

Denotes ADA Accessible Area

**TABLE 705.8
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON
FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION**

FIRE SEPARATION DISTANCE (feet)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA ^a
0 to less than 3 ^{b,c}	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S) ^f	Not Permitted
	Protected (P)	Not Permitted
3 to less than 5 ^{d,e}	Unprotected, Nonsprinklered (UP, NS)	Not Permitted
	Unprotected, Sprinklered (UP, S) ^f	15%
	Protected (P)	15%
5 to less than 10 ^{e,f,i}	Unprotected, Nonsprinklered (UP, NS)	10% ^b
	Unprotected, Sprinklered (UP, S) ^f	25%
	Protected (P)	25%
10 to less than 15 ^{e,f,k}	Unprotected, Nonsprinklered (UP, NS)	15% ^b
	Unprotected, Sprinklered (UP, S) ^f	45%
	Protected (P)	45%
15 to less than 20 ^{e,f}	Unprotected, Nonsprinklered (UP, NS)	25%
	Unprotected, Sprinklered (UP, S) ^f	75%
	Protected (P)	75%
20 to less than 25 ^{e,f}	Unprotected, Nonsprinklered (UP, NS)	45%
	Unprotected, Sprinklered (UP, S) ^f	No Limit
	Protected (P)	No Limit
25 to less than 30 ^{e,f}	Unprotected, Nonsprinklered (UP, NS)	70%
	Unprotected, Sprinklered (UP, S) ^f	No Limit
	Protected (P)	No Limit
30 or greater	Unprotected, Nonsprinklered (UP, NS)	No Limit
	Unprotected, Sprinklered (UP, S) ^f	Not Required
	Protected (P)	Not Required

For SI: 1 foot = 304.8 mm.
 UP, NS = Unprotected openings in buildings not equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.
 UP, S = Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.
 P = Openings protected with an opening protective assembly in accordance with Section 705.8.2.
 a. Values indicated are the percentage of the area of the exterior wall, per story.
 b. For the requirements for fire walls of buildings with differing heights, see Section 706.6.1.
 c. For openings in a fire wall for buildings on the same lot, see Section 706.8.
 d. The maximum percentage of unprotected and protected openings shall be 25 percent for Group R-3 occupancies.
 e. Unprotected openings shall not be permitted for openings with a fire separation distance of less than 15 feet for Group H-2 and H-3 occupancies.
 f. The area of unprotected and protected openings shall not be limited for Group R-3 occupancies, with a fire separation distance of 5 feet or greater.
 g. The area of openings in an open parking structure with a fire separation distance of 10 feet or greater shall not be limited.
 h. Includes buildings accessory to Group R-3.
 i. Not applicable to Group H-1, H-2 and H-3 occupancies.
 j. For special requirements for Group U occupancies, see Section 406.3.2.



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 CHECKED
 N.R.

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 WERE PREPARED BY ME OR UNDER
 MY SUPERVISION, AND TO THE BEST
 OF MY KNOWLEDGE, COMPLY WITH ALL
 APPLICABLE CODES.

01 SITE PLAN AND AREA OF WORK
 SCALE: 1/16" = 1'-0"

ADA UNITS SCOPE OF WORK:
 1- CONTRACTOR SHALL FIELD VERIFY THE CLEARANCE TO EACH ADA UNIT DOOR AND ENSURE THAT A 12" CLEARANCE IS PROVIDED FROM DOOR EDGE TO ADJACENT WALL ON DOOR PUSH AND 18" ON DOOR PULLS

224.2 GUEST ROOMS WITH MOBILITY FEATURES:

Room Range	Minimum Number of Required Rooms Without Roll-in Showers	Minimum Number of Required Rooms With Roll-in Showers	Total Number of Required Rooms
1 to 25	1	0	1
26 to 50	2	0	2
51 to 75	3	1	4
76 to 100	4	1	5
101 to 150	5	2	7
151 to 200	6	2	8
201 to 300	7	3	10
301 to 400	8	4	12
401 to 500	9	4	13
501 to 1000	2 percent of total	1 percent of total	3 percent of total
1001 and over	20, plus 1 for each 100 or fraction	10, plus 1 for each 100 or fraction	30, plus 2 for each 100 or fraction

ADA/SPECIAL ACCESSIBLE/HEARING IMPAIRED ROOMS TABLE

FLOOR	ROOM #	ROOM TYPE	ADA	ROLL IN SHOWER	BATH TUB	SPECIAL ACCESSIBLE	HEARING IMPAIRED
2	208	-	-	-	-	X	-
2	211	-	X	X	-	-	-
2	217	-	-	-	-	-	X
3	302	-	X	X	-	-	X
4	402	-	-	-	-	-	X
4	405	-	-	-	-	X	-
5	500	-	-	-	-	-	X
TOTAL			2	2	0	2	4

FLOOD MAP # NO. 12086C0317L
FLOOD ZONE AE
BASE FLOOR ELEVATION (BFE) 8.0' N.G.V.D.
DESIGN FLOOR ELEVATION (DFE) 9.0' N.G.V.D.
FLOODPROOFING HEIGHT 9.0' N.G.V.D.
TOP OF BOTTOM FLOOR 7.0' N.G.V.D.
TOP OF SLAB @ HABITABLE SPACES 9.07' N.G.V.D.
COMPACT FILL FLOOR ELEVATION N/A
TOP OF NEXT FLOOR (ABOVE) 18.83' N.G.V.D.
LOWEST GRADE ADJACENT TO BUILDING 5.67' N.G.V.D.
HIGHEST GRADE ADJACENT TO BUILDING 6.05' N.G.V.D.
CROWN OF ROAD ELEVATION 5.79' N.G.V.D.
ELEVATION OF MACHINERY CLASSIFICATION OF STRUCTURE TYPE 2

SPECIFIC NOTES:
 1- WALL TYPES TO BE MODIFIED OR CONSTRUCTED IN WET AREAS SHALL BE DUROCK
 2- ALL BATHROOMS SHALL BE PROVIDED WITH FLOOR TILES, WALL TILES UP TO A MINIMUM OF 4'-0" AND TUBS/SHOWERS FULL HEIGHT WALL TILES OR EQUIVALENT.
 3- ALL ADA GUEST ROOMS AND GUEST ROOMS COMPLYING WITH FLORIDA ACCESSIBILITY CODE 806.4 SHALL BE PROVIDED WITH OPEN BED FRAMES
 4- ALL GUEST ROOMS WITH COMMUNICATION FEATURES SHALL COMPLY WITH CODE 806.3

224.4 GUEST ROOMS WITH COMMUNICATION FEATURES:

Room Range	Minimum Number of Required Rooms With Communication Features
2 to 25	2
26 to 50	4
51 to 75	7
76 to 100	9
101 to 150	12
151 to 200	14
201 to 300	17
301 to 400	20
401 to 500	22
501 to 1000	5%
1001 and over	50, plus 3 for each 100 over 1000

806.4 GUEST ROOMS WITH SPECIAL ACCESSIBILITY FEATURES
 SPECIAL ACCESSIBLE = 5% TOT GUEST ROOMS - TOT OF REQUIRED ADA
 = (49 X 0.05) = 2
 REQUIRED = 2

BUILDING DATA

DESCRIPTION	QTY
GUESTROOMS TOTALS	
HOTEL ROOMS 1ST-5TH FLOORS	49
ADA ROOMS	
ADA COMPLIANT ROOMS 1ST-5TH FLOORS WITH ROLL IN SHOWERS	2
SPECIAL ACCESSIBLE ROOMS 1ST-5TH FLOORS	2
HEARING IMPAIRED ROOMS 1ST-5TH FLOORS	4

03 EXTERIOR WALL OPENINGS CALC.
 NTS

**TABLE 602
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE^{a, h}**

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H ^f	OCCUPANCY GROUP F-1, M, S-1 ^g	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2 ^g , U ^g
X < 5'	All	3	2	1
5 ≤ X < 10	IA	3	2	1
	Others	2	1	1
10 ≤ X < 30	IA, IB	2	1	1 ^f
	IIB, VB	1	0	0
	Others	1	1	1 ^f
X ≥ 30	All	0	0	0

For SI: 1 foot = 304.8 mm.
 a. Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.
 b. For special requirements for Group U occupancies, see Section 406.3.
 c. See Section 706.1.1 for party walls.
 d. Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.
 e. The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located.
 f. For special requirements for Group H occupancies, see Section 415.5.
 g. For special requirements for Group S aircraft hangars, see Section 412.4.1.
 h. Where Table 705.8 permits nonbearing exterior walls with unlimited area of unprotected openings, the required fire-resistance rating for the exterior walls is 0 hours.

02 SPECIAL UNITS
 SCALE: N.T.S.

06 NOTES
 NTS

04 FIRE RATING REQUIREMENTS
 NTS

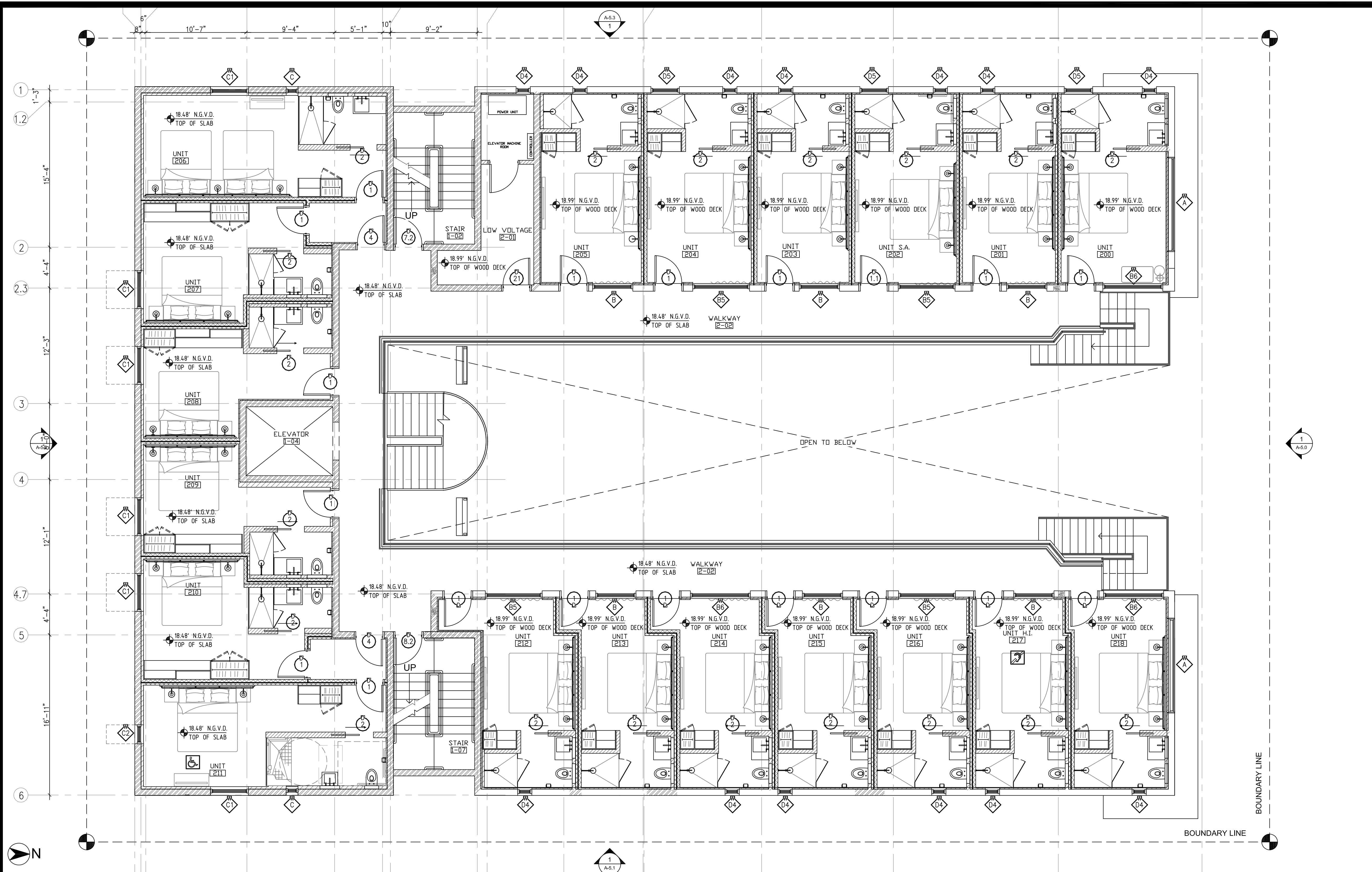
REVISIONS

NO.	DESCRIPTION	DATE
1	COORDINATION	4-2-2018
2	PERMIT APPROVAL	REV. 1-7
3	PERMIT SUBMISSION	10-31-2016

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SITE PLAN AND ROOM DATA

\\snap821764\SHARE1\My Documents\Projects\2015-20 Santa Barbara Hotel Miami Beach\CD\2015-20 A-1.1 Site Plan & Room Data.dwg, 4/5/2018 9:06:28 AM, ARCH D



1. WALL HATCH INDICATES NEW WALL. SEE A-10.0 FOR TYPES
 2. NEW IMPACT GLASS WINDOWS IN ALL OPENINGS, TYP.
 3. HATCH INDICATES NEW FLOOR REBUILT TO MATCH LEVEL OF HISTORIC WALKWAYS FOR ADA ACCESS. SLIP RESISTANT
 4. PARTITION WALLS REBUILT IN HISTORIC LOCATIONS ONLY WHERE INDICATED.
 5. NEW PLANTERS (SEE L-SERIES DRAWINGS)
 6. NEW GATE
 7. LANDSCAPED AREA (SEE L-SERIES DRAWINGS FOR LAYOUT).
 8. NEW ELEVATOR
 - 8.1 ADA LIFT
 9. NEW CONCRETE COLUMNS, SEE STRUCTURAL DWGS
 10. NEW MILLWORK. SEE ID PACKAGE. GC TO FIELD VERIFY DIMENSIONS PRIOR FABRICATION. GC TO PROVIDE BACKING FOR ALL FIXED MILLWORK WHERE NECESSARY
 11. NEW PLUMBING FIXTURES. SEE ID DRAWINGS AND PLUMBING DWG.
 12. FOR ALL NEW FINISHES AND FURNITURE REFER TO ID PACKAGE.
 13. METAL EYEBROW ABOVE, TYP. G.C. TO PROVIDE SHOP DRAWINGS.
 14. 50% OPEN METAL MESH SCREEN ON PTD. STEEL FRAME UNDERNEATH (D.B.-MICHOLS 304 S.S. ROUND HOLE 50%+ OPEN), TYP. SHOP DWGS REQUIRED.
 15. 1:20 RAMPED WALKWAY
 16. NEW EGRESS STAIR
 17. NEW OPENINGS FOR TRASH W/ ROLL UP DOOR..
 18. EXTERIOR PTD. STEEL SPIRAL STAIR TO ROOF DECK ABOVE, TYP.
 19. GLASS GUARDRAIL BACK-MOUNTED TO 6" CONCRETE KNEE WALL.
 20. REBUILT EXISTING ROOF LINE (BELOW).
 21. LINE OF SCREEN SYSTEM ABOVE.
 22. TOP OF HISTORIC STAIR AND FIN WALL.
 23. PTD. CMU WALL WITH STUCCO SCORE LINES (SEE COURTYARD ELEVATIONS)
 24. GLASS GUARDRAIL ON EXTERIOR HALLWAY.
 25. GLASS GUARDRAIL ON STAIR PENETRATION.
 26. BALCONY GUARDRAIL OF SAME MESH SCREEN. SHOP DWGS REQUIRED.
 27. MECHANICAL SCREEN. SHOP DWGS REQUIRED.
 28. ALL PLANTS SHOWN ON TERRACES WILL BE POTTED.
 29. LOW WALL @ 6'-0" A.F.F.
 30. NEW FPL TRANSFORMER
 31. NEW PAVED FLOOR TO BE SLIP RESISTANT. SEE LANDSCAPE DWGS.
 32. EXISTING HISTORIC RAILING & POLES. STRIP & PREPARE FOR NEW FINISHES.
 33. EXISTING CONCRETE EYEBROW
 34. NEW METAL LOUVERS ON THE SIDE OF ELEVATOR SHAFT. 5'-0" X 5'-0"
 35. FUTURE HOT TUB DIMENSIONS TO BE V.I.F. -TOP OF HOT TUB TO NOT EXCEED 5'-0" ABOVE MAIN ROOF LINE
 36. NEW WATER FEATURE (UNDER SEPARATE PERMIT). SEE LANDSCAPE DWGS.
 37. NEW TREE PLANTERS. SEE LANDSCAPE DWGS.
 38. NEW GUTTER TO MATCH PREVIOUS.
 39. ADA CLOSET TO COMPLY WITH FBC ACCESSIBILITY, SECTION 308.
 40. EXISTING HISTORIC STAIR TO BE PROTECTED DURING CONSTRUCTION.
 41. NEW LADDER FOR ROOF ACCESS. BILCO HATCH RAILING SYSTEM
 42. NEW RAILING TO MATCH EXISTING HISTORIC RAILING.
 43. NEW RAILING TO PREVENT STAIR ACCESS. RAILING HEIGHT TO MATCH ADJACENT HEIGHTS.
 44. LOCK BOX FOR FIRE FIGHTER ACCESS.
 45. EXISTING WALL OPENING TO BE FILLED IN.
 46. NEW GLASS GUARDRAIL TO BE INSTALLED ON THE OUTSIDE OF EXISTING HISTORIC STAIR RAILING.
 47. NEW 6"x4" ROOF SCUPPER (SECONDARY ROOF DRAIN)
 48. NEW CONDENSING UNITS
 49. HEIGHT OF ADJACENT EXTERIOR CORRIDOR TO BE THE SAME AS THE LANDING OF THE RAMP.
- END OF LIST ---
- NOTE: ALL NEW GUARDRAILS TO BE 42" A.F.F. MIN. (FBC 1013.3)
- NOTE: HOTEL EVAC MAPS TO BE PROVIDED ON THE BACK OF ALL ROOM DOORS. (TYP.)
- NOTE: A CERTIFICATE OF OCCUPANCY (CO) OR TEMPORARY CERTIFICATE OF OCCUPANCY (TCO) SHALL NOT BE ISSUED FOR THE BASE BUILDING (SHELL) OR UNITS UNTIL THE COMMERCIAL SPACE BUILD-OUT IS COMPLETED, PASSED FINAL INSPECTIONS AND TCO/CO AND OCCUPANCY LICENSE HAVE BEEN ISSUED.

01 2ND FLOOR KEY NOTE & TAGGING PLAN
SCALE: 3/16"=1'-0"

1. UNIT TAGS IDENTIFY GUEST ROOMS IN COMPLIANCE WITH THE FAC 2014 AS FOLLOWS:
 - 1.1. "ADA" TAGS INDICATE ROOMS PROVIDED WITH MOBILITY FEATURES IN ACCORDANCE WITH SECTION 224.2
 - 1.2. "FLA 5X" TAGS INDICATE ROOMS PROVIDED WITH COMMUNICATION FEATURES IN ACCORDANCE WITH SECTION 224.4
2. FOR ALL ACCESSIBLE BATHROOMS WITHIN DWELLING UNITS, REFERENCE ENLARGED TYPICAL BATHROOM DRAWINGS LOCATED ON SHEET A-12 FOR MIN. FIXTURE CLEARANCES AND LOCATIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED WHEN APPLYING THESE STANDARDS PRIOR TO PLUMBING ROUGH INSTALLATION.
3. PORTIONS OF THE BUILDING EXTENDING BELOW BFE+1'-0" (9.0' NGVD) SHALL BE FLOOD-PROOFED IN ACCORDANCE WITH ASCE 24. G.C. TO PROVIDE FLOOD PROOFING CONSULTANT DRAWINGS AS NECESSARY.
4. ALL CONSTRUCTION MATERIAL LOCATED IN AREAS OF BUILDING WHICH EXTEND BELOW THE BFE (9.0' NGVD) SHALL BE CONSTRUCTED WITH FLOOD DAMAGED RESISTANT MATERIALS. SEE SHEET A-11.0 FOR FLOOD PROOFING NOTES AND REFERENCES.
5. PROVIDE HYDROPHOBIC CONCRETE-ADD-MIXTURE TO ALL NEW CONCRETE MIXES FOR CONSTRUCTION UP TO 1 FT. ABOVE THE BFE (DESIGN BASIS: XYPEX C-2000)
6. ALL ELECTRICAL, MECHANICAL, AND PLUMBING IN THE TRASH ROOM MUST BE ELEVATED TO THE DFE (9.0' NGVD).
7. ENCLOSED AREAS BELOW THE BFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE (ASCE 4.6.2).
8. UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE AND A FLOOD PROOFING CERTIFICATE SHALL BE SUBMITTED (FBC 2014, SECTION 110.3).
9. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE ANY CO, TCO, OR PCO CAN BE ISSUED.
10. AN UPDATED FLOOD PROOFING CERTIFICATE AND FLOOD EMERGENCY OPERATION MANUAL MUST BE SUBMITTED BEFORE ANY CO, TCO, OR PCO CAN BE ISSUED.
11. ALL INTERIOR FLOOR FINISH & FLOOR COVING SHOULD HAVE A MIN. CRITICAL RADIANT FLUX LESS THAN CLASS 1. FBC 804.4
12. FLOOR MUST COMPLY WITH FAC 302. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
13. PERMANENT EMERGENCY INFORMATION SIGNAGE MUST BE TACTILE AND BRAILLE. FAC 703
14. SLOPE OF GROUND AND FLOOR SURFACES IN ALL ACCESSIBLE AREAS CANNOT EXCEED 2%. FAC 302.
15. THIS BUILDING WILL BE A MIXED USE STRUCTURE.
16. THE BUILDING IS PROPOSED TO BE WET FLOOD PROOFED.

INTERIOR DESIGN LAYOUTS:
ALL INTERIOR LAYOUTS ARE INCORPORATED INTO THE ARCHITECT'S "A" SERIES DRAWINGS FOR REFERENCE ONLY. REFERENCE THE "ID" SERIES DRAWINGS FOR FINISHES, MILLWORK, PLUMBING FIXTURE SELECTION, LIGHTING FIXTURE SPECIFICATION, AND MISC. INTERIOR ITEMS GENERAL CONTRACTOR AND ITS SUBS ARE RESPONSIBLE TO COORDINATE ARCHITECTURAL DIMENSIONS W/ FIELD CONDITIONS AS THEY RELATE TO THE "ID" SERIES DRAWINGS.

- WALL TYPES & SYMBOLS**
- FOR ALL WALL TAGS: SEE WALL SECTIONS A-7.0
 - NEW INTERIOR STUD WALL
 - NEW C.M.U. WALL
 - EXISTING WALL
 - NEW FIRE RATED WALL, SEE DETAIL
 - EXISTING CONCRETE SHEAR WALL / COLUMN
 - DOOR TAGS SEE A-10.0 FOR SCHEDULE
 - WINDOW TAGS SEE A-10.0 FOR SCHEDULE
 - EXTERIOR TERRACE
 - INDICATES NEW FLOOR REBUILT TO MATCH LEVEL OF HISTORIC WALKWAYS FOR ADA ACCESS, SLIP RESISTANT
 - INDICATES NEW LANDSCAPING. SEE LANDSCAPING DRAWINGS.
- A.D.A. = AMERICAN DISABILITY ACT
S.A. = SPECIAL ACCESSIBLE
H.I. = HEARING IMPAIRED
- NOTES:
GYP BOARD WALLS TO BE TAPED, SANDED AND HAVE SMOOTH FINISH, UNLESS NOTED OTHERWISE.

03 GENERAL NOTES

04 NOTES

05 LEGEND

02 KEYNOTES

NR

architect

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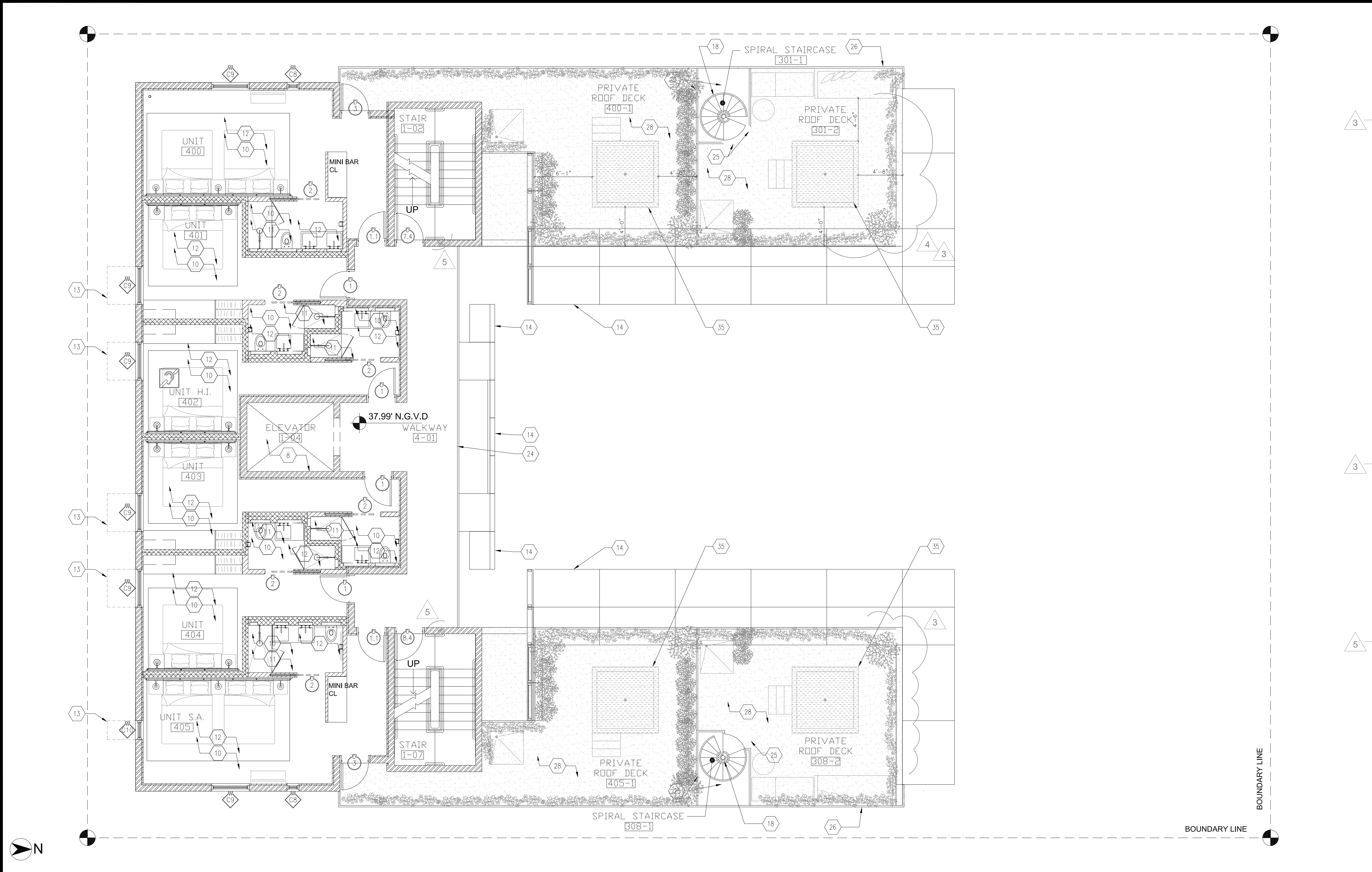
PERMIT SUBMISSION 10-31-2016	
REVISIONS	
COMM. 2015-20	DATE 10-31-2016

SANTA BARBARA HOTEL

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2nd FLOOR
KEY NOTE &
TAGGING PLAN

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NO.	REVISIONS
1-24	BLDG. COMMENTS 1-24-2018
11-21	BLDG. COMMENTS 11-21-2017
09-21	BLDG. COMMENTS 09-21-2017
03-1	BLDG. COMMENTS 03-1-2017
10-31	PERMIT SUBMISSION 10-31-2016

COMM.	DATE
2015-20	10-31-2016

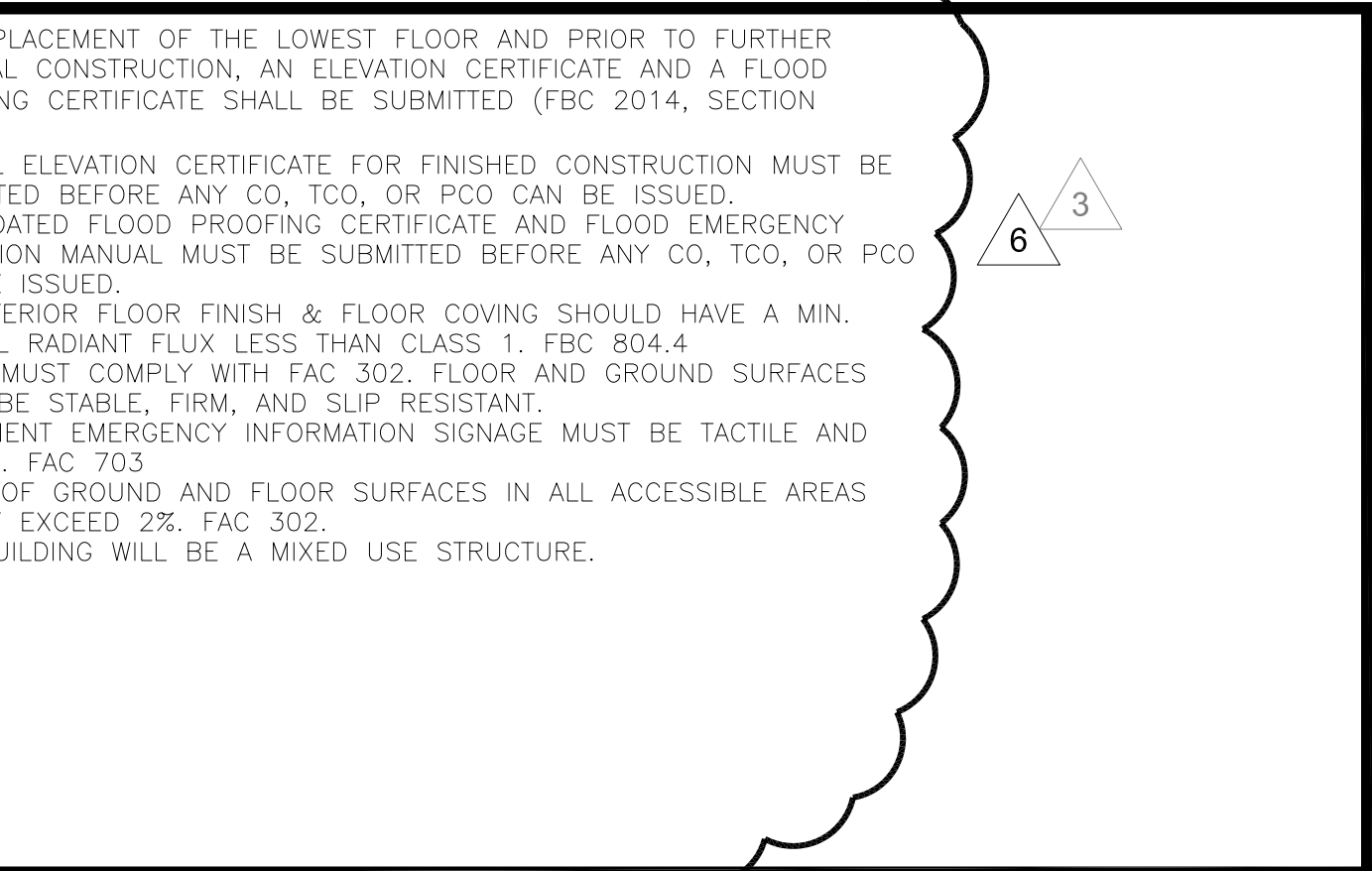
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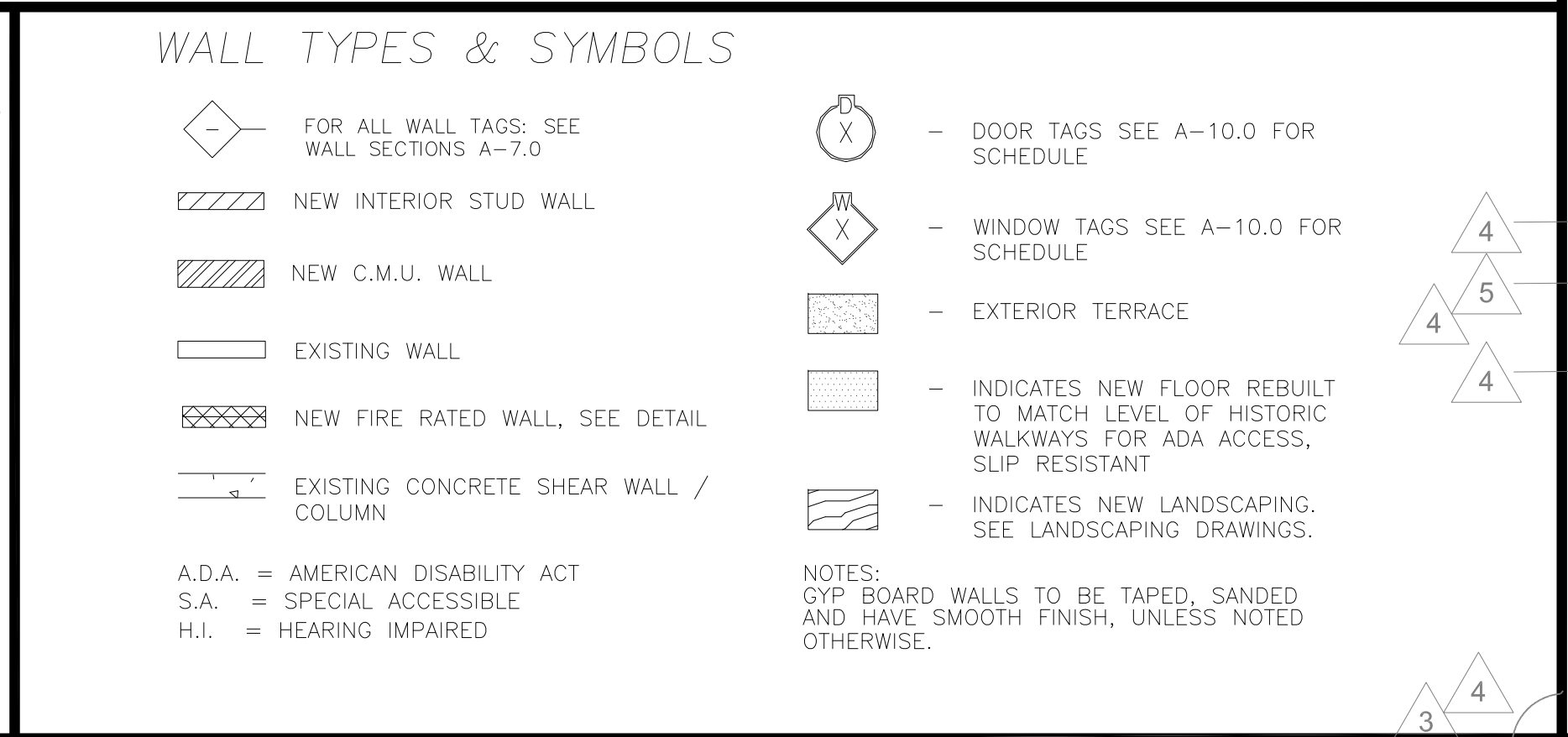
4TH FLOOR KEY NOTE & TAGGING PLAN

01 4TH FLOOR KEY NOTE & TAGGING PLAN
 SCALE: 3/16"=1'-0"

1. UNIT TAGS IDENTIFY GUEST ROOMS IN COMPLIANCE WITH THE FAC 2014 AS FOLLOWS:
 - 1.1. "ADA" TAGS INDICATE ROOMS PROVIDED WITH MOBILITY FEATURES IN ACCORDANCE WITH SECTION 224.2
 - 1.2. "FLA 5%" TAGS INDICATE ROOMS PROVIDED WITH COMMUNICATION FEATURES IN ACCORDANCE WITH SECTION 224.4
2. FOR ALL ACCESSIBLE BATHROOMS WITHIN DWELLING UNITS, REFERENCE ENLARGED TYPICAL BATHROOM DRAWINGS LOCATED ON SHEET A-12 FOR MIN. FIXTURE CLEARANCES AND LOCATIONS, NOTIFY ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED WHEN APPLYING THESE STANDARDS PRIOR TO PLUMBING ROUGH INSTALLATION.
3. PORTIONS OF THE BUILDING EXTENDING BELOW BFE+1'-0" (9.0' NGVD) SHALL BE FLOOD-PROOFED IN ACCORDANCE WITH ASCE 24. G.C. TO PROVIDE FLOOD-PROOFING CONSULTANT DRAWINGS AS NECESSARY.
4. ALL CONSTRUCTION MATERIAL LOCATED IN AREAS OF BUILDING WHICH EXTEND BELOW THE BFE (9.0' NGVD) SHALL BE CONSTRUCTED WITH FLOOD DAMAGED RESISTANT MATERIALS. SEE SHEET A-11.0 FOR FLOOD PROOFING NOTES AND REFERENCES.
5. PROVIDE HYDROPHOBIC CONCRETE. ADD-MIXTURE TO ALL NEW CONCRETE MIXES FOR CONSTRUCTION UP TO 1 FT. ABOVE THE BFE (DESIGN BASIS: XYPEX C-2000).
6. ALL ELECTRICAL, MECHANICAL, AND PLUMBING IN THE TRASH ROOM MUST BE ELEVATED TO THE DFE (9.0' NGVD).
7. ENCLOSED AREAS BELOW THE BFE SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS OR STORAGE (ASCE 4.6.2).
8. UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION, AN ELEVATION CERTIFICATE AND A FLOOD PROOFING CERTIFICATE SHALL BE SUBMITTED (FBC 2014, SECTION 110.3).
9. A FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE ANY CO, TCO, OR PCO CAN BE ISSUED.
10. AN UPDATED FLOOD PROOFING CERTIFICATE AND FLOOD EMERGENCY OPERATION MANUAL MUST BE SUBMITTED BEFORE ANY CO, TCO, OR PCO CAN BE ISSUED.
11. ALL INTERIOR FLOOR FINISH & FLOOR COVING SHOULD HAVE A MIN. CRITICAL RADIANT FLUX LESS THAN CLASS 1. FBC 804.4
12. FLOOR MUST COMPLY WITH FAC 302. FLOOR AND GROUND SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT.
13. PERMANENT EMERGENCY INFORMATION SIGNAGE MUST BE TACTILE AND BRAILLE. FAC 703
14. SLOPE OF GROUND AND FLOOR SURFACES IN ALL ACCESSIBLE AREAS CANNOT EXCEED 2%. FAC 302.
15. THIS BUILDING WILL BE A MIXED USE STRUCTURE.



- INTERIOR DESIGN LAYOUTS:
- ALL INTERIOR LAYOUTS ARE INCORPORATED INTO THE ARCHITECT'S "A" SERIES DRAWINGS FOR REFERENCE ONLY. REFERENCE THE "ID" SERIES DRAWINGS FOR FINISHES, MILLWORK, PLUMBING FIXTURE SELECTION, LIGHTING FIXTURE SPECIFICATION, AND MISC. INTERIOR ITEMS GENERAL CONTRACTOR AND ITS SUBS ARE RESPONSIBLE TO COORDINATE ARCHITECTURAL DIMENSIONS W/ FIELD CONDITIONS AS THEY RELATE TO THE "ID" SERIES DRAWINGS.



02 GENERAL NOTES

NTS

03 NOTES

04 LEGEND

05 KEYNOTES



NORBERTO ROSENSTEIN ARCHITECT, INC.

ARCHITECTURE - INTERIOR DESIGN - PLANNING

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 NATL. REG. NO. 69178
 AA NO. 26001896
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 IN ANY FORM WITHOUT PERMISSION.

DESIGNED	N.R.
DRAWN	D.P.
CHECKED	N.R.

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, COMPLY WITH ALL APPLICABLE CODES.

BLDG. COMMENTS 1-24-2018
BLDG. COMMENTS 11-20-2017
BLDG. COMMENTS 09-21-2017
BLDG. COMMENTS 03-1-2017
PERMIT SUBMISSION 10-31-2016

COMM.	DATE
2015-20	10-31-2016

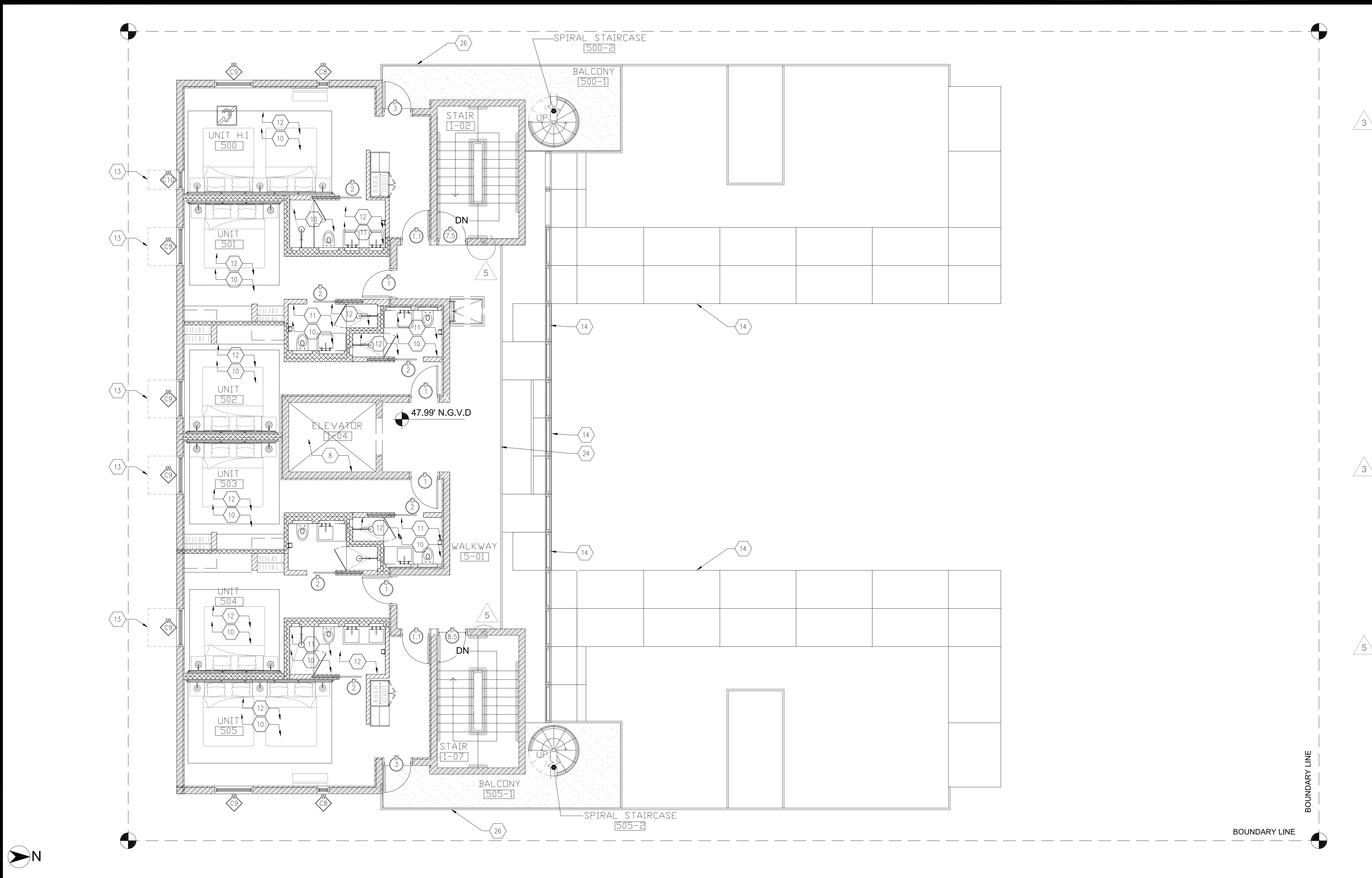
SANTA BARBARA HOTEL

230 20TH ST.
 MIAMI BEACH, FLORIDA 33139

5TH FLOOR KEYNOTE & TAGGING PLAN

A-3.5 OF 15

- WALL HATCH INDICATES NEW WALL. SEE A-10.0 FOR TYPES
- NEW IMPACT GLASS WINDOWS IN ALL OPENINGS, TYP.
- HATCH INDICATES NEW FLOOR REBUILT TO MATCH LEVEL OF HISTORIC WALKWAYS FOR ADA ACCESS, SLIP RESISTANT.
- PARTITION WALLS REBUILT IN HISTORIC LOCATIONS ONLY WHERE INDICATED.
- NEW PLANTERS (SEE L-SERIES DRAWINGS)
- NEW GATE
- LANDSCAPED AREA (SEE L-SERIES DRAWINGS FOR LAYOUT).
- NEW ELEVATOR
- ADA LIFT
- NEW CONCRETE COLUMNS. SEE STRUCTURAL DWGS
- NEW MILLWORK. SEE ID PACKAGE. GC TO FIELD VERIFY DIMENSIONS PRIOR FABRICATION. GC TO PROVIDE BACKING FOR ALL FIXED MILLWORK WHERE NECESSARY
- NEW PLUMBING FIXTURES. SEE ID DRAWINGS AND PLUMBING DWG.
- FOR ALL NEW FINISHES AND FURNITURE REFER TO ID PACKAGE.
- METAL EYEBROW ABOVE, TYP. G.C. TO PROVIDE SHOP DRAWINGS.
- 50% OPEN METAL MESH SCREEN ON PTD. STEEL FRAME UNDERNEATH (D.B.-MCNICHOLS 304 S.S. ROUND HOLE 50%+ OPEN), TYP. SHOP DWGS REQUIRED.
- 1:20 RAMPED WALKWAY
- NEW EGRESS STAIR
- NEW OPENINGS FOR TRASH W/ ROLL UP DOOR.
- EXTERIOR PTD. STEEL SPIRAL STAIR TO ROOF DECK ABOVE, TYP.
- GLASS GUARDRAIL BACK-MOUNTED TO 6" CONCRETE KNEE WALL.
- REBUILT EXISTING ROOF LINE (BELOW).
- LINE OF SCREEN SYSTEM ABOVE.
- TOP OF HISTORIC STAIR AND FIN WALL
- PTD. CMU WALL WITH STUCCO SCORE LINES (SEE COURTYARD ELEVATIONS)
- GLASS GUARDRAIL ON EXTERIOR HALLWAY.
- GLASS GUARDRAIL ON STAIR PENETRATION.
- BALCONY GUARDRAIL OF SAME MESH SCREEN. SHOP DWGS REQUIRED.
- MECHANICAL SCREEN. SHOP DWGS REQUIRED.
- ALL PLANTS SHOWN ON TERRACES WILL BE POTTED.
- LOW WALL @ 6'-0" A.F.F.
- NEW FPL TRANSFORMER
- NEW PAVED FLOOR TO BE SLIP RESISTANT. SEE LANDSCAPE DWGS.
- EXISTING HISTORIC RAILING & POLES. STRIP & PREPARE FOR NEW FINISHES.
- EXISTING CONCRETE EYEBROW
- NEW METAL LOUVERS ON THE SIDE OF ELEVATOR SHAFT, 5'-0" X 5'-0"
- FUTURE HOT TUB DIMENSIONS TO BE V.I.F. -TOP OF HOT TUB TO NOT EXCEED 5'-0" ABOVE MAIN ROOF LINE
- NEW WATER FEATURE (UNDER SEPARATE PERMIT). SEE LANDSCAPE DWGS.
- NEW TREE PLANTERS. SEE LANDSCAPE DWGS.
- NEW GUTTER TO MATCH PREVIOUS.
- ADA CLOSET TO COMPLY WITH FBC ACCESSIBILITY, SECTION 308.
- EXISTING HISTORICAL STAIR TO BE PROTECTED DURING CONSTRUCTION.
- NEW LADDER FOR ROOF ACCESS. BILCO HATCH RAILING SYSTEM
- NEW RAILING TO MATCH EXISTING HISTORICAL RAILING.
- NEW RAILING TO PREVENT STAIR ACCESS. RAILING HEIGHT TO MATCH ADJACENT HEIGHTS.
- LOCK BOX FOR FIRE FIGHTER ACCESS.
- EXISTING WALL OPENING TO BE FILLED IN.
- NEW GLASS GUARDRAIL TO BE INSTALLED ON THE OUTSIDE OF EXISTING HISTORICAL STAIR RAILING.
- NEW 6"x4" ROOF SCUPPER (SECONDARY ROOF DRAIN)
- NEW CONDENSING UNITS
- HEIGHT OF ADJACENT EXTERIOR CORRIDOR TO BE THE SAME AS THE LANDING OF THE RAMP.



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WALL TYPES & SYMBOLS

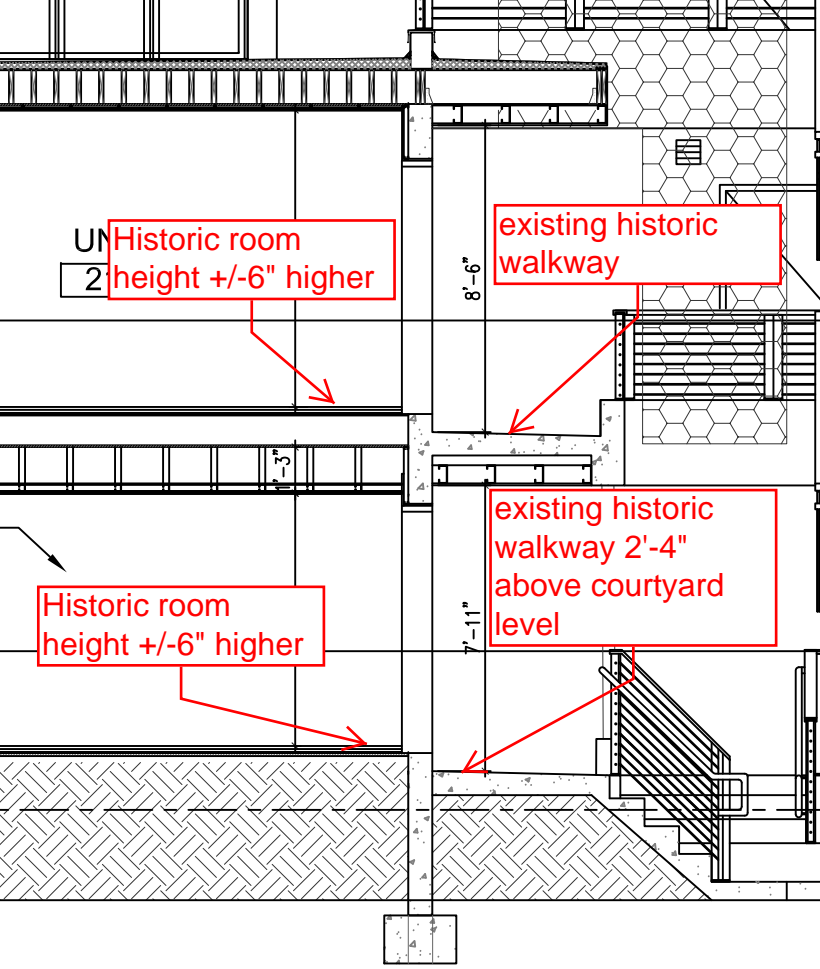
	FOR ALL WALL TAGS; SEE WALL SECTIONS A-7.0		DOOR TAGS SEE A-10.0 FOR SCHEDULE
	NEW INTERIOR STUD WALL		WINDOW TAGS SEE A-10.0 FOR SCHEDULE
	NEW C.M.U. WALL		EXTERIOR TERRACE
	EXISTING WALL		INDICATES NEW FLOOR REBUILT TO MATCH LEVEL OF HISTORIC WALKWAYS FOR ADA ACCESS, SLIP RESISTANT
	NEW FIRE RATED WALL, SEE DETAIL		INDICATES NEW LANDSCAPING. SEE LANDSCAPING DRAWINGS.
	EXISTING CONCRETE SHEAR WALL / COLUMN	NOTES: GYP BOARD WALLS TO BE TAPED, SANDED AND HAVE SMOOTH FINISH, UNLESS NOTED OTHERWISE.	
A.D.A. = AMERICAN DISABILITY ACT			
S.A. = SPECIAL ACCESSIBLE			
H.I. = HEARING IMPAIRED			

03 GENERAL NOTES

04 NOTES

05 LEGEND

02 KEYNOTES



UN
2

Historic room height +/-6" higher

8'-6"

existing historic walkway

Historic room height +/-6" higher

7'-11"

existing historic walkway 2'-4" above courtyard level