

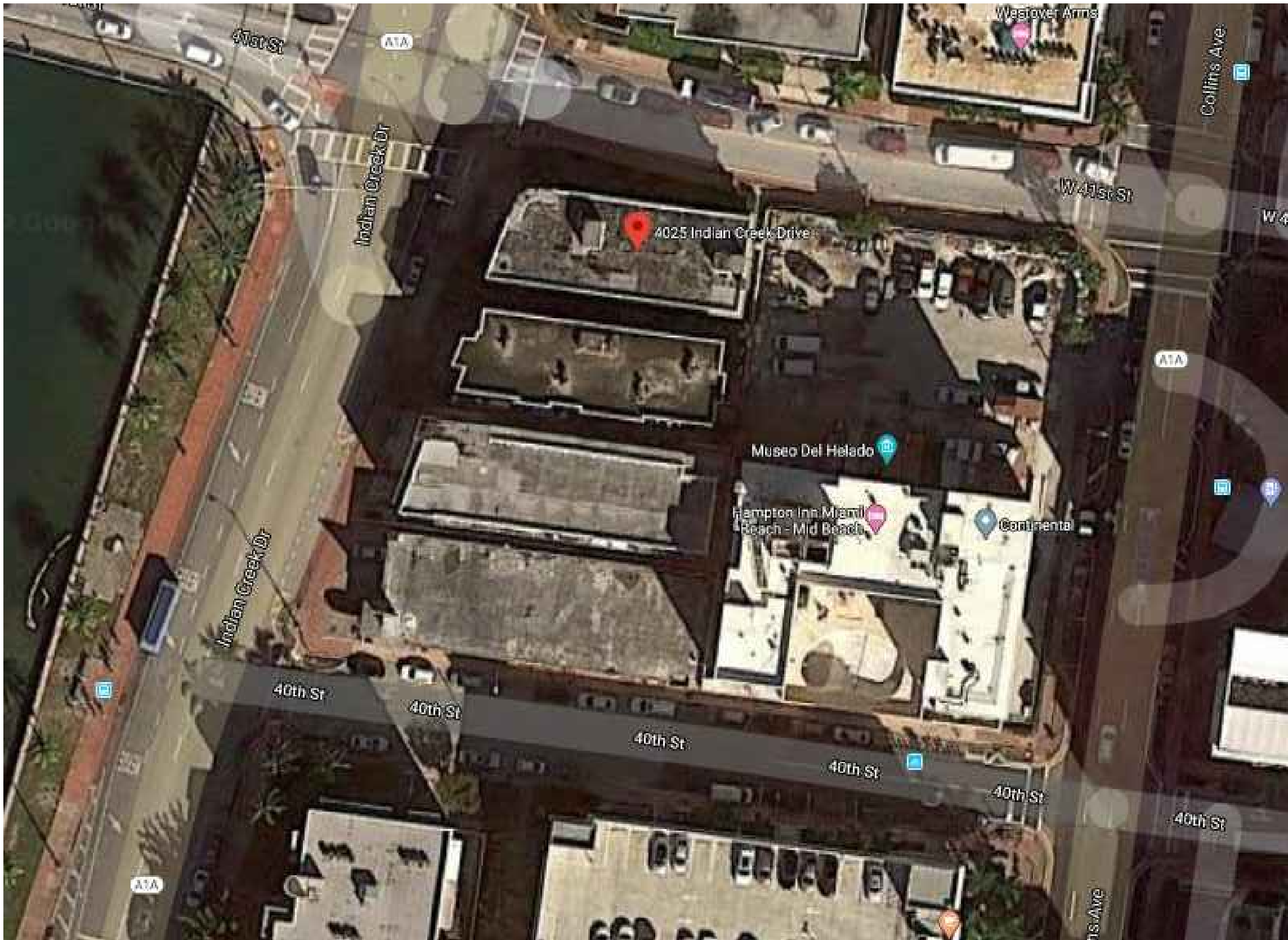
SUITE HOTEL

(Vertical Accessibility Waiver)

4025 Indian Creek Drive
Miami Florida 33139
Suite Hotel-Change of Use



09 Survey
NTS



19 Aerial
NTS

modis architects
4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp. AA#26001777
t. 786.879.8882
f. 786.350.1515
e. MODIS@MODISarchitects.com

project info :

**4025 Indian Creek
Suite Hotel**
Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

COVER

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

As Shown

drawing date :

03/20/2020

phase :

Waiver package

sheet number :

A0.00

architect :



4955 SW 75th Avenue
Miami, Florida 33155

T. 786.879.8882
F. 786.350.1515
Florida Corp. AA#26001777

Contact: Ivo Fernandez, RA
Project Manager
E. ivof@modisarchitects.com

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client :

Sunset Beach STR LLC.

1395 Brickell Avenue #925
Miami, Florida 33131

T. 786.229.9511
F. 305.200.8802
Florida Corp. AA#26001777

Contact: Sebastian Casano
Partner
E. sc@onerealtycapital.com

unit sqft :

Unit Breakdown								
Unit #	Area SQFT	Unit Type	1BD/1B		2BD/1B		2BD/2B	
			Area SQFT	QTY	Area SQFT	QTY	Area SQFT	QTY
101	733 sf	2BD/1B			733 sf	1		
102	660 sf	2BD/2B					660 sf	1
103	394 sf	1BD/1B	394 sf	1				
104	567 sf	2BD/1B			567 sf	1		
105	526 sf	1BD/1B	526 sf	1				
201	506 sf	1BD/1B	506 sf	1				
202	491 sf	1BD/1B	491 sf	1				
203	397 sf	1BD/1B	397 sf	1				
204	394 sf	1BD/1B	394 sf	1				
205	567 sf	2BD/1B			567 sf	1		
206	661 sf	2BD/2B					661 sf	1
207	388 sf	1BD/1B	388 sf	1				
301	506 sf	1BD/1B	506 sf	1				
302	491 sf	1BD/1B	491 sf	1				
303	397 sf	1BD/1B	397 sf	1				
304	394 sf	1BD/1B	394 sf	1				
305	567 sf	2BD/1B			567 sf	1		
606	661 sf	2BD/2B					661 sf	1
307	388 sf	1BD/1B	388 sf	1				
Total Leasable			9,688 sf	19	5,272 sf	12	2,434 sf	4
			510 avg sf		439 avg sf		609 avg sf	
Common Area & Lobby			Common Area					1,162 sf
2nd & 3rd Floor			Common Area					1,280 sf
Totals			Total Building area					12,130 sf
Totals			Total floor area 4,038 x 3 (based on survey)					12,114 sf

notes :

- RENOVATION OF A HISTORIC HOTEL
 - LEVEL 2 ALTERATION
 - LEGAL DESCRIPTION

LOT 19, BLOCK 34, : OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY.
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 7 AND 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

 - SITE INFORMATION

THE PROPERTY SURVEYED CONTAINS 0.141 ACRES AND 0 PARKING SPACES (INCLUDING 0 HANDICAPPED SPACE), AND IT IS LOCATED WITHIN A FLOOD PLAIN AREA.

PROPERTY SIZE 0.141 ACRES OR 6,137 SQ. FT.
CURRENT USE: MULTI-FAMILY / RESIDENTIAL
CURRENT ZONING: "RM-2" RESIDENTIAL MULTI-FAMILY, MEDIUM INTENSITY
FOLIO NUMBER: 3226-026-0001
- CODE REQUIREMENT
 - TO THIS OF THE ARCHITECTS' KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THE FBC, 109.3.6.4.4 AND CHAPTER 633, FLORIDA STATUTES.
 - THE FLORIDA BUILDING CODE, EXISTING, 2017, THE FLORIDA FIRE PREVENTION CODE 5th EDITION, AND CURRENT ADOPTED CODE AND STANDARDS BY THE STATE OF FLORIDA ARE THE BASED CODES FOR DESIGN.
 - TO THE BEST OF THE ARCHITECTS KNOWLEDGE, THE PLANS AND SPECIFICATION COMPLY WITH THE APPLICABLE MINIMUM STANDARDS SET FORTH IN FLORIDA FIRE PREVENTION CODE, 2017 EDITION.
 - CURRENT APPLICABLE CODES

BUILDING: FLORIDA BUILDING CODE 6th EDITION (2017) EXISTING BUILDING.
ELECTRICAL: NATIONAL ELECTRICAL CODE (2014) EDITION.
PLUMBING: FLORIDA PLUMBING CODE 6th EDITION (2017) PLUMBING.
LIFE SAFETY: FLORIDA FIRE PREVENTION CODE 6th EDITION NFPA 101 LIFE SAFETY CODE (2017) EDITION.
OTHER: FLORIDA BUILDING CODE 6th EDITION (2017) ACCESSIBILITY.

ALTERATION LEVEL 2

FLORIDA BUILDING CODE 6th EDITION 2017 504.1 SCOPE.
LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALATION OF ANY ADDITIONAL EQUIPMENT.

702.1INTERIOR FINISHES.
ALL NEWLY INSTALLED INTERIOR WALL AND CEILING FINISHES SHALL COMPLY WITH CHAPTER 8 OF THE FLORIDA BUILDING CODE, BUILDING.

702.2INTERIOR FLOOR FINISH.
NEW INTERIOR FLOOR FINISH, INCLUDING NEW CARPETING USED AS AN INTERIOR FLOOR FINISH MATERIAL, SHALL COMPLY WITH SECTION 804 OF THE FLORIDA BUILDING CODE, BUILDING.

702.3INTERIOR TRIM.
ALL NEWLY INSTALLED INTERIOR TRIM MATERIALS SHALL COMPLY WITH SECTION 806 OF THE FLORIDA BUILDING CODE, BUILDING.

702.6MATERIALS AND METHODS.
ALL NEW WORK SHALL COMPLY WITH THE MATERIALS AND METHODS REQUIREMENTS IN THE FLORIDA BUILDING CODE, BUILDING; FLORIDA BUILDING CODE, ENERGY CONSERVATION; FLORIDA BUILDING CODE, MECHANICAL; AND FLORIDA BUILDING CODE, PLUMBING, AS APPLICABLE, THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT, OR SYSTEM IN THE BUILDING.

803.4INTERIOR FINISH.
THE INTERIOR FINISH OF WALLS AND CEILINGS IN EXITS AND CORRIDORS IN ANY WORK AREA SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, BUILDING.

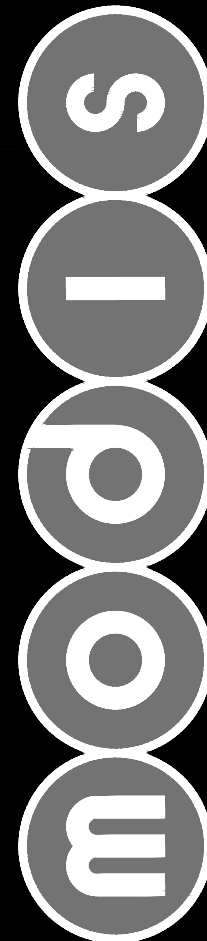
mobility / communication feature analysis : 19 units total

	REQUIRED	EXISTING CONDITION	PROPOSED
GUEST ROOMS WITH MOBILITY FEATURES PER FBC 2017 ACCESSIBILITY TABLE 224.2	1-25 ROOMS = 1 REQUIRED (WITHOUT ROLL-IN SHOWERS)	0 EXISTING	1 PROPOSED
GUEST ROOMS WITH MOBILITY & COMMUNICATION FEATURES PER FBC 2017 ACCESSIBILITY TABLE 224.5	AT LEAST ONE GUESTROOM REQUIRED TO PROVIDE MOBILITY FEATURES SHALL ALSO PROVIDE COMMUNICATION FEATURES	0 EXISTING	
GUEST ROOMS WITH COMMUNICATION FEATURES PER FBC 2017 ACCESSIBILITY TABLE 224.4	2-25 ROOMS = 2 REQUIRED	0 EXISTING	2 PROPOSED (ASIDE FROM ROOM WITH BOTH MOBILITY/COMMUN.

NOTE: 1 MOBILITY & COMMUNICATION ACCESSIBILITY SUITE AND 2 SUITES WITH COMMUNICATION FEATURES TO BE DISPERSED AMONG THE VARIOUS CLASSES OF GUESTROOMS PER FBC 2017 ACCESSIBILITY TABLE 224.5

general notes :

- PROVIDE CEMENT BOARD BEHIND TILES IN WET AREA.
- PROVIDE TILES IN BATHROOM WET AREAS TO 6 FEET MINIMUM ABOVE FLOOR.
- BATHROOM FIXTURES TO BE INSTALLED AS PER FBC PLUMBING SECTION 405 (INSTALLATION OF FIXTURES), 416 (LAVATORIES), 417 (SHOWERS), 420 (WATER CLOSETS).
- FLOOR AND WALL DRAINAGE CONNECTIONS AS PER FBC PLUMBING 405.6.
- EXISTING BATHROOM TO BE REMODELED-PLUMBING FIXTURES TO BE REPLACED ON EXISTING ROUGHS.
- INTERIOR DRYWALL FINISHES TO BE REPAIR AS NEEDED.
- REPLACED ANY DAMAGE DRYWALL ON EXISTING STUDS.
- NEW FLOORING WITH UNDERLAYMENT IN COMPLIANCE WITH SOUNDPROOFING OF STC 53 TO 56.
- NEW SMOKE ALARM DETECTORS.



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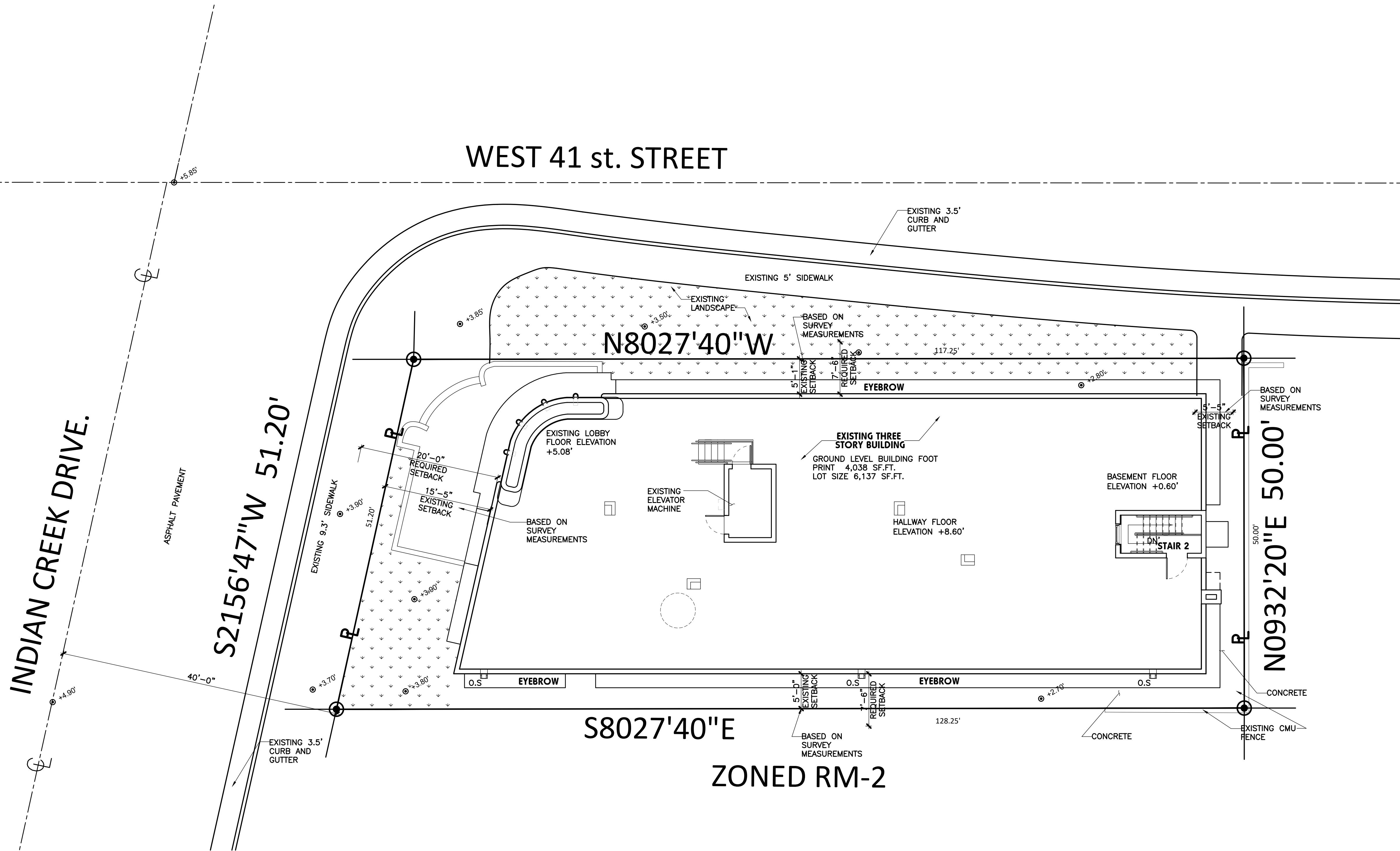
PROJECT DATA

project number :		#19158
drawn by :	proj. manager :	
AR	SB	
drawing scale :	drawing date :	
As Shown	03/20/2020	
phase :		
Waiver package		
sheet number :		

A0.01

Existing
16 Architectural Site Plan

SCALE: 1/8"=1'-0"



notes :

SHORT TERM RENTALS. ALTHOUGH NO SPECIFIC DEFINITION EXISTS IN THE CITY CODE FOR SHORT-TERM RENTALS, SECTION 142-1111 OF THE CODE RESTRICTS SHORT-TERM RENTALS OF APARTMENTS OR TOWNHOME RESIDENTIAL PROPERTIES FOR ANY PERIOD OF LESS THAN SIX MONTHS AND ONE DAY. SEE EXHIBIT H, SECTION 142-1111 OF THE CODE. SECTION 114 THE MIAMI BEACH CODE OF ORDINANCES (THE "CODE") CONTAINS DEFINITIONS FOR THE CITY'S LAND DEVELOPMENT REGULATIONS. IN THIS SECTION APARTMENT, APARTMENT HOTEL, HOTEL, SUITES HOTEL, AND TOWNHOME ARE DEFINED:
APARTMENT BUILDING MEANS A BUILDING WITH OR WITHOUT RESIDENT SUPERVISION OCCUPIED OR INTENDED TO BE OCCUPIED BY MORE THAN TWO FAMILIES LIVING SEPARATELY WITH SEPARATE COOKING FACILITIES IN EACH UNIT.

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**EXISTING
ARCHITECTURAL
SITE PLAN**

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

drawing date :

As Shown

03/05/2020

phase :

Permit Set

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demolition plan legend :

SYMBOL:	DESCRIPTION:
<div><div></div><div></div><div></div><div></div></div>	EXISTING TO REMAIN
<div><div></div><div></div><div></div><div></div></div>	EXISTING TO BE REMOVED

demolition general notes

1. GENERAL CONTRACTOR SHALL COORDINATE WITH LANDLORD/OWNER AND TENANT REPRESENTATIVES PROPOSED RENOVATION PRIOR COMMENCEMENT OF WORK.
2. THIS SET OF DRAWINGS IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL ITEMS AFFECTED BY SCOPE OF WORK TO COMPLETE THE JOB.
3. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK-THROUGH OF THE PROJECT PRIOR TO SUBMITTING A BID TO THE OWNER FOR IDENTIFYING POSSIBLE CRITICAL ITEMS OMITTED/AMBIGUOUSLY OR NOT PROPERLY ADDRESSED, WHICH REQUIRE REMOVAL/ RELOCATION.
4. A SCHEDULE INDICATING PROPOSED METHODS AND SEQUENCE OF OPERATIONS FOR RENOVATION WORK SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. INCLUDE COORDINATION FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR DUST AND NOISE PROTECTION.
5. CEASE OPERATIONS AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED.
6. PROVIDE PROTECTIVE MEASURES TO COMPLY WITH THE BUILDING CODE. AS REQUIRED TO GUARANTEE FREE AND SAFE PASSAGE TO AND FROM THE DIFFERENT AREAS OF THE BUILDING.
7. PATCH, REPAIR AND REFINISH EXISTING CONSTRUCTION TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION. MATCH TEXTURE AND FINISH OF EXISTING ADJACENT SURFACE.
8. AREAS SHOWN TO BE RENOVATED MAY INCLUDE REMOVAL OF ASBESTOS BEARING MATERIAL; REFER TO ASBESTOS SURVEY REPORT TO BE PROCURED BY OWNER. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTING. BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
9. CONTRACTOR SHALL TAKE ALL PRECAUTIONS REQUIRED TO PROTECT ALL CONCEALED UTILITIES. HE IS TO INSPECT CEILING AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES PRIOR TO CUTTING, PATCHING, ETC.
10. OPENINGS LEFT THROUGH RATED AND SMOKE PARTITIONS DUE TO REMOVAL OF DUCTWORK AND/ OR CONDUITS SHALL BE CLOSED (BOTH SIDES) AS REQUIRED TO MAINTAIN DESIGNATED FIRE RATING.
11. TAKE ADEQUATE MEASURES TO CONTROL MINIMIZE NOISE, DUST, WATER RUN-OFFS, AND OTHER DISRUPTIONS TO ADJACENT SPACES G.C. SHALL SEAL CONSTRUCTION AREAS, PROTECT OCCUPIED AREAS FOR SAFETY AND DUST CONTROL. DURING RENOVATION WORK G.C. SHALL PROTECT ALL INTERIOR AREAS FROM WEATHER AND WATER INTRUSION.
12. RENOVATION WORK SHALL ENTAIL INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK, INCLUDING WORK ABOVE THE FLOOR LEVEL WITHIN THE SCOPE. IT SHALL REQUIRE WORK INVOLVING REMOTE UTILITY LINES (ELECTRICAL, MECHANICAL, PLUMBING, COMMUNICATIONS, ETC.) ANY SUCH STRUCTURES, UTILITIES, FINISHES, AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS AND COMPLIANCE WITH RATING AND STRUCTURAL INTEGRITY TO MEET THE OWNER'S APPROVAL. ALL WORK AS DESCRIBED IN THIS NOTE SHALL BE INCLUDED AS PART OF THE BASE CONTRACT PRICE.
13. CONTRACTOR SHALL COORDINATE DEMOLITION WORK SCHEDULE WITH LANDLORD/OWNER REPRESENTATIVE IN ORDER TO PROVIDE SUFFICIENT ADVANCE NOTICE FOR THE BEGINNING OF WORK IN EACH EXISTING AREA OR FLOOR LEVEL.
14. AFTER REMOVAL OF FURRED WALL CONSTRUCTION, CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING CONCRETE OR STEEL COLUMNS WITHIN WALLS AND INFORM ARCHITECT OF ANY CONFLICTS/DISCREPANCIES PRIOR TO COMPLETION OF WALL DEMOLITION. A/E SHALL INSPECT CONDITION AND ISSUE A WRITTEN CLARIFICATION IN ORDER TO PROCEED WITH THE WORK.
15. PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND/OR INSTALLATION OF NEW WORK AND/ OR UTILITIES, PROVIDE A FLUSH AND EVEN SURFACE AS REQUIRED TO MATCH ADJACENT SURFACES AND/OR RECEIVE NEW SCHEDULED FINISHES.
16. DEMOLITION WORK IS DENOTED BY DASHED LINES.
17. DURING DEMOLITION CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS. IF ANY DISCREPANCIES OR DOUBTS ARE FOUND, CONTACT ARCHITECT/ ENGINEER IMMEDIATELY.
18. DESTINATION OF ALL EXISTING EQUIPMENT TO BE STORED OR SALVAGED, PLUMBING FIXTURES, DOORS, AND FRAMES, FURNISHING ETC. TO BE REMOVED SHALL BE COORDINATED WITH THE OWNER REPRESENTATIVE.
19. OWNER MAY BE CONTINUOUSLY OCCUPYING AREAS OF THE BUILDING IMMEDIATELY ADJACENT TO AREAS OF SELECTIVE DEMOLITION. PROVIDE MINIMUM OF 72 HOURS ADVANCE NOTICE TO OWNER OF DEMOLITION ACTIVITIES WHICH WILL IMPACT OWNER'S NORMAL OPERATIONS.
20. CONTRACTOR SHALL PROTECT AT ALL TIMES THE PROPERTY OF THE LANDLORD/OWNER AS A PART OF THE CONSTRUCTION CONTRACT. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER'S PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDINGS.
21. PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK, INSPECT AREAS IN WHICH WORK WILL BE PERFORMED. PHOTOGRAPH EXISTING CONDITIONS OF STRUCTURAL SURFACES, EQUIPMENT OR TO SURROUNDING PROPERTIES WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM SELECTIVE DEMOLITION WORK; FILE WITH OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
22. ALL ITEMS OF SALVAGEABLE VALUE, AS DETERMINED BY THE OWNER, SHALL BE CAREFULLY REMOVED, CLEANED, STORED AND TURNED OVER TO THE OWNER AND THE CONTRACTOR SHALL OBTAIN A RECEIPT. THESE ITEMS SHALL BE STORED FOR THE BUILDING LANDLORD IN AN AREA DESIGNATED BY THE LANDLORD.
23. LOCATE, IDENTIFY, STUB-OFF AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN. REMOVE ALL ELECTRICAL WIRE, J-BOXES, HOOKUPS, IN EXISTING PARTITIONS AND TIE OFF AT SOURCE. REMOVE AND PLUG ANY WATER LINES AT SOURCE.
24. COORDINATE DEMOLITION AND CONSTRUCTION TO PROVIDE THE BEST POSSIBLE JOINT OR UNDERLAYING SURFACE FOR THE NEW WORK.
25. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.

demolition keynotes :

NOTE	DESCRIPTION
01	EXISTING ELECTRICAL PANELS TO BE REMOVED AND REPLACE. (SEE ELECTRICAL DWG'S).
02	EXISTING GYP. BD. CLG PORTION TO BE REMOVED.
03	REMOVE AND DISCARD EXISTING FLOORING AND BASE FINISHES. PREPARE EXISTING FLOOR TO RECEIVE NEW FLOORING FINISH.
04	EXISTING CONCRETE RIBS AND EYEBROW TO REMAIN AND REPAIR AS NEEDED.
05	EXISTING WINDOW TO BE REMOVED AND PREPARED OPENING TO NEW ACCESSIBILITY ADA DOOR
06	EXISTING EXTERIOR DOOR TO BE REMOVED & PREPARE OPENING FOR NEW DOOR
07	EXISTING INTERIOR WALLS, DOORS, WINDOWS, FRAMES AND HARDWARE TO BE REMOVED.
08	EXISTING PLUMBING FIXTURES TO BE REMOVED AND REPLACED (AS SELECT BY OWNER).
09	EXISTING W/H TO BE REMOVED. PLUG & CAP ALL EXISTING PLUMBING LINE.
10	EXISTING MASONRY WALL TO REMAIN.
11	EXISTING CEILING TO REMAIN, PATCH, REPAIR AND PAINT AS NEEDED.
12	EXISTING CEILING TILE TO BE REMOVED.
13	EXISTING POPCORN CEILING TO BE REMOVED.
14	REMOVE EXISTING LIGHT FIXTURES & FANS AND CAP EXISTING ELECTRICAL
15	REMOVE EXISTING WALL BOX A/C UNITS. (RE: PROPOSED FLOOR PLAN)
16	EXISTING PORTION OF EXISTING MASONRY WALL TO BE REMOVED. (RE: STRUCTURAL DEMOLITION PLAN)
17	EXISTING CONCRETE SLAB TO REMAIN
18	EXISTING KITCHEN CABINETS, COUNTER TOPS, SINKS, REFRIGERATORS, RANGES TO BE REMOVED AND REPLACE.
19	EXISTING WINDOW TO REMAIN.
20	EXISTING STAIR TO BE REMOVED.
21	EXISTING STAIRS TO REMAIN.



Existing Demolitions
Basement Floor Plan
SCALE: 3/16"=1'-0"

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architects

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EXISTING
DEMOLITIONS
BASEMENT
FLOOR PLAN

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drawn by : proj. manager :

AR

SB

drawing scale : drawing date :

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demolition plan legend :

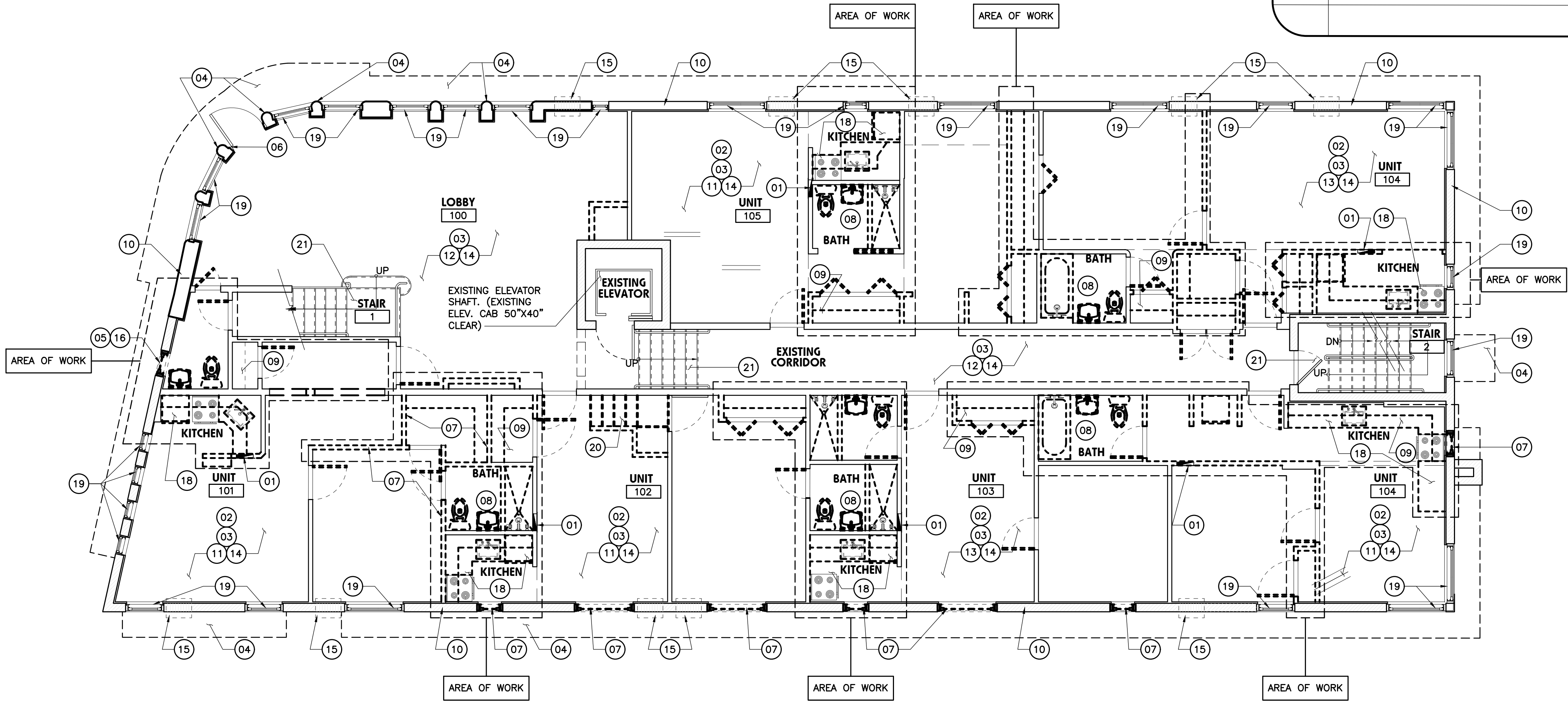
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Existing Demolitions
Ground Floor Plan
16
SCALE: 3/16"=1'-0"

modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

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4025 Indian Creek
Suite Hotel
Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

EXISTING
DEMOLITION
GROUND FLOOR
PLAN

project number :

#19158

drawn by : proj. manager :

AR

SB

drawing scale : drawing date :

As Shown

03/05/2020

phase :

Permit Set

sheet number :

A1.02

demolition plan legend :

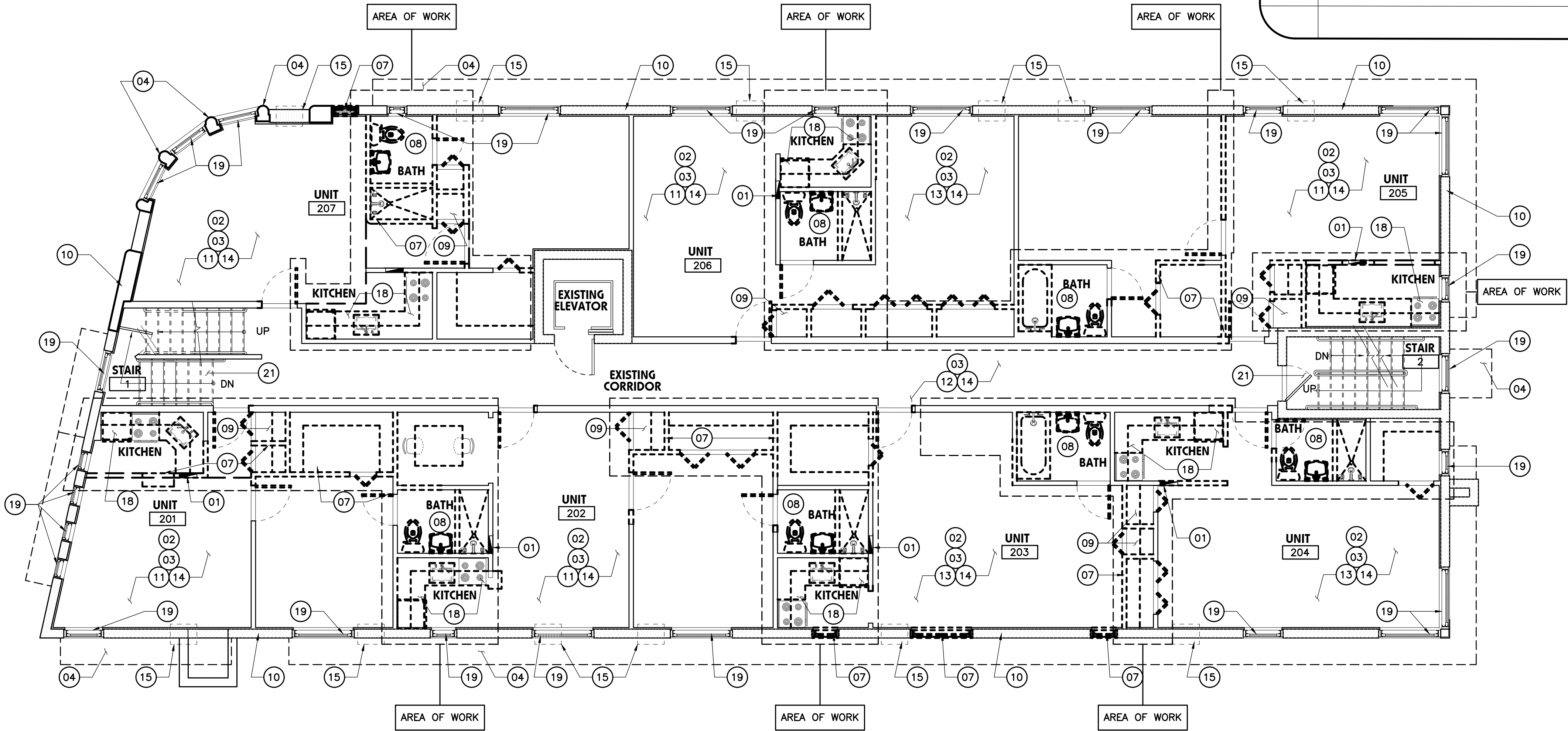
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Existing Demolition
Second Floor

SCALE: 3/16"=1'-0"

modis architects

4955 SW 75th Avenue
Miami, Florida 33155
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f. 786.350.1515
AA#26001777
e. MODIS@MODISarchitects.com

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FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

EXISTING
DEMOLITION
SECOND FLOOR

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

drawing date :

As Shown

03/05/2020

phase :

Permit Set

sheet number :

A1.03

demolition plan legend :

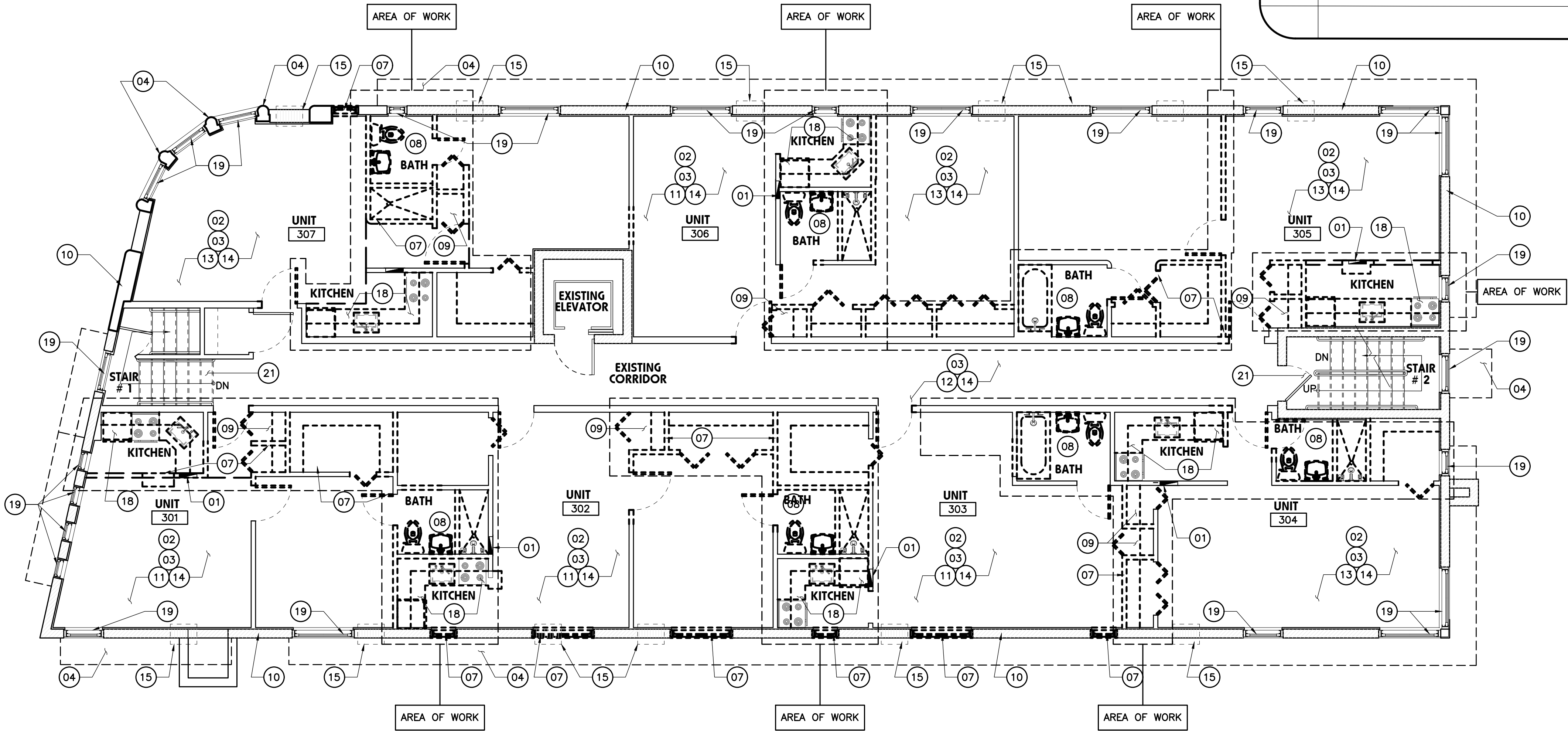
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Third Floor Plan
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THIRD FLOOR

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drawing scale : drawing date :

As Shown

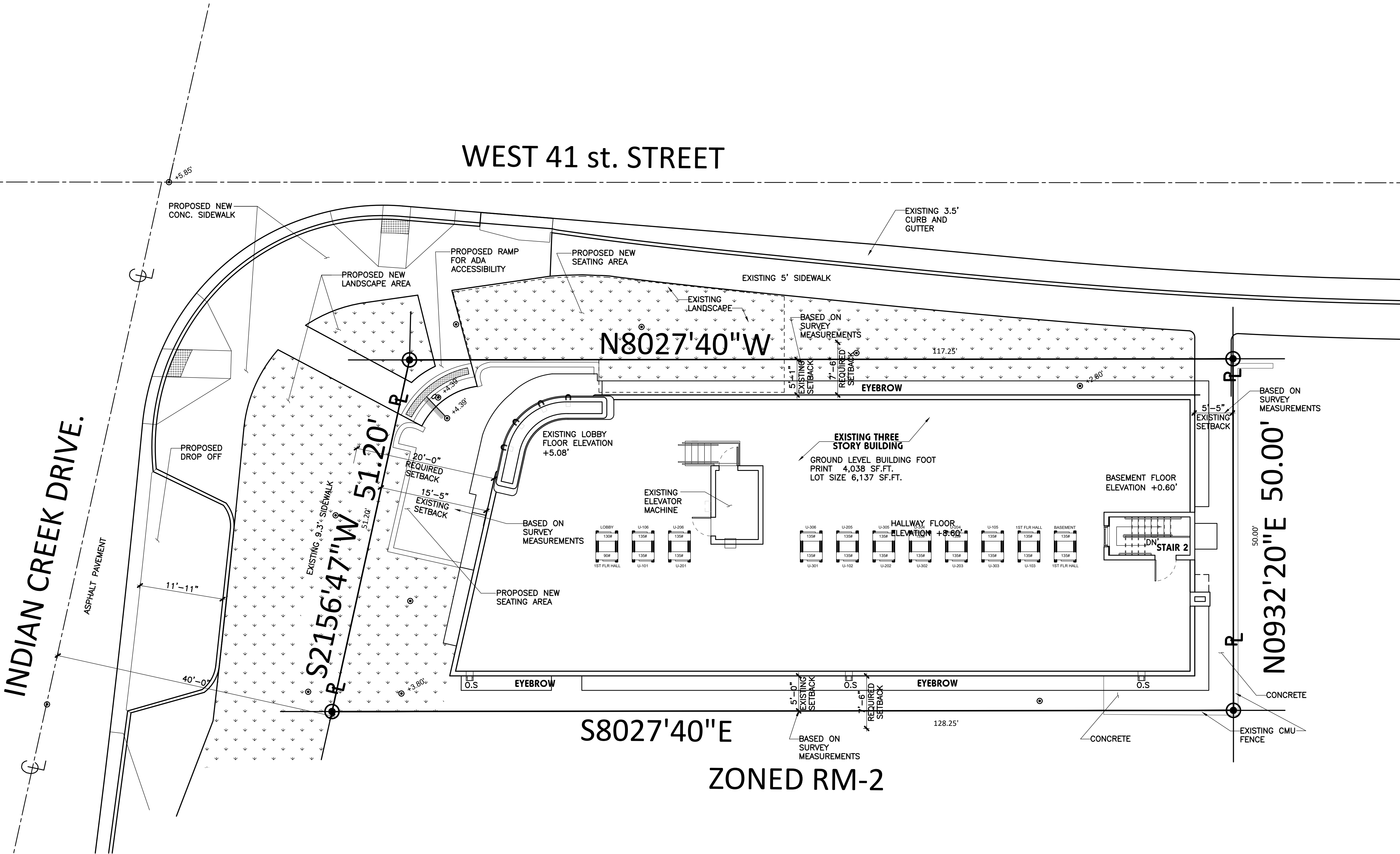
03/05/2020

phase :

Permit Set

sheet number :

A1.04



notes :

1. ALL EXISTING FEATURES SHALL BE ADJUSTED ONTO PROPOSED FINAL GRADE MEETING LOCAL BUILDING CODES.
2. ALL FEATURES THAT MAY NOT BE RELOCATED SHALL BE REPLACED IN KIND MEETING LOCAL BUILDING CODES.



4955 SW 75th Avenue
Miami, Florida 33155
t. 786.879.8882
f. 786.350.1515
e. MODIS@MODISarchitects.com
AA#26001777

project info :

**4025 Indian Creek
Suite Hotel**
Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

**PROPOSED
ARCHITECTURAL
SITE PLAN**

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

As Shown

drawing date :

03/05/2020

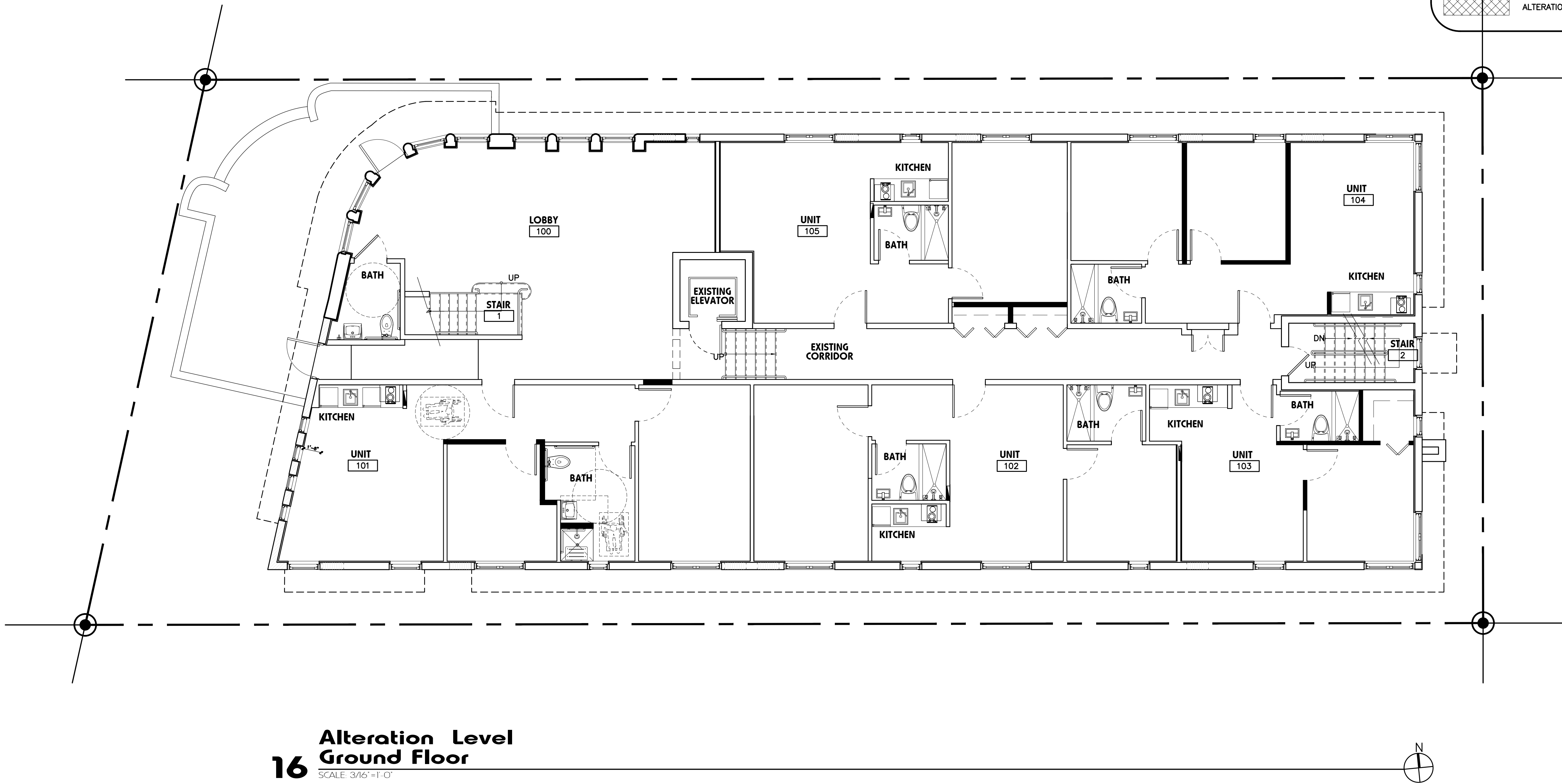
phase :

Permit Set

sheet number :

A1.05

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16 Alteration Level
Ground Floor
SCALE: 3/16" = 1'-0"

ALTERATION LEVEL :	
GROUND FLOOR	
LEVEL #	(SF.)
ALTERATION LEVEL 1	(3,286 SF.)
ALTERATION LEVEL 2	(907 SF.)
SECOND FLOOR	
LEVEL #	(SF.)
ALTERATION LEVEL 1	(2,970 SF.)
ALTERATION LEVEL 2	(1,074 SF.)
THIRD FLOOR	
LEVEL #	(SF.)
ALTERATION LEVEL 1	(2,970 SF.)
ALTERATION LEVEL 2	(1,074 SF.)
TOTAL FLOOR AREA = 4,038 S.F. X3 = 12,114 S.F.	
ALTERATION LEVEL 1 TOTAL S.F. = 9,226 S.F. = 76%	
ALTERATION LEVEL 2 TOTAL S.F. = 3,055 S.F. = 25%	
	ALTERATION LEVEL 1
	ALTERATION LEVEL 2

project info :

4025 Indian Creek
Suite Hotel

Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

ALTERATION
LEVEL
GROUND FLOOR

project number :
#19158

drawn by :
AR

proj. manager :
SB

drawing scale :
As Shown

drawing date :
03/05/2020

phase :
Permit Set

sheet number :
A1.06

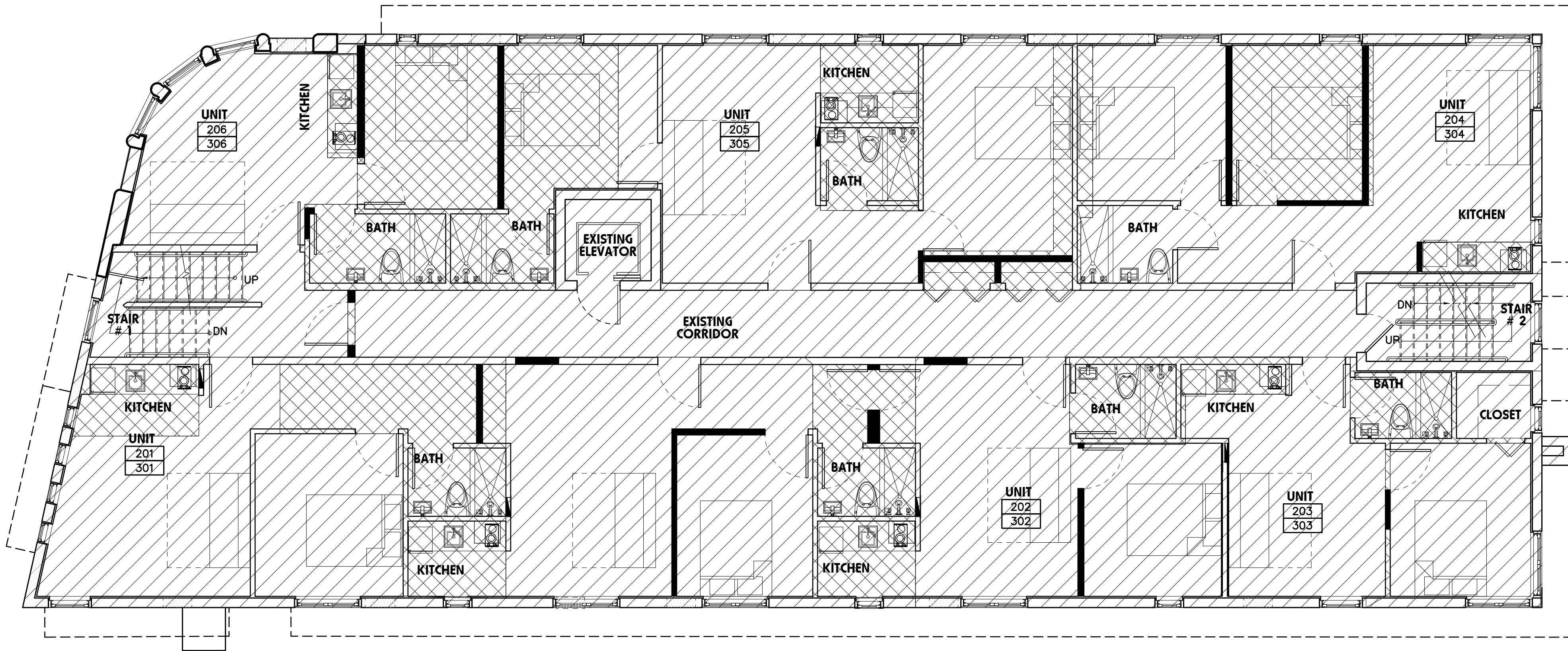
modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

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16 Alteration Level
Typical Second & Third Floor
SCALE: 3/16" = 1'-0"

ALTERATION LEVEL :

GROUND FLOOR	
LEVEL #	(SF.)
ALTERATION LEVEL 1	(3,286 SF.)
ALTERATION LEVEL 2	(907 SF.)

SECOND FLOOR	
LEVEL #	(SF.)
ALTERATION LEVEL 1	(2,970 SF.)
ALTERATION LEVEL 2	(1,074 SF.)

THIRD FLOOR	
LEVEL #	(SF.)
ALTERATION LEVEL 1	(2,970 SF.)
ALTERATION LEVEL 2	(1,074 SF.)

TOTAL FLOOR AREA = 4,038 S.F. X3 = 12,114 S.F.
ALTERATION LEVEL 1 TOTAL S.F. = 9,226 S.F. = 76%
ALTERATION LEVEL 2 TOTAL S.F. = 3,055 S.F. = 25%

ALTERATION LEVEL 1

ALTERATION LEVEL 2

project info :

4025 Indian Creek Suite Hotel
Miami Beach, Florida

seal :

revisions :

drawing data :

ALTERATION LEVEL
TYPICAL SECOND & THIRD FLOOR

project number : #19158

drawn by : AR proj. manager : SB

drawing scale : As Shown drawing date : 03/05/2020

phase : Permit Set

sheet number : A1.07

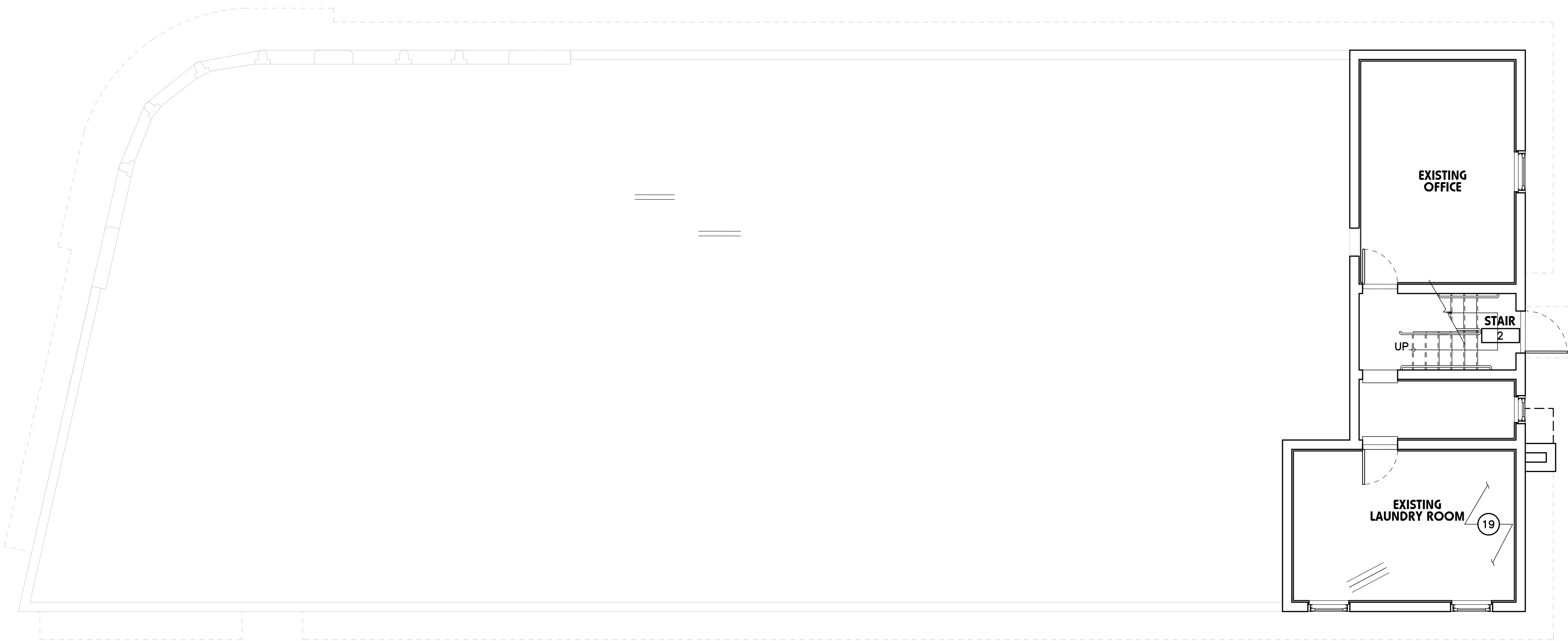
modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

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16 Proposed
Basement Floor Plan
SCALE: 3/16"=1'-0"

floor plan legend :	
SYMBOL:	DESCRIPTION:
	NEW 8" CMU.
	EXISTING TO REMAIN
	NEW INTERIOR WALL
	FIRE RATED WALL

floor plan keynotes :			
NOTE	DESCRIPTION		
01	NEW ELECTRICAL PANEL. (RE: ELECTRICAL DWGS)	12	2 HOUR FIRE RATED DEMISING WALL. (RE: WALL TYPES)
02	NEW CMU. OPENING BLOCK UP.	13	PROPOSED MINI SPLIT A/C SYSTEM. (RE: MECHANICAL DWGS)
03	NEW BASE AND FLOOR FINISH.	14	NEW LIGHT FIXTURES AS SELECTED BY OWNER.
04	NEW WINDOW @ SAME LOCATION & OPENING.	15	PROPOSED WAY CASSETTE A/C SYSTEM. (RE: MECHANICAL DWGS)
05	ALUMINUM & GLASS STOREFRONT ASSEMBLY (RE: DOOR SCHEDULE)	16	NEW GYB. CEILING.
06	NEW OPENING AND DOOR ASSEMBLY. (RE: DOOR SCHEDULE)	17	PROPOSED CONDENSING UNIT A/C SYSTEM. (RE: MECHANICAL DWGS)
07	NEW PLUMBING FIXTURES.	18	NEW INTERIOR PORTION WALLS TO MATCH EXISTING AND NEW INTERIOR WALLS.
08	1 HOUR FIRE RATED TENANT DEMISING WALL, (RE: WALL TYPES)	19	NEW WASH & DRY MACHINE.
09	NEW WATER HEATER. (RE: PLUMBING DWGS) W/H.	20	NEW FIRE ALARM & NEW FIRE PANEL.
10	EXISTING MASONRY WALL TO REMAIN.	21	EXISTING STAIRS TO REMAIN.
11	EXISTING CEILING TO REMAIN, PATCH, REPAIR AND PAINT AS NEEDED.	22	NEW SIDEWALK SLOPE TO THE BUILDING PLATFORM WITH THE SAME ELEVATION.
		23	NEW KITCHEN CABINETS, COUNTER TOPS, AND APPLIANCES.
		23	NEW KITCHEN CABINETS, COUNTER TOPS, AND APPLIANCES.
		24	NEW RAMP FOR ADA ACCESSIBILITY.

modis

architects

4955 SW 75th Avenue

Miami, Florida 33155

Florida Corp.

e.

t. 786.879.8882

f. 786.350.1515

AA#26001777

MODIS@MODISarchitects.com

project info :

4025 Indian Creek

Suite Hotel

Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP

FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

PROPOSED

BASEMENT

FLOOR PLAN

project number : #19158

drawn by : ARproj. manager : SB

drawing scale : As Showndrawing date : 03/05/2020

phase : Permit Set

sheet number : A1.08

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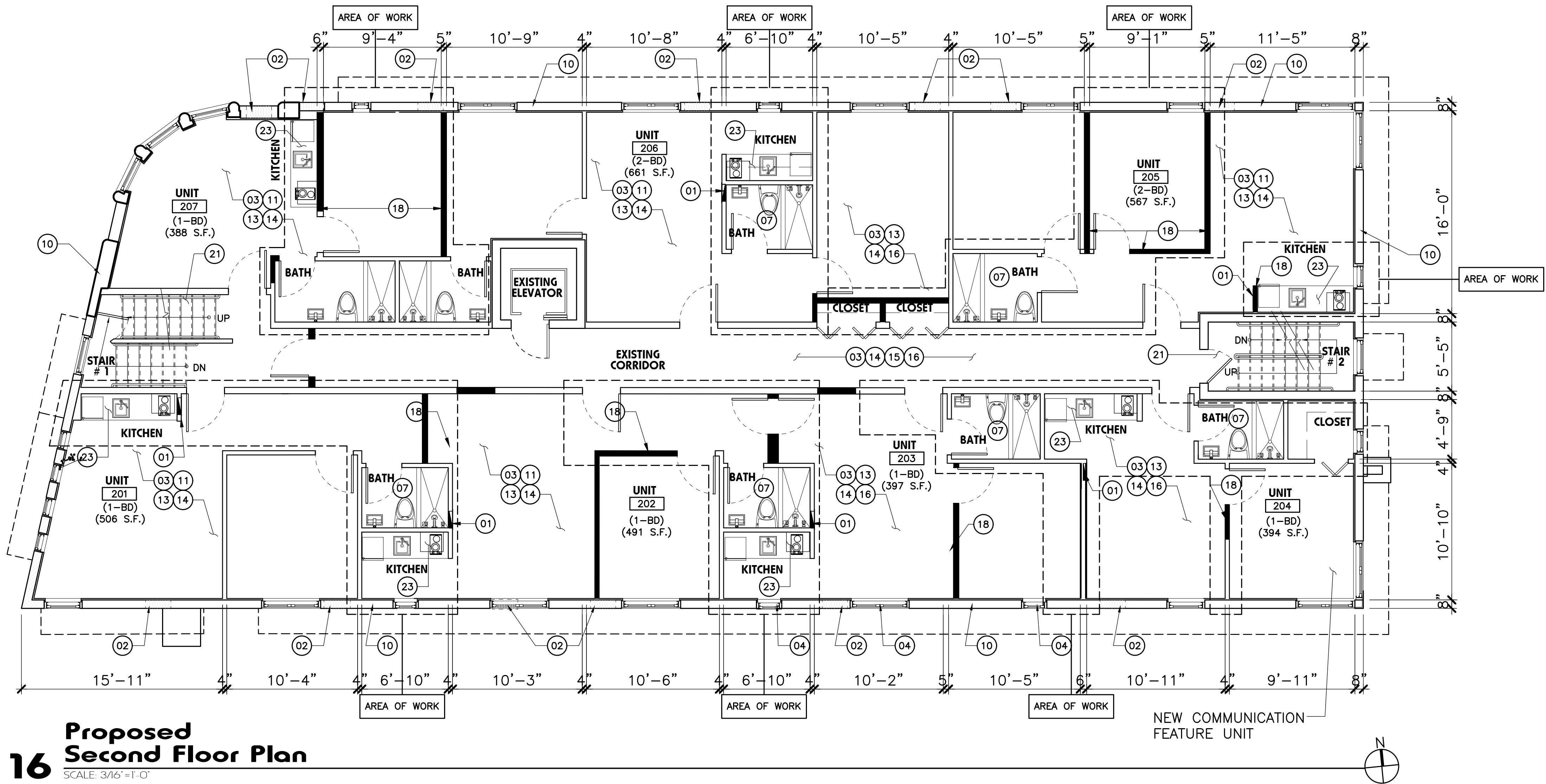
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floor plan legend :

SYMBOL:	DESCRIPTION:
	NEW 8" CMU.
	EXISTING TO REMAIN
	NEW INTERIOR WALL
	FIRE RATED WALL

floor plan keynotes :

NOTE	DESCRIPTION
01	NEW ELECTRICAL PANEL. (RE: ELECTRICAL DWGS)
02	NEW CMU. OPENING BLOCK UP.
03	NEW BASE AND FLOOR FINISH.
04	NEW WINDOW @ SAME LOCATION & OPENING.
05	ALUMINUM & GLASS STOREFRONT ASSEMBLY (RE: DOOR SCHEDULE)
06	NEW OPENING AND DOOR ASSEMBLY. (RE: DOOR SCHEDULE)
07	NEW PLUMBING FIXTURES.
08	1 HOUR FIRE RATED TENANT DEMISING WALL, (RE: WALL TYPES)
09	NEW WATER HEATER. (RE: PLUMBING DWGS) W/H.
10	EXISTING MASONRY WALL TO REMAIN.
11	EXISTING CEILING TO REMAIN, PATCH, REPAIR AND PAINT AS NEEDED.
12	2 HOUR FIRE RATED DEMISING WALL. (RE: WALL TYPES)
13	PROPOSED MINI SPLIT A/C SYSTEM. (RE: MECHANICAL DWGS)
14	NEW LIGHT FIXTURES AS SELECTED BY OWNER.
15	PROPOSED WAY CASSETTE A/C SYSTEM. (RE: MECHANICAL DWGS)
16	REPAIR HARD CEILING.
17	PROPOSED CONDENSING UNIT A/C SYSTEM. (RE: MECHANICAL DWGS)
18	NEW INTERIOR PORTION WALLS TO MATCH EXISTING AND NEW INTERIOR WALLS.
19	NEW WASH & DRY MACHINE.
20	NEW FIRE ALARM & NEW FIRE PANEL.
21	EXISTING STAIRS TO REMAIN.
22	NEW SIDEWALK SLOPE TO THE BUILDING PLATFORM WITH THE SAME ELEVATION.
23	NEW KITCHEN CABINETS, COUNTER TOPS, AND APPLIANCES.
24	NEW RAMP FOR ADA ACCESSIBILITY.



modis

architects

4955 SW 75th Avenue

Miami, Florida 33155

Florida Corp.

e. MODIS@MODISarchitects.com

t. 786.879.8882

f. 786.350.1515

AA#26001777

project info :

4025 Indian Creek
Suite Hotel
Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

PROPOSED
SECOND FLOOR
PLAN

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

drawing date :

As Shown

03/05/2020

phase :

Permit Set

sheet number :

A1.10

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TAG:	DESCRIPTION:
(1)	<u>FLOOR MOUNTED FLONGATED TOILET</u> MFG: AMERICAN STANDARD (OR APPROVED EQUAL) MODEL: 2847.128.020 HET (WITH TOILET SEAT 5901.100.02) COLOR: WHITE
(2)	<u>UNDERCOUNTER MOUNTED BASIN</u> MFG: AMERICAN STANDARD (OR APPROVED EQUAL) MODEL: BOULEVARD #0610.000.222 COLOR: WHITE
(3)	<u>FAUCET (FOR UNDERCOUNTER BASIN)</u> MFG: AMERICAN STANDARD (OR APPROVED EQUAL) MODEL: 2555LDHV05.801 TOWN SQUARE COLOR: POLISHED CHROME
(4)	<u>FAUCET (BATHTUB)</u> MFG: AMERICAN STANDARD (OR APPROVED EQUAL) MODEL: T106507.002 COLOR: POLISHED CHROME
(5)	<u>BATHTUB</u> MFG: AMERICAN STANDARD (OR APPROVED EQUAL) MODEL: PRINCETON #2391.202/2390.202 COLOR: WHITE
(6)	<u>COUNTERTOP MOUNTED SINGLE SINK</u> MFG: ELKAY NEPTUNE S.S. 25x22x8 (OR APPROVED EQUAL) MODEL: HD114559 COLOR: STAINLESS STEEL
(7)	<u>FAUCET W/ SPRAYER</u> MFG: AMERICAN STANDARD (OR APPROVED EQUAL) MODEL: #6425F COLOR: POLISHED CHROME

TAG:	DESCRIPTION:
(A)	<u>COMPACT REFRIGERATOR</u> MFG: GALANZ (OR EQUAL) MODEL: GL43S5 FINISH: STAINLESS STEEL
(B)	<u>ENERGY STAR QUALIFIED MICROWAVE OVEN</u> MFG: LG (OR EQUAL) MODEL: LMV1762 FINISH: SMOOTH WHITE
(C)	<u>24" COMPACT CONDENSATION DRYER</u> MFG: LG (OR APPROVED EQUAL) MODEL: WM3488H_ FINISH:
(D)	<u>11-7/8" ELECTRIC COOKTOP</u> MFG: SUMMIT (OR APPROVED EQUAL) MODEL: CR2110 FINISH:
(E)	<u>DISHWASHER</u> MFG: SINGLE DISHDRAWER (OR EQUAL) MODEL: DD24SA9_N FINISH: SMOOTH WHITE

TAG:	DESCRIPTION:
(A)	<u>TOILET TISSUE DISPENSER (SURFACE MOUNTED)</u> MFG: BRADLEY (OR EQUAL) MODEL: 505 FINISH: STAINLESS STEEL / SATIN FINISH
(B)	<u>CHANNEL FRAME MIRROR</u> MFG: BRADLEY (OR EQUAL) MODEL: FULL LENGTH 1/4" TEMPERED GLASS FINISH: STAINLESS STEEL / SATIN FINISH
(C)	<u>MEDICINE CABINET (WALL RECESSED)</u> MFG: BRADLEY (OR EQUAL) MODEL: FINISH: STAINLESS STEEL / SATIN FINISH

1. ALL CABINET DRAWER AND DOOR HANDLES IN KITCHEN SHALL BE LOOPEO OR D-SHAPE TYPE.
2. 9" HIGH x 22" WIDE x 23" DEEP LARGE DRAWER SHALL HAVE FULL EXTENSION SIDE MOUNT DRAWER SLIDES, DRAWER SHALL BE RATED FOR 45 LBS.
3. SINK SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34" ABOVE THE FINISHED FLOOR AND WITH A CLEARANCE OF AT LEAST 27" FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH AND 8" MINIMUM DEPTH AT THE TOP TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR AND A MIN. OF 17" DEEP FROM THE FRONT OF THE SINK. EXPOSED PIPES & SURFACES UNDER SINKS SHALL BE INSULATED OR CONFIGURED TO PROTECT AGAINST CONTACT WITH SHARP OR ABRASIVE OR CONFIGURED TO PROTECT AGAINST CONTACT WITH SHARP OR ABRASIVE SURFACES, PER FBC ACCESSIBILITY A606.5.
4. AT LEAST ONE SECTION OF THE KITCHEN COUNTERTOP SHALL PROVIDE A CLEAR CONTINUOUS WORK SURFACE.
5. COUNTERTOP TYPE SUBMIT FOR REVIEW.
6. CONTRACTOR TO PROVIDE SHOP DRAWING FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
7. ALL KITCHEN CABINETS TO BE ECO-FRIENDLY & FORMALDEHYDE-FREE MATERIAL CERTIFIED BY THE (FSC) FOREST MANAGEMENT CERTIFICATION COUNCIL.
8. WATER CLOSETS AND URINAL FLUSH VALVE CONTROLS AND FAUCET AND OPERATING MECHANISM CONTROL SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRED TIGHT GRASPING PINCHING OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44" A.F.F.
9. THE FORCE REQUIRED TO ACTIVATE WATER CLOSET AND URINAL FLUSH VALVE CONTROLS AND FAUCET AND OPERATING MECHANISM CONTROLS SHALL BE NO GREATER THAN 15 LBS.
10. SELF-CLOSING FAUCET CONTROL VALVE ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS
11. LAVATORIES SHALL BE MOUNTED WITH THE RIM OR COUNTER SURFACE NO HIGHER THAN 34" ABOVE THE FINISHED FLOOR AND WITH A CLEARANCE OF AT LEAST 27" FROM THE FLOOR TO THE BOTTOM OF THE APRON WITH KNEE CLEARANCE UNDER FRONT LIP EXTENDING A MINIMUM OF 30" IN WIDTH AND 8" MINIMUM DEPTH AT THE TOP TOE CLEARANCE SHALL BE THE SAME WIDTH AND SHALL BE A MINIMUM OF 9" HIGH FROM THE FLOOR AND A MIN. OF 17" DEEP FROM THE FRONT OF THE LAVATORY. EXPOSED PIPES & SURFACES UNDER SINKS SHALL BE INSULATED OR CONFIGURED TO PROTECT AGAINST CONTACT & THERE SHALL BE NO SHARP/ABRASIVE SURFACES PER FBC A606.5.

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modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

project info :

4025 Indian Creek Suite Hotel

Miami Beach, Florida

seal :

ROBERT K. MORISETTE, AIA, NCARB, LEED AP BD+C, CDI
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

PROPOSED ADA BATHROOM FLOOR PLAN & ELEVATION

project number :

#19158

drawn by

ger :

drawing scale

drawing date :

phase :

Permit Set

sheet number :

A1.12



demolitions keynotes :	
NOTE	DESCRIPTION
01	EXISTING WINDOWS TO REMAIN.
02	EXISTING WINDOWS TO BE REPLACED. (RE: WINDOW SCHEDULE)
03	EXISTING WINDOW TO BE REMOVED & PREPARED OPENING FOR NEW ADA ACCESSIBILITY DOOR (RE: PROPOSED FLOOR PLAN).
04	REMOVE EXISTING GLASS & ALUMINUM STOREFRONT ASSEMBLY
05	EXISTING WINDOW TO BE REMOVED & PREPARED TO BLOCK UP & MATCH WITH EXISTING STUCCO .
06	REMOVE EXISTING WALL BOX A/C UNITS (RE: PROPOSED FLOOR PLAN).
07	EXISTING PARAPET TO REMAIN.
08	EXISTING CONCRETE RIBS AND EYEBROW TO REMAIN AND REPAIR IF REQUIRED.
09	EXISTING EMERGENCY OVERFLOW SCUPPERS TO BE REMAIN.

16 Existing North Elevation

modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.

t. 786.879.8882
f. 786.350.1515
AA#26001777

e. MODIS@MODISarchitects.com

project info :

seal :

revisions :

EXISTING NORTH ELEVATION

#19158

drawn by : proj. manager :

AF

SB

drawing scale : drawing date :

As Shown

03/05/2020

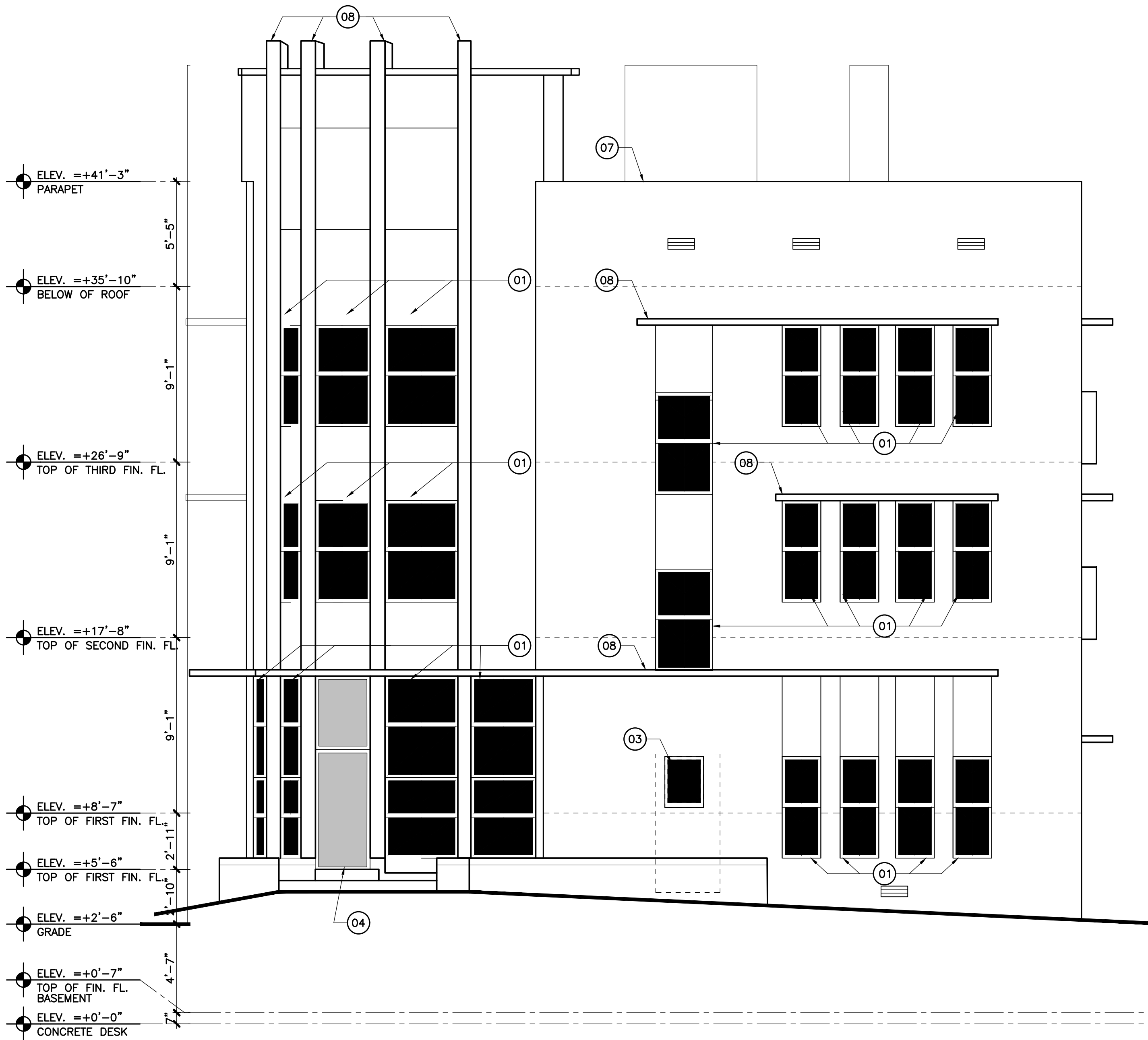
phase :

Permit Set

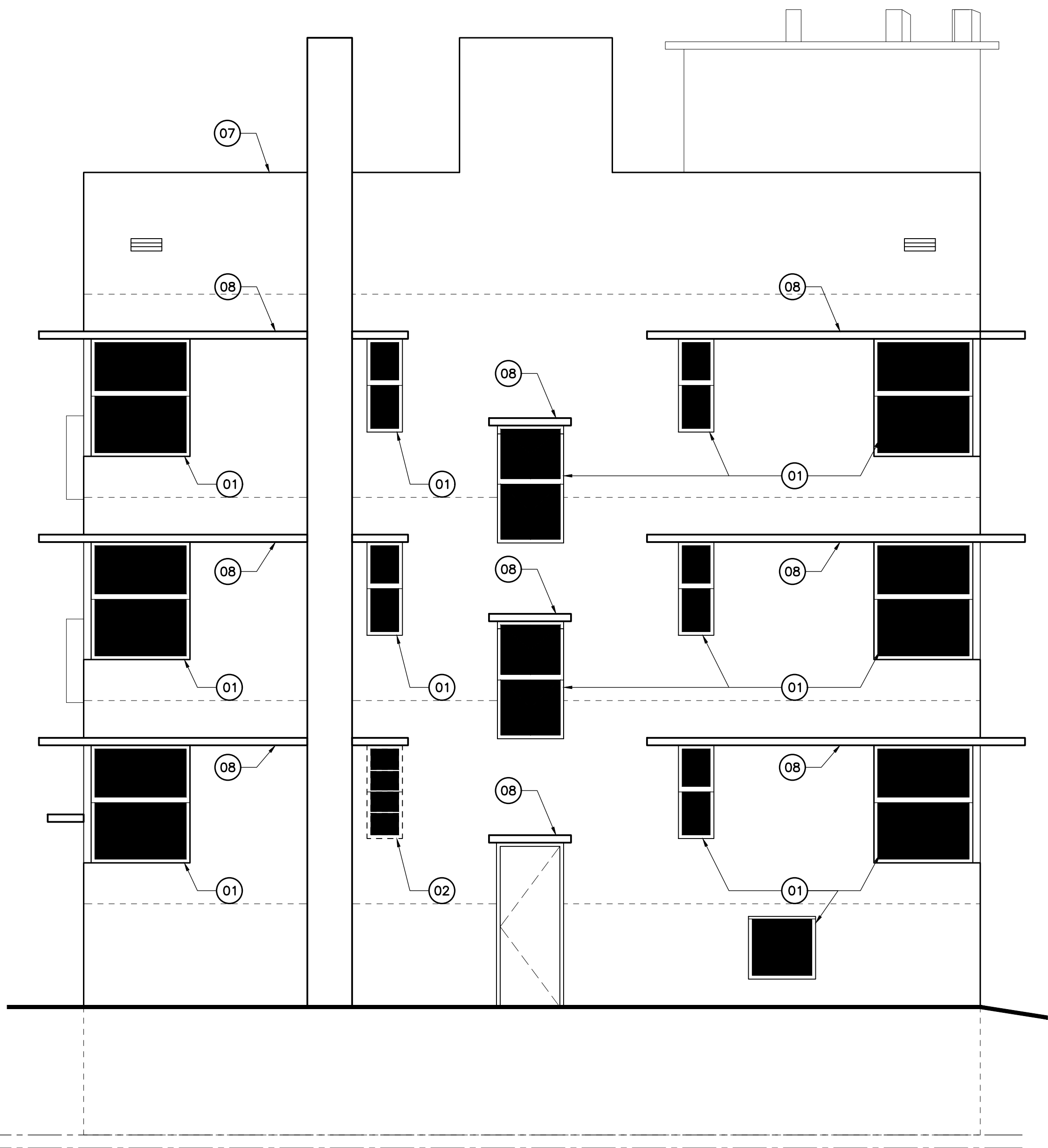
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16 Existing West Elevation
SCALE: 1/4"=1'-0"



19 Existing East Elevation
SCALE: 1/4"=1'-0"

demolitions keynotes :

NOTE	DESCRIPTION
01	EXISTING WINDOWS TO REMAIN.
02	EXISTING WINDOWS TO BE REPLACED. (RE: WINDOW SCHEDULE)
03	EXISTING WINDOW TO BE REMOVED & PREPARED OPENING FOR NEW ADA ACCESSIBILITY DOOR (RE: PROPOSED FLOOR PLAN).
04	REMOVE EXISTING GLASS & ALUMINUM STOREFRONT ASSEMBLY
05	EXISTING WINDOW TO BE REMOVED & PREPARED TO BLOCK UP & MATCH WITH EXISTING STUCCO .
06	REMOVE EXISTING WALL BOX A/C UNITS (RE: PROPOSED FLOOR PLAN).
07	EXISTING PARAPET TO REMAIN.
08	EXISTING CONCRETE RIBS AND EYEBROW TO REMAIN AND REPAIR IF REQUIRED.
09	EXISTING EMERGENCY OVERFLOW SCUPPERS TO BE REMAIN.

project info :

4025 Indian Creek Suite Hotel
Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

EXISTING WEST & EAST ELEVATION

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

As Shown

drawing date :

03/05/2020

phase :

Permit Set

sheet number :

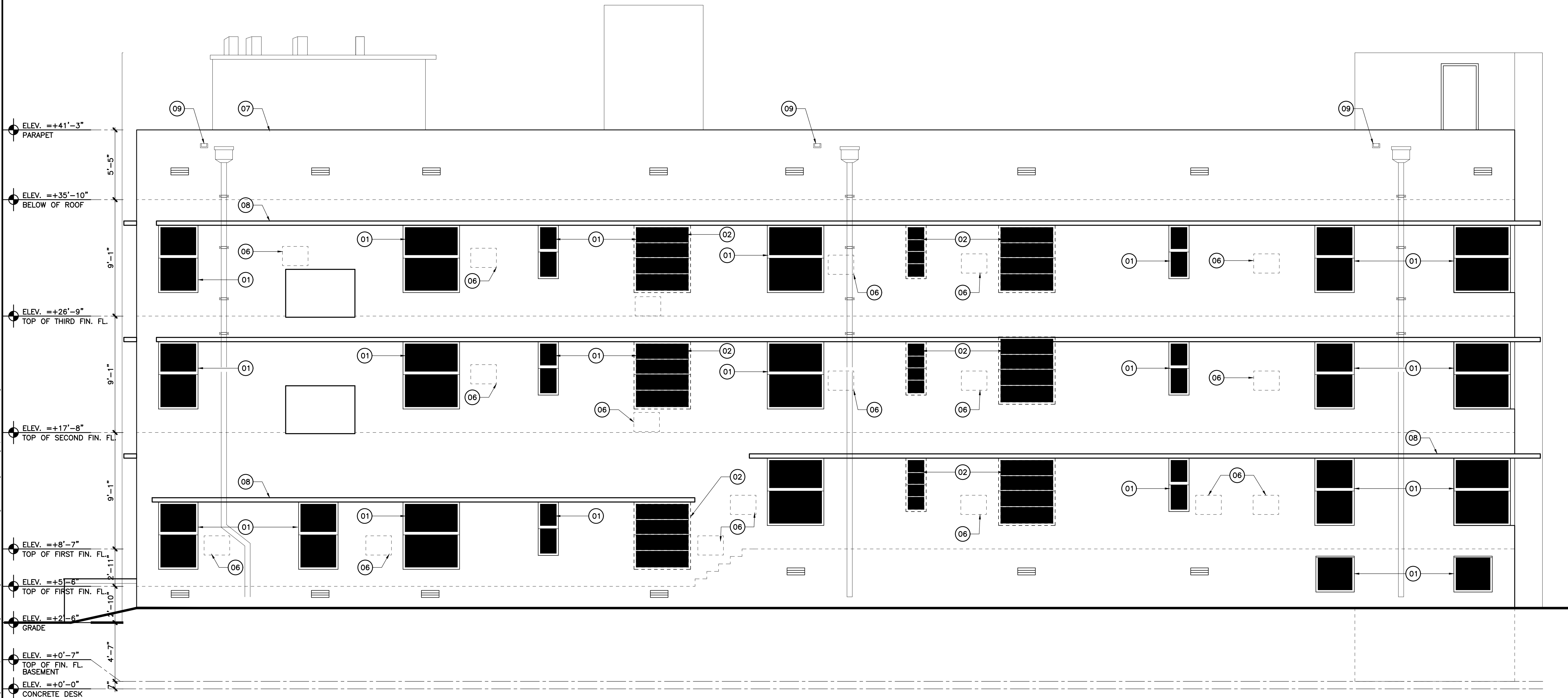
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modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
AA#26001777
e. MODIS@MODISarchitects.com
t. 786.879.8882
f. 786.350.1515

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16 Existing South Elevation

SCALE: 1/4"=1'-0"

demolitions keynotes :

NOTE	DESCRIPTION
01	EXISTING WINDOWS TO REMAIN.
02	EXISTING WINDOWS TO BE REPLACED. (RE: WINDOW SCHEDULE)
03	EXISTING WINDOW TO BE REMOVED & PREPARED OPENING FOR NEW ADA ACCESSIBILITY DOOR (RE: PROPOSED FLOOR PLAN).
04	REMOVE EXISTING GLASS & ALUMINUM STOREFRONT ASSEMBLY
05	EXISTING WINDOW TO BE REMOVED & PREPARED TO BLOCK UP & MATCH WITH EXISTING STUCCO .
06	REMOVE EXISTING WALL BOX A/C UNITS (RE: PROPOSED FLOOR PLAN).
07	EXISTING PARAPET TO REMAIN.
08	EXISTING CONCRETE RIBS AND EYEBROW TO REMAIN AND REPAIR IF REQUIRED.
09	EXISTING EMERGENCY OVERFLOW SCUPPERS TO BE REMAIN.

project info :

**4025 Indian Creek
Suite Hotel**

Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

**EXISTING SOUTH
ELEVATION**

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

As Shown

drawing date :

03/05/2020

phase :

Permit Set

sheet number :

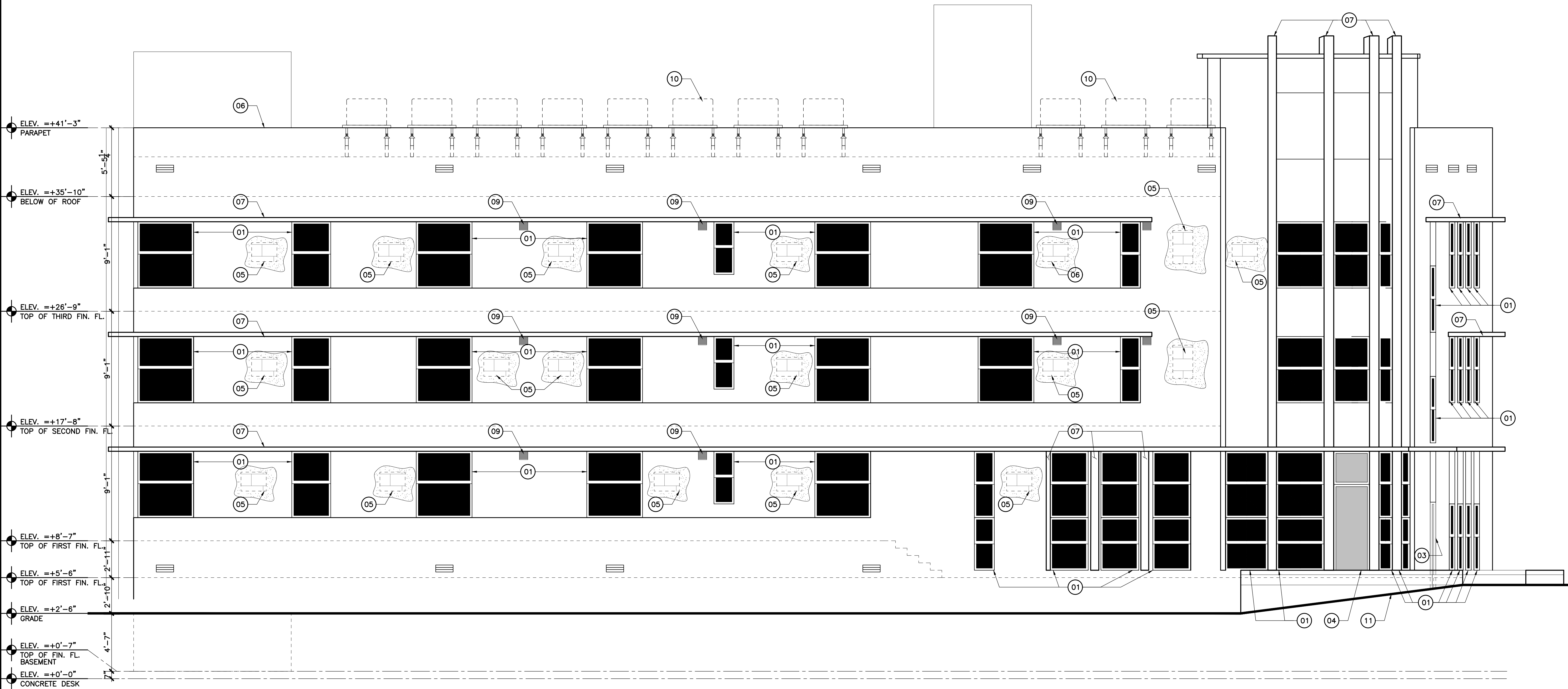
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modis
architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com
t. 786.879.8882
f. 786.350.1515
AA#26001777

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elevation keynotes :	
NOTE	DESCRIPTION
01	EXISTING WINDOWS TO REMAIN.
02	NEW WINDOWS. (RE: WINDOW SCHEDULE)
03	NEW OPENING FOR NEW ADA ACCESSIBILITY DOOR (RE: PROPOSED FLOOR PLAN).
04	NEW GLASS & ALUMINUM STOREFRONT ASSEMBLY (RE: SCHEDULE)
05	NEW BLOCKED UP OPENING & NEW SMOOTH PAINTED STUCCO FINISH.
06	EXISTING PARAPET TO REMAIN.
07	EXISTING CONCRETE RIBS AND EYEBROW TO REMAIN AND REPAIR IF REQUIRED.
08	EXISTING EMERGENCY OVERFLOW SCUPPERS TO BE REMAIN.
09	NEW INDIVIDUAL EXHAUST.
10	NEW CONDENSING UNIT.
11	PROPOSED NEW RAMP FOR ACCESSIBILITY ADA. WITH SAME ELEVATION AS THE BUILDING PLATFORM.

16 Proposed North Elevation

SCALE: 1/4"=1'-0"

project info :

4025 Indian Creek

Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

PROPOSED
NORTH
ELEVATION

project number :

#19158

drawn by :

proj. manager :

SB

AR

drawing scale :

drawing date :

As Shown

01/24/2019

phase :

Schematic Design

sheet number :

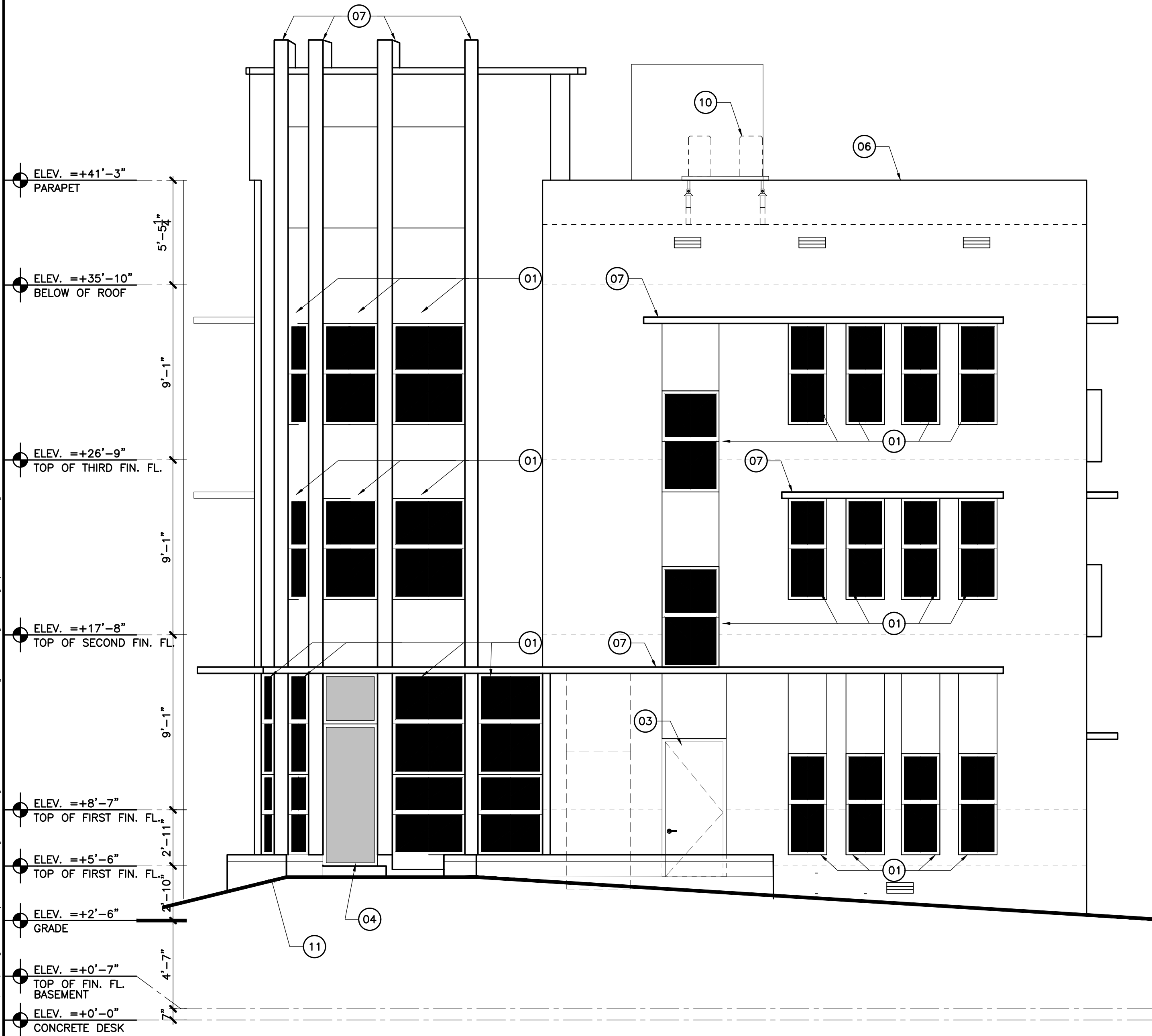
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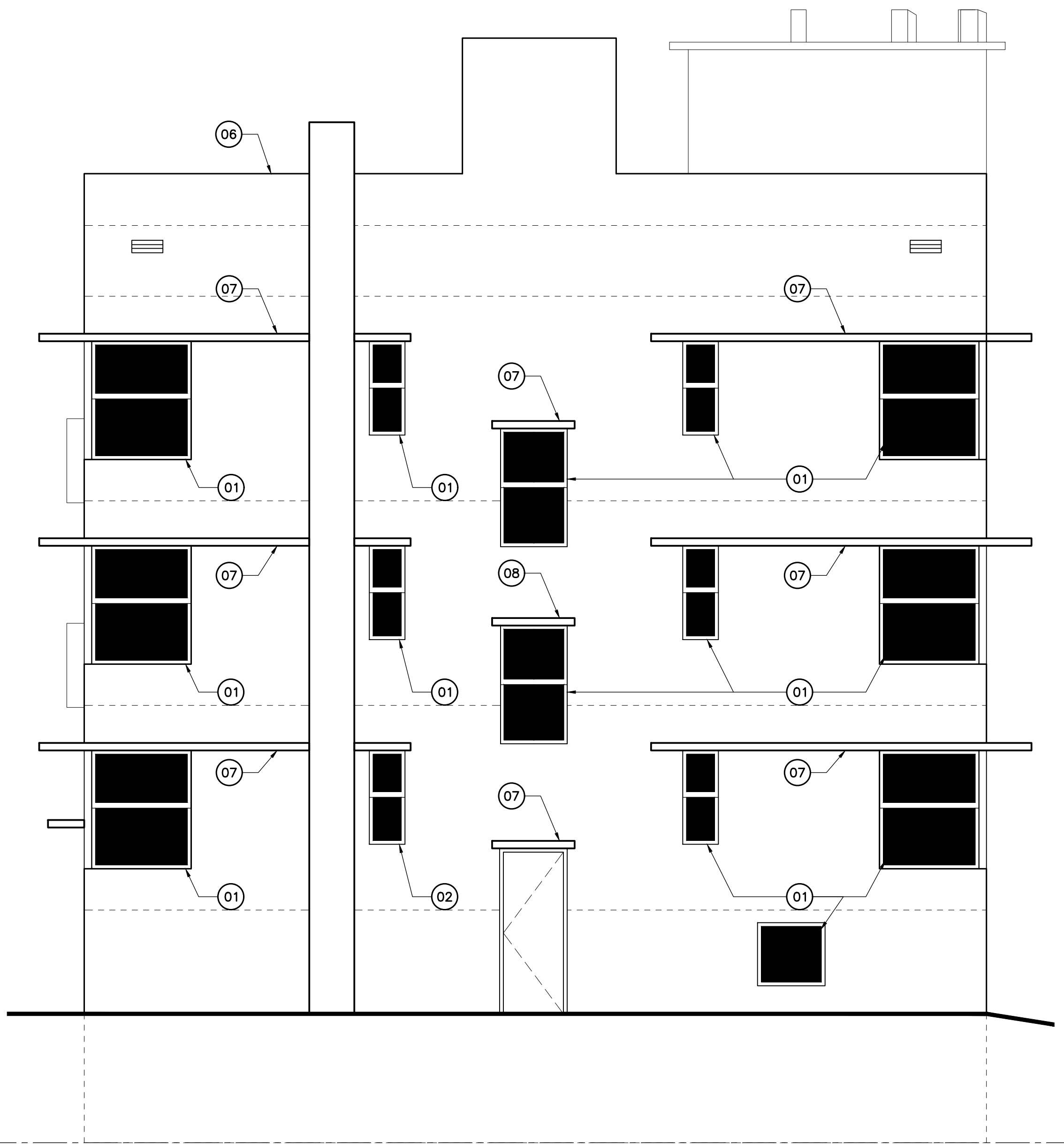
modis architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com
t. 786.879.8882
f. 786.350.1515
AA#26001777

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Proposed West Elevation



Proposed East Elevation

elevation keynotes :	
NOTE	DESCRIPTION
01	EXISTING WINDOWS TO REMAIN.
02	NEW WINDOWS. (RE: WINDOW SCHEDULE)
03	NEW OPENING FOR NEW ADA ACCESSIBILITY DOOR (RE: PROPOSED FLOOR PLAN).
04	NEW GLASS & ALUMINUM STOREFRONT ASSEMBLY (RE: SCHEDULE)
05	NEW BLOCKED UP OPENING & NEW SMOOTH PAINTED STUCCO FINISH.
06	EXISTING PARAPET TO REMAIN.
07	EXISTING CONCRETE RIBS AND EYEBROW TO REMAIN AND REPAIR IF REQUIRED.
08	EXISTING EMERGENCY OVERFLOW SCUPPERS TO BE REMAIN.
09	NEW INDIVIDUAL EXHAUST.
10	NEW CONDENSING UNIT.
11	PROPOSED NEW RAMP FOR ACCESSIBILITY ADA. WITH SAME ELEVATION AS THE BUILDING PLATFORM.

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modis

architects

4955 SW 75th Avenue
Miami, Florida 33155
Florida Corp.
e. MODIS@MODISarchitects.com

t. 786.879.8882
f. 786.350.1515
AA#26001777

project info :

4025 Indian Creek
Suite Hotel

Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT # AR 93259

revisions :

drawing data :

PROPOSED
WEST & EAST
ELEVATION

project number :

#19158

drawn by :

AR

proj. manager :

SB

drawing scale :

As Shown

drawing date :

03/05/2020

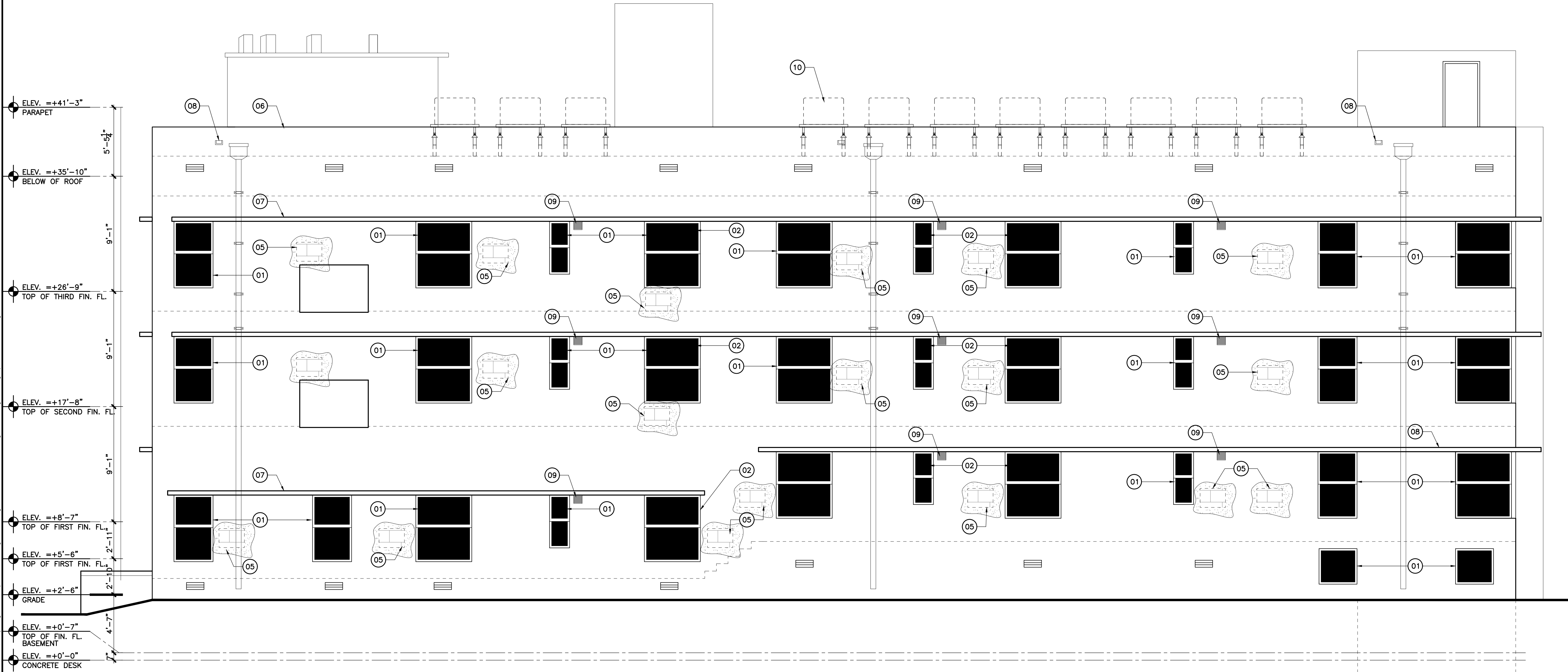
phase :

Permit Set

sheet number :

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16 Proposed South Elevation
SCALE: 1/4"=1'-0"

elevation keynotes :

NOTE	DESCRIPTION
01	EXISTING WINDOWS TO REMAIN.
02	NEW WINDOWS. (RE: WINDOW SCHEDULE)
03	NEW OPENING FOR NEW ADA ACCESSIBILITY DOOR (RE: PROPOSED FLOOR PLAN).
04	NEW GLASS & ALUMINUM STOREFRONT ASSEMBLY (RE: SCHEDULE)
05	NEW BLOCKED UP OPENING & NEW SMOOTH PAINTED STUCCO FINISH.
06	EXISTING PARAPET TO REMAIN.
07	EXISTING CONCRETE RIBS AND EYEBROW TO REMAIN AND REPAIR IF REQUIRED.
08	EXISTING EMERGENCY OVERFLOW SCUPPERS TO BE REMAIN.
09	NEW INDIVIDUAL EXHAUST.
10	NEW CONDENSING UNIT.
11	PROPOSED NEW RAMP FOR ACCESSIBILITY ADA. WITH SAME ELEVATION AS THE BUILDING PLATFORM.

project info :

4025 Indian Creek
Suite Hotel
Miami Beach, Florida

seal :

ROBERT K. MORISSETTE, AIA, NCARB, LEED AP BD+C, CDP
FLORIDA REGISTERED ARCHITECT #AR 93259

revisions :

drawing data :

PROPOSED
SOUTH
ELEVATION

project number :

#19158

drawn by :

proj. manager :

AR

SB

drawing scale :

drawing date :

As Shown

03/05/2020

phase :

Permit Set

sheet number :

A2.05

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