD LINED	VARNISH	H.M. LEADED	PAINT	4	LEAD INSULATED VISION PANEL	
D-4	EXISTING	3'-0" X 6'-8"	SC. WOOD	VARNISH	EXISTING H.M.	PAINT	EXISTING	REMOVE EXISTING KEVED LOCK INSTALL PRIVACY LOCK. REFURBISH	
D-5	EXISTING	3'-0" X 6'-8"	SC. WOOD	VARNISH	EXISTING H.M.	PAINT	EXISTING	REMOVE EXISTING KEVED LOCK INSTALL PRIVACY LOCK. REFURBISH	
D-6	EXISTING	3'-0" X 6'-8"	SC. WOOD	VARNISH	EXISTING H.M.	PAINT	6	REMOVE EXISTING KEVED LOCK INSTALL PRIVACY LOCK. REFURBISH	
D-7	LVERED EXIST	6'-0" X 6'-8"	HOLLOW METAL	PAINT	EXISTING H.M.	PAINT	EXISTING	REFURBISH REPAINT	
D-8	LVERED EXIST	3'-0" X 6'-8"	HOLLOW METAL	PAINT	EXISTING H.M.	PAINT	EXISTING	REFURBISH REPAINT	
D-9	F	3'-0" X 6'-8"	SC. WOOD	VARNISH	NEW HM 16 GA.	PAINT	4	REMOVE EXISTING KEVED LOCK	
D-10	F	3'-0" X 6'-8"	REUSE EXISTING	VARNISH	NEW HM 16 GA.	PAINT	6	REMOVE EXISTING KEVED LOCK	
D-11	F	3'-0" X 6'-8"	SC. WOOD	VARNISH	NEW HM 16 GA.	PAINT	4	INSTALL PRIVACY LOCK. REFURBISH	
D-12	F	3'-0" X 6'-8"	REUSE EXISTING	VARNISH	NEW HM 16 GA.	PAINT	6	REMOVE EXISTING KEVED LOCK	
D-13	F	3'-0" X 6'-8"	REUSE EXISTING	VARNISH	NEW HM 16 GA.	PAINT	6	INSTALL PRIVACY LOCK. REFURBISH	
D-14	F	3'-0" X 6'-8"	REUSE EXISTING	VARNISH	NEW HM 16 GA.	PAINT	6	REMOVE EXISTING KEVED LOCK	
D-15	EXISTING	3'-0" X 6'-8"	HOLLOW METAL	PAINT	EXISTING H.M.	PAINT	EXISTING	REFURBISH REPAINT	
D-16	F	3'-0" X 6'-8"	HOLLOW METAL	PAINT	NEW H.M. 16 GA.	PAINT	5		
D-17	F	3'-0" X 6'-8"	HOLLOW METAL	PAINT	NEW H.M. 16 GA.	PAINT	7		
W-1	SF-2	EXISTING	ALUM / GLASS	SEE REMARKS	ALUMINUM	WHITE ALUM	-	STORE FRONT HURRICANE RESISTANT. TINTED GLASS INSULATED	
IW-1	B	3'-0" X 6'8 DOOR FIXED PANEL	ALUM / GLASS	CLEAR GLASS	ALUMINUM	WHITE ALUM	2	INTERIOR GLAZING CLEAR GLASS WHITE ALUMINUM	

HARDWARE SCHEDULE

GROUP NO.	HINGERS	STOPS	SILENCERS	LOCK	PANIC	CLOSER	WEATHER STRIPPING
1	SS. 1/2" PAIR EACH BY DOOR MANUFACTURER	-	-	DEAD BOLT AT ACTIVE DOOR	CONCEALED ROD INACTIVE DOOR LATCH ACTIVE DOOR PANIC BAR BOTH DOORS	ONE EA. DOOR	BY DOOR MANUFACTURER
2	SS. 1/2" PAIR EACH BY DOOR MANUFACTURER	1 EACH	3 EACH	LEVER PRIVACY	-----	-----	-----
3	1/2" x 4" x 4" S.S.	1 EACH	3 EACH	LEVER CLASSROOM LOCK	PANIC BAR INSIDE	YES	-----
4	1/2" x 4" x 4" S.S.	1 EACH	3 EACH	LEVER PRIVACY	-----	-----	-----
5	1/2" x 4" x 4" S.S.	-	3	LATCH INSIDE KEY LOCK	PANIC BAR INSIDE	YES	YES
6	EXISTING	1 EACH	3 EACH	LEVER PRIVACY	-----	YES	-----
7	1/2" x 4" x 4" S.S.	1 EACH	-	D.B. KEY LOCK LATCH INSIDE	-	-	YES

DOOR TYPES



REVISIONS	
NO.	DATE
1	12/20/2011
GENERAL REVISION REDUCING SCOPE OF WORK	

ILCON CONTRACTORS CORP.
 123 North 1st Street, Suite 1000
 Tampa, FL 33602
 (813) 222-1111

PROJECT: MEDICAL CENTER
PROJECT LOCATION: 123 N. ROAD AVE
DESIGNED BY: ARCHITECT FIRM

CONTRACT / PROJECT NUMBER: 12345678
CONTRACTOR / MANAGEMENT: ILCON CONTRACTORS CORP.
DATE: 12/20/2011
SCALE: A-4

CAMBRIDGE ELEVATING^{INC.}

Limited-Use/Limited-Application Commercial Elevator

JOURNEY
LU/LA



Premier
Manufacturer
of Custom
Elevators

COMMERCIAL ELEVATOR



STANDARD FEATURES

- ASME A17.1-2007 / CSA B44-07 Code Compliance
- Automatic or key control
- Commercial fixtures & controls
- Braille/Tactile controls
- Illuminated push buttons
- Emergency lighting
- Reinforced, structural steel sling
- Rigid cab construction
- Fire rated sliding hoistway doors
- Fire rated laminate wall panels
- Self-leveling
- Stainless steel handrail
- Emergency stop alarm
- Line rupture valve
- Emergency lowering/battery back-up system
- Hands free ADA phone
- 24 month limited warranty
- Superior installation & technical support

OPTIONAL FEATURES

- Thru-cab or 90 degree cab configurations
- Optional fire-rated cab gates
- Power operated swing doors
- Stainless steel & colored laminate interior finishes
- License/certificate frame

JOURNEY

LU/LA

The Cambridge Elevating Journey Limited-Use/ Limited-Application Commercial Elevator is designed to service schools, libraries, low rise commercial buildings, churches and multi-family housing. Custom cab sizes and various finish options allows your LU/LA elevator to blend into the surrounding decor seamlessly. Using a state-of-the-art hydraulic drive system and controls, our LU/LA provides safe, reliable, smooth and quiet operation. Modern fixtures and robust equipment makes the Journey LU/LA the longest lasting choice.

LU/LA SPECIFICATIONS

Power Supply

208V, 3 PH, 20 Amp, 60 HZ

Drive Type

2:1 Hydraulic Cylinder

Rated Load

1,400 lbs weight capacity

Cab Size

Up to 18 square feet (custom available)

Cab Height

86" standard cab height (custom available)

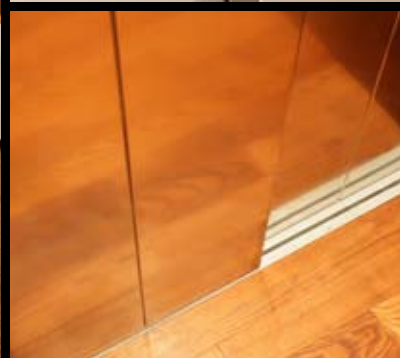
Travel Speed

Rated speed of 30 feet/minute

Travel Height

Up to 25 feet of travel





Authorized Dealer

Technical Contact

CAMBRIDGE
E L E V A T I N G INC.

Cambridge Elevating Inc.
1261 Industrial Road
Cambridge, ON N3H 4W3
1.800.265.3579

Phone: 519.653.4222
Fax: 519.653.9927
Email: info@cambridgeelevating.com
Web: www.CambridgeElevating.com

DESIGN GUIDE



Introduction

The Cambridge Elevating Limited-Use / Limited-Application Elevator is designed to service schools, libraries, low rise commercial buildings, churches and multi-family housing. It provides the functionality of a commercial elevator with the elegance of a residential elevator.

This design guide will assist architects, general contractors and elevator professionals in the planning for a Cambridge Elevating LU/LA installation in accordance with ASME A17.1 and CAN/CSA B44.

Please note all dimensions and specifications contained herein are nominal and should only be used in the early planning stages. Construction of the actual hoistway and related LU/LA requirements should be based off job-specific application drawings.

Disclaimer

All drawings within this guide are not to be disclosed or reproduced in any manner without the express written permission of Cambridge Elevating Inc.

Cambridge Elevating Inc. reserves the right to alter minimum/maximum tolerances in all matters due to engineering concerns or advancements.

Table of contents

1.1 LU/LA Specifications	2
1.1 Provisions by Others	3
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2.2 Hoistway Layout – Wood Stud Wall	5
2.3 Hoistway Layout – Steel Stud Wall	6
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4.1 Machine Room Details – General Layout	9
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6.2 Standard Car Layout – Through Configuration	13
6.3 Standard Car Layout – 90 Degree Configuration	14

1.1 LU/LA Specifications

Drive System

2:1 Roped hydraulic drive system

Features

Up to 25' of Travel

1400 lbs capacity

30 fpm (0.15 m/s)

14"-34" Minimum Pit Required (Ladder required for 35" and up)

11'3" Minimum Overhead (Standard refuge space)

9'4" Minimum (with the use of overhead refuge prop)

Cab Appointments

Inline, through, 90 degree side access configurations available

18 sq/ft

86" Cab height

Specifications

3-1/2" (90mm) Hydraulic Cylinder

2 x 3/8 diameter steel rope, 7x19 Construction, Breaking Load - 14388 lbs (64.01kN)

Controller; Single Automatic Microprocessor (Selective Collective available)

Battery back-up for emergency lowering, lighting and door opening

Emergency lowering to bottom floor

Tape reader selector

2 Speed automatic horizontally sliding doors on cab and landings w/ 36" (915mm) openings

Full height Safety light curtains

Buffer pads included (springs available w/ altered pit depth)

Options

Accordion gate on cab with flush mounted door frame system on landings with interlocks

2 Speed horizontally sliding door on cab only w/ flush mounted door frame system on landings

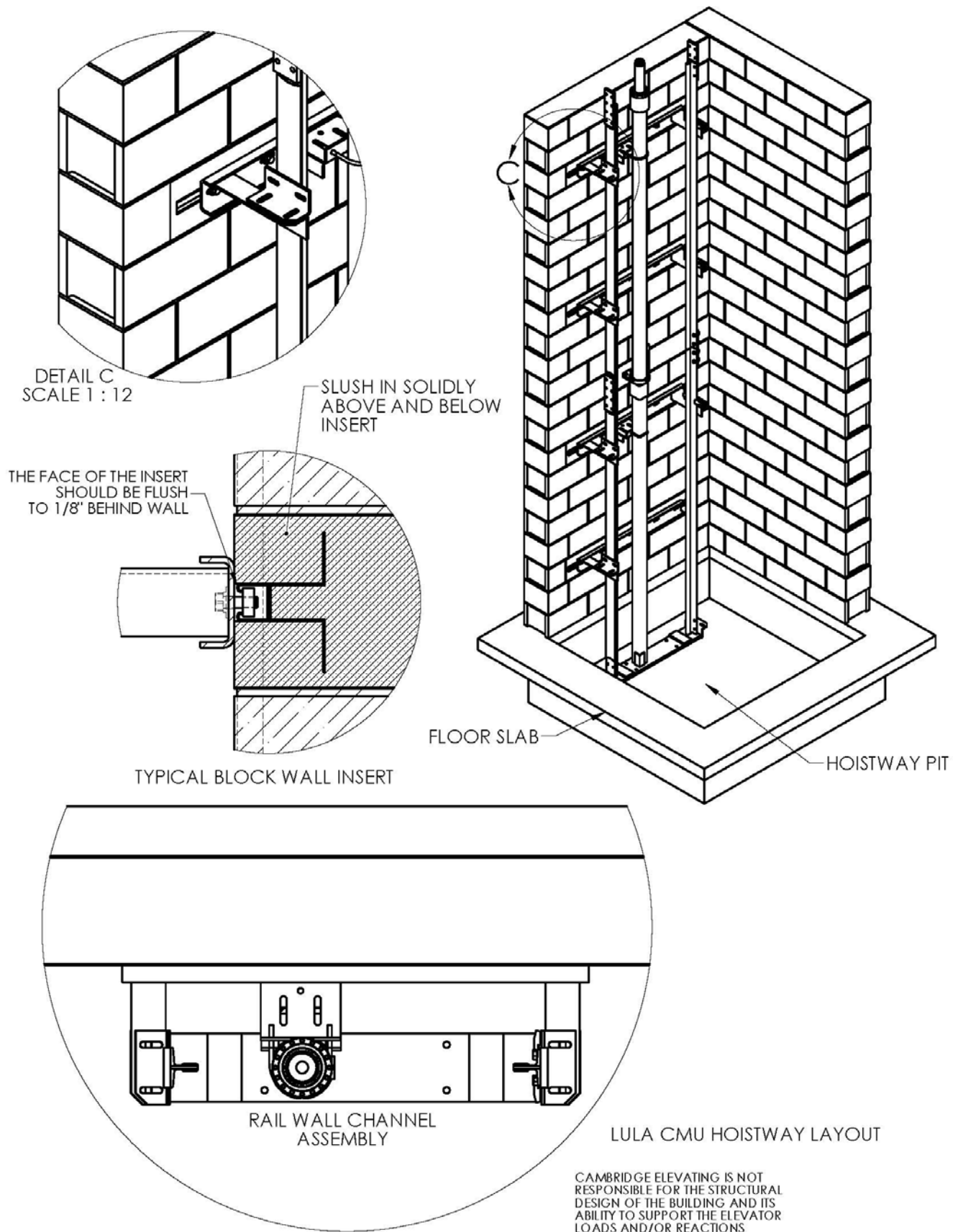
Stainless steel & colored laminate interior finishes

License/certificate frame

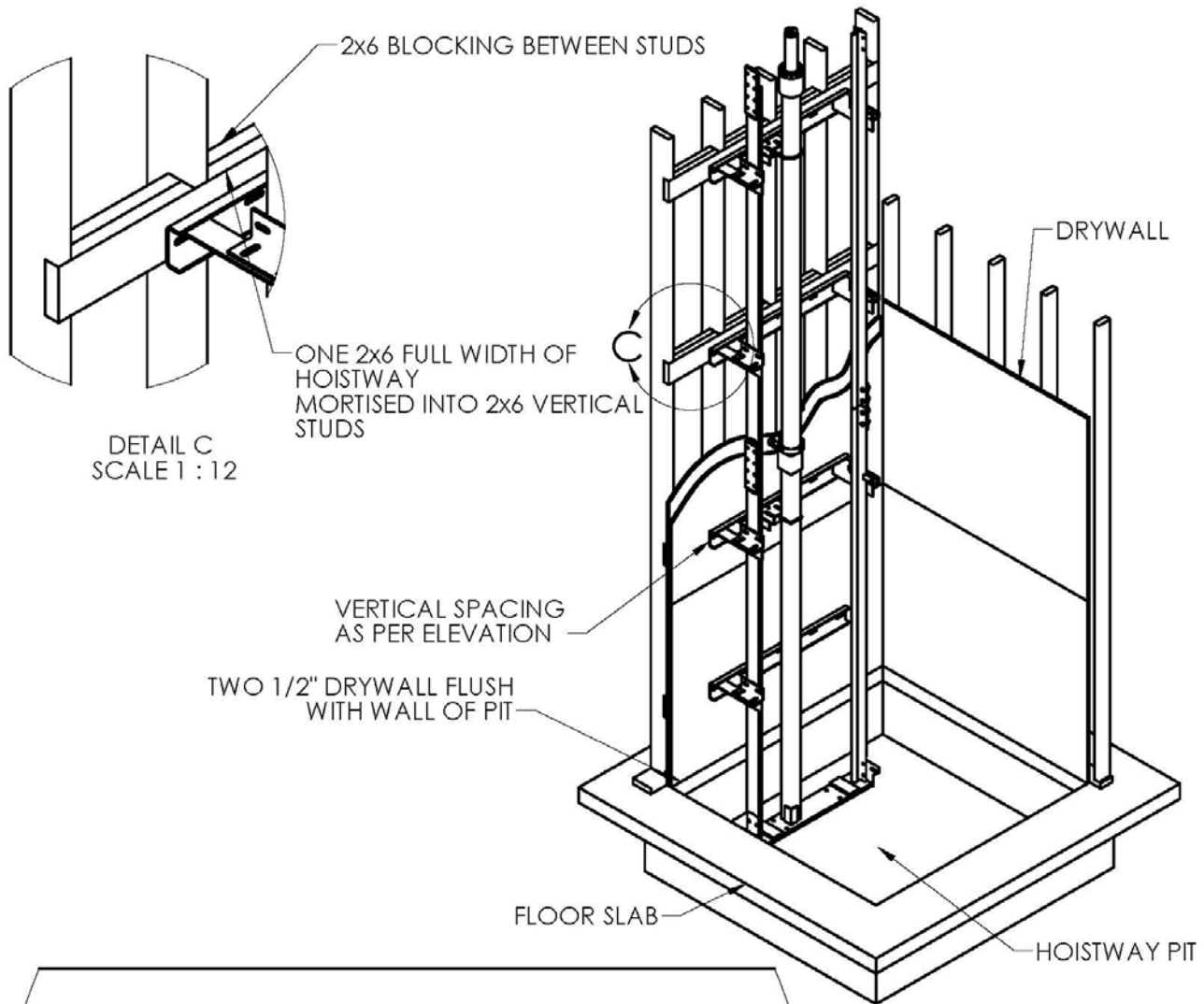
1.2 Provisions by Others

1. Finished hoistway plumb within ½ inch from top to bottom, and conforming to the dimensions indicated on the layout drawings provided. All walls and side members must be square and extend from pit floor to the ceiling of the shaft. Inside surface of the hoistway must be flush. Interior of hoistway and doors should be finished prior to the installation of the lift. Hoistway must be constructed in accordance with CSA B44 or ASME A17.1 and all Provincial/State and local building code requirements.
2. Adequate supports shall be provided for fastening rail brackets as indicated on the layout drawings. Supports must withstand rail forces indicated. The elevator contractor is not responsible for the structural design of the building and its ability to support the elevator loads and/or reactions.
3. Where wood frame construction is used, 2"x6" with inserts spaced as indicated on the layout drawings, and extending the full height of the hoistway are recommended. Please consult the project architect for design specifications.
4. For masonry walls, inserts shall be provided by the elevator contractor and installed by the general contractor.
5. Total travel distance from finished bottom floor to finished top floor must be held within 1" of that shown on the layout drawings.
6. Overhead clearance: (Top floor to underside of hoistway ceiling or obstruction) to be maintained per the layout drawings. If any of the hoistway dimensions cannot be achieved, contact the factor for alternate arrangements.
7. A poured pit conforming to the dimensions indicated on the layout drawings must be provided. The pit must be designed for the impact load indicated and must be dry and level from wall to wall.
8. A sump pump and sump pump hole with cover is recommended in the elevator pit where water seepage is encountered. A G.F.I. receptacle is required. If a sump pump is furnished, coordinate location with the elevator contractor.
9. A pit light with switch to be provided and installed.
10. All screens, railings, steps, and ladders as required for a legal hoistway.
11. Barricades outside all hoistway openings for protection shall be provided and installed by the general contractors.
12. Clearance between hoistway door and sill must not exceed 3", nor 5" between hoistway door and car gate per CSA B44 or ASME A17.1.
13. All wall patching, painting, and grouting by others.
14. An adjacent machine room built to conform to the layout drawings, C.E.C. or N.E.C., CSA B44 or ASME A17.1, and all Provincial/State and local code requirements. It shall have suitable access, a self closing/self locking door, a convenience outlet, and light switch. Machine room temperature must be maintained between 60 and 90 degrees Fahrenheit. Relative humidity not to exceed 95%.
15. A 220V, single phase, (30 AMP at 5 Hp) service, with neutral, to a lockable safety disconnect switch fused with time delay fuses (30 AMP) shall be furnished in the machine room in accordance with C.E.C. or N.E.C. A normally open electrical interlock contact is required in the switch for battery isolation.
16. A 120VAC, single phase, 15 AMP service to a lockable, fused, disconnect switch or circuit breaker located in the machine room shall be provided for the cab lighting in accordance with C.E.C. or N.E.C.
17. A separate (dedicated) telephone line to the machine room and tied into the elevator controller per CSA B44 or ASME A17.1.
18. Machine room vents if required by local code.
19. Knock-out or a 4" PVC sleeve between the machine room and elevator hoistway for routing hydraulic and electrical lines shall be coordinated with the elevator contractor.

2.1 Hoistway Layout – Concrete Wall



2.2 Hoistway Layout – Wood Stud Wall



DETAIL C
SCALE 1 : 12

2x6 BLOCKING BETWEEN STUDS

ONE 2x6 FULL WIDTH OF
HOISTWAY
MORTISED INTO 2x6 VERTICAL
STUDS

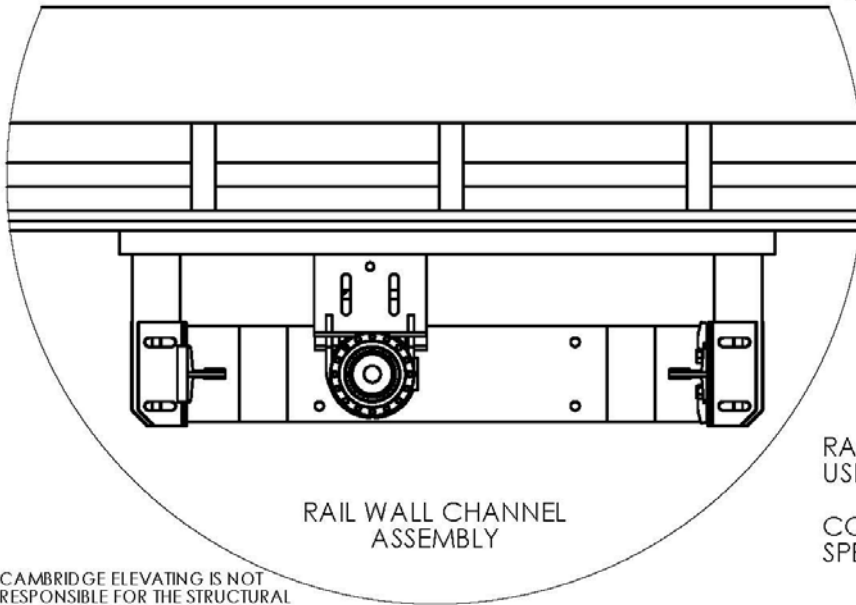
DRYWALL

VERTICAL SPACING
AS PER ELEVATION

TWO 1/2" DRYWALL FLUSH
WITH WALL OF PIT

FLOOR SLAB

HOISTWAY PIT



RAIL WALL CHANNEL
ASSEMBLY

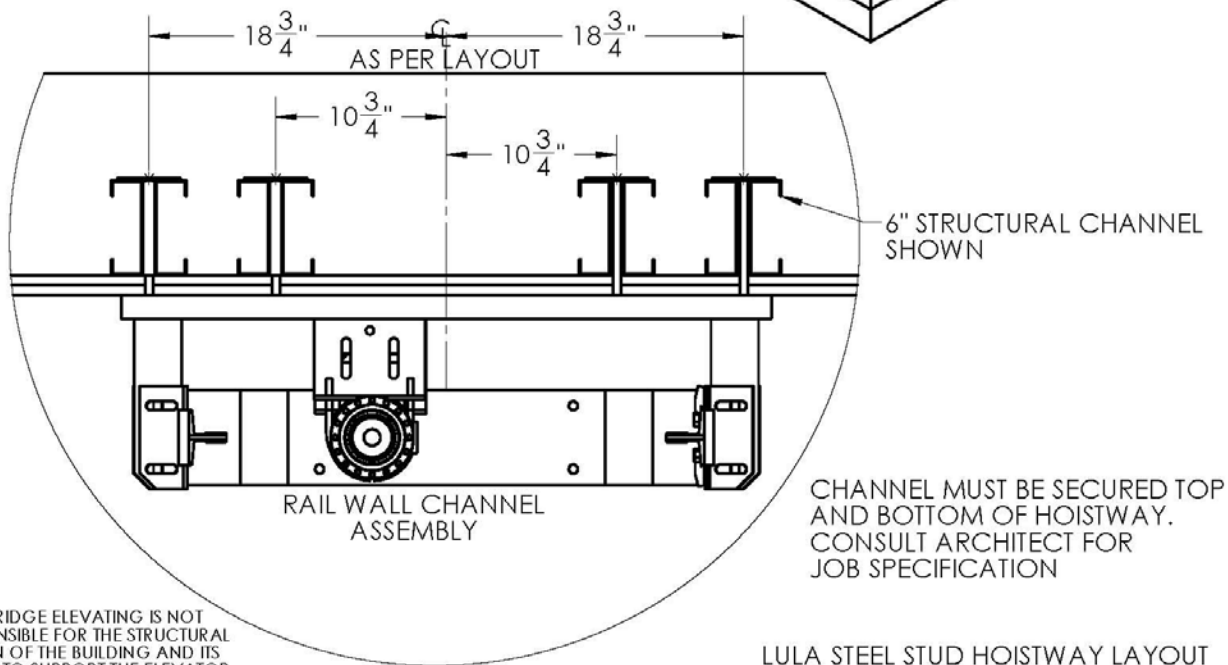
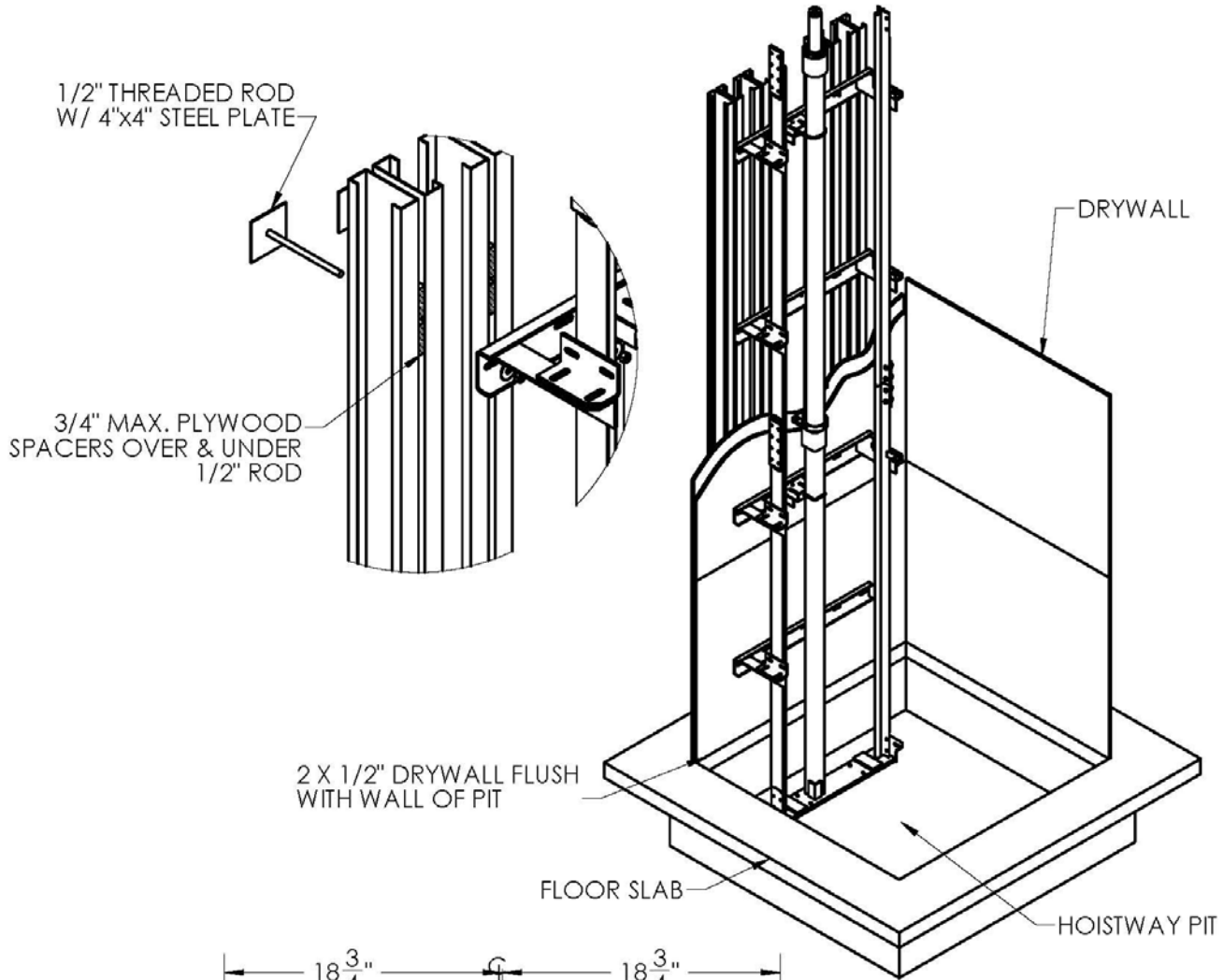
RAIL BRACKETS LAGGED TO MOUNTS
USING FOUR 1/2" X 3" TO 4" LAG BOLTS

CONSULT ARCHITECT FOR JOB
SPECIFICATION

CAMBRIDGE ELEVATING IS NOT
RESPONSIBLE FOR THE STRUCTURAL
DESIGN OF THE BUILDING AND ITS
ABILITY TO SUPPORT THE ELEVATOR
LOADS AND/OR REACTIONS

LULA WOOD STUD HOISTWAY LAYOUT

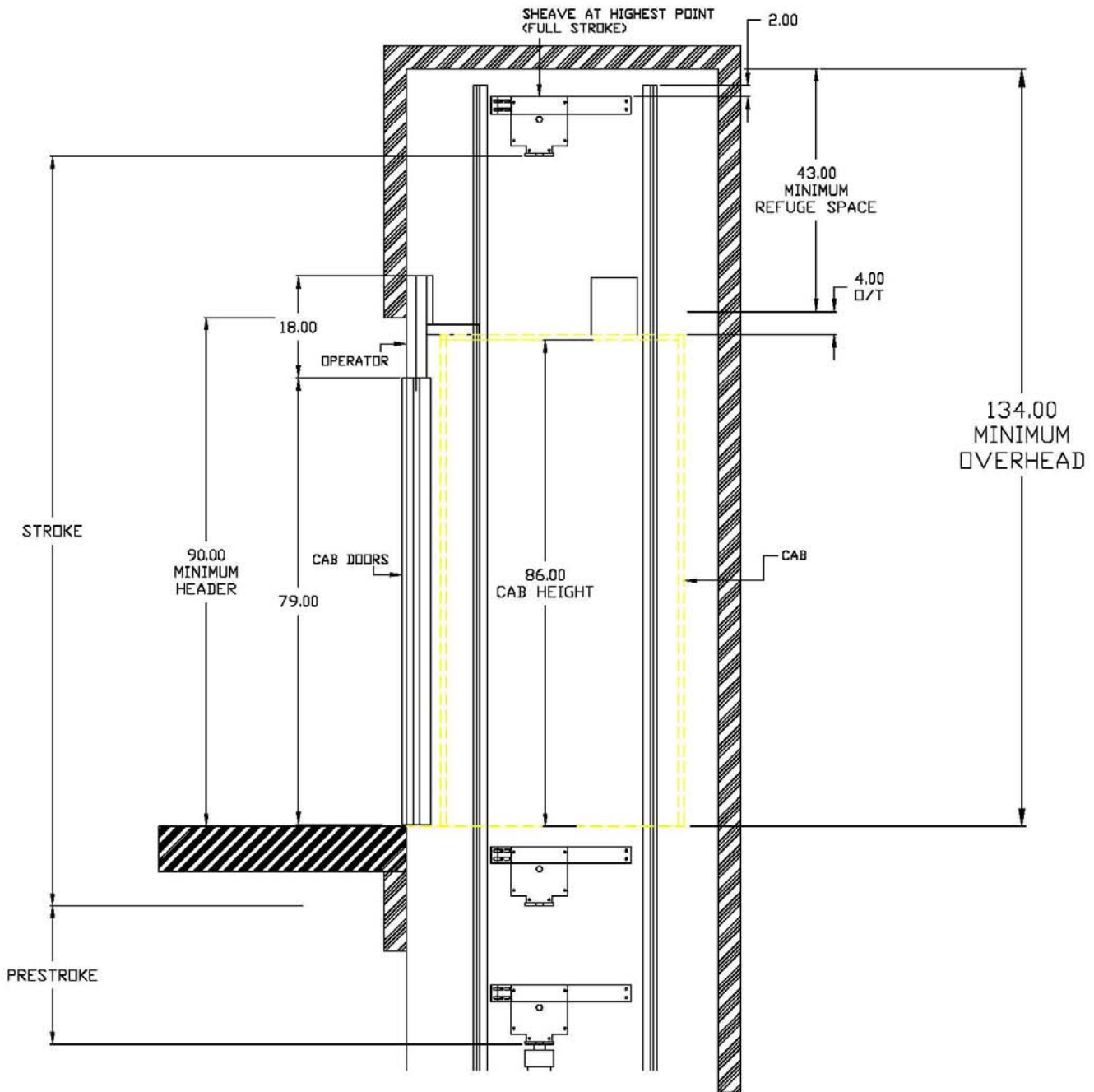
2.3 Hoistway Layout – Steel Stud Wall



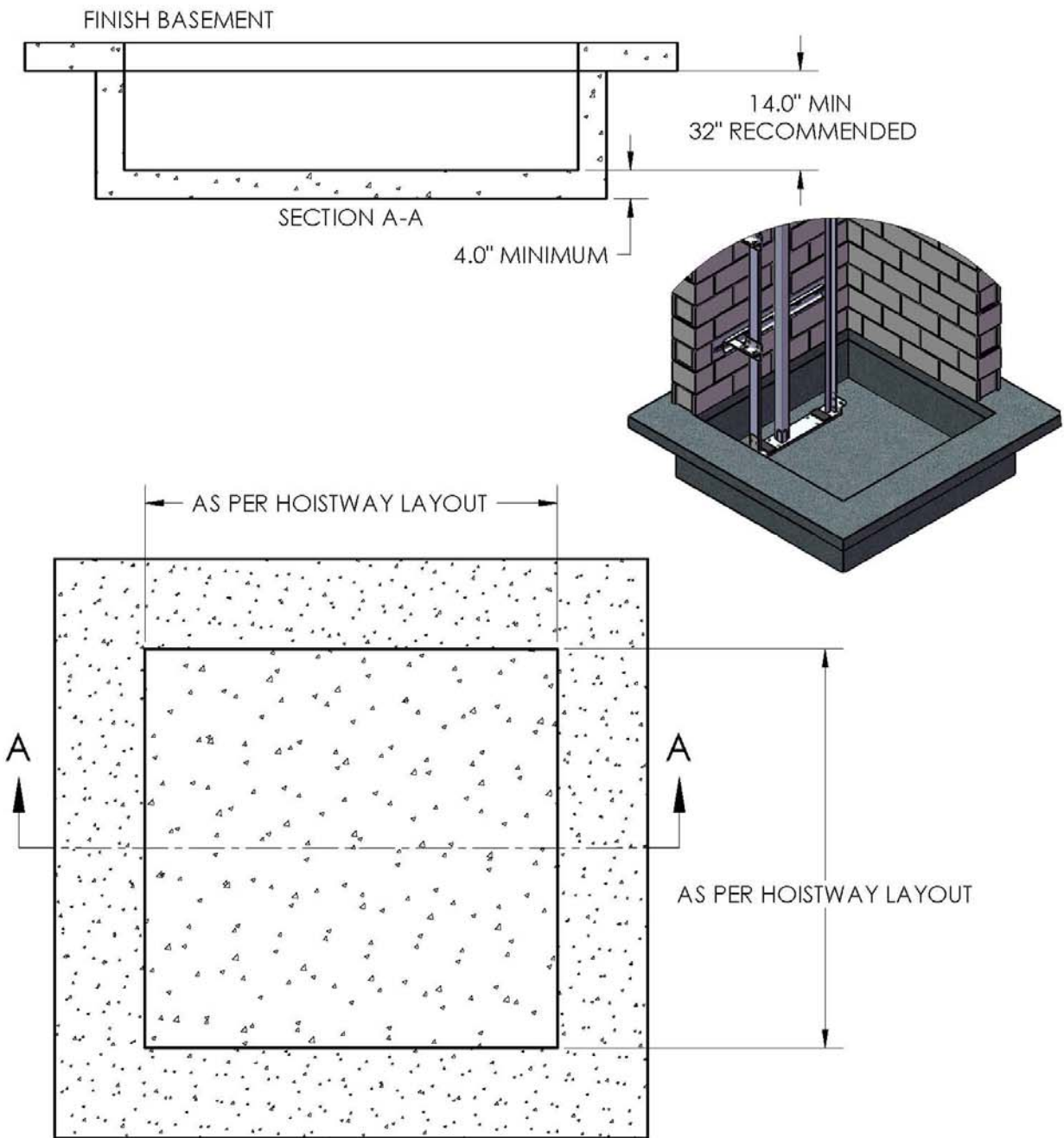
CAMBRIDGE ELEVATING IS NOT RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE BUILDING AND ITS ABILITY TO SUPPORT THE ELEVATOR LOADS AND/OR REACTIONS

LULA STEEL STUD HOISTWAY LAYOUT

2.4 Hoistway Layout – Minimum Overhead



3.1 Pit Details

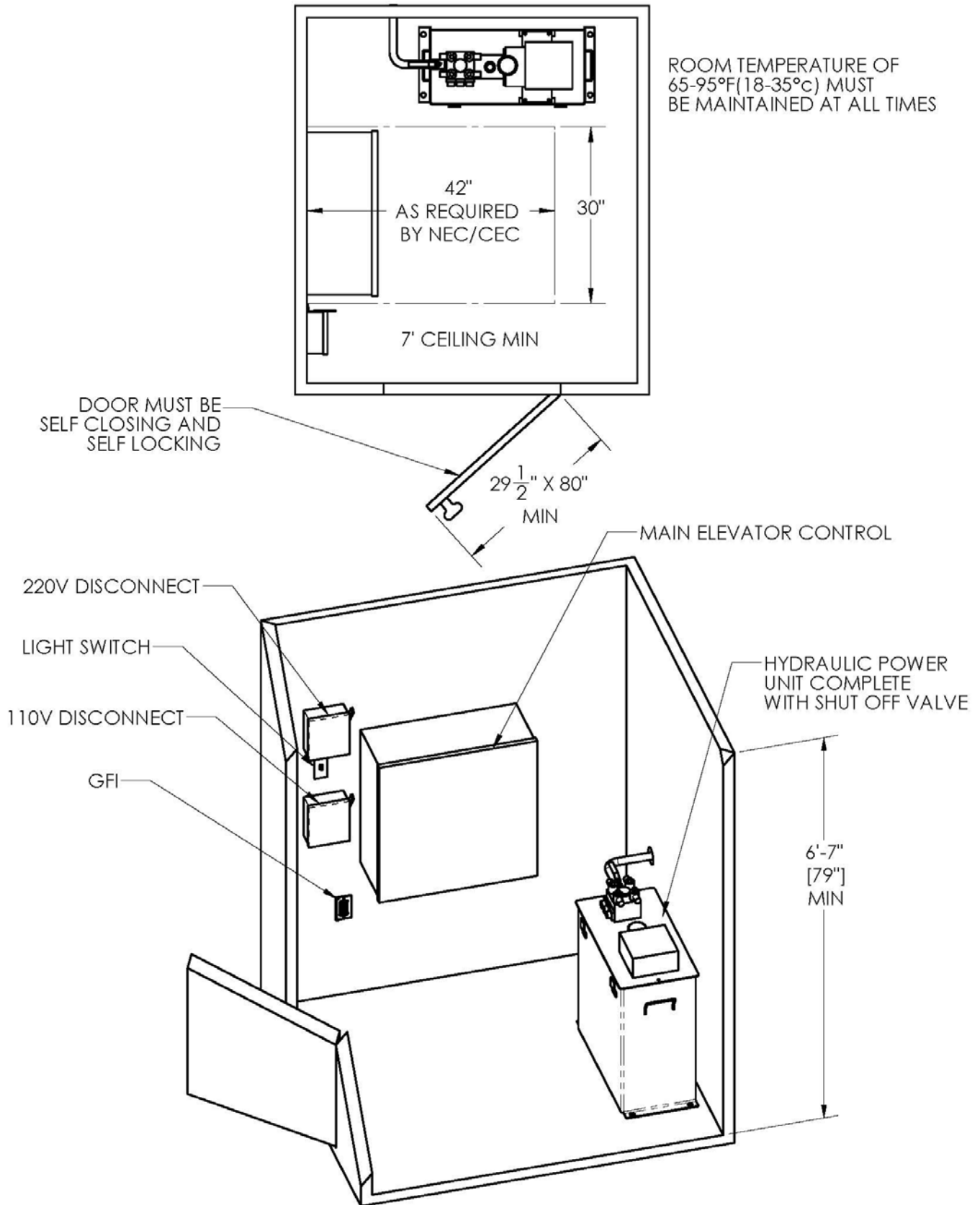


LULA PIT DETAILS

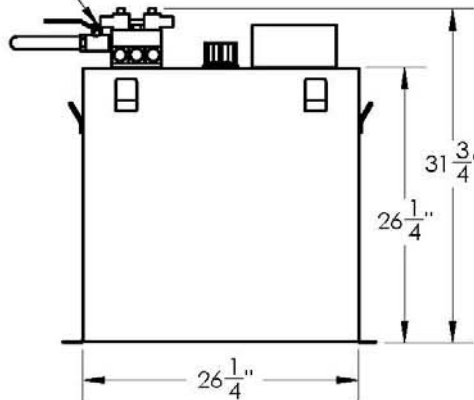
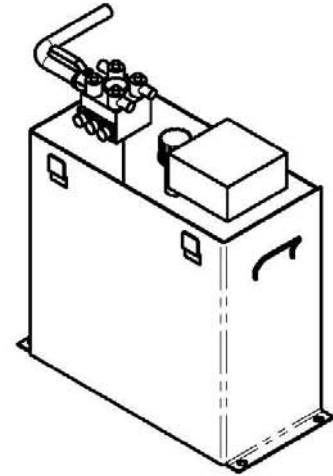
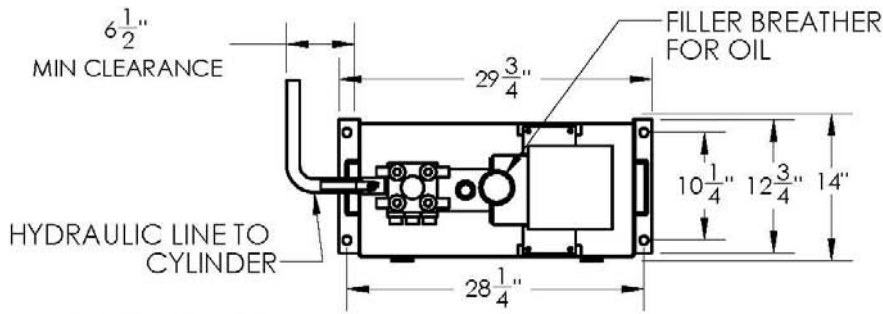
PIT FLOOR TO BE DESIGNED FOR AN IMPACT LOAD OF 9600LBS AND A STATIC LOAD OF 3840LBS UNDER CYLINDER

REINFORCING AND STRENGTH AS PER LOCAL STANDARDS AND CODES

4.1 Machine Room Details – General Layout



4.2 Machine Room Details – Controller/Pump Details



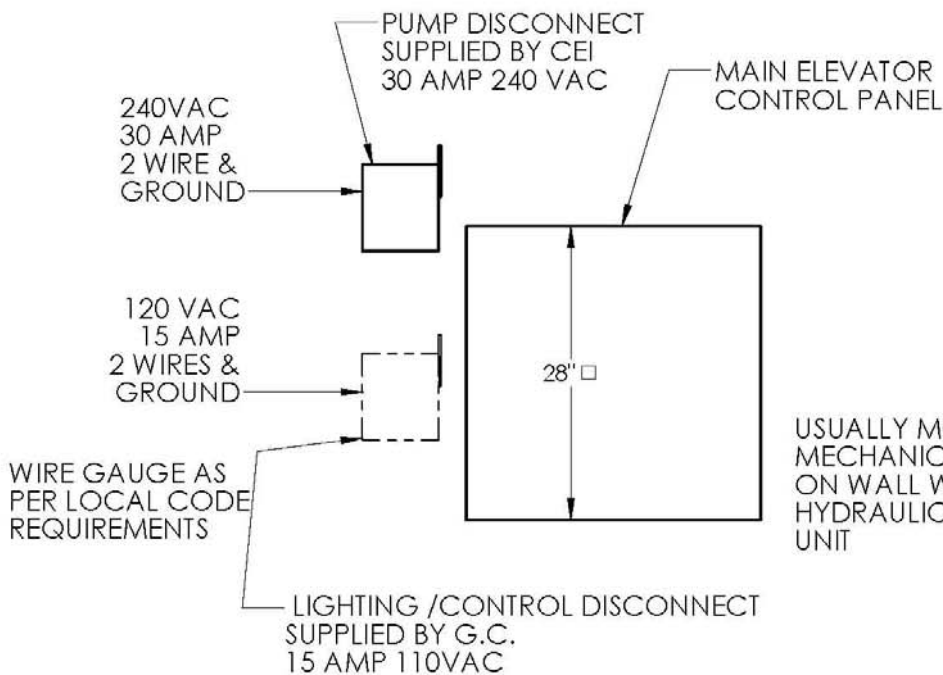
HYDRAULIC POWER UNIT

TO BE LOCATED WITHIN 20ft OF ELEVATOR SUPPORT WALL
FOR LONGER DISTANCES CONSULT CAMBRIDGE ELEVATING

5.0 H.P. 220V/1/60Hz DRIVE MOTOR
ACCESS REQUIRED TO TOP OF UNIT FOR OIL FILLING AND PIPING

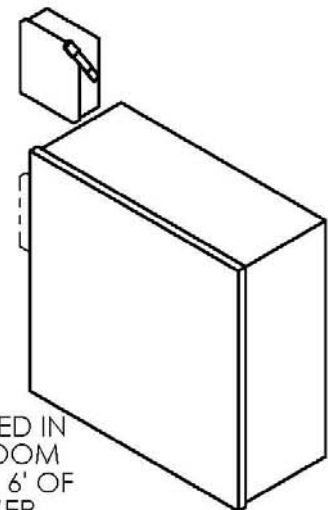
DISCONNECT SUPPLIED BY C.E.I. ON MAIN ELEVATOR CONTROL PANEL

HYDRAULIC OIL:
32 WEIGHT PREMIUM
CAPACITY: 75L / 20 US Ga

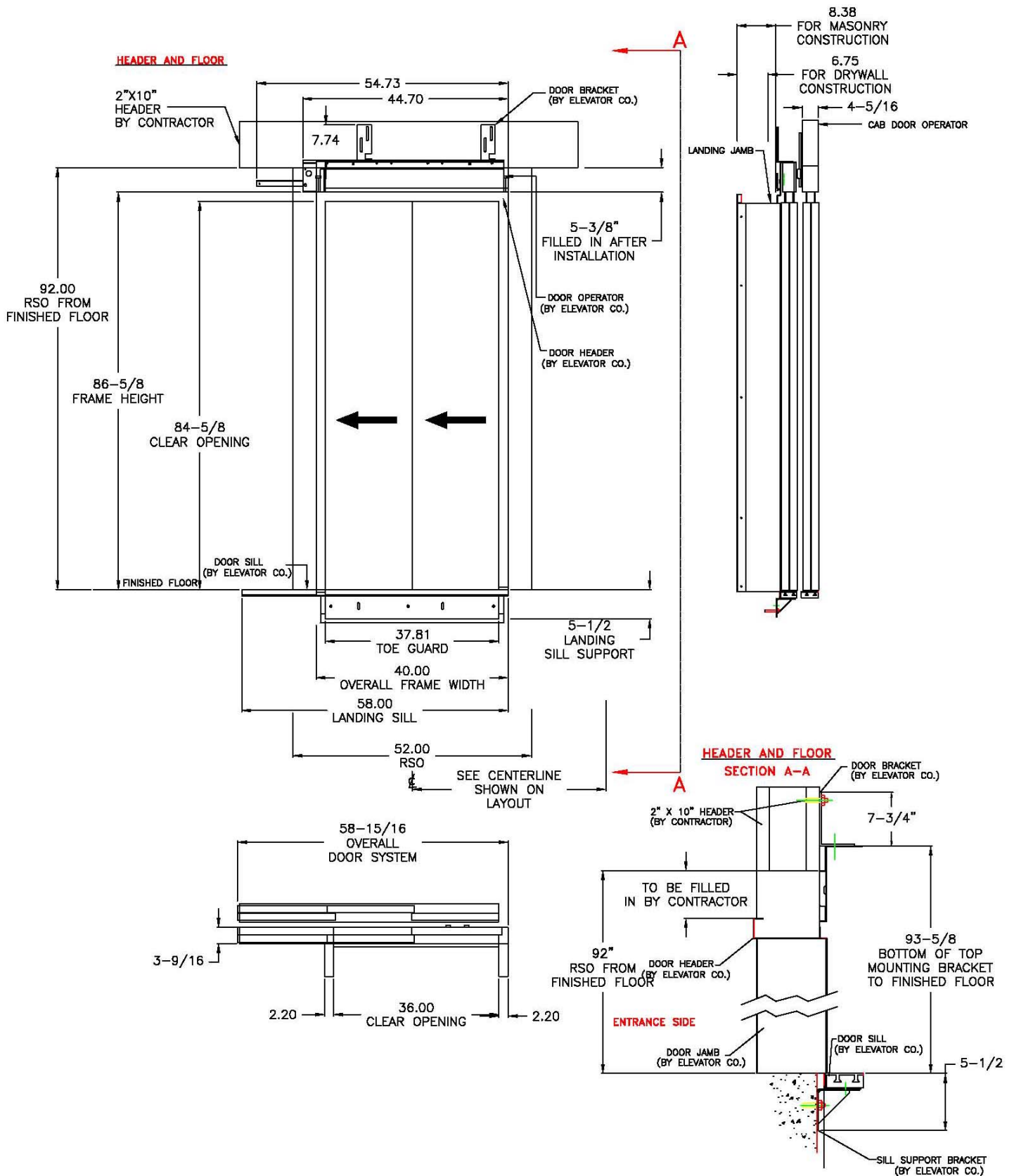


MAIN LULA ELEVATOR CONTROL

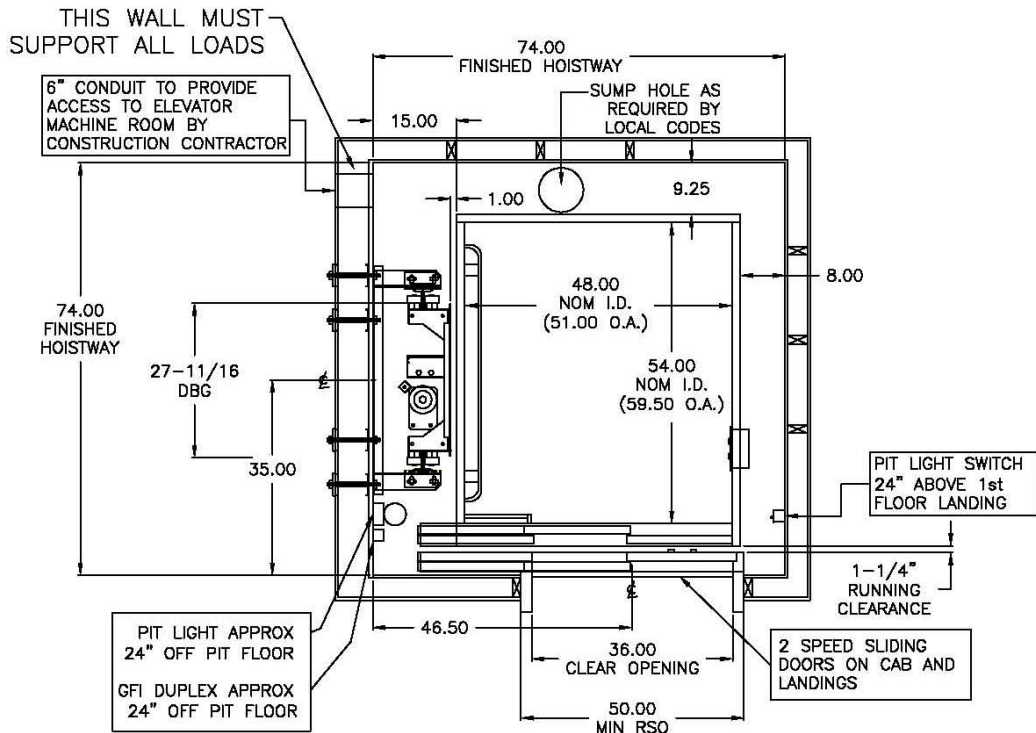
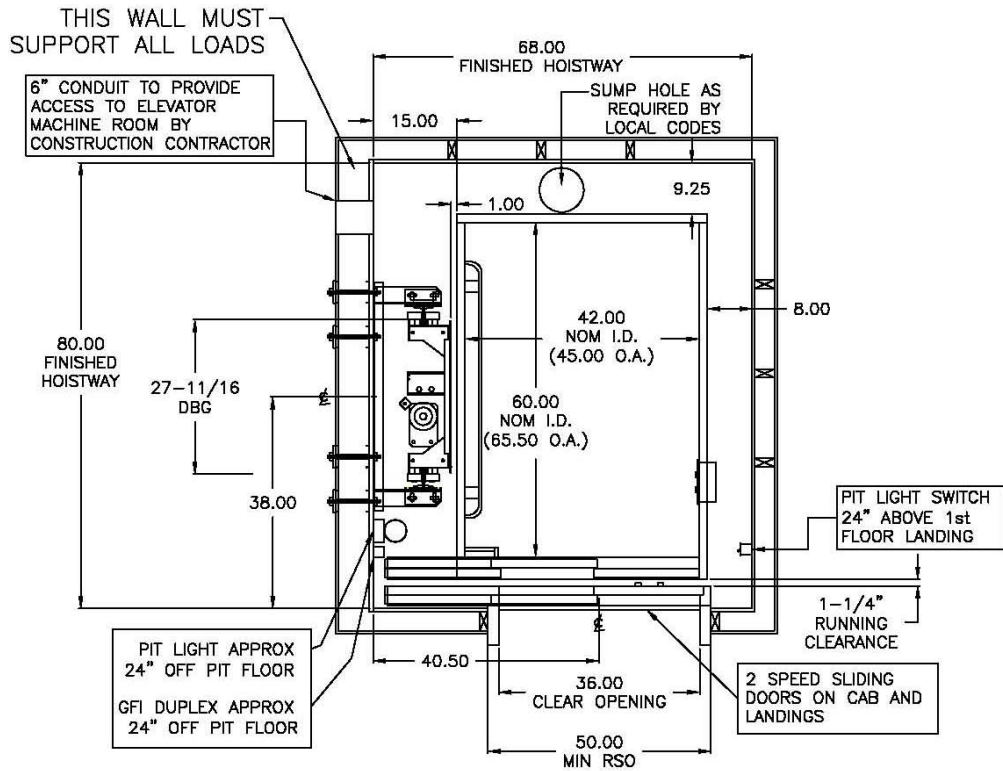
USUALLY MOUNTED IN MECHANICAL ROOM ON WALL WITHIN 6' OF HYDRAULIC POWER UNIT



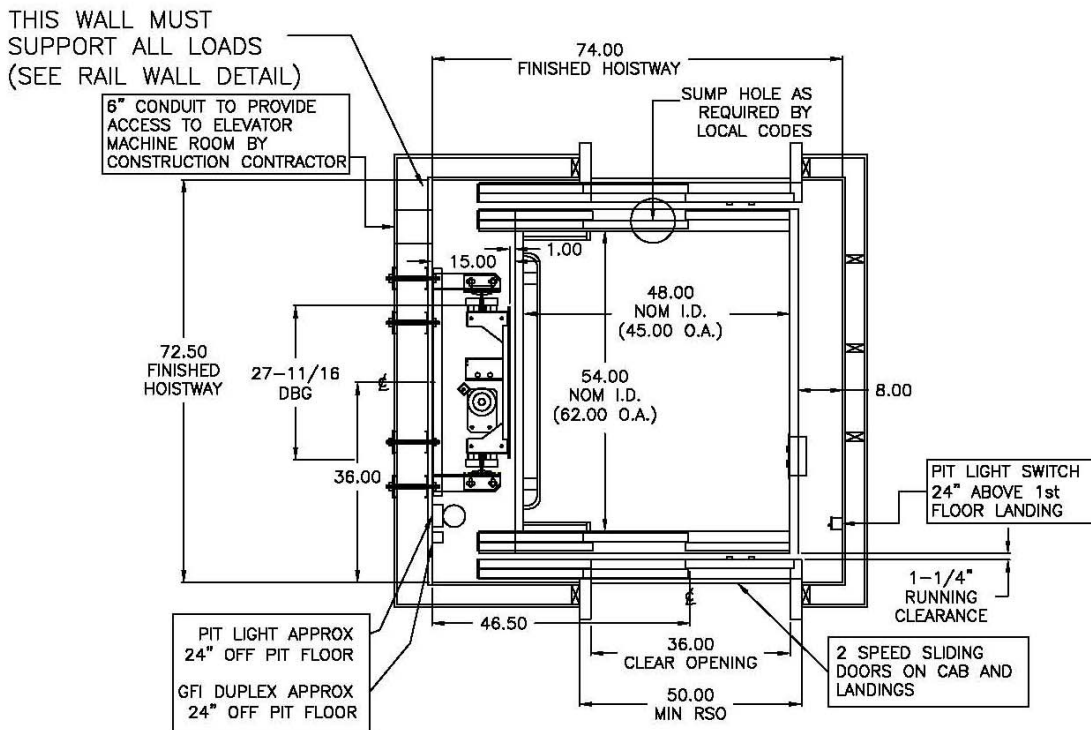
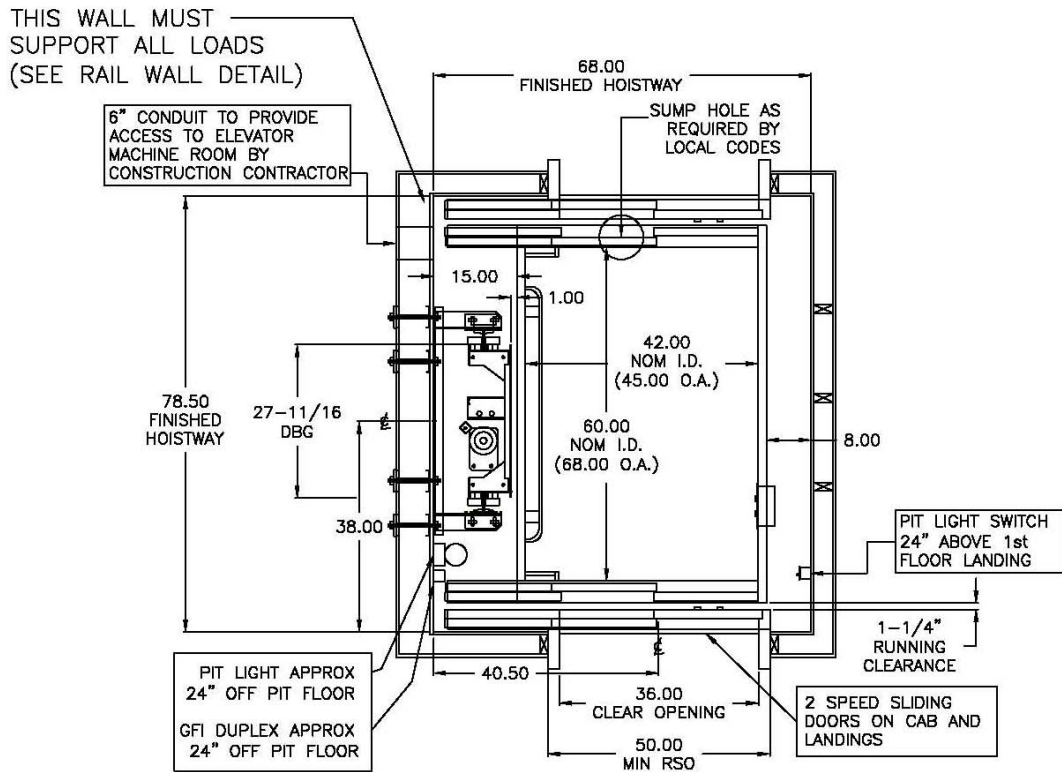
5.1 Two Speed Hoistway/Cab Door Details



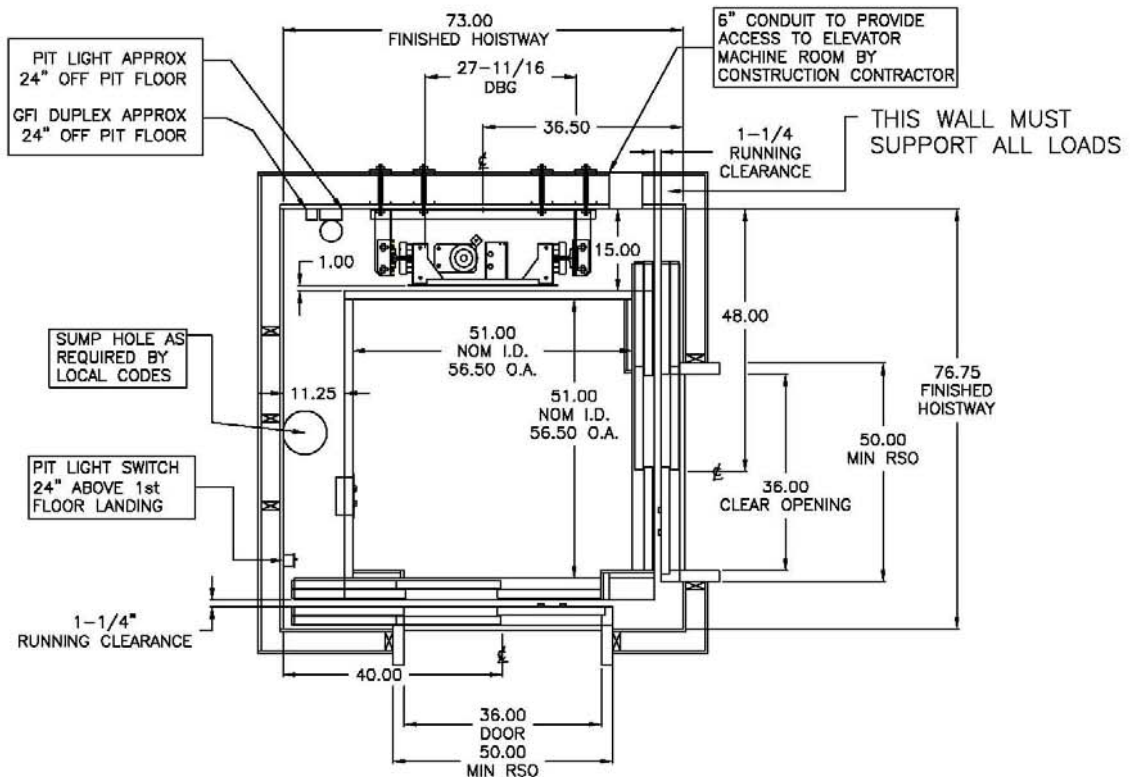
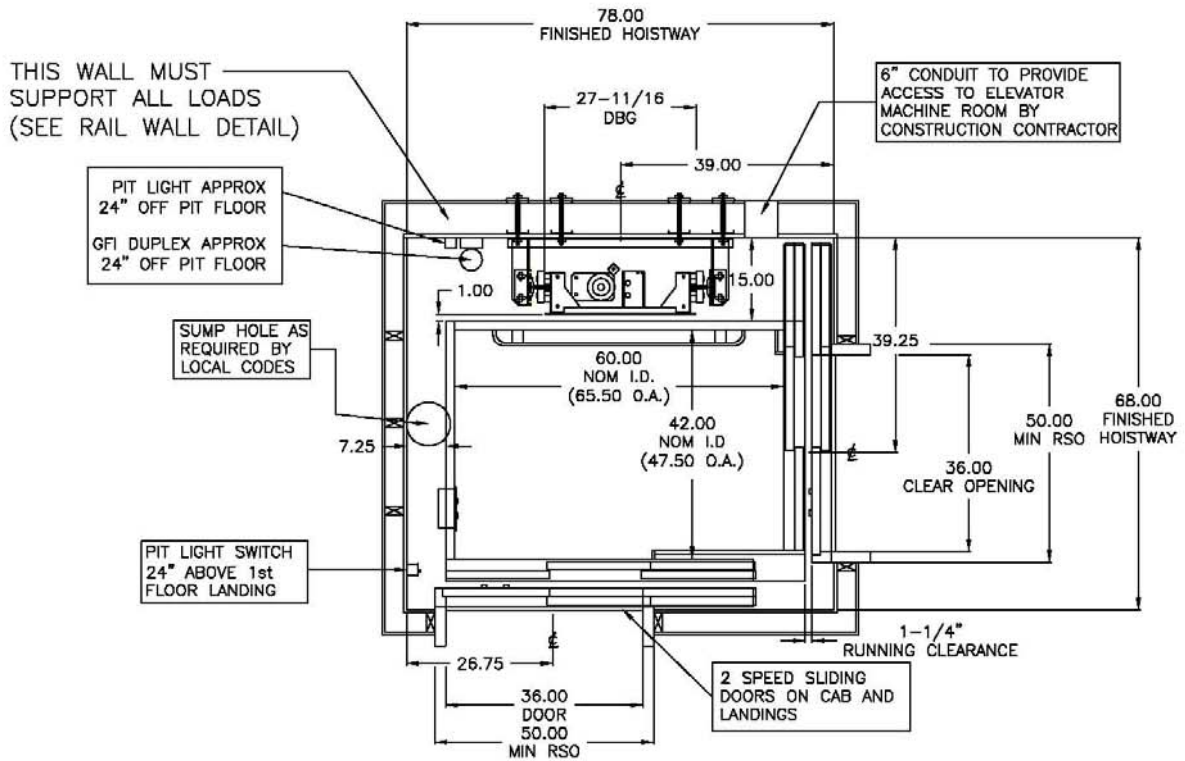
6.1 Standard Car Layout – Inline Configuration



6.2 Standard Car Layout – Through Configuration



6.3 Standard Car Layout – 90 Degree Configuration





FLORIDA ELEVATOR SALES & SERVICE

5727 NW 7th St., #287, Miami FL 33126 tel 786.222.8063 fax 786.332.4165 www.floridaelevator.org

April 20, 2012

Ms. Lydia Iglesia
IICON Contractors, Corp.
123 North Krome Ave.
Homestead, FL. 33030
Telephone 305-245-1700
Fax: 305-245-7200

Telephone 305-245-1700
Fax: 305-245-7200

Agreement for Elevator Installation

Prevecare Medical
123 North Krome Avenue
Homestead, FL 33030

LULA HYDRAULIC ELEVATOR INSTALLATION

One (1) LULA Hydraulic Passenger Elevator

Capacity	1400 lbs,
Speed	30 fpm
Landings	2
Travel	13'8"
Openings	2 Inline
Overhead	11'6" recommended
Power Supply	208 volts, 3 Phase
Hoistway Size	68" w X 80" d
Platform Size	42" w X 60" d
Car Enclosure	Misted Zephyr (Grey) Raised Panel laminate on black powder coated frame
Car Doors	2 Speed Automatic Doors: Beige Epoxy finish
Hall Doors	2 Speed Automatic Doors: Beige Epoxy finish
Car Floor	Unfinished plywood, finished by others
Hoistway Entrance	36" w X 84" h, Type- Single Slide
Signals	Digital Position Indicator, Stainless Steel button fixtures
Machine Room	Adjacent Right Hand of Hoistway Wall
Cylinder Type	Roped-Hydraulic Holeless
Special Features	A.D.A. Compliant

1.1 Scope.

This Agreement is intended to cover the complete furnishing and installation of: **One (1) LULA Hydraulic Passenger Elevator**

Base Bid

Capacity	1400 lbs	Power	208V 3ph 60Hz
Door Size	3' 0"x 7' 0"	Door Type	2 Speed Double Slide
Travel	13' 8"	Stops/opgs.	2 in-line
Overhead	11' 6" recommended	Pit	14" min.
Platform	42" x 60"	Hall Doors	Beige Epoxy finish
Hoistway size	68" x 80"	Speed	30 fpm
Machine Room	Adjacent at lowest landing	Installation	New Install
Operation	Simplex	Rails	T-rails
Seismic Zone	N/A		

Sling & platform

- **Formed member** construction for use with **holeless** jack
- Single layer plywood flooring with 27-gauge sheet metal protection
- T-rails and roller guides included
- Toe guard

Cab

- Applied Plastic Laminate Raised Panels with laminate from standard selector
- Standard ceiling with 2 lights
- Car door finished in – Beige Epoxy
- Handrail on side wall flat satin stainless steel finish
- Aluminum sills

Jack

- Hole-less Cylinder
- Pit channels included
- 2:1 Direct Acting Jack with Two (2) Steel Traction Cables

Power Unit

- Submersible power unit
- 30 gallons of AW 32 Hydraulic Oil
- (1) 1" shut off valve; Victaulic Brand oil line kit for adjacent machine room
- Rubber stand pads

Hoistway Accessories

- Electronic selector with tape, magnets and required mounting brackets
- Top and bottom limit switches

Rails, Brackets

- 6 sections of T-rails, fish-plate splice kits
- Rail brackets as required for travel and floors
- Pit ladder (Not included)

Buffers

- Rubber Buffers sized for load

Door Operator

- Micro-processor Door operator
- Micro-scan Full Protection

Entrances

- Standard entrances
- 2 Speed Automatic Doors and frames to be finished in Beige Epoxy
- Aluminum sills, sill support angles, dust covers, door open strut bumpers

Controller

- Non-proprietary, microprocessor controller based technology
- Low oil operation, terminal stopping protection
- Digital Position indicator, nudging
- (1) set of Owner's manuals' (1) set of wiring diagrams
- Solid state starters, Emergency power – battery lowering

Car Signals

- Car Operating Panel in stainless steel #4 finish
- Emergency light, capacity plate, elevator designation
- Braille plates
- Pushbuttons are illuminating for floor & operating devices
- Position indicator
- Key switches for light/fan; independent service; hoistway enable (if required)
- ADA phone mounted integral
- Keyed Emergency stop switch

Hall Signals

- Door jamb symbols for each floor
- One riser of hall stations with stainless steel #4 faceplates
- Pushbuttons in hall stations to be traditional illuminating
- Hoistway access switch in hall station at top hall station
- Car top inspection station, work light & receptacle

Wiring

- Basic wiring package for operation.

Except as specified under "Work not included", all work shall be performed in a workmanlike manner and shall include all work and material as set forth in the drawings and as specified herein. In all cases where a component part of the equipment is herein referred to in the singular, it is intended that such reference shall apply to as many such components as are required to complete the installation.

All work shall be performed in accordance with the latest revised edition (as of the date of this proposal) of the United States of America Standard Safety Code for Elevators, Escalators and Dumbwaiters, the National Electrical Code, and/or such State and Local Codes as may be

applicable. Subsequent to the date of this Agreement, should changes be made in any code, or should rulings by any code enforcement authority extend the application of the code, the work and materials necessary to bring the installation into compliance with such changes shall be in addition to the contract price.

1.2 Investment and Terms of Payment

Florida Elevator Sales & Service proposes to furnish and install the equipment specified in this proposal for the net sum of **\$39,915.00, (Thirty-Nine Thousand Nine Hundred Fifteen 00/100 Dollars)** payable as follows: Payment shall be as follows:

Payment Schedule

- 50% upon Acceptance of Agreement
- 25% upon Delivery of material to jobsite
- 25% upon Final Acceptance by an elevator inspector

The Owner shall make progress payments on account of the Contract Sum to Florida Elevator Sales & Service as provided below and elsewhere in the Contract documents.

Each application for payment shall be based upon the most recent schedule of values submitted by Florida Elevator Sales & Service. The schedule of values shall allocate the entire Contract sum among the various portions of the Florida Elevator's work. This schedule shall be used as a basis for reviewing Florida Elevator's application for payment as well as for any change orders.

Applications for payment submitted by Florida Elevator shall indicate the percentage of completion of each portion of Florida Elevator's work as of the end of the period covered by the application for payment.

If after the work has been substantially completed and full completion is materially delayed through no fault of Florida Elevator, Purchaser shall make such additional payments as may be required to leave outstanding only an amount equal to the value as estimated by Florida Elevator, based on the contract price of the uncompleted portion. In the event of any default or breach by Purchaser of any provision of this Agreement, the unpaid balance of the purchase price, less the cost of completing the work as estimated by Florida Elevator, shall immediately become payable irrespective of the acceptance by Florida Elevator of notes from Purchaser or extension of time for payment.

The remainder of the contract price shall be due and payable upon completion or turnover of the installation. If there is more than one (1) unit in this contract, final payment shall be made separately as each unit is completed or turned over to Purchaser.

Florida Elevator reserves the right to discontinue its work at any time until payments have been made by Purchaser as agreed upon, and satisfactory assurances are made by Purchaser that subsequent payments will be made as they become due. Non-payment by the Purchaser of any monies due and owing under this Agreement shall result in the accrual of interest on the delinquent monies at the maximum rate allowable by law in the state of acceptance.

1.3 Hole for Jack/Cylinder unit. (NOT REQUIRED)

1.4 Maintenance Service.

Florida Elevator shall furnish maintenance and 24 hour callback service for the period of 90 Ninety Days on each elevator after the installation is completed and the elevator has been

placed into operation. This service shall consist of periodically examining, lubricating, adjusting and cleaning the elevator(s), and, in our sole opinion, if conditions warrant, repairing or replacing elevator components not excluded under this Agreement.

1.5 Temporary Service.

Should Purchaser require use of any elevator(s) prior to completion and final acceptance, the Purchaser agrees to sign Florida Elevator's Construction Use Only Agreement, and be bound by the terms and conditions thereof. A copy of this Agreement will be furnished upon request. If applicable, all permit fees for temporary service shall be paid by Purchaser.

1.6 Acceptance of Installation.

Upon notice from Florida Elevator that the installation of the elevator has been completed, Purchaser will arrange to have present at the installation site a person duly authorized to make the final inspection and to provide/execute a written final acceptance. The date and time that such person will be present at the site shall be as mutually agreed upon, but shall not be more than ten (10) business days after the date of Florida Elevator notice of completion to Purchaser, unless both parties agree to a certain date thereafter. Such Final Inspection and Certificate of Acceptance shall not be unreasonably delayed or withheld. In the event the elevator fails inspection due to no fault of Florida Elevator, Purchaser agrees to reimburse Florida Elevator for any costs associated with additional inspections.

1.7 Drawings.

Florida Elevator shall, after receiving structural and architectural drawings from Purchaser, prepare drawings showing the general arrangement and loads of the elevator equipment. These drawings shall be approved and the hoistway size guaranteed by Purchaser prior to processing, fabrication, and installation of the elevator.

1.8 Painting.

All exposed metal work furnished by Florida Elevator, except for the hoistway entrances and exterior doors and as otherwise specified in writing, shall be properly painted after installation by Florida Elevator.

2.0 Permits, taxes, and licenses.

All applicable sales and use taxes, permit fees and licenses imposed upon Florida Elevator as of the date of this proposal are included in the contract price. Purchaser agrees to pay, as an addition to the contract price, the amount of any additional taxes, fees, or other charges exacted from the Purchaser or Florida Elevator by any law enacted after the date of this proposal.

3.0 Acceptance of proposal.

Purchaser's acceptance of this Agreement and its approval by an executive officer of Florida Elevator will constitute exclusively and entirely the Agreement. All other prior representations or agreements, whether written or verbal, will be deemed to be merged herein and no other changes in or additions to this Agreement will be recognized unless made in writing and properly executed by both parties. Should Purchaser's acceptance be in the form of a purchase order or other similar document, the provisions of this Agreement will govern in the event of a conflict. This proposal is hereby accepted in its entirety, and shall constitute the entire Agreement as contemplated by the Purchaser and Florida Elevator.

4.0 Title and Ownership

Florida Elevator retains title to all equipment it supplies under this Agreement and a security interest therein, (which, it is agreed, can be removed without material injury to the real property) until all payments under the terms of this Agreement, including deferred payments and any

extensions thereof, are made. In the event of any default by Purchaser on any payment, or any other provision of this Agreement, Florida Elevator may take immediate possession of the equipment and enter upon the premises where it is located (without legal process) and remove such equipment or portions thereof, irrespective of the manner of its attachment to the real estate or the sale, mortgage, or lease of the real estate. Pursuant to the Uniform Commercial Code, and at Florida Elevator request, Purchaser agrees to execute any financial or continuation statements which may be necessary for Florida Elevator to file in public offices in order to perfect Florida Elevator's security interest in such equipment.

4.1 Warranty.

Florida Elevator warrants the equipment installed pursuant to this Agreement against defects in materials and workmanship for a period of **one (1)** year from the date of Final Acceptance. This warranty is in lieu of any other liability for defects. Florida Elevator makes no warranty of merchantability and no other warranties which extend beyond the description in this Agreement including any other warranties existing by operation of law. Like any piece of mechanical machinery, this equipment should be periodically inspected, lubricated, and adjusted by competent personnel. This warranty is not intended to supplant such normal maintenance service and shall not be construed to mean that Florida Elevator will provide free service for periodic examination, lubrication, or adjustment due to normal use beyond that included in this Agreement; nor will Florida Elevator correct, without charge, breakage, maladjustments, or other trouble arising from abuse, misuse, improper or inadequate maintenance, or any other causes beyond its control. In the event of a warranty claim, Purchaser must give Florida Elevator prompt written notice, and provided all payments due under the terms of this Agreement have been made in full, Florida Elevator shall, at its own expense, correct any proven defect by repair or replacement. Florida Elevator will not, under this warranty, reimburse Purchaser for cost of work done by others, nor shall Florida Elevator be responsible for the performance of equipment to which any revisions or alterations have been made by others.

5.1 Work not included.

This proposal does not include the following work, and is necessarily conditioned on the proper performance of the General Contractor and/or other subcontractors:

A legal hoistway, properly framed and enclosed, and including a pit of proper depth provided with ladder, sump pump, lights, access doors and waterproofing, as required. Removal of water in pit(s). Legal machine room, adequate for the elevator equipment, including floors, trap doors, gratings, foundations, lighting, ventilation and heat to maintain the room at an ambient temperature of 50°F minimum (90°F maximum). Adequate supports and foundations to carry the loads of all equipment, including supports for guide rail brackets and machine beams or overhead sheaves (if furnished). If adjacent hoistways are utilized, divider beams at suitable points shall be provided for guide rail bracket support.

It is agreed that in the event asbestos material is knowingly or unknowingly removed or disturbed in any manner at the job site by parties other than employees of Florida Elevator or those of its subcontractors, our work place will be monitored, and prior to and during our manning of the job, Purchaser will certify that asbestos in the environment does not exceed .01

fibers per cc as tested by NIOSH 7400. In the event our employees or those of our subcontractors are exposed to an asbestos hazard, PCP's or other hazardous substances, caused by individuals other than our employees, or those of our subcontractors, Purchaser agrees to indemnify, defend, and hold harmless Florida Elevator from all damages, claims, suits, expenses, and payments resulting from such exposure. Removal and disposal of asbestos containing material is the responsibility of the contractor.

All sill supports, including steel angles where required, sill recesses, and the grouting of door sills. Purchaser will provide OSHA approved removable temporary enclosures, barricades, or other protection from open hoistways during the time the elevator is being installed. Proper trenching and backfilling for any underground piping or conduit. Cutting of walls, floors, etc., and removal of such obstructions as may be necessary for proper installation of the elevator. Setting of anchors and sleeves. Pockets or blockouts for signal fixtures. Structural steel door frames with extensions to beam above, if required, on hoistway sides, and sills for freight elevators, including finish painting of these items.

Suitable connections from the power mains to each controller and signal equipment feeders as required, including necessary circuit breakers and fused mainline disconnect switches per N.E.C. Wiring to controller for car lighting. (Per N.E.C. Articles 620-22 and 620-51). Electric power without charge, for construction, testing and adjusting of the same characteristics as the permanent supply. A means to automatically disconnect the main line and the emergency power supply to the elevator prior to the application of water in the elevator machine room will be furnished by the electrical contractor. This means shall not be self-resetting. Wiring and conduit from life safety panel or any other monitor station to elevator machine room or suitable connection point in hoistway. The contractor will provide a temporary 220 VAC - 30 amps single phase terminal with disconnect for each traction elevator in the machine room(s) and within 50 feet of the machine room(s) for hydraulic elevators at the start of the job for temporary operation of work platform.

Wiring and conduit from life safety panel or any other monitor station to elevator machine room. Remote wiring to outside alarm bell as requested by the Safety Code for Elevators and Escalators (ASME 17.1) (where applicable). Heat, smoke sensing and fire initiating devices at elevator lobbies on each floor, machine room, and hoistways (where applicable), with necessary contacts terminating at a properly marked terminal in the elevator controller. Telephone connection to elevator controller (must be a dedicated line and monitored 24 hours, instrument in cab by others). One additional telephone line per group of elevators for diagnostic capability wired to designated controller. Emergency power supply with automatic time delay transfer switch and auxiliary contacts with wiring to the designated elevator controller. Electrical cross connections between elevator machine rooms for emergency power purposes are to be provided by others. Any governmentally required safety provisions not directly involved in the elevator installation. Furnishing, installing and maintaining the required fire rating of elevator hoistway walls, including the penetration of firewall by elevator fixture boxes, is not the responsibility of the Florida Elevator.

A temperature control system will need to be provided in the machine room in order to maintain the manufactures range of temperature and humidity. Should an emergency power or stand-by power be supplied as mentioned above an independent control for the temperature control system will be located in the machine room and will work properly on stand-by power.

Flooring and/or installation of flooring by others.

Owner/General Contractor to provide a bonded ground wire, properly sized, from the elevator controller(s) to the primary building ground.

Purchaser agrees to provide a dry and secure area adjacent to the hoistway(s) at ground level for storage of the elevator equipment at the time of delivery. Adequate ingress and egress to this area will also be provided. Any relocation of the equipment as directed by the contractor after its initial delivery will be at contractor's expense.

Composite cleanup crews will not be provided. Florida Elevator will be responsible for own housekeeping. All existing equipment removed by company shall become the exclusive property of the company.

6.1 Shared responsibilities.

Florida Elevator shall not be liable for any loss, damage, or delay caused by acts of government, labor troubles, strikes, lockouts, fire, explosion, theft, floods, riot, civil commotion, war malicious mischief, acts of God or any cause beyond its control, and in no event shall Florida Elevator be liable for any damages, nor any consequential, special or contingent damages. Florida Elevator shall automatically receive an extension of time commensurate with any delay regarding the aforementioned.

7.1 Special conditions.

1. Florida Elevator's performance under this Agreement is contingent upon Purchaser furnishing Florida Elevator with any and all necessary permission or priority required under the terms and conditions of government regulations affecting the acceptance of this Agreement or the manufacture, delivery or installation of the equipment.
2. It is agreed that Florida Elevator's personnel shall be given a safe place in which to work and Florida Elevator reserves the right to discontinue work in the building whenever, in our sole opinion, this provision is being violated.
3. All work is to be performed during Florida Elevator's regular working hours/regular working days unless otherwise specified and agreed to in writing by both Florida Elevator and Purchaser.
4. Florida Elevator anticipates shipment of the equipment approximately **8-10 weeks** after all final drawings and details are approved by Purchaser. A dry and protected area, conveniently located to the elevator hoistway will be assigned to Florida Elevator without cost, for storage of Florida Elevator's material and tools. Purchaser agrees that if Purchaser is not ready to accept delivery of the equipment when notified that it is ready, Purchaser will immediately make the payments due for the equipment and designate some local point where Purchaser will accept delivery. If Purchaser fails to make a location available, Florida Elevator is authorized to warehouse the equipment at a location of Florida Elevator's choice at Purchaser's risk and expense. Purchaser shall reimburse Florida Elevator for all costs due to extra handling and warehousing.
5. Certificate of Insurance, Bodily Injury and Property Damage Liability Insurance coverage shall be furnished to Purchaser upon request.
6. Should loss of or damage to our-material, tools or work occur at the installation site,- Purchaser shall compensate Florida Elevator for such loss, unless such loss or damage results from Florida Elevator's own acts or omissions.
7. If Florida Elevator submits any-drawings, illustrations or descriptive matter with this proposal, they are approximate and are submitted only to show the general style and arrangement of equipment being offered.

8. In the event Florida Elevator engages a third party to enforce and collect payment due hereunder, either with or without suit, Purchaser agrees to pay all costs thereof together with reasonable attorney's fees. Purchaser does hereby waive trial by jury and does hereby consent to the venue of any proceeding or lawsuit under this Agreement to be in Miami-Dade County, Florida.

The rights of Florida Elevator Sales & Service under this Agreement shall be cumulative and the failure on the part of the Florida Elevator to exercise any rights hereunder shall not operate to forfeit or waive any of said rights. Any extension, indulgence or change by Florida Elevator in the method, mode or manner or payment or any of its other rights shall not be construed as a waiver of any of its rights under this Agreement.

Accepted By: _____
(Print Name)

Subtd. By _____
Chris Rivera Sr., President

Date: _____

FLORIDA ELEVATOR SALES & SERVICE

Company: _____

Approved On _____ 2012

(Authorized Signature)

By _____
Name Title



Designed for use in commercial projects as a LU/LA elevator

Suitable for residential applications with its larger cab and optional two-speed sliding doors

Look and feel of a high-rise elevator in a more affordable package

Savaria™ Orion Elevator

AFFORDABLE COMMERCIAL LOW-RISE



The Savaria Orion elevator was designed for limited use/limited application commercial projects and is well-suited for use in educational settings, places of worship and up to three-storey professional offices. With the features you would expect to see in a high-rise elevator such as automatic sliding doors and commercial fixtures, the Orion elevator delivers a professional appearance and a smooth ride for passengers.

Savaria™ Orion Elevator

AFFORDABLE COMMERCIAL LOW-RISE



- 1:2 cable hydraulic drive system with gradual acceleration and deceleration, makes for a smooth ride
- Quiet operation from submersed pump and motor
- Pit depth of 14" (355 mm) and minimum overhead of 120" (3048 mm) is easier to accommodate than standard commercial elevators
- Rated for up to 1400 lb (635 kg), with spacious cabs available
- Fire-rated steel panel cab interior in choice of white or black with optional laminate panel overlays available
- Stainless steel fixtures with LED indicators for the cab operating panel and hall call stations, automatic cab on/off lighting
- Safety features include: emergency battery back-up for lowering and interior lighting, emergency stop and alarm buttons, emergency manual lowering, safety brakes
- Standard two-stop operation can be increased to up to 5 stops over a maximum of 300" (762 cm)*
- Configurable for one door or two doors with straight-through access for ADA-compliant projects
- Options include: steel panels with plastic laminate in a variety of colors, brass fixtures, 90° door configurations, hands-free phone, telephone cabinet with choice of finish, manual or automatic fire-rated folding gate, fire recall service, overspeed governor, a variety of landing doors, two-speed steel doors with infrared door closing sensors in black, architectural white or stainless steel



SPECIFICATIONS

Applications	Commercial LU/LA applications, residential
Capacity	1400 lb (635 kg)
Maximum travel distance	300", with up to 5 stops*
Cab sizes available	48" x 54", 42" x 60", 51" x 51", 54" x 54"*** (121.9 cm x 137.1 cm, 106.7 cm x 152.4 cm, 129.5 cm x 129.5 cm, 137.1 cm x 137.1 cm)
Speed	30 ft/min (0.15 m/s)
Drive	1:2 cable hydraulic, 5 hp submersed motor using aircraft cable, rope wedge sockets
Power supply	208 volt, three phase, 30 amps, 60 Hz or 240 volt, single phase, 40 amps, 60 Hz
Warranty	36 months parts, ask for details

Your local authorized Savaria dealer can ensure that your Orion elevator is installed to comply with local and national code. **Talk to a Savaria dealer today about how the Savaria Orion elevator can fit your needs.**

Authorized Savaria dealer:



www.savaria.com

107 Alfred Kuehne Boulevard, Brampton, ON L6T 4K3 Canada

tel: 800.661.5112 fax: 905.791.2222

Nationwide Lifts
 10-B Holden Ave
 Queensbury, NY 12804
 Phone: (518) 615-0121
 Fax: (877) 825-6001



Quote: CR04202012
 Valid Until: 06/30/2012
 Rep: Caitlin Robichaud
 Phone:
 caitlin.robichaud@nwlifts.com

Bill To: IICON Contractors, Corp
 18490 SW 280 Street
 Homestead, FL 33031
 305-245-1700

Ship To: Lydia Iglesias
 123 N Krome Ave
 Homestead, FL 33030
 305-245-1700
 lydia.iglesias@iiconcontractors.com

Product Details	Qty	Unit Price	Total Price
FREEDOM COMMERCIAL LULA Elevator Hydraulic Operation	1	\$54,900.00	\$54,900.00
- Capacity: 1,400lbs			
- Number of Levels: 2			
- Travel Distance: 12'			
- Cab Configuration: Same Side Enter/Exit			
- Cab Size: 42x60			
- Cab Finish: Painted Steel			
- Fixtures: Stainless Steel			
- Phone: Yes			
- Cab Gate: N/A			
- Landing Doors: 2 Speed Doors			
- Equipment Room: Yes			
- Pit: 14" Minimum			
- Battery Backup: Yes			
- Warranty: 3 year			
- Note: Price includes equipment, installation, and freight. Permitting/Inspection not included			
Total:			\$54,900.00

Payment Terms:
 We propose to furnish and install the product(s) listed above.
 The payment structure is listed to the right.

Production deposit:	\$27,450.00
Due upon delivery:	\$21,960.00
Due upon completion:	\$5,490.00

Initial: _____

Acceptance of Proposal: This proposal is submitted for acceptance within thirty (30) days of from date executed by us. This proposal, when accepted by the Purchaser and approved by a representative of Nationwide Lifts, shall constitute the contract between us, and all prior representations or agreements not incorporated herein are superseded. No changes in or additions to this contract will be recognized unless made in writing and properly executed by both parties. Should Purchaser's acceptance be in the form of a purchase order or other similar document, the provisions of this Agreement will govern in the event of a conflict.

Site Preparatory Work: A Site Preparation Agreement will be provided by Nationwide Lifts. The preparatory work must be completed by the Purchaser prior to installation of the equipment. Failure to complete preparatory work will result in fees as outlined in the Site Preparation Agreement.

Warranty: Nationwide Lifts warrants the equipment sold by it and all parts thereof to be free from defects in material and workmanship under normal use and service. Its obligation under this warranty shall be limited to repairing any part of said equipment which proves thus defective within the timeframe of the warranty and which its examination shall disclose to its satisfaction to be thus defective. This warranty is in lieu of all other warranties expressed or implied and of all obligations or liabilities on its part. It neither assumes nor authorizes any person to assume for it any other obligation of liability in connection with the sale of said equipment or any part thereof. This warranty shall not apply to any part, which has been subject to any accident, alteration, abuse or misuse. The labor warranty period is 12 months, beginning upon completion of the installation. Warranty calls are to be performed during regular working hours of regular working days unless required by an emergency condition, at the discretion of Nationwide Lifts. The equipment warranty period is identified on the 1st page of this document. The equipment warranty begins when the equipment ships from the factory. The equipment warranty is governed by the manufacturer. Like any piece of mechanical machinery, this equipment should be periodically inspected, lubricated and adjusted by competent personnel. This warranty is not intended to supplant such normal maintenance service.

Terms and Conditions: If the Purchaser does not take delivery of material within 30 days of manufacturing completion, Nationwide Lifts will store the equipment at the Purchaser's cost. The Purchaser is to pay insurance and storage charges not to exceed \$75 per week. Once Nationwide Lifts receives delivery of the equipment from the factory, the progress payment 'Due upon delivery' is due immediately. This progress payment is due regardless if the unit is placed into storage. All sales are final. The equipment is custom ordered to Purchaser's requirements. In the event of any default by Purchaser, the unpaid balance of the purchase price, less the cost of completing the work, as estimated by us, shall immediately become due. The machinery, implements and apparatus hereunder remain personal property of Nationwide Lifts. Therefore, Nationwide Lifts retains title thereto until final payment is made, with right to retake possession of them, or any part thereof, at the cost of the Purchaser if default is made in any of the payments irrespective of the manner of attachment to the realty, the acceptance of notes, or the sale, mortgage or lease of the premises. Nationwide Lifts shall not be held responsible nor shall it be liable under the terms of this agreement and Purchaser expressly releases, discharges, indemnifies and acquits Nationwide Lifts for any and all claims for loss, damage, delay, detention, death or injury of any nature whatsoever. Nothing in this contract shall be construed to mean that Nationwide Lifts assumes any liability on account of accidents to persons or property except those directly due to the negligent act of its workmen. Nationwide Lifts shall not be liable for any loss, damage or delay caused by acts of government, labor troubles, strikes, lockouts, fire, explosion, thefts, riots, floods, civil commotion, war, malicious mischief, acts of God or any cause beyond its control, and in no event shall Nationwide Lifts be liable for any damages, nor any consequential, special or contingent damages. This order, together with its terms and conditions as outlined herein are hereby expressly made a part of this order, when signed and accepted by the Purchaser and a representative of Nationwide Lifts shall constitute exclusively the contract between the parties and all prior representations or agreements whether written or verbal not incorporated herein, are superseded.

Purchaser: **IICON Contractors, Corp**
18490 SW 280 Street
Homestead, FL 33031

Supplier: **Nationwide Lifts**
10-B Holden Ave
Queensbury, NY 12804

Printed: _____

Printed: _____

Signature: _____

Signature: _____

Date: _____

Date: _____

TM

LIMITED USE/LIMITED APPLICATION ELEVATOR

Planning Guide

for Limited Use/Limited Application Elevator

ASME A17.1 - 2004 Section 5.2
CAN/CSA B44-04

Effective June 1st, 2005
Revised September 19th, 2005

**Limited Use/Limited Application Elevator
(A17.1/B44 Compliant)**

This Planning Guide is designed to assist architects, contractors, building owners and elevator professionals in planning for a FREEDOM COMM Elevator that meets the requirements of ASME A17.1-2004 Section 5.2. This unique elevator is designed to help solve accessibility problems in commercial buildings and meet state and national codes covering the Limited Use/Limited Application (LULA) elevators.

We strongly recommend you contact the Authority Having Jurisdiction (AHJ) in the region where the equipment will be installed. Become familiar with all requirements governing the installation and use of elevators in public and private buildings. It is extremely important for you to know and adhere to all regulations concerning installation and use of elevators.

IMPORTANT NOTICE:

This Planning Guide provides dimensions and specifications useful for INITIAL planning of an elevator project. BEFORE beginning actual construction, be sure to receive application drawings customized with specifications and dimensions for your specific project.

Elevator configurations and dimensions are in accordance with Nationwide Lifts' interpretation of the standards set forth by ASME A17.1-2004 Section 5.2. The specifications in this Planning Guide are subject to constant change (without notice) due to product enhancements and continually evolving codes and product applications.

Steps of planning for a FREEDOM COMMERCIAL LU/LA Elevator:

1. Determine customer's intention for use.
2. Determine code requirements of site.
3. Determine installation parameters of site.
4. Determine the car type from the hoistway requirement pages.
5. Determine the interior size of the car.
6. Use the appropriate chart to determine the hoistway requirements.
7. Use page 15 to plan for hoistway door requirements
8. Use page 16 to plan for hoistway and hoistway pit electrical requirements.
9. Use page 17 to plan for machine room and electrical requirements.

Contents

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Cab w/ Swing Door - Hoistway Configurations.....	9-10
Automatic Sliding Door Details.....	11-14
Door Rough Openings & Loads on The Building (Rail Reactions).....	15
Machine Room Requirements.....	16
Hoistway Notes & Hoistway Pit Electrical Notes.....	17
Pit Depth & Overhead Requirement Details.....	18
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The FREEDOM COMMERCIAL meets the requirements of ASME A17.1-2004 Section 5.2 for a Limited Use/Limited Application Elevator.

General

Rated Load: 1400 lbs. (635kg)
Nominal Speed: 30 fpm (0.15 m/s)
Travel Distance Maximum 25' (7.6m)
Levels Served Maximum 4
Number of openings per level - Maximum 2
Data Plates, capacity tags and rope tags
Minimum pit depth: 14" (355 mm)
Minimum overhead clearance:
- Existing Construction 120" (3048 mm)
- New Construction 131" (3327 mm)
84" (2743 mm) clear cab height
Presentation drawings

Mechanical Equipment

1:2 roped hydraulic single stage cylinder
5 hp submersible motor
Electronic proportional valve assembly
208V, 3PH, 60 Hz, 30 Amp power supply or
230V, 1PH, 60 Hz, 50 Amp power supply
8 lb./ft. T-Rail system
Two 3/8" (8 mm) diameter aircraft cables
Sling assembly
Rope wedge sockets

Standard Cab and Appointments

Cab Size: 48" x 54" (1219 mm x 1371 mm)
Cab Height: 84" (2134 mm)
Cab Walls: Steel Panel Cab w/Optional Laminates
Cab Ceiling: Architectural white steel ceiling with four (4) recessed incandescent down lights
Stainless steel flush mounted cab operating panel
Digital floor and directional indicator
Illuminated cab operating buttons
Recessed plywood flooring

Controls

Programmable Logic Controller (PLC)
Fully automatic operation
Stainless steel rectangular hall call stations
Automatic cab lighting with battery back-up operation
Emergency alarm and stop key switch
Floor specific battery lowering
Magnetic tape reader for floor selection and leveling

Safety Devices

Emergency battery back-up for lighting, alarm and lowering
Emergency manual lowering
Upper and lower terminal limits
Manual reset slack rope safety switch
Automatic bi-directional leveling
Anti creep device
Pit switch
Pump run timer
Car top stop switch
Pit clearance device
Maintenance Pit Props
Car Top Prop (Where Required)

Other Options - All Models

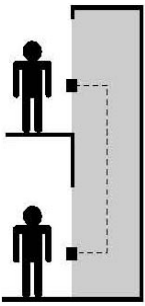
Automatic cab gate operator
Automatic operators for hoistway doors
90 degree entry/exit cab
2 Exit openings at one landing
3 or 4 stops with up to 50 ft. (15.24 m) of travel (where excess travel is permissible)

Other Options Available

Raised Plastic Laminated Panels in a choice of 7 colors
Recessed telephone cabinet in stainless steel or brass
Hands Free Phone
2 Speed Sliding Doors
Fire Rated Automatic Swing Doors with Accordion Style Car Gates
Brass C.O.P, Brass hall/call stations, Brass Handrail & Brass recessed down lights.
Optional Cab Sizes – 42" x 60" (1067 mm x 1524 mm), 51" x 51" (1295 mm x 1295 mm),
Automatic home landing to pre-selected floor
Firefighters Service – Phase I & II

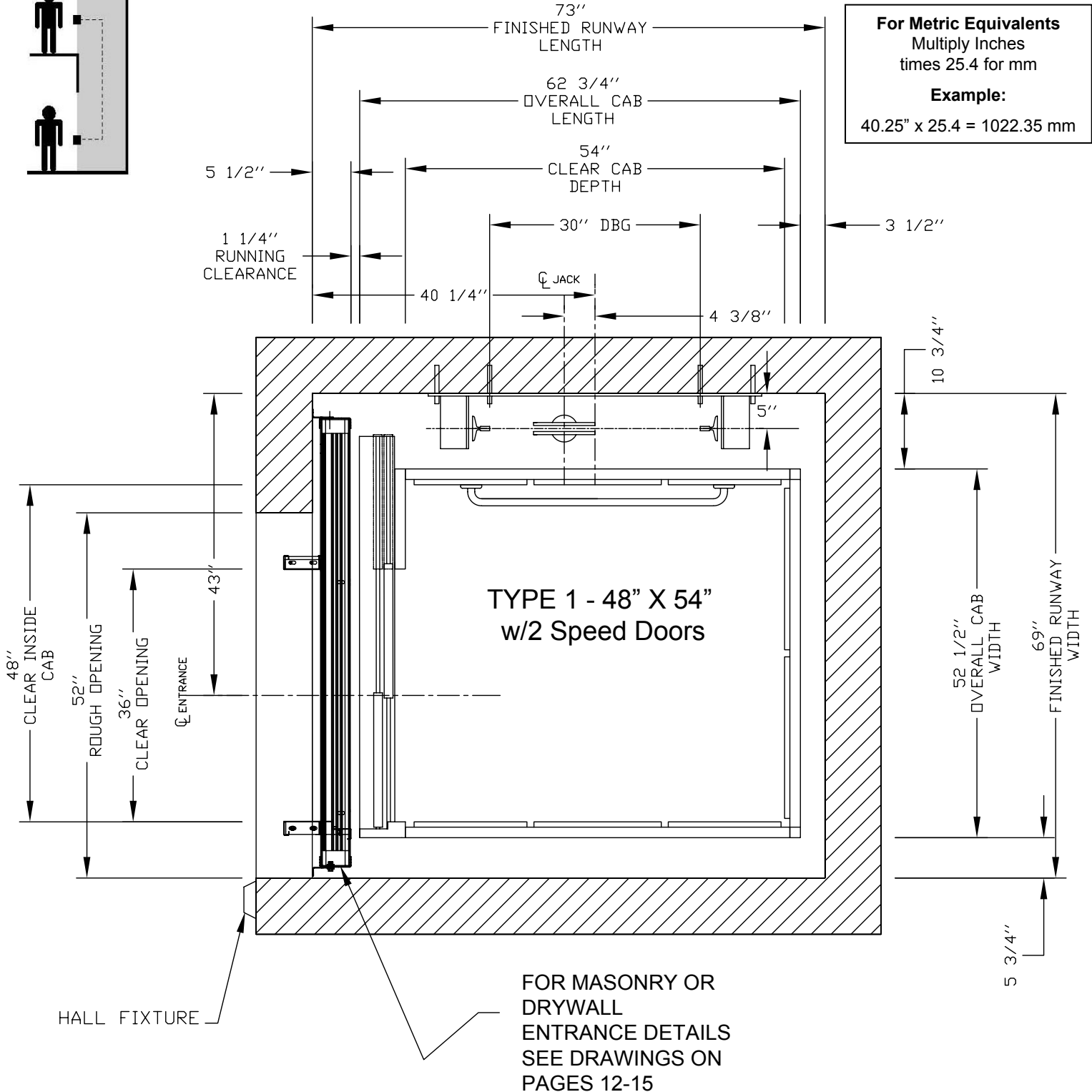
48" X 54" TYPE 1 LEFT HAND OR RIGHT HAND W/ 2 SPEED DOORS – ENTER/EXIT SAME SIDE
NOTE: PLAN VIEW DRAWING CAN BE REVERSED FOR RIGHT HAND APPLICATIONS

Type 1



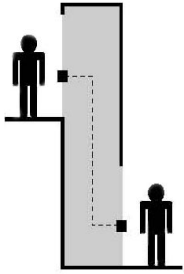
Important Note: Finished hoistway dimensions must include the drywall (where applicable). Determine the fire rating of the hoistway, the type and layers of sheet rock and build only off shop drawings specific to your project.

For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm



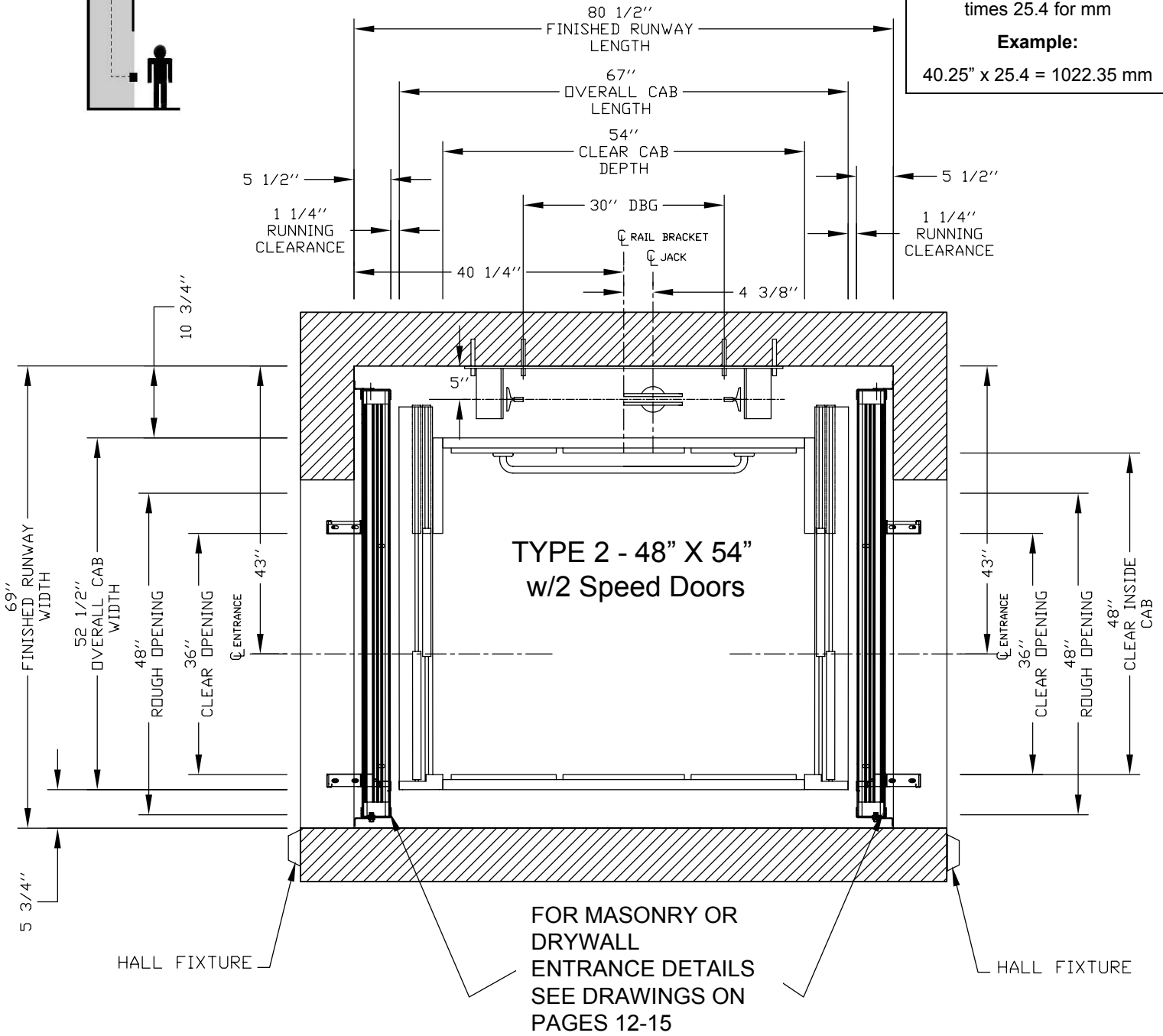
48" X 54" TYPE 2 WALK THROUGH w/ 2 SPEED DOORS – ENTER/EXIT EITHER SIDE
NOTE: PLAN VIEW DRAWING CAN BE REVERSED FOR RIGHT HAND APPLICATIONS

Type 2



Important Note: Finished hoistway dimensions must include the drywall (where applicable). Determine the fire rating of the hoistway, the type and layers of sheet rock and build only off shop drawings specific to your project.

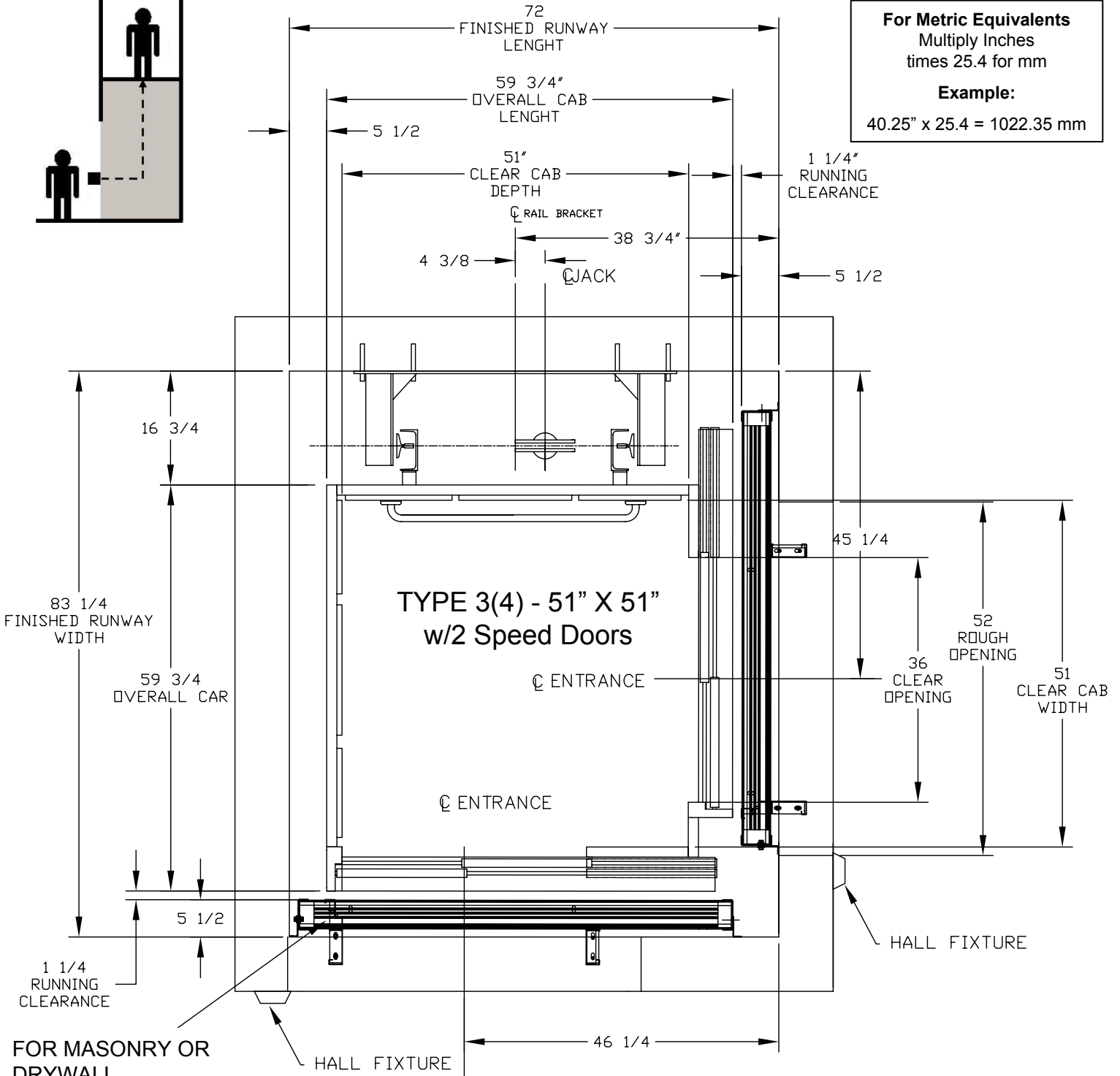
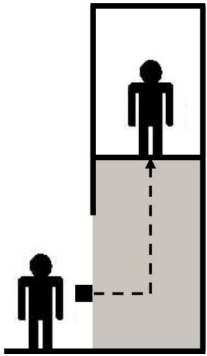
For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm



51" X 51" TYPE 3 OR 4 w/ 2 SPEED DOORS – ENTER/EXIT FRONT OR SIDE
NOTE: PLAN VIEW DRAWING CAN BE REVERSED FOR TYPE 4 APPLICATIONS

Type 3 or 4

Important Note: Finished hoistway dimensions must include the drywall (where applicable). Determine the fire rating of the hoistway, the type and layers of sheet rock and build only off shop drawings specific to your project.

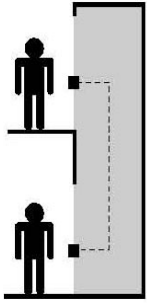


For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm

FOR MASONRY OR DRYWALL ENTRANCE DETAILS SEE DRAWINGS ON PAGES 12-15

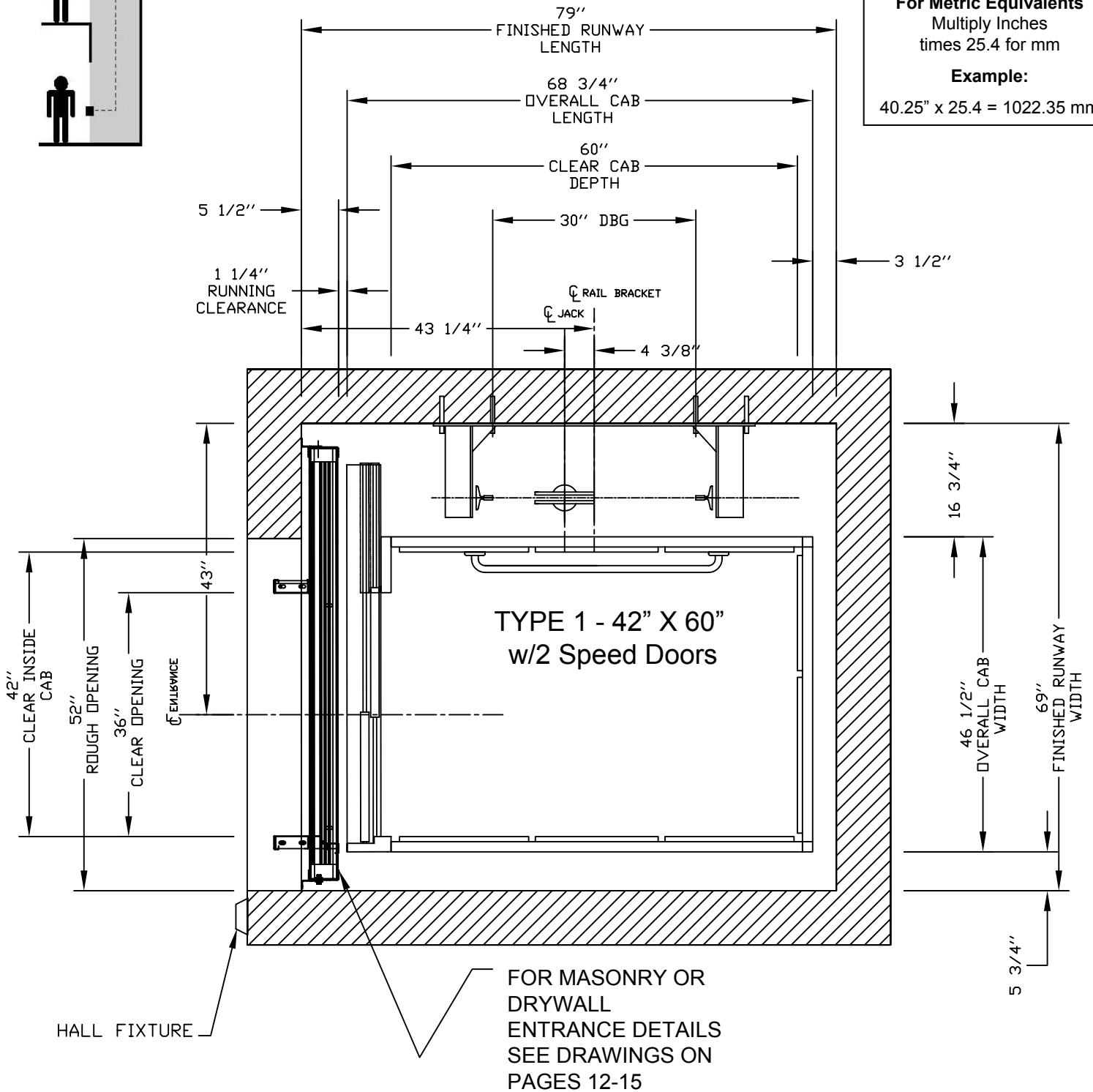
42" X 60" TYPE 1 LEFT HAND OR RIGHT HAND W/ 2 SPEED DOORS – ENTER/EXIT SAME SIDE
NOTE: PLAN VIEW DRAWING CAN BE REVERSED FOR RIGHT HAND APPLICATIONS

Type 1



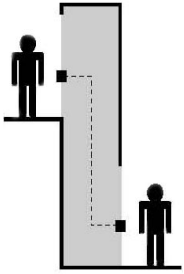
Important Note: Finished hoistway dimensions must include the drywall (where applicable). Determine the fire rating of the hoistway, the type and layers of sheet rock and build only off shop drawings specific to your project.

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 40.25" x 25.4 = 1022.35 mm



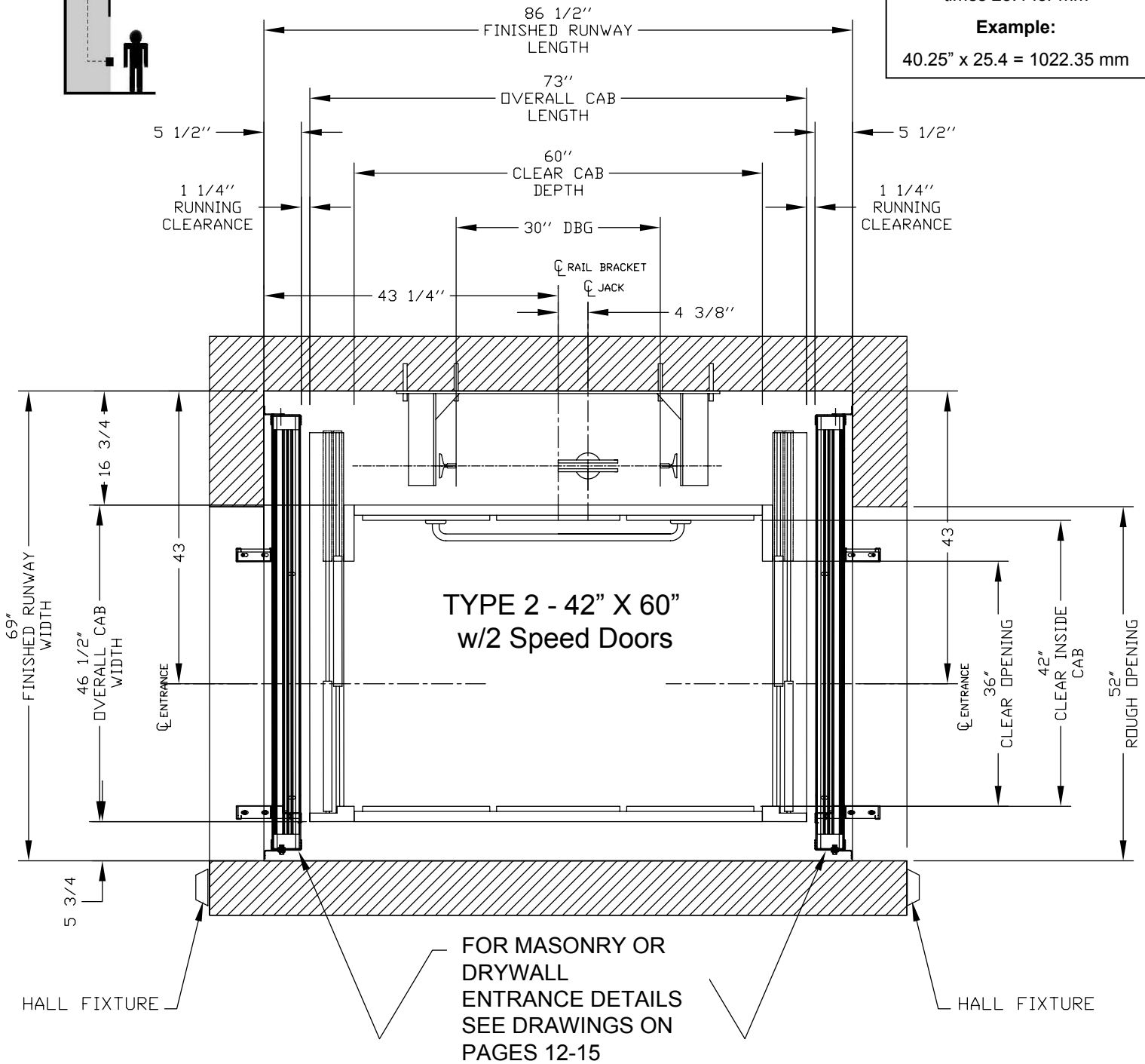
42" X 60" TYPE 2 WALK THROUGH w/ 2 SPEED DOORS – ENTER/EXIT EITHER SIDE
NOTE: PLAN VIEW DRAWING CAN BE REVERSED FOR RIGHT HAND APPLICATIONS

Type 2



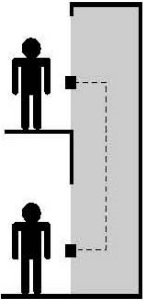
Important Note: Finished hoistway dimensions must include the drywall (where applicable). Determine the fire rating of the hoistway, the type and layers of sheet rock and build only off shop drawings specific to your project.

For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm



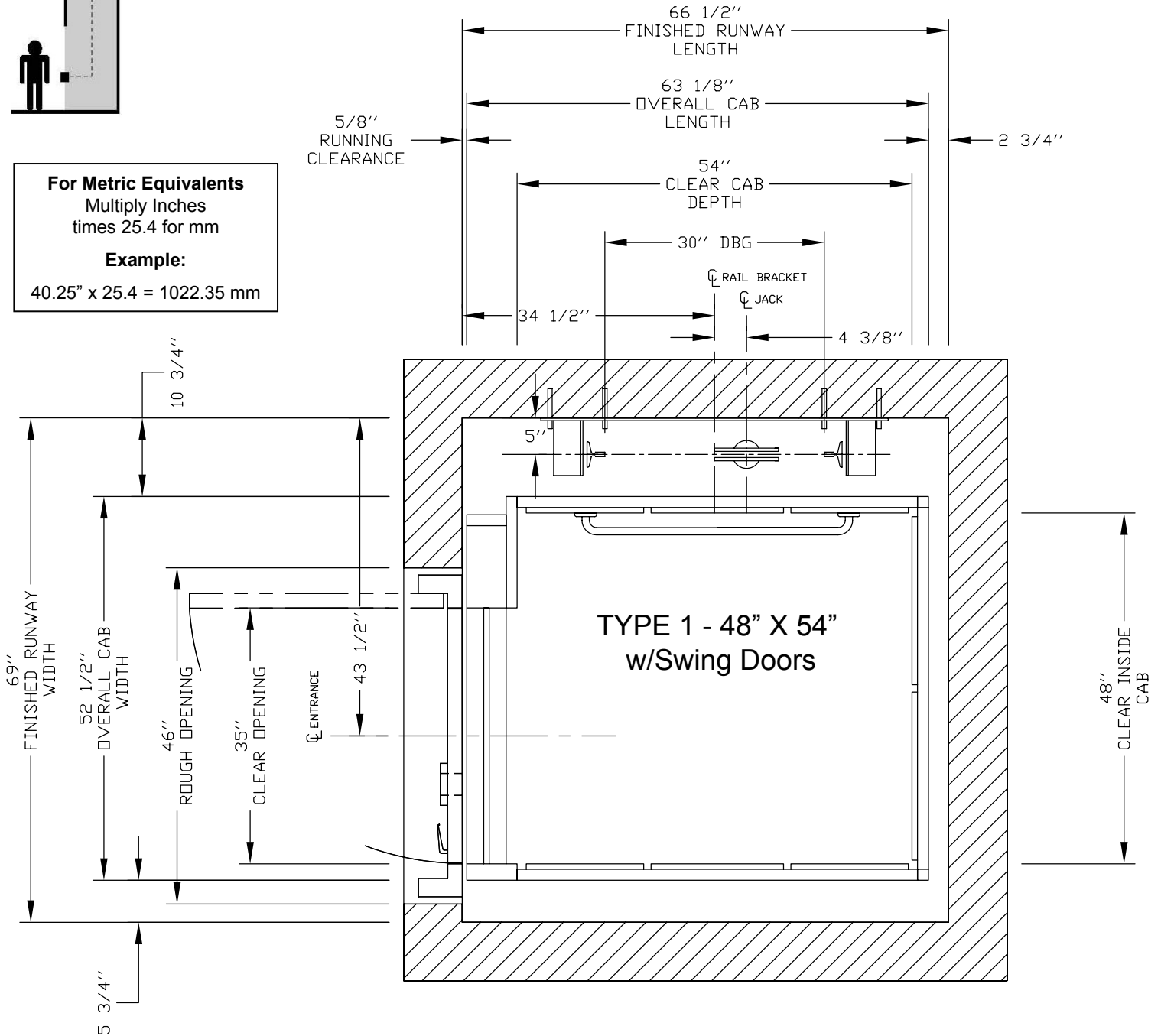
48" X 54" TYPE 1 LEFT HAND OR RIGHT HAND W/ 2 SWING DOORS – ENTER/EXIT SAME SIDE
NOTE: PLAN VIEW DRAWING CAN BE REVERSED FOR RIGHT HAND APPLICATIONS

Type 1



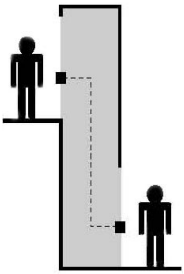
Important Note: Finished hoistway dimensions must include the drywall (where applicable). Determine the fire rating of the hoistway, the type and layers of sheet rock and build only off shop drawings specific to your project.

For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm



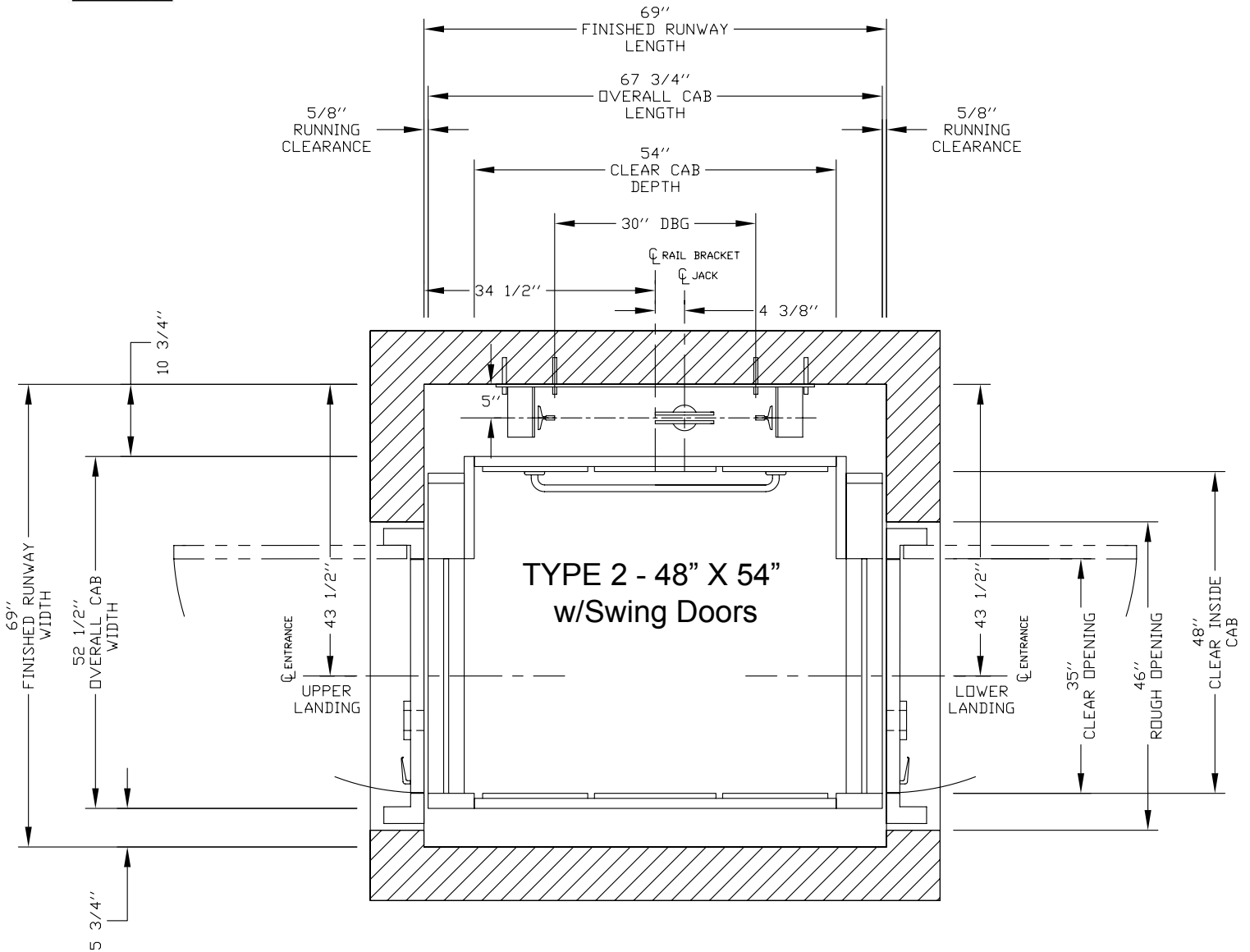
48" X 54" TYPE 2 WALK THROUGH w/ 2 SWING DOORS – ENTER/EXIT EITHER SIDE
NOTE: PLAN VIEW DRAWING CAN BE REVERSED FOR RIGHT HAND APPLICATIONS

Type 2



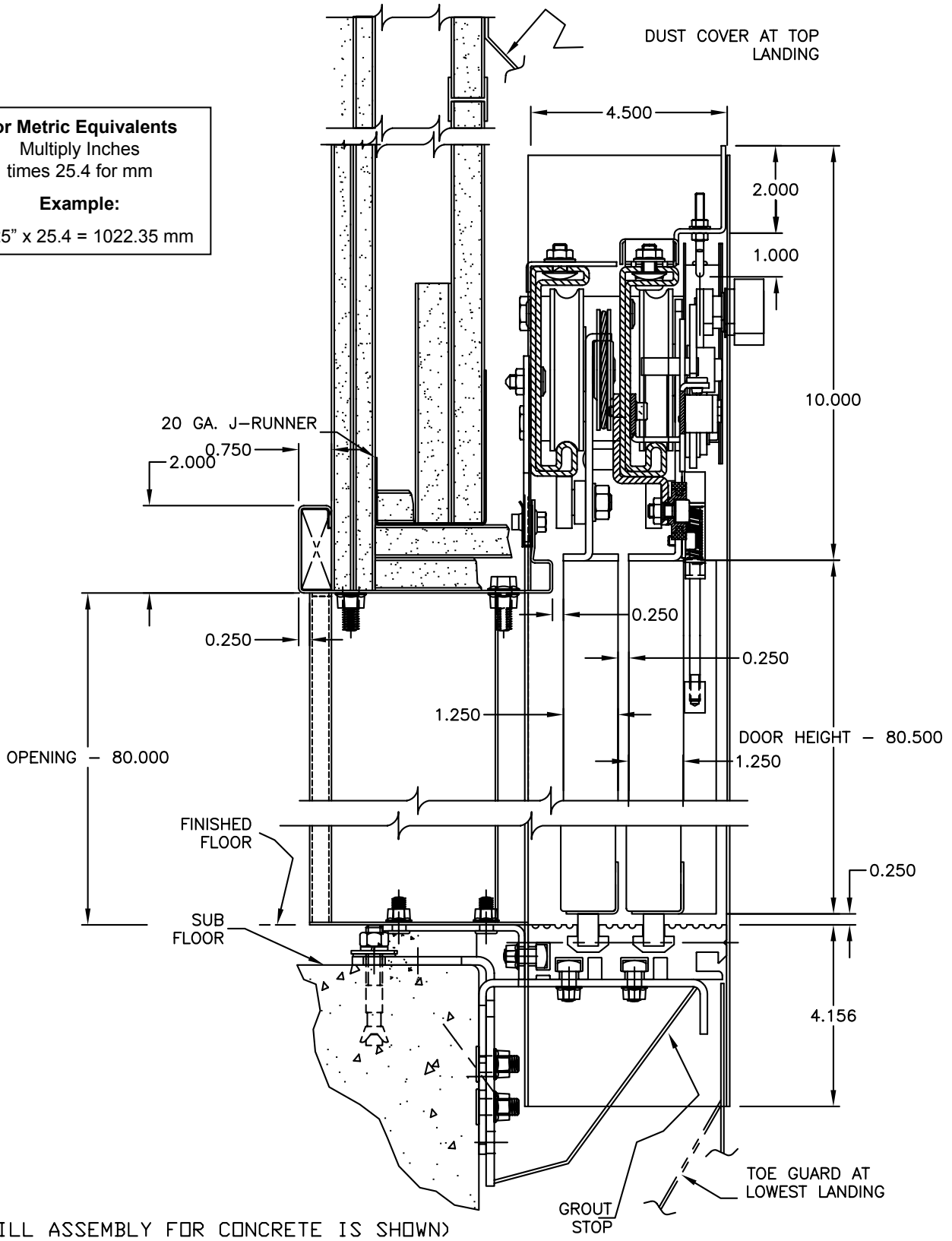
Important Note: Finished hoistway dimensions must include the drywall (where applicable). Determine the fire rating of the hoistway, the type and layers of sheet rock and build only off shop drawings specific to your project.

For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm



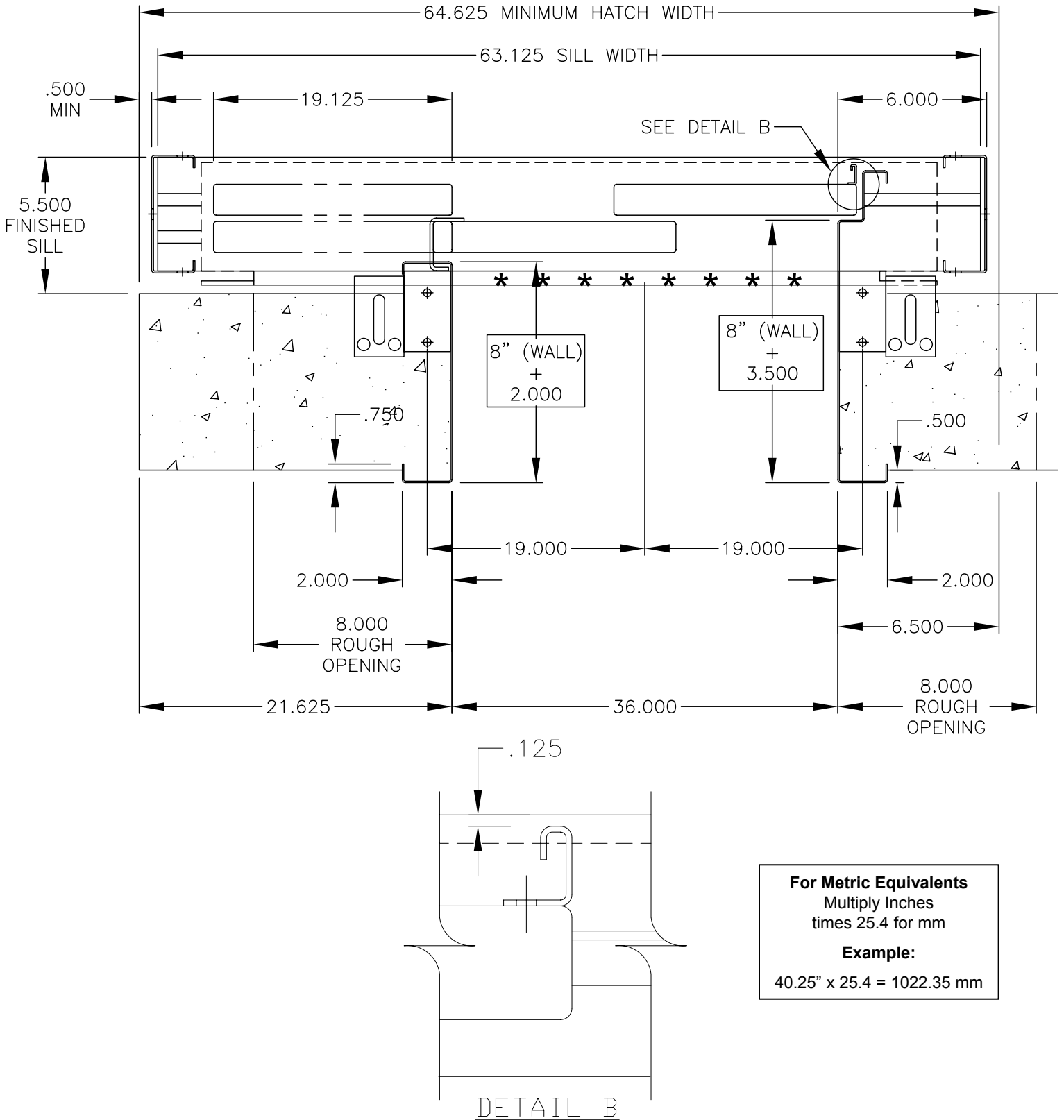
ENTRANCE MOUNTING DETAILS FOR 2 SPEED DOORS WITH DRYWALL

For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm



TYPICAL SECTION

ENTRANCE MOUNTING DETAILS FOR 2 SPEED DOORS WITH MASONRY CONSTRUCTION



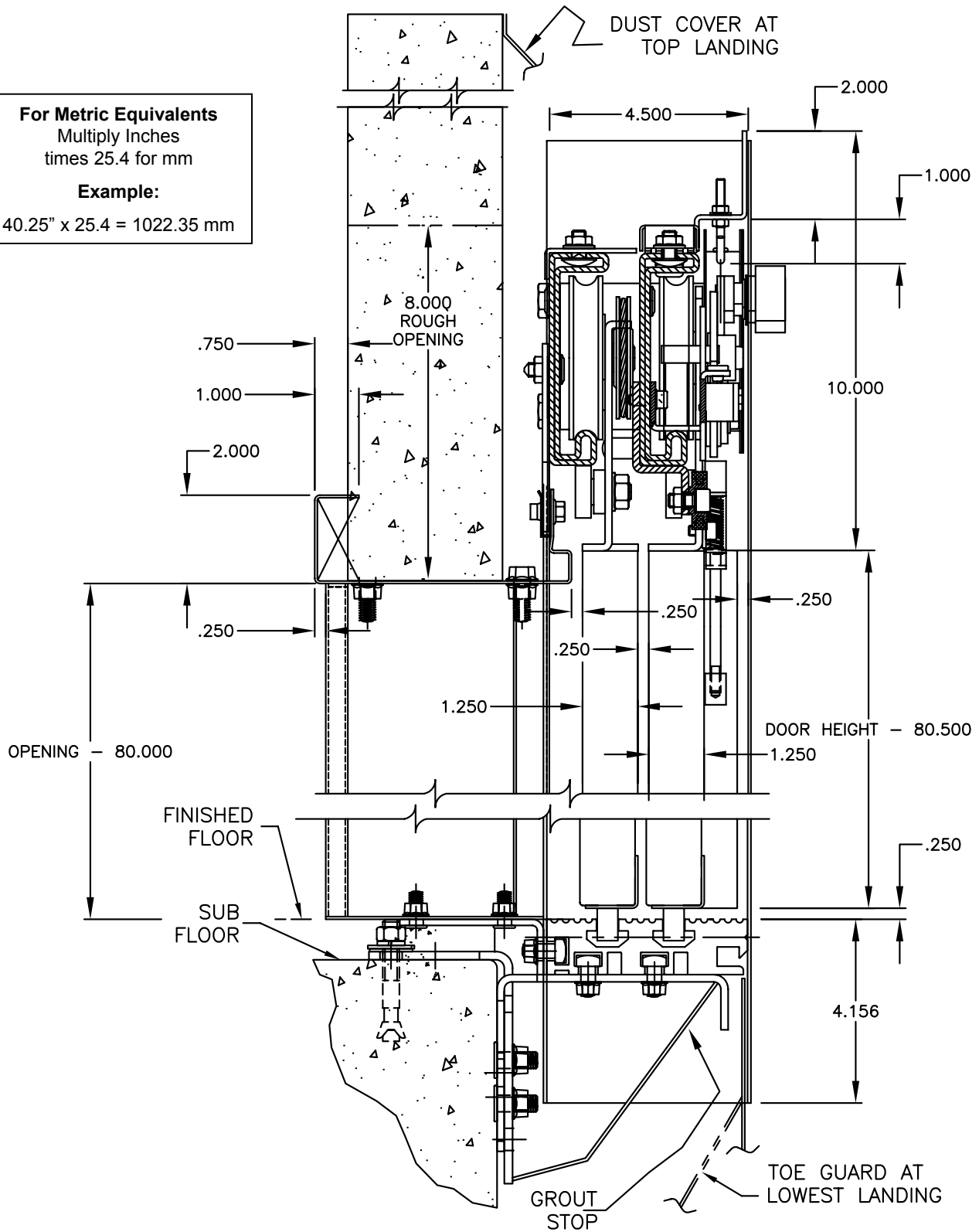
For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm

CONTRACTOR PLEASE NOTE:

* GROUTING AT THE SILL MAY BE REQUIRED AFTER THE DOOR FRAMES ARE SET

ENTRANCE MOUNTING DETAILS FOR 2 SPEED DOORS WITH MASONRY CONSTRUCTION

For Metric Equivalents
 Multiply Inches
 times 25.4 for mm
Example:
 40.25" x 25.4 = 1022.35 mm



TYPICAL SECTION
 (SILL ASSEMBLY FOR CONCRETE IS SHOWN)

2 SPEED AUTOMATIC DOOR AND GUIDE RAIL INFORMATION

Notes:

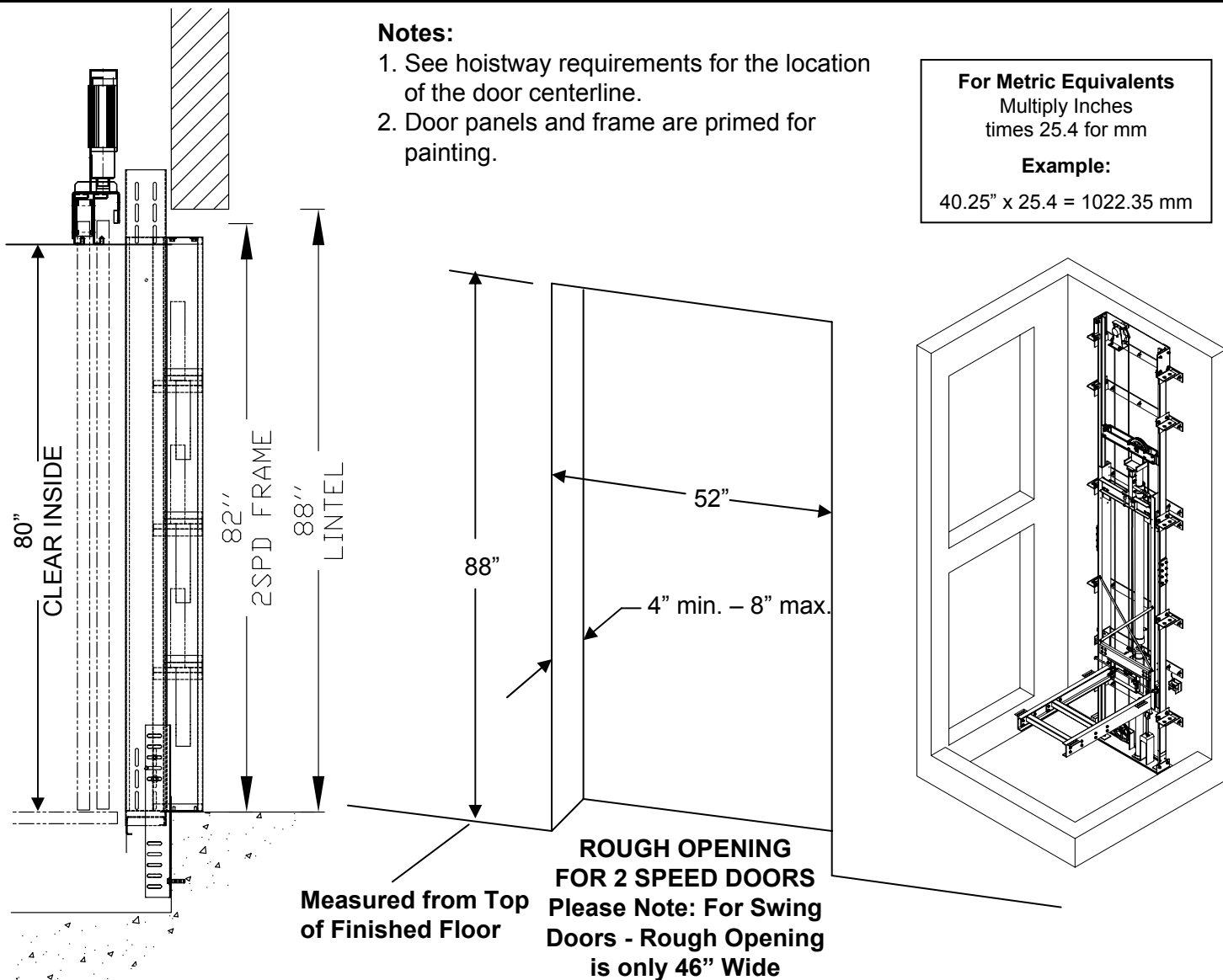
1. See hoistway requirements for the location of the door centerline.
2. Door panels and frame are primed for painting.

For Metric Equivalents

Multiply Inches
times 25.4 for mm

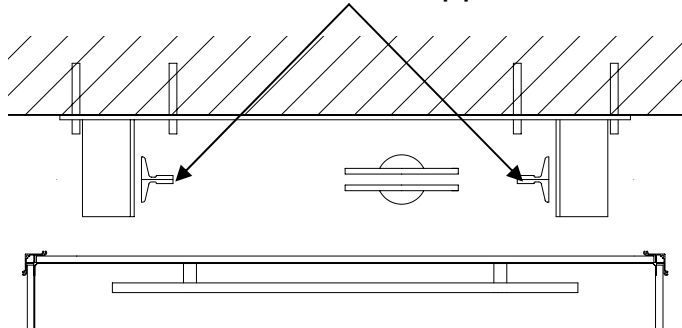
Example:

40.25" x 25.4 = 1022.35 mm



LOADS ON THE BUILDING (RAIL REACTIONS)

Rail Orientation to Support Wall

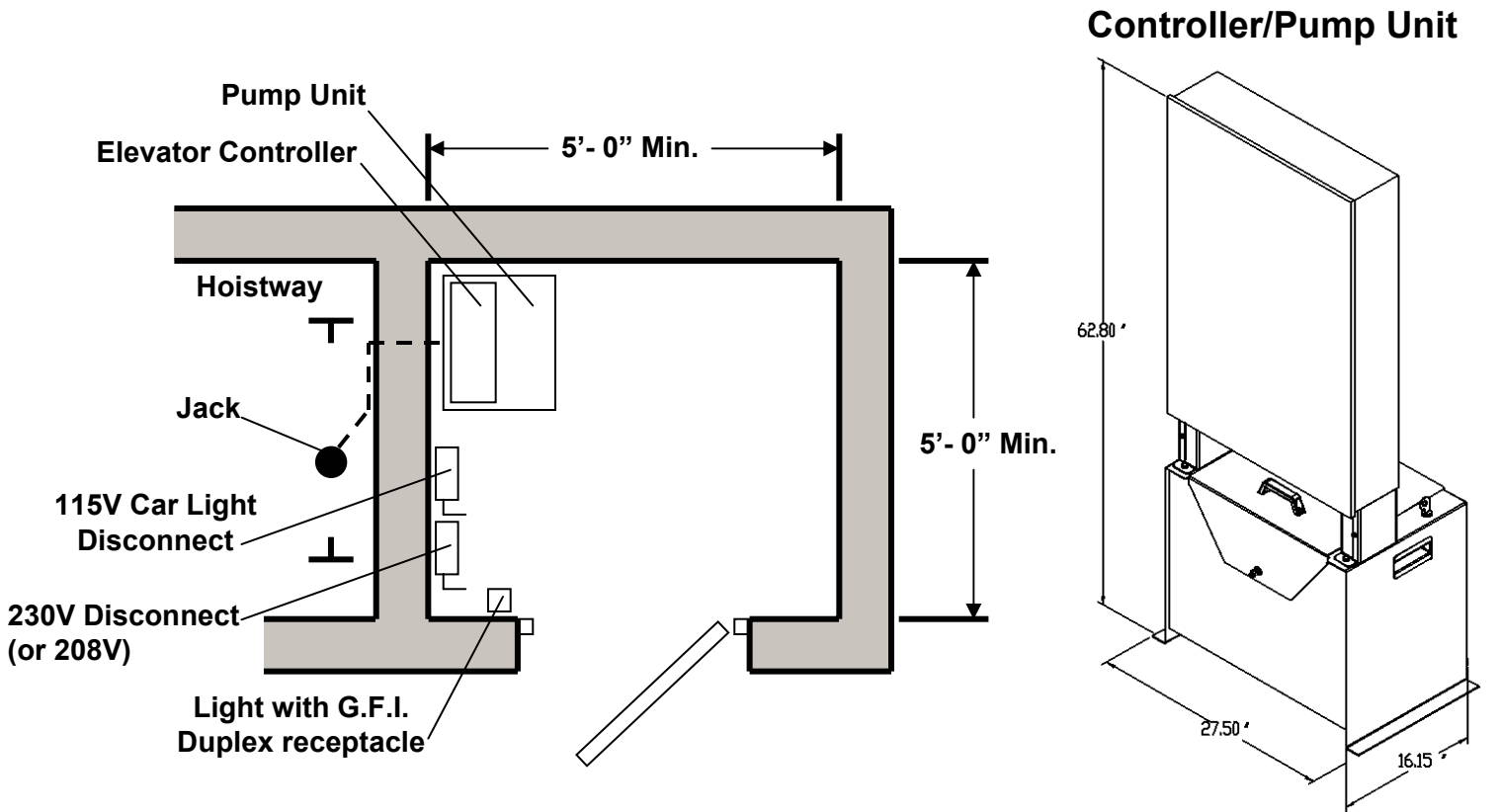


RAIL FORCES

* R1	* R2
720 lbf/3.2KN	260 lbf/1.16KN
RAIL WEIGHT : 8.0 lbs / ft	

Rail reactions do not include building safety factors. Applicable safety factors must be considered in hoistway design.

Machine Room Requirements



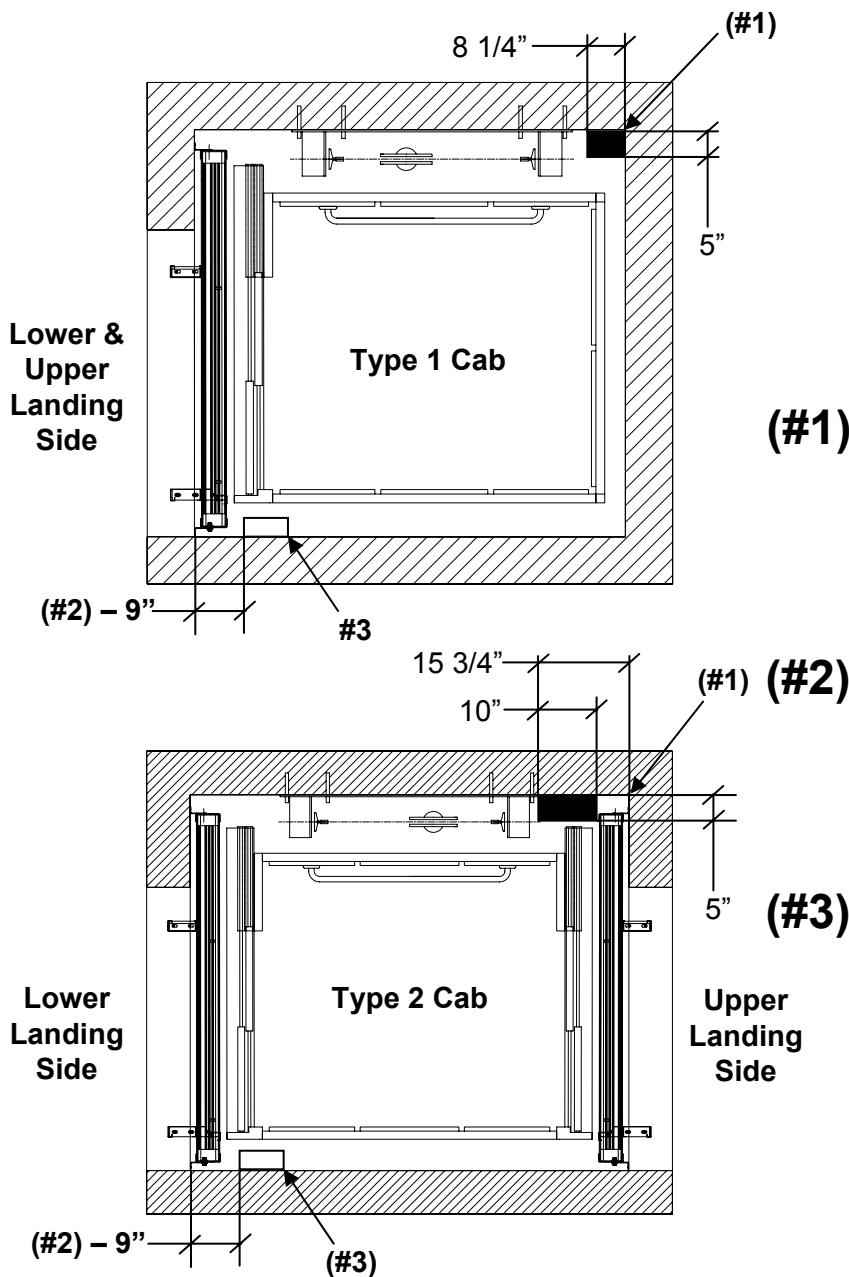
• Notes:

- Machine room must be built in accordance with elevator manufacturer and applicable building codes and regulations. Adequate ventilation is required to maintain a temperature of 50° to 100°F for output of 3600 BTU per hour.
- A convenience outlet, 115 VAC 15 AMP single phase with G.F.I. shall be located next to the light switch in the machine room. Provided and installed by others.
- Provide lockable, in open position, fused disconnect switches located adjacent to the elevator controller. Fusing must be selectively coordinated. Fuse either 208V Three Phase w/30 AMP or 230V Single Phase w/50 AMP service, fuse 115V for 15 AMP service for car light. (Must comply with applicable codes.) The electrical circuit provided shall be either 30 AMP, 208V three phase or 50 AMP 230V single phase, dedicated circuit with equipment ground. The circuit shall terminate on the line side terminal lugs of the disconnect. The electrical circuit is provided and installed by others. Disconnect switch to have Auxiliary normally open interlock switch. Interlock equal to Square D EK-300-Z.
- 30" wide x 36" deep work space required in front of the Disconnects and the Elevator Controller.
- Machine room lighting shall be a minimum of 19 foot candles at working surfaces. The switch for the light must be within 18" of the strike side of the machine room door. The light must be guarded to prevent accidental breakage or contact with the hot bulb. The switch, light, wiring, and guard are provided and installed by others.
- A telephone line circuit is to be provided and installed by others. This circuit shall be brought to the machine room controller in conduit. This circuit must be connected to a dedicated outside line or a 24 hour central exchange.
- The elevator controller/pump unit dimensions - 27.5" wide x 62.8" high x 16.15" deep w/39" clear space in front
- Machine room access door must be self closing, self locking, key locked and have a spring return latch. Consult local building codes for door construction. The door and hardware are both provided and installed by others.
- Machine room is required to be free of all pipes, wiring and obstructions not related to the operation of the elevator.

Hoistway Notes:

- A load bearing wall is required to sustain rail reactions. See page 16 for rail reactions.
- Suggested hoistway pit floor construction consists of an 8" (203 mm) concrete slab poured on a natural or compacted soil with a minimum allowable bearing pressure of 1.0 KSF. The minimum compressive strength of the concrete at 28 days must be no less than 3000 PSI. #5 reinforcing steel (grade 60) must be placed at the bottom of the slab in 2 traverse directions and at a spacing of 12" (305 mm).
- Hoistway pit floor to support a load of 10 kips (10,000 lbs)/44.48KN (includes impact)
- 120"(3048 mm) overhead clearance required above the top landing floor w/top prop (existing construction)
- 131" (3327 mm) overhead clearance required above the top landing floor w/o top prop (new construction)
- 14" (356 mm) minimum pit. (A Clearance Device is provided to attain required 36" (914 mm) refuge space).
- Hoistway sizes reflect running and access clearances only. Consult your local AHJ to assure compliance with local codes.
- Hoistway is required to be free of all pipes, wiring and obstructions not related to the operation of the elevator.

Hoistway Pit & Electrical Notes: If a Dedicated Pit Light is required by your local AHJ, please follow the guidelines below for accommodating this in your hoistway

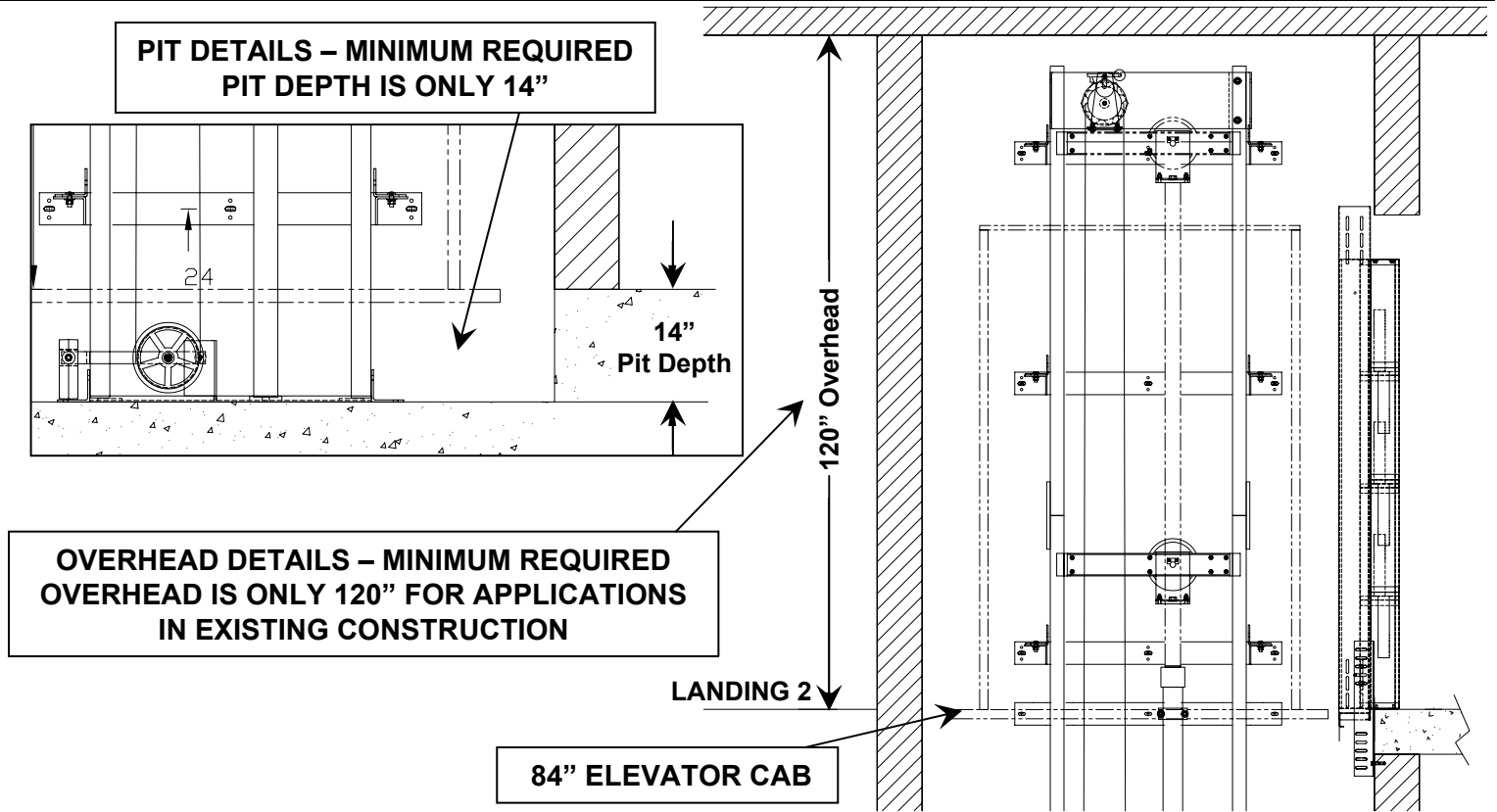


Approximate Space Available For Dedicated Light w/Guard. We recommend surface mounting the light after the elevator doors have been installed to ensure adequate clearance.

9" Clear Distance (From Inside Finished Surface of Hoistway to Edge of Electrical Box)

For the Dedicated GFI Outlet: Height of Outlet is Approximately 24" up from the lower landing finished floor with the light switch mounted directly above.

PIT DEPTH & OVERHEAD DETAILS SPECIFICATIONS



ELEVATOR SPECIFICATIONS FOR A17.1/B44 COMPLIANCE

Part 1 GENERAL

1.01 SUMMARY

A. The product described herein, is an elevator designed and dimensioned to provide Limited Use/Limited Application (LULA) elevator to suit individual building requirements for use by persons with disabilities.

1.02 REFERENCES

- A. Elevator shall be designed, manufactured and installed in accordance with the following standards:
1. American National Standards Institute (ANSI).
 2. American Society of Mechanical Engineers (ASME).
 3. National Electrical Code (NEC) Canadian Electrical Code (CEC)
 4. American Society for Testing Materials (ASTM).
 5. American Welding Society (AWS). Canadian Welding Bureau (CWB)

1.03 SYSTEM DESCRIPTION

- A. 5 hp submersed motor and pump with electronic proportional valve assembly; Programmable logic controller with collective operation; 1:2 roped hydraulic single stage cylinder with line rupture valve.
- B. Number of Stops: (specify:) Two to Four.
- C. Car Configuration: (specify:) straight-thru, 90° side exit or enter/exit same side.
- D. Maximum Travel: (specify:) Up to 25' (7.62 m)
- E. Rated Load: (specify:) 1400 lbs. (635 kg)
- F. Rated Speed: 30 fpm (.15m/s)
- G. Car Size:
1. 48" x 54" (1219 mm x 1372 mm) platform (standard)
 2. 84" (2134 mm) high ceiling

H. Car Walls: (specify:) Steel panels (black or architectural white) with (optional) raised laminate panels (white oxide, stone graphix, desert erosion, natural oak, white, contract mahogany or fog plastic laminate panels.

I. Car Ceiling: White panel.

J. Car Lighting: Four recessed lights.

K. Operating Features:

1. Car Operating Panel: (specify:) Brushed stainless steel or brushed brass panel with illuminated automatic controls, keyed light switch, emergency stop switch and alarm button.
2. Hall Stations: (specify:) Brushed stainless steel or brushed brass panel with illuminated button and (specify option:) key lock provided at each landing.
3. Car Door(s): Fully automatic, side opening, sliding car door with electromechanical interlocks, obstruction sensor, and automatic re-open system.
4. Hoistway Doors: 1-1/2 hour fire rated fully automatic side opening, sliding hoistway doors with two side opening panels in steel frame with electromechanical interlocks.
5. Handrail: (specify:) Stainless steel or brass.
6. Pit Switch
7. Car top inspection station with UP and DOWN test switches, emergency stop, light outlet
8. Automatic homing to the lowest floor (optional)
9. Slack rope safety.
10. Anti-creep device.
11. Overspeed governor (may not be required) – consult AHJ
12. Dual direction leveling.

CONTINUED...

ELEVATOR SPECIFICATIONS FOR A17.1/B44 COMPLIANCE

Continued

PART 1 GENERAL (CONTINUED)

13. Upper and lower terminal limit.
14. Pump run timer.
15. Pit clearance device (where required)
16. Automatic battery powered and manual emergency lowering control devices.
17. Minimum pressure switch.
18. Maintenance stop blocks.
19. (specify option:) Fire Fighters Service (available).
20. (specify option:) Hall lanterns with chime.
21. (specify option:) Recessed telephone cabinet (brushed stainless steel or brushed brass).
22. (specify option:) Buffer springs (requires 24" pit).

1.04 QUALITY ASSURANCE

- A. Manufacturer: Provide elevator manufactured by a firm with a minimum of 10 years experience in fabrication of elevators equivalent to those specified.
- B. All designs, clearances, workmanship and material, unless specifically accepted, shall be in accordance with all codes having legal jurisdiction.
- C. All load ratings and safety factors shall meet or exceed those specified by all governing agencies with jurisdiction and shall be certified by a professional engineer.
- D. Elevator shall be subject to applicable state, local and city approval prior to installation and subject to inspection after installation. Determination of and adherence to these regulations is the responsibility of the elevator contractor.
- E. Welders certified in accordance with requirements of AWS D1.1 or CWB shall perform all welding of all parts.
- F. Substitutions: No substitutions permitted.

1.05 WARRANTY

- A. Warranty: Manufacturer shall warrant component parts of the elevator for a period of 26 months from shipping date.
This warranty only applies to products installed and maintained by a Qualified Technician in conformance with all applicable local and national codes. The warranty is void if regular inspection and maintenance of product is not being carried out by a Qualified Technician in accordance with the recommendations contained in the Owner's Manual. It is the Owner's responsibility to keep records of all such service.

PART 2 PRODUCT

2.01 MANUFACTURER

- A. Savaria Concord Lifts Inc.
Toll Free Number (888) 323- 8755
Email: info@nwlifts.com
Web site: <http://www.nwlifts.com>

2.02 MATERIAL

- A. Guide Rail: Dual 8 lbs./ft. machined steel T-rail system.
- B. Wire Rope: Two 3/8" diameter 7 x 19 ga. IWRC aircraft cables with rope wedge sockets.
- C. Slings: Structural and formed steel plates with guide shoes.
- D. Platform Floor: Unfinished plywood flooring.

2.03 FINISHES

- A. Components shall be prepared with 1) pre-treatment, 2) alkaline detergent wash, 3) clear water rinse, 4) iron phosphate coating, 5) clear water rinse and finished with electrostatically applied and baked thermostatic powder coat finish. Standard color is architectural white.

2.04 ELECTRICAL SYSTEMS

- A. The electrical contractors shall provide:
 1. 208V three phase 30 AMP 60 Hz or 230 V single phase 50 AMP 60 Hz source in the machine area with manually operated fused line disconnect.
 2. 15 VAC, single phase, 15 amp, 60 Hz, single phase power source with manually operated fused line disconnect for car lighting and a light outlet inside the hoistway.
 3. Telephone circuit in the machine area.

PART 3 EXECUTION

3.01 ACCEPTABLE INSTALLERS

- A. Installers shall be experienced in performing work of this section who have specialized in work comparable to that required for this project.
- B. Installers shall be certified and trained by the manufacturer.

3.02 EXAMINATION

- A. Use field dimensions and approved manufacturer's shop drawings to examine substrates, supports and other conditions under which this work is to be performed. Do not proceed with work until unsatisfactory conditions are corrected.

3.03 INSTALLATION

- A. The elevator shall be installed in accordance with manufacturer's instructions and as specified and approved by architect.

3.04 DEMONSTRATION

- A. The elevator contractor shall make a final check of the elevator's operation with the Owner or Owner's representative present prior to turning the elevator over for use. The elevator contractor shall determine that operating and safety devices are functioning properly.
- END OF SECTION**

Notes: Intent of specification is to broadly outline equipment required but does not cover details of design and construction. Dimensions and specifications are subject to constant change and continually evolving codes and product applications. For additional technical information, contact Nationwide Lifts, Inc. at (888) 323-8755 or www.nwlifts.com.



SITE PREPARATION COMMITMENT FREEDOM COMMERCIAL

The customer must complete the following prior to Nationwide Lifts arrival for installation:

- Permanent 220V, single phase, 50 ampere power to a lockable fused/cartridge type disconnect switch. This disconnect switch must be 3-pole. Disconnect switch must be mounted on machine room wall.
- 120V lighting supply. This should be run to a junction box near the 220V disconnect.
- Provide telephone jack next to the electrical disconnect. This **MUST** be a dedicated phone line!
- If fire service is required for the elevator, all fire and smoke alarm signals, for the hoistway and landings, should be routed to the machine room.
- Install single gang boxes for hall landing buttons at each level with access, via conduit, (minimum 3/4") for wiring to the hoistway.
- Hoistway built as directed by drawings. Note: All measurements are finished dimensions – after drywall has been installed.
- Wall blocking/supports as directed by drawings.
- Plumb and square hoistway with smooth surfaces. Hoistway must have drywall installed.
- Landing doorways must be framed with rough openings to match drawings provided.
- Additional sheetrock work **WILL** be required after the installation of the elevator has occurred.
- 14" deep pit with substantially level floor slab. If pit depth exceeds 14" notify us before production.
- 120" minimum overhead distance from upper floor level to the underside of the roof or finished ceiling. New construction requires 131" minimum overhead clearance.
- Acquire applicable permits.
 - Site preparation that must be modified / repaired by Nationwide Lifts will be charged according to Time and Materials. The hourly rate will be \$125 /hr.
 - If the Nationwide Lifts employees cannot perform the work due to poor site preparation, and must leave the site, the customer will be charged for travel time and travel expenses. Travel rate will be \$95 /hr.
 - If the site is not prepared and the installation must be rescheduled, the new date will be subject to availability.

Acceptance of Site Preparation Terms: The above terms and conditions are satisfactory and are hereby accepted. The site will be prepared as outlined above.

Signature: _____

Date of Acceptance: _____

123 North Krome Ave. Renovate space for Prevecare Homestead, FL Date: 4/2/11			Cost Breakdown				IICON Contractors Corp. 123 North Krome Ave. Miami, Florida 33030			
Div.	Description	Unit	Unit #	M/u	L/u	E/u	Material	Labor	E./Sub	Total
0100	General Requirement									
102	Dumpster	Ea	5	450	0	0	2250	0	0	\$ 2,250
105	open						0	0	0	\$ -
	Total Gen Req.						2250	0	0	2250
0200	Site Work									
201	Remove existing Carpet	SF	2058	0	0.15	0	0	308.7	0	\$ 309
203	Remove Existing Tile	SF	1074	0	0.25	0	0	268.5	0	\$ 269
206	Remove Partitions	SF	912	0	0.55	0	0	501.6	0	\$ 502
	Remove Ceiling	SF	100	0	0.35	0	0	35	0	\$ 35
	Remove 4" Vinyl Base	LF	600	0	0.22	0	0	132	0	\$ 132
	Remove Canopy	LS	1	0	250	0	0	250	0	\$ 250
	Remove Sign	LS	1	0	50	0	0	50	0	\$ 50
	Cut & Remove 12" Concrete Trench	SF	195	0	3	0	0	585	0	\$ 585
	Hand Dig for new DWV	CY	2	0	35	0	0	70	0	\$ 70
		Ea					0	0	0	\$ -
210	open						0	0	0	\$ -
	Total Site Work						0	2200.8	0	\$ 2,201
0300	Concrete									
	Patch 4" Slab on grade	CY	4	120	30	50	480	120	200	\$ 800
210	open						0	0	0	\$ -
	Total Concrete Work						480	120	200	\$ 800
0500	Metals									
501	Repair Staircase	Hr	40	0	38	0	0	1520	0	\$ 1,520
	Materials for stair case	Ls	1	350	0	0	350	0	0	\$ 350
	Front Railing	Ls	1	0	0	3200	0	0	3200	\$ 3,200
210	open						0	0	0	\$ -
	Total Metals Work						350	1520	3200	\$ 5,070
0800	Doors & Windows									
801	3'0"x6'8" HM Door & Frame (int.)	Ea	1	250	114	0	250	114	0	\$ 364
	3'0"x6'8" HM Frame SC Wood Door	Ea	11	250	114	0	2750	1254	0	\$ 4,004
	IR Storefront System	Ea	1	0	0	5860	0	0	5860	\$ 5,860
	3'0"x6'8" HM Door & Frame (ext.)	Ea	3	450	200	0	1350	600	0	\$ 1,950
	Hardware 1	Ea	3	600	200	0	1800	600	0	\$ 2,400
	Hardware 2	Ea	9	200	150	0	1800	1350	0	\$ 3,150
	Hardware 3						0	0	0	\$ -
210	open						0	0	0	\$ -
	Total Doors & Windows						7950	3918	5860	\$ 17,728
0900	Finishes									
801	20" Porcelain Tile	SF	1590	5	4	0	7950	6360	0	\$ 14,310
	4" Vinyl Base	LF	500	2	1	0	1000	500	0	\$ 1,500
	4-3/4" x 18 Ga.Stainless Steel Base	LF	46	2	1	0	92	46	0	\$ 138

	Install Glass Tile	SF	81	20	4	0	1620	324	0	\$	1,944
	12" Vinyl Tile	SF	848	1.5	1	0	1272	848	0	\$	2,120
	Vinyl Wallpaper	SF	196	1	1.5	0	196	294	0	\$	490
	Stucco Existing Walls	LS	1	400	2280	0	400	2280	0	\$	2,680
	3-5/8" 25 Ga. Metal Framing	SF	1000	0.55	0.91	0	550	910	0	\$	1,460
	6" 18Ga. Metal Framing Fire Rated Wall	SF	363	3.45	4.25	0	1252.35	1542.8	0	\$	2,795
	1/2" Sheetrock Level 5 finish	SF	2000	0.25	1.15	0	500	2300	0	\$	2,800
	Interior Latex Paint Walls	SF	3800	0.19	0.22	0	722	836	0	\$	1,558
	Repair Ceiling tile	SF	550	1.2	2.2	0	660	1210	0	\$	1,870
210	open						0	0	0	\$	-
	Total Finishes						16214.4	17451	0	\$	33,665
1000	Specialties										
801	1/16" Lead Liner	LS	1	5000	1216	0	5000	1216	0	\$	6,216
	Aluminum Prevecare Sign	Ea	1	600	300	0	600	300	0	\$	900
	Office Signs	Ea	10	95	12	0	950	120	0	\$	1,070
	Exterior Sign	Ea	1	0	0	4227	0	0	4227	\$	4,227
	Granite Top	LS	1	0	0	2500	0	0	2500	\$	2,500
	Cabinets & Solid Surface	LS	1	0	0	7200	0	0	7200	\$	7,200
	Entrance Rug	LS	1	450	200	0	450	200	0	\$	650
210	open						0	0	0	\$	-
	Total Specialties						7000	1836	13927	\$	22,763
2200	Plumbing										
801	Plumbing	Sub	1	0	0	5500	0	0	5500	\$	5,500
210	open						0	0	0	\$	-
	Plumbing total						0	0	5500	\$	5,500
2300	Heating Ventilating & Air Cond.										
801	A/C contractor	Sub	1	0	0	2200	0	0	2200	\$	2,200
210	open						0	0	0	\$	-
	HVAC total						0	0	2200	\$	2,200
2300	Electrical										
801	Electrical Contractors	Sub	1	0	0	4500	0	0	4500	\$	4,500
210	open						0	0	0	\$	-
	Electrical total						0	0	4500	\$	4,500
2700	Communications										
801	Communications	Sub	1	0	0	3200	0	0	3200	\$	3,200
210	open						0	0	0	\$	-
	Communications total						0	0	3200	\$	3,200
	Total						34244.4	27046	38587	\$	99,877
	7 % Tax on Materials									\$	2,226
	Labor Burden 30%									\$	8,114
	Subtotal									\$	110,216

123 North Krome Elevator Homestead, FL Date: 4/2/11		Cost Breakdown Cost to build Elevator					IICON Contractors Corp. 123 North Krome Ave. Miami, Florida 33030			
Div.	Description	Unit	Unit #	M/u	L/u	E/u	Material	Labor	E./Sub	Total
0100	General Requirement									
102	Dumpster	Ea	5	450	0	0	2250	0	0	\$ 2,250
	Engineering	LS	1	0	0	4000	0	0	4000	\$ 4,000
105	open						0	0	0	\$ -
	Total Gen Req.						2250	0	4000	6250
0200	Site Work									
	Cut & Remove 6" Concrete Slab	SF	200	0	5.25	0	0	1050	0	\$ 1,050
	Excavate	CY	4	0	65	0	0	260	0	\$ 260
	8" Limerock subbase	CY	2	65	85	0	130	170	0	\$ 300
210	open						0	0	0	\$ -
	Total Site Work						130	1480	0	\$ 1,610
0300	Concrete									
	Floor Slab	CY	4	120	30	50	480	120	200	\$ 800
	16"x24" Footer	LF	48	18	22	10	864	1056	480	\$ 2,400
	6" Floor Slab	CY	6	100	45	20	600	270	120	\$ 990
	12"x8" Tiebeam	LF	96	22	35	10	2112	3360	960	\$ 6,432
	Filled Cells	CY	6	120	25	10	720	150	60	\$ 930
	Roof Slab	CY	4	120	130	0	480	520	0	\$ 1,000
210	open						0	0	0	\$ -
	Total Concrete Work						5256	5476	1820	\$ 12,552
0400	Masonry									
210	8" CMU	SF	1320	2.8	3.2	0	3696	4224	0	\$ 7,920
	Total Masonry Work						3696	4224	0	\$ 7,920
0500	Metals									
501	Miscellaneous Metals	Ls	1	0	0	650	0	0	650	\$ 650
210	open						0	0	0	\$ -
	Total Metals Work						0	0	650	\$ 650
0700	Moisture Protection									
501	Roof instalation and Repairs	Ls	1	0	0	3200	0	0	3200	\$ 3,200
210	open						0	0	0	\$ -
	Total Moisture Protection						0	0	3200	\$ 3,200
1400	Conveying Equipment									
801	Elevator System	Ea	1	0	0	40000	0	0	40000	\$ 40,000
210	open						0	0	0	\$ -
	Conveying System total						0	0	40000	\$ 40,000
2200	Plumbing									
801	Pit Drain pump sustum	LS	1	0	0	2200	0	0	2200	\$ 2,200
210	open						0	0	0	\$ -
	Plumbing total						0	0	2200	\$ 2,200

Description	Cost
Prevecare Renovation	\$ 110,216.45
Elevator Cost	\$ 83,966.38
Cost percentage of Elevator and Associated Costs / Renovation Costs	76.18%