

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS  
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

**1. Name and address of project for which the waiver is requested.**

Name: XL SOCCER WORLD ORLANDO

Address: 825 COURTLAND STREET, ORLANDO FL 32804

**2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:**

Applicant's Name: JOSE BONITEZ, GUY BUTLER ARCHITECT, LLC

Applicant's Address: 315 E. ROBINSON ST., SUITE 675, ORLANDO FL 32801

Applicant's Telephone: 407 648-5000 FAX: 407-650-0457

Applicant's E-mail Address: jerry@guybutlerarchitect.com


Relationship to Owner: OWNER'S ARCHITECT

Owner's Name: CIARAN McARDLE

Owner's Address: 13662 CRYSTAL RIVER DRIVE ORLANDO FL 32828

Owner's Telephone: 407641 4791 FAX 866 815 3556

Owner's E-mail Address: ciaran@xltravel.com

Signature of Owner: 

Contact Person: \_\_\_\_\_

Contact Person's Telephone: \_\_\_\_\_ E-mail Address: \_\_\_\_\_

This application is available in alternate formats upon request.  
Form No. 2001-01

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

TOTAL AREA OF BUILDING → 38,489 SF — TWO STORY BUILDING,  
TOTAL AREA OF ALTERATION → 32,975 SF — GROUND FLOOR ONLY.  
INDOOR SOCCER FACILITY WITH OFFICES, RESTROOM, SNACK BAR

5. **Project Construction Cost** (Provide cost for new construction, the addition or the alteration):

\$ 650,000

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design  Under Construction\*

In Plan Review  Completed\*

\* Briefly explain why the request has now been referred to the Commission.

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7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

**Issue**

- 1: 11-4.33.1 - WE HAVE PROVIDED DESIGNATED AREA  
MEETING THE NUMBER OF SPACES REQ BY TABLE 11-4.1.2 (19)(a)  
PROVIDED 2 AREAS OF DESIGNATED SEATING & ACCOMMODATIONS  
Issue 8 WHEELCHAIR SPACES TOTAL (2 SEATS PER BLEACHER (4200))
- 2: 11-4.33.2 SIZE OF WHEELCHAIR LOCATIONS → REFER  
TO SHEET A211 FOR LOCATION & SIZE OF DESIGNATED AREA  
PROVIDED 2 AREAS 180" x 60"

**Issue**

- 3: 11-4.33.3 PLACEMENT OF WHEELCHAIR LOCATION (1) LINE OF SIGHT  
IS COMPARIBLE (2) ASSIGNS ACCESSIBLE MEANS OF EGRESS (3) ± COMPANION  
FIXES SHALL BE PROVIDED NEXT TO SEATING AREA. REFER TO SHEET  
8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of A-211 Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

WE BELIEVE WE MEET CONFORMANCE WITH THE  
APPLICABLE CODES: 11-4.33.1, 11-4.33.2, 11-4.33.3 & 11-4.1.2(19)(a)

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

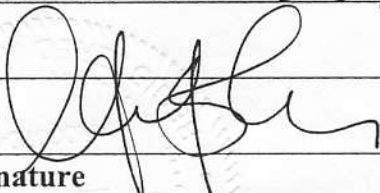
a. \_\_\_\_\_

b. \_\_\_\_\_

c. \_\_\_\_\_

10. Licensed Design Professional: Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

Comments by Design Professional provided in #7 & #8.

 \_\_\_\_\_  
Signature Printed Name

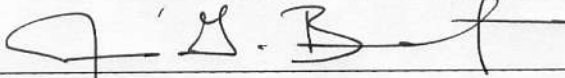
Phone number 407/648-5000

(SEAL)

**CERTIFICATION OF APPLICANT:**

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 30<sup>th</sup> day of March, 20 11

  
Signature

Joss G. Bonitez  
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

**REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.**

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. BLEACHERS DO NOT MEET THE REQUIREMENT FOR VERTICAL ACCESSIBILITY IN FBC BUILDING 11-4.1.3 (5)

b. \_\_\_\_\_

c. \_\_\_\_\_

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

[ ] Yes  No Cost of Construction \_\_\_\_\_

**Comments/Recommendation** \_\_\_\_\_

Jurisdiction ORANGE COUNTY

Building Official or Designee Cynthia Nielsen for ALAN PLANTE  
Signature

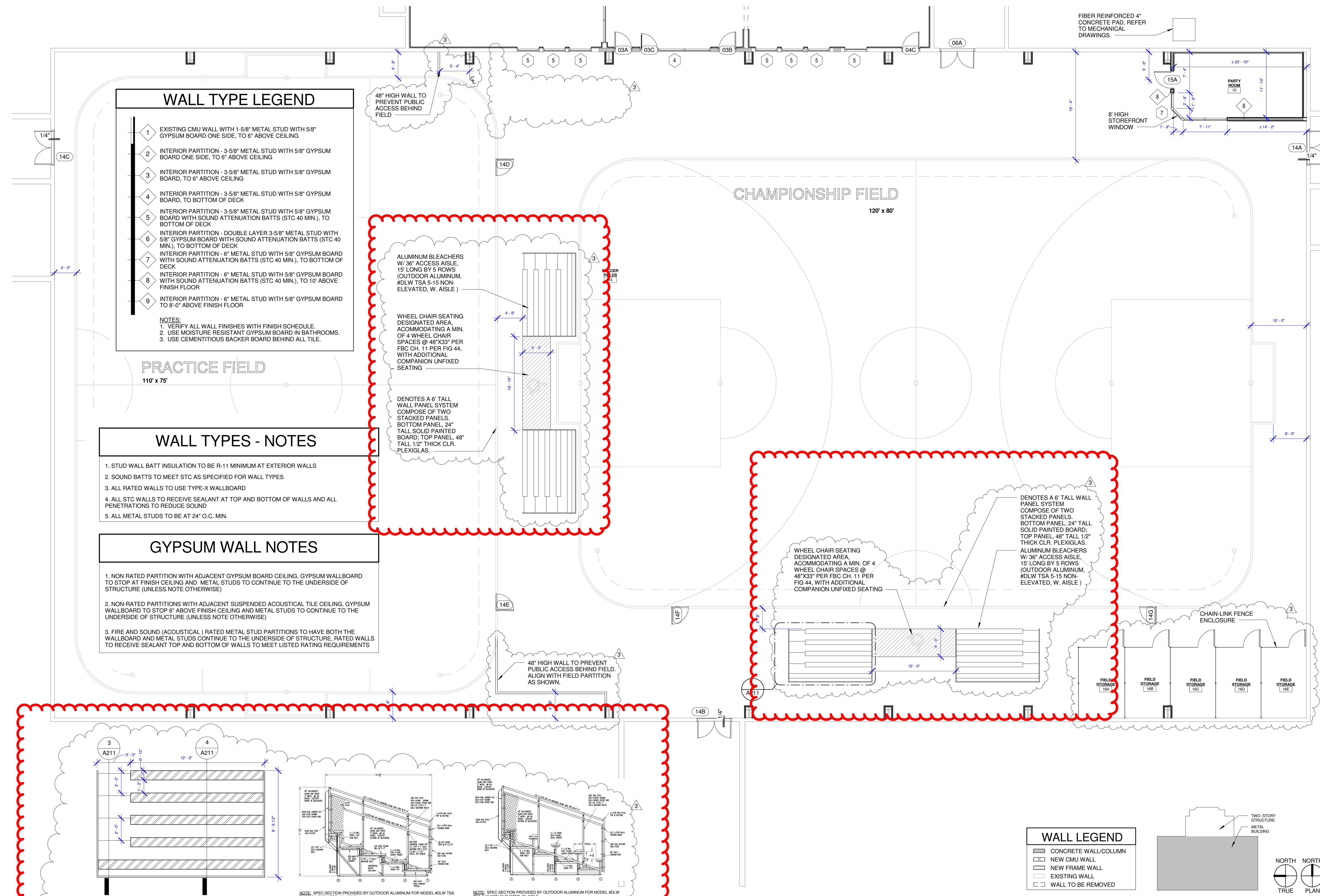
CYNTHIA D. NIELSEN  
Printed Name

BU 944  
Certification Number

407-836-5671 / 407-836-2977  
Telephone/FAX

Address: P.O. BOX 2687

ORLANDO, FL 32802 - 2687



### WALL TYPE LEGEND

1	EXISTING CMU WALL WITH 1-5/8" METAL STUD WITH 5/8" GYPSUM BOARD ONE SIDE, TO 6" ABOVE CEILING
2	INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD ONE SIDE, TO 6" ABOVE CEILING
3	INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD, TO 6" ABOVE CEILING
4	INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD, TO BOTTOM OF DECK
5	INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO BOTTOM OF DECK
6	INTERIOR PARTITION - DOUBLE LAYER 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO BOTTOM OF DECK
7	INTERIOR PARTITION - 6" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO BOTTOM OF DECK
8	INTERIOR PARTITION - 6" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO 10' ABOVE FINISH FLOOR
9	INTERIOR PARTITION - 6" METAL STUD WITH 5/8" GYPSUM BOARD TO 8'-0" ABOVE FINISH FLOOR

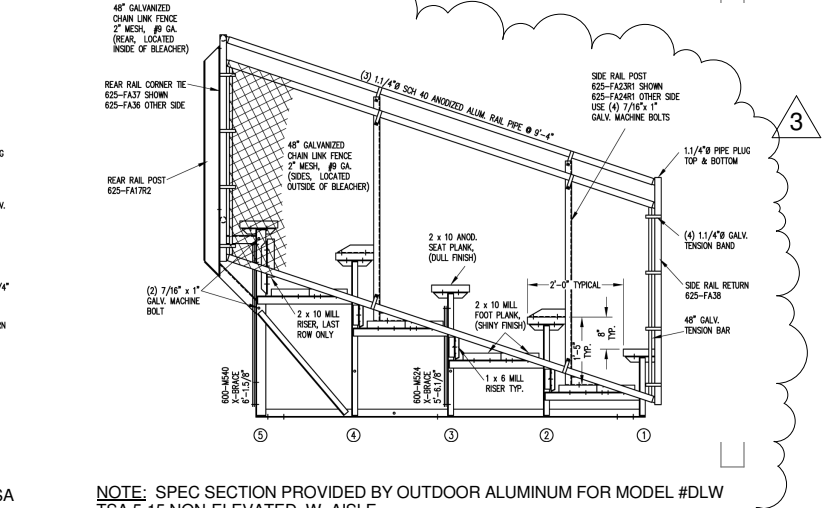
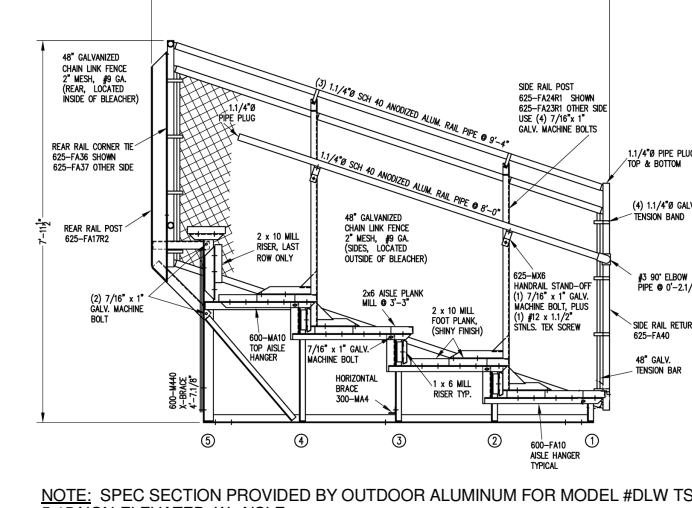
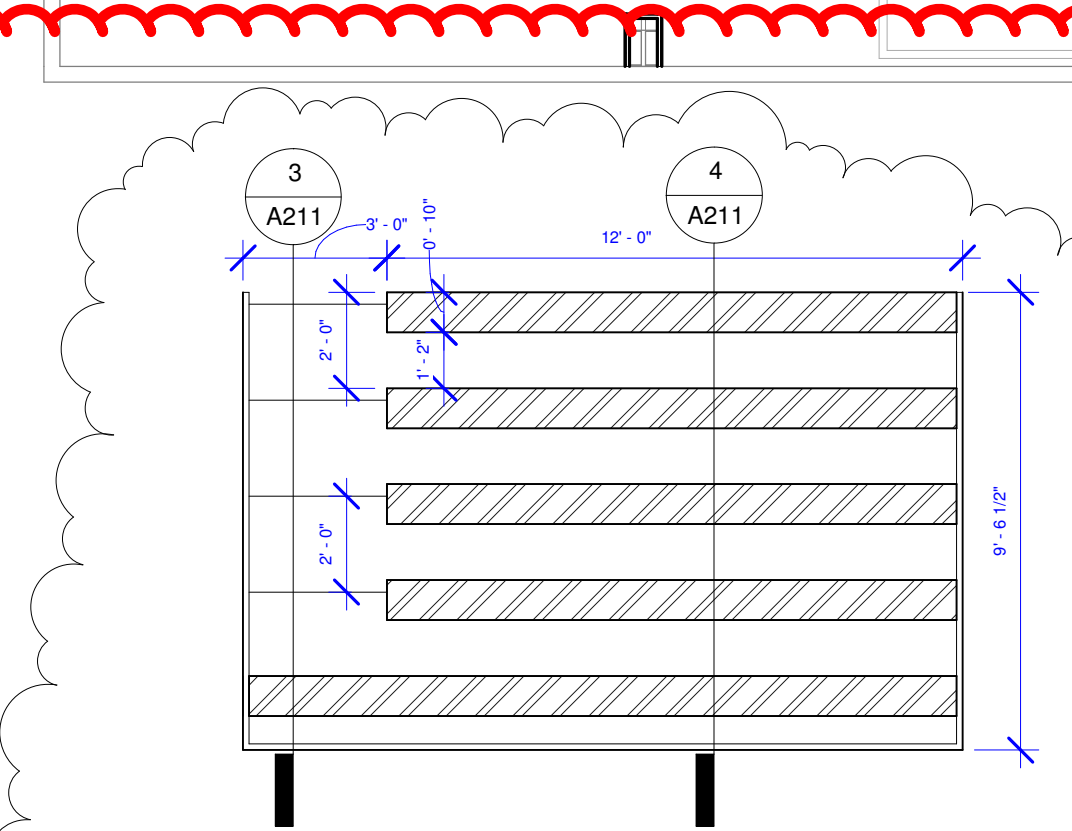
**NOTES:**  
 1. VERIFY ALL WALL FINISHES WITH FINISH SCHEDULE.  
 2. USE MOISTURE RESISTANT GYPSUM BOARD IN BATHROOMS.  
 3. USE CEMENTITIOUS BACKER BOARD BEHIND ALL TILE.

### WALL TYPES - NOTES

- STUD WALL BATT INSULATION TO BE R-11 MINIMUM AT EXTERIOR WALLS
- SOUND BATTS TO MEET STC AS SPECIFIED FOR WALL TYPES
- ALL RATED WALLS TO USE TYPE-X WALLBOARD
- ALL STC WALLS TO RECEIVE SEALANT AT TOP AND BOTTOM OF WALLS AND ALL PENETRATIONS TO REDUCE SOUND
- ALL METAL STUDS TO BE AT 24" O.C. MIN.

### GYPSUM WALL NOTES

- NON RATED PARTITION WITH ADJACENT GYPSUM BOARD CEILING, GYPSUM WALLBOARD TO STOP AT FINISH CEILING AND METAL STUDS TO CONTINUE TO THE UNDERSIDE OF STRUCTURE (UNLESS NOTE OTHERWISE)
- NON-RATED PARTITIONS WITH ADJACENT SUSPENDED ACOUSTICAL TILE CEILING, GYPSUM WALLBOARD TO STOP 6" ABOVE FINISH CEILING AND METAL STUDS TO CONTINUE TO THE UNDERSIDE OF STRUCTURE (UNLESS NOTE OTHERWISE)
- FIRE AND SOUND (ACOUSTICAL) RATED METAL STUD PARTITIONS TO HAVE BOTH THE WALLBOARD AND METAL STUDS CONTINUE TO THE UNDERSIDE OF STRUCTURE, RATED WALLS TO RECEIVE SEALANT TOP AND BOTTOM OF WALLS TO MEET LISTED RATING REQUIREMENTS



1 GROUND FLOOR PLAN  
1/4" = 1'-0"

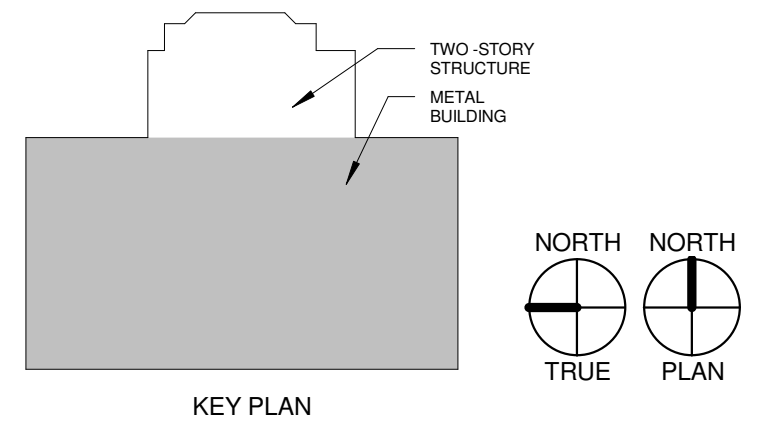
2 ALUMINUM BLEACHER SEATING  
1/4" = 1'-0"

3 AISLE SECTION  
1/4" = 1'-0"

4 SEATING SECTION  
1/4" = 1'-0"

### WALL LEGEND

- CONCRETE WALL/COLUMN
- NEW CMU WALL
- NEW FRAME WALL
- EXISTING WALL
- WALL TO BE REMOVED



SEAL

CONSULTANT

CLIENT

PROJECT

CIARAN MCARDLE

XL SOCCER WORLD ORLANDO

No.	Description	Date
	PERMIT SET	08.10.2010
1	PERMIT REVIEW COMMENTS	09.01.2010
2	PERMIT REVIEW COMMENTS #2	09.16.2010
3	REVISIONS TO THE PERMIT	03.11.2011

## GROUND FLOOR PLAN - METAL BUILDING

Project number	1254
Date	08.10.2010
Drawn by	JGB
Checked by	RGB

A211

# XL SOCCER WORLD ORLANDO

by Ciarán McArdle

825 Courtland Street  
Orlando, Florida 32804

REVISIONS TO THE PERMIT  
B10901920  
March 11, 2011

## LEGAL DESCRIPTION

From the West 1/4 corner of Section 2, Township 22 South, Range 29 East, run thence North 89°25'52" East along the South line of the Southwest 1/4 of the Northwest 1/4, a distance of 277.50 feet, thence North 02°01'58" West for a distance of 35.01 feet for a point of beginning, run thence North 02°01'58" West for a distance of 285.23 feet, thence North 05°10'09" East, a distance of 150.00 feet, thence North 88°05'11" East, a distance of 396.39 feet, thence South 00°34'08" East, a distance of 361.69 feet, thence North 89°25'52" East, a distance of 166.00 feet, thence South 00°34'08" East a distance of 92.00 feet to a point 35 feet North of the South line of said Southwest 1/4 of the Northwest 1/4, thence South 89°25'52" West, a distance of 570.00 feet to the point of beginning.

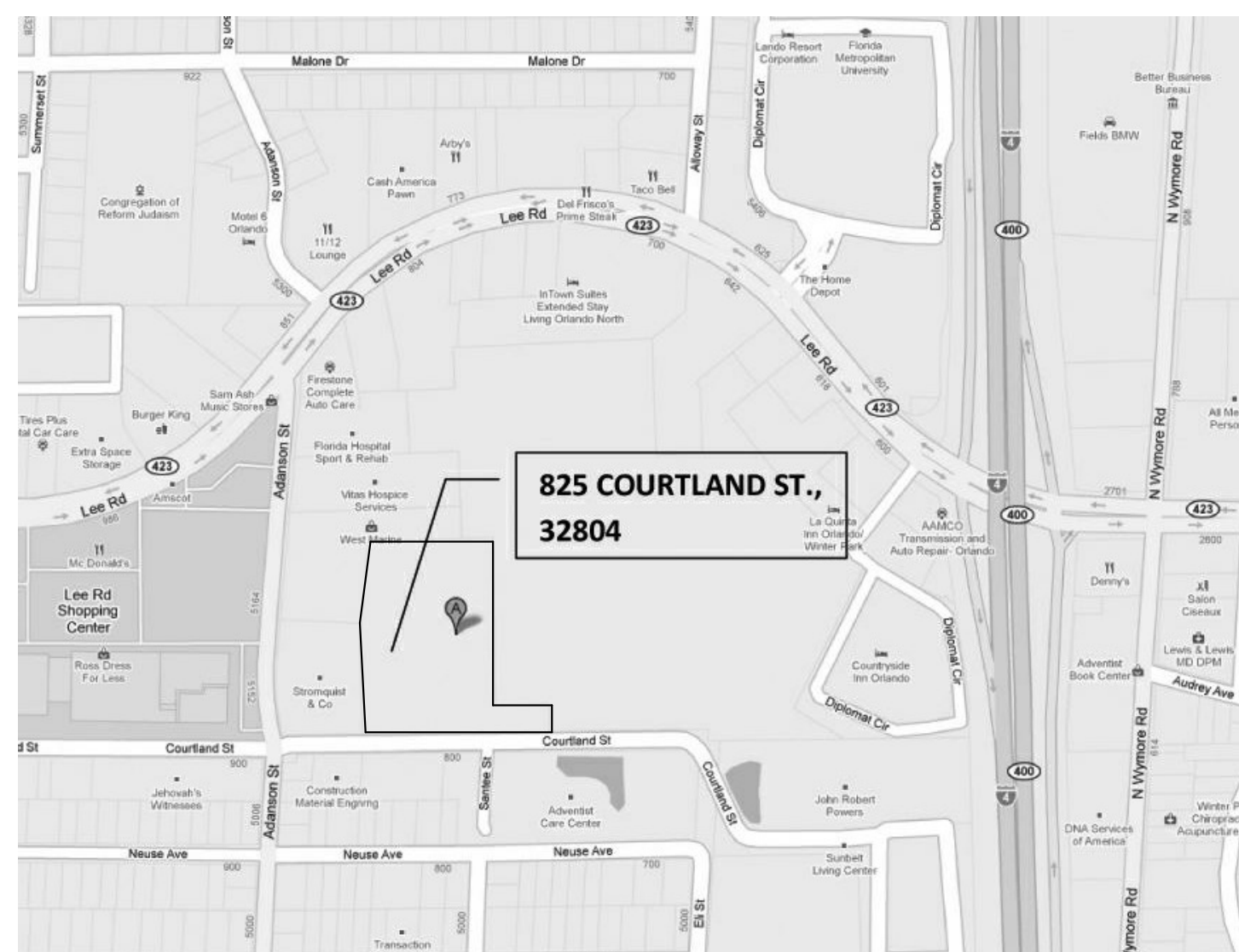
ALSO:

From the West 1/4 corner of Section 2, Township 22 South, Range 29 East, run thence North 89°25'52" East along the Southline of the Southwest 1/4 of the Northwest 1/4 a distance of 277.50 feet, thence North 02°01'58" West, a distance of 35.01 feet, run thence North 02°01'58" West, a distance of 285.23 feet, thence North 05°10'09" East, a distance of 150.00 feet to the point of beginning, thence North 05°10'09" East, a distance of 150 feet, thence North 88°05'11" East a distance of 381.40 feet more or less, thence South 00°34'08" East a distance of 148.90 feet more or less to a set iron pipe, thence South 88°05'11" West a distance of 396.39 feet more or less to a set iron pipe and the point of beginning.

PARCEL ID: 02-22-29-0000-00-016

## ISSUE RECORD

No.	DESCRIPTION	DATE
	PERMIT SET	08.10.2010
1	PERMIT REVIEW COMMENTS	09.01.2010
2	PERMIT REVIEW COMMENTS #2	09.16.2010
3	REVISIONS TO THE PERMIT	03.11.2011



## ARCHITECT'S NOTES

THE ARCHITECT'S DOCUMENTS ONLY REPRESENT INFORMATION SUFFICIENT FOR THE CONTRACTOR TO BEGIN "THE CONTRACTOR'S REQUIRED WORK," WHICH INCLUDES THE PREPARATION OF DETAILED CONSTRUCTION DOCUMENTS, MORE COMMONLY KNOWN AS SHOP DRAWINGS AND SUBMITTALS, COORDINATION DRAWINGS, AND ALTERNATE SKETCHES, ALL OF WHICH SET OUT THE SPECIFIC AND FINAL DETAILS REQUIRED FOR PROCEEDING AND PLACING THE FINISHED WORK. BY CONTRAST, DRAWINGS BY ARCHITECTS MERELY REFLECT THE FINISHED DESIGN OF THE WORK.

IT IS IMPORTANT THAT ALL PARTIES UNDERSTAND THAT CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO BE A COMPLETE SET OF INSTRUCTIONS ON HOW TO CONSTRUCT A BUILDING. CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SITE SAFETY PRECAUTIONS ARE CUSTOMARILY ASSIGNED AS RESPONSIBILITIES OF THE CONTRACTOR TO GIVE THE CONTRACTOR FULL LATITUDE IN PREPARING BIDS AND CARRYING OUT THE CONSTRUCTION PHASE. THE ARCHITECT'S HANDBOOK OF PROFESSIONAL PRACTICE, 13TH ED., IN SECTION 13.4, "CONSTRUCTION DOCUMENTS PRODUCTION."

SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND SIMILAR SUBMITTALS ARE NOT CONTRACT DOCUMENTS. THE PURPOSE OF THEIR SUBMITTAL IS TO DEMONSTRATE FOR THOSE PORTIONS OF THE WORK FOR WHICH SUBMITTALS ARE REQUIRED BY THE CONTRACT DOCUMENTS THE WAY BY WHICH THE CONTRACTOR PROPOSES TO CONFORM TO THE INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS. SECTION 3.12.4 OF AIA DOCUMENT 201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.

BY APPROVING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND SIMILAR SUBMITTALS, THE CONTRACTOR REPRESENTS THAT THE CONTRACTOR HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERE TO, OR WILL DO SO, AND HAS CHECKED AND COORDINATED THE INFORMATION CONTAINED WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS. SECTION 3.12.6 OF AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.

THE CONTRACTOR SHALL FIRST CHECK EACH SUBMITTAL AND COORDINATED IT WITH FIELD CONDITIONS AND THE REQUIREMENTS OF THE WORK BEFORE SUBMITTING IT TO THE ARCHITECT OR ENGINEER TO REVIEW FOR CONFORMANCE WITH THE INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS.

THE ARCHITECT REQUIRES COORDINATION DRAWINGS TO BE ORIGINAL, DETAILED COMPARISONS OF THE VARIOUS TRADES, AND RECOGNIZES THAT THE ARCHITECT'S DRAWINGS WILL LIKELY BE IN CONFLICT WITH SELECTED EQUIPMENT AND REQUIRED CLEARANCES TO THE EXTENT THAT THE COORDINATION IS NECESSARY AND ADVISABLE. THE CONTRACTOR IS SPECIFICALLY DIRECTED TO PROVIDE SKETCHES FOR RESOLUTION OF SUCH PREDICTABLE CONFLICTS.

THE CONSTRUCTOR SHALL BE IN CHARGE OF DETERMINING HOW THE WORK WILL BE DIVIDED ONTO SEPARATE TRADES, HOW THE WORK WILL BE BID AND PURCHASED, HOW THE PURCHASED PRODUCTS AND SYSTEMS WILL BE COORDINATED AND INCORPORATED INTO THE COMPLETED WORK, AND THAT THE WORK WILL BE IN CONFORMANCE WITH THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT. SECTION 3.3.2 OF AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.

THE PURPOSE OF THE DIMENSIONS GIVEN IN THE ARCHITECT'S DRAWINGS IS TO DEFINE THE LIMITS OF AND PROVIDE GUIDANCE FOR PLACEMENT OF THE ELEMENTS OF THE WORK.

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PENINSULA  
ENGINEERING  
INC.

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 EB 3089  
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 EMAIL: PEI@PENILA.COM







LIFE SAFETY - EGRESS SCHEDULE						
NUMBER	ROOM NAME	FUNCTION OF SPACE	SF/OCC	AREA	OCC LOAD NFPA	EGRESS REQ.
01	COVERED ENTRY			663 SF		
02	RECEPTION DESK	BUSINESS	100 (G)	77 SF	1	0.2"
03	HALL OF FAME	ASSEMBLY-CON	7 (N)	1269 SF	181	36.2"
04	FUTURE SNACK BAR	ASSEMBLY-UNCON	15 (N)	1640 SF	109	21.8"
05	MECHANICAL			103 SF		
06	ELECTRICAL ROOM			228 SF		
07	XL OFFICE	BUSINESS	100 (G)	665 SF	7	1.4"
08	XL TRAVEL	BUSINESS	100 (G)	242 SF	3	0.6"
09	HVAC CLOSET			79 SF		
10	MEN'S RESTROOM			183 SF		
11	JANITOR'S CLOSET	STORAGE	300 (G)	25 SF	1	0.2"
12	WC			54 SF		
13	WOMEN'S RESTROOM			196 SF		
14	SOCCER FIELDS	GYMNASIUM		25884 SF	SEE NOTE*	194.8"
15	PARTY ROOM	ASSEMBLY-UNCON	15 (N)	269 SF	18	3.6"
16A	FIELD STORAGE	STORAGE	300 (G)	100 SF	1	0.4"
16B	FIELD STORAGE	STORAGE	300 (G)	95 SF	1	
16C	FIELD STORAGE	STORAGE	300 (G)	97 SF	1	
16D	FIELD STORAGE	STORAGE	300 (G)	98 SF	1	
16E	FIELD STORAGE	STORAGE	300 (G)	100 SF	1	
21	SHELL SPACE	FUTURE BUSINESS	100 (G)	4907 SF	SEE NOTE**	14.7"

\* **NOTE:** For the purpose calculating occupancy load in Room #14 Soccer Field, the following was taken into consideration:  
 - PLAYING FIELDS - Calculated at 1 person/50 SF - Practice Field 8,277 SF / 50 = 166  
 Championship Field 9,627 SF / 50 = 193  
 Total occupant load for the playing field is **359 occupants**.  
 - BLEACHER TYPE SEATING - Calculated at 1 person/18" LF, which total 42 person per bleacher seating area. Four bleacher seating areas provided for total occupant load of **168 occupants**.  
 - ASSEMBLY UNCONCENTRATED - Calculated at 1 person/ 15 NET area:

AREA CALCULATIONS:

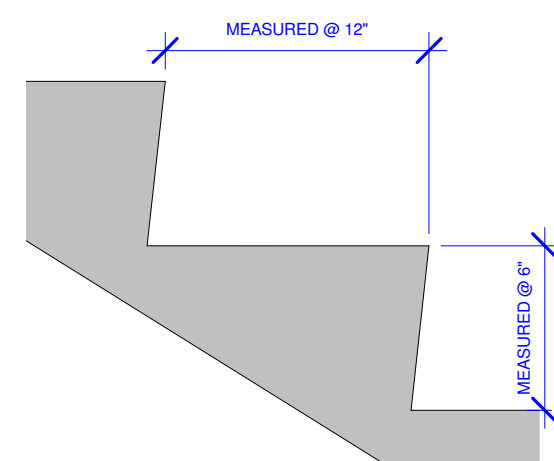
TOTAL NET SPACE	25,823 SF
(-) PRACTICE FIELD	8,277 SF
(-) INTERSTITIAL SPACE	1,130 SF
(-) CHAMPIONSHIP FIELD	9,627 SF
(-) BLEACHER AREA (143 SF X4)	572 SF
(=) TOTAL AREA	6,217 SF / 15 NET = 415 occupants.

- **TOTAL OCCUPANCY FOR ROOM #14 IS = 942**

\*\* **NOTE:** SECOND FLOOR IS NOT IN CONTRACT. MINIMUM LIFE SAFETY WILL BE PROVIDED IN THE SECOND FLOOR, INCLUDING FIRE SPRINKLERS, EMERGENCY LIGHTING, FIRE ALARM, AND FIRE EXIT SIGNS. FOR THE PURPOSE OF LIFE SAFETY, OCCUPANCY LOAD WAS CALCULATED AS A BUSINESS OCCUPANCY AT AN OCCUPANCY LOAD OF 49 OCCUPANTS.

LIFE SAFETY SYMBOL LEGEND

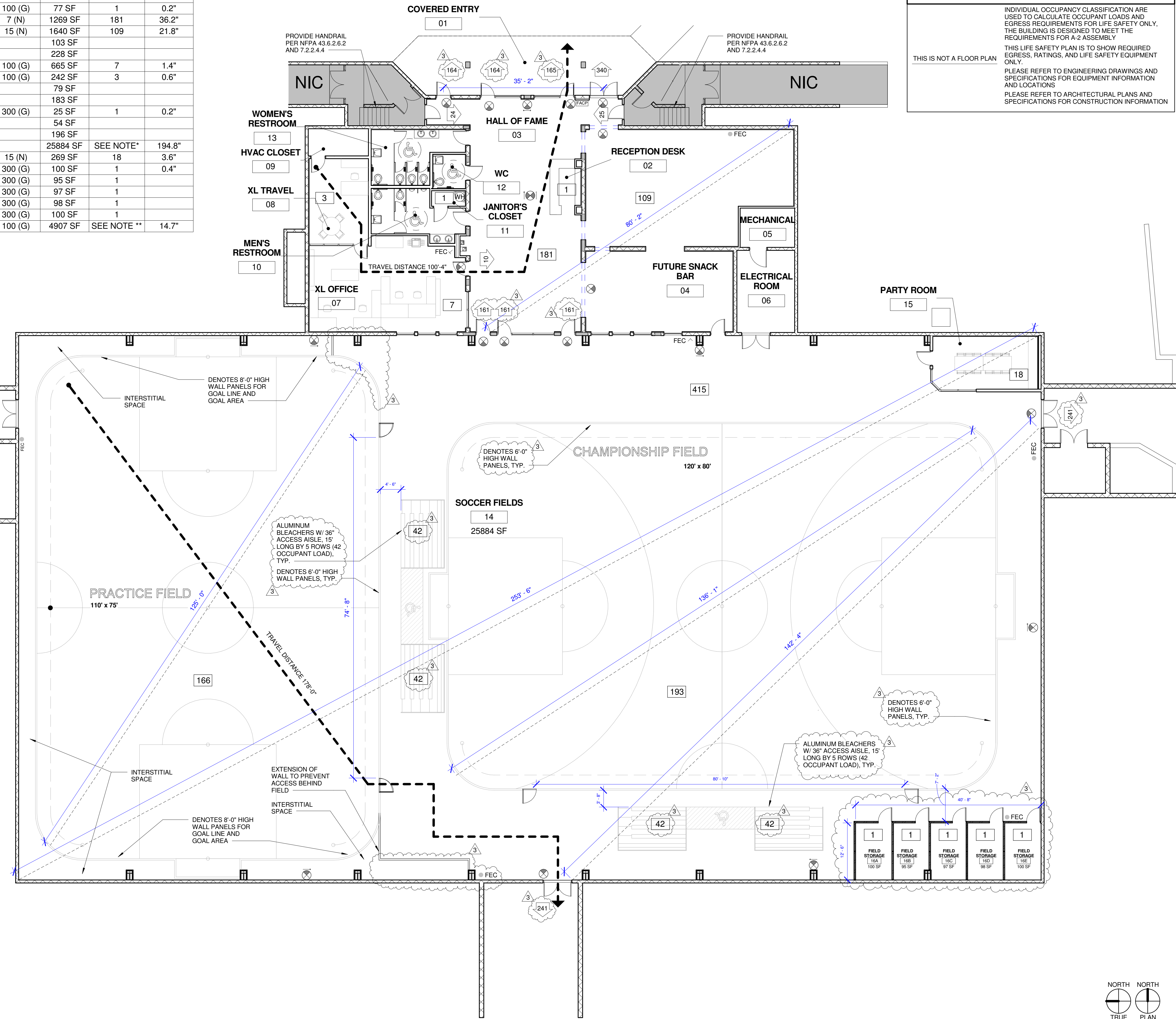
	EXIT LIGHT (REFER TO ELECTRICAL DWG'S)
	EMERGENCY LIGHT (REFER TO ELECTRICAL DWG'S)
	CALCULATED EGRESS OCCUPANT LOAD FOR DOOR/STAIR/RAMP
	TRAVEL DISTANCE
	FIRE ALARM CONTROL PANEL
	SURFACE MOUNTED TYPE 4A60BC FIRE EXTINGUISHER PER SPECIFICATIONS W/ SURFACE MOUNTED CABINET
	CALCULATED OCCUPANT LOAD FOR ROOM/SPACE



NOTE: EXISTING STAIR MEET THE REQUIREMENTS OF NFPA TABLE 7.2.2.2.1.1 (b)

2 EXISTING STAIR TREAD  
1 1/2" = 1'-0"

1 GROUND FLOOR PLAN  
3/32" = 1'-0"



**LIFE SAFETY GENERAL NOTES**

INDIVIDUAL OCCUPANCY CLASSIFICATION ARE USED TO CALCULATE OCCUPANT LOADS AND EGRESS REQUIREMENTS FOR LIFE SAFETY ONLY. THE BUILDING IS DESIGNED TO MEET THE REQUIREMENTS FOR A-2 ASSEMBLY

THIS LIFE SAFETY PLAN IS TO SHOW REQUIRED EGRESS, RATINGS, AND LIFE SAFETY EQUIPMENT ONLY.

PLEASE REFER TO ENGINEERING DRAWINGS AND SPECIFICATIONS FOR EQUIPMENT INFORMATION AND LOCATIONS

PLEASE REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR CONSTRUCTION INFORMATION

THIS IS NOT A FLOOR PLAN

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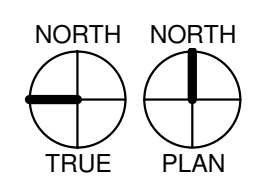
CLIENT **CIARAN MCARDLE**

PROJECT **XL SOCCER WORLD ORLANDO**

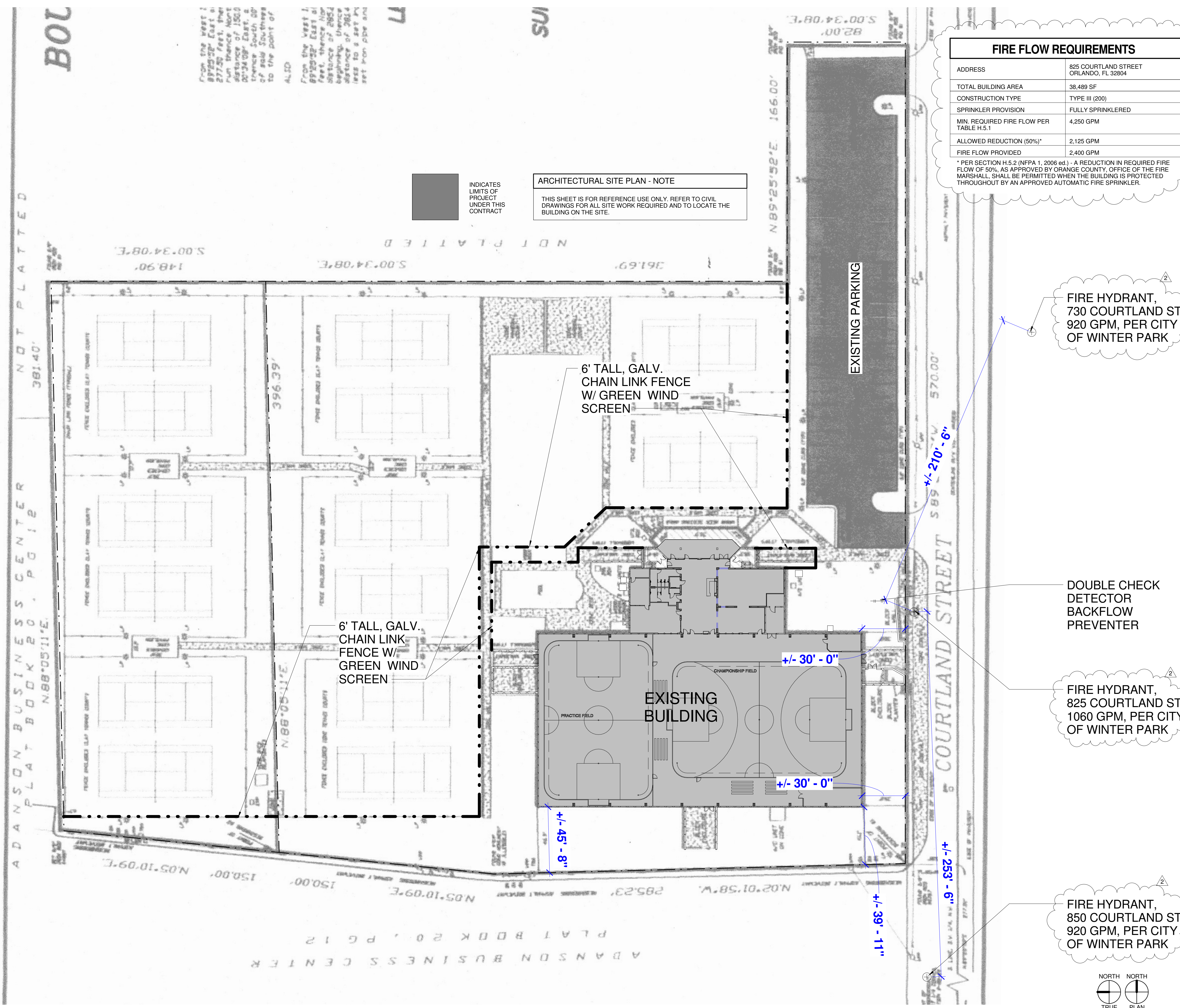
No.	Description	Date
	PERMIT SET	08.10.2010
1	PERMIT REVIEW COMMENTS	09.01.2010
2	PERMIT REVIEW COMMENTS #2	09.16.2010
3	REVISIONS TO THE PERMIT	03.11.2011

**LIFE SAFETY PLAN**

Project number	1254
Date	08.10.2010
Drawn by	JGB
Checked by	RGB



**G111**



FIRE FLOW REQUIREMENTS	
ADDRESS	825 COURTLAND STREET ORLANDO, FL 32804
TOTAL BUILDING AREA	38,489 SF
CONSTRUCTION TYPE	TYPE III (200)
SPRINKLER PROVISION	FULLY SPRINKLERED
MIN. REQUIRED FIRE FLOW PER TABLE H.5.1	4,250 GPM
ALLOWED REDUCTION (50%)*	2,125 GPM
FIRE FLOW PROVIDED	2,400 GPM

\* PER SECTION H.5.2 (NFPA 1, 2006 ed.) - A REDUCTION IN REQUIRED FIRE FLOW OF 50%, AS APPROVED BY ORANGE COUNTY, OFFICE OF THE FIRE MARSHALL, SHALL BE PERMITTED WHEN THE BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC FIRE SPRINKLER.

**ARCHITECTURAL SITE PLAN - NOTE**

THIS SHEET IS FOR REFERENCE USE ONLY. REFER TO CIVIL DRAWINGS FOR ALL SITE WORK REQUIRED AND TO LOCATE THE BUILDING ON THE SITE.

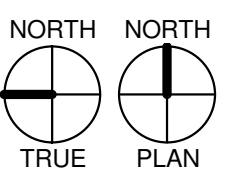
INDICATES LIMITS OF PROJECT UNDER THIS CONTRACT

FIRE HYDRANT, 730 COURTLAND ST, 920 GPM, PER CITY OF WINTER PARK

DOUBLE CHECK DETECTOR BACKFLOW PREVENTER

FIRE HYDRANT, 825 COURTLAND ST, 1060 GPM, PER CITY OF WINTER PARK

FIRE HYDRANT, 850 COURTLAND ST, 920 GPM, PER CITY OF WINTER PARK



1 ARCHITECTURAL SITE PLAN  
1/32" = 1'-0"

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XL SOCCER WORLD ORLANDO

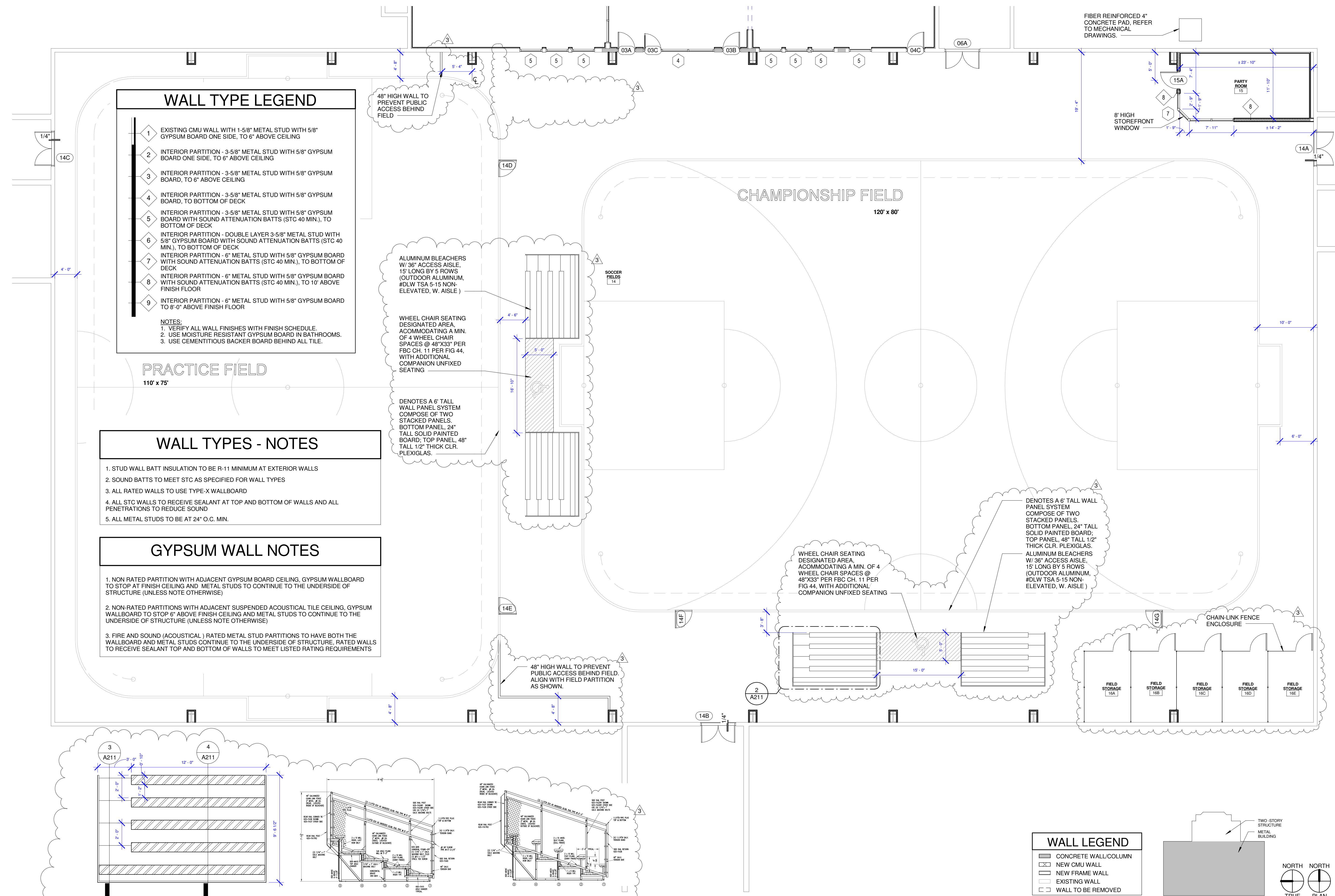
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ARCHITECTURAL SITE PLAN

Project number	1254
Date	08.10.2010
Drawn by	JGB
Checked by	RGB

A101

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### WALL TYPE LEGEND

- 1 EXISTING CMU WALL WITH 1-5/8" METAL STUD WITH 5/8" GYPSUM BOARD ONE SIDE, TO 6" ABOVE CEILING
- 2 INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD ONE SIDE, TO 6" ABOVE CEILING
- 3 INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD, TO 6" ABOVE CEILING
- 4 INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD, TO BOTTOM OF DECK
- 5 INTERIOR PARTITION - 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO BOTTOM OF DECK
- 6 INTERIOR PARTITION - DOUBLE LAYER 3-5/8" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO BOTTOM OF DECK
- 7 INTERIOR PARTITION - 6" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO 10' ABOVE FINISH FLOOR
- 8 INTERIOR PARTITION - 6" METAL STUD WITH 5/8" GYPSUM BOARD WITH SOUND ATTENUATION BATTS (STC 40 MIN.), TO 10' ABOVE FINISH FLOOR
- 9 INTERIOR PARTITION - 6" METAL STUD WITH 5/8" GYPSUM BOARD TO 8'-0" ABOVE FINISH FLOOR

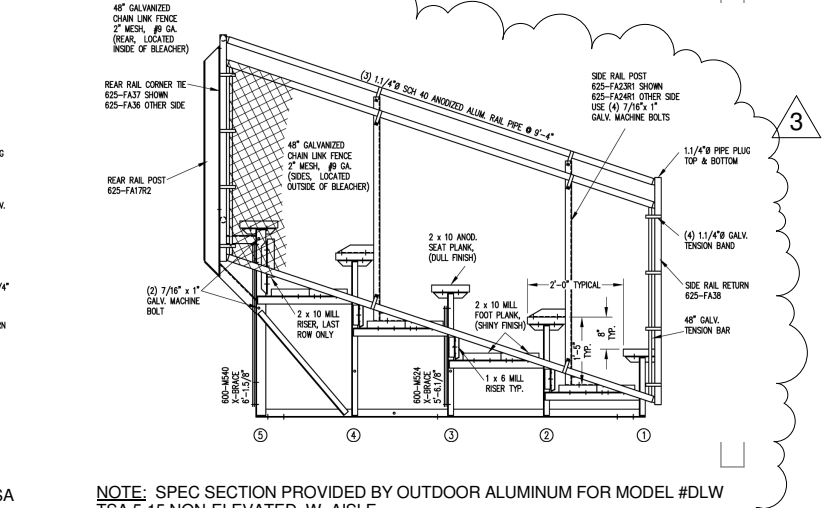
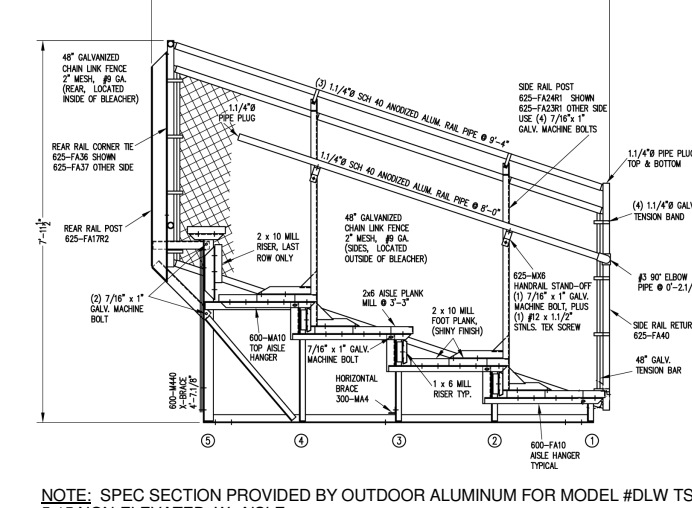
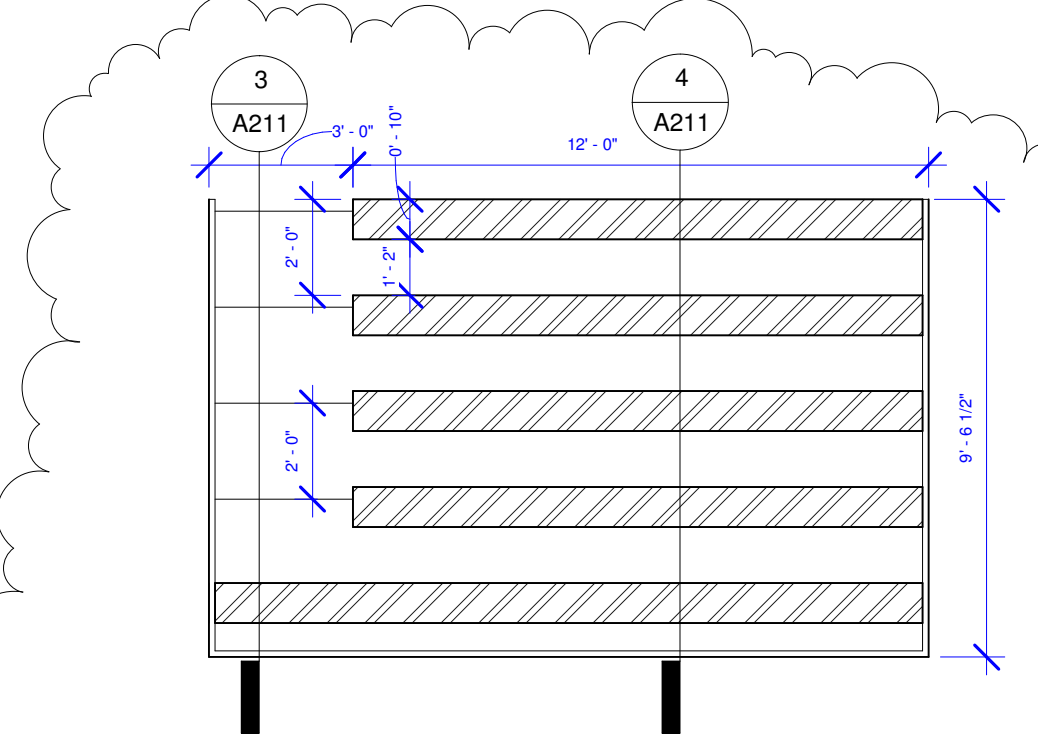
**NOTES:**  
 1. VERIFY ALL WALL FINISHES WITH FINISH SCHEDULE.  
 2. USE MOISTURE RESISTANT GYPSUM BOARD IN BATHROOMS.  
 3. USE CEMENTITIOUS BACKER BOARD BEHIND ALL TILE.

### WALL TYPES - NOTES

1. STUD WALL BATT INSULATION TO BE R-11 MINIMUM AT EXTERIOR WALLS
2. SOUND BATTS TO MEET STC AS SPECIFIED FOR WALL TYPES
3. ALL RATED WALLS TO USE TYPE-X WALLBOARD
4. ALL STC WALLS TO RECEIVE SEALANT AT TOP AND BOTTOM OF WALLS AND ALL PENETRATIONS TO REDUCE SOUND
5. ALL METAL STUDS TO BE AT 24" O.C. MIN.

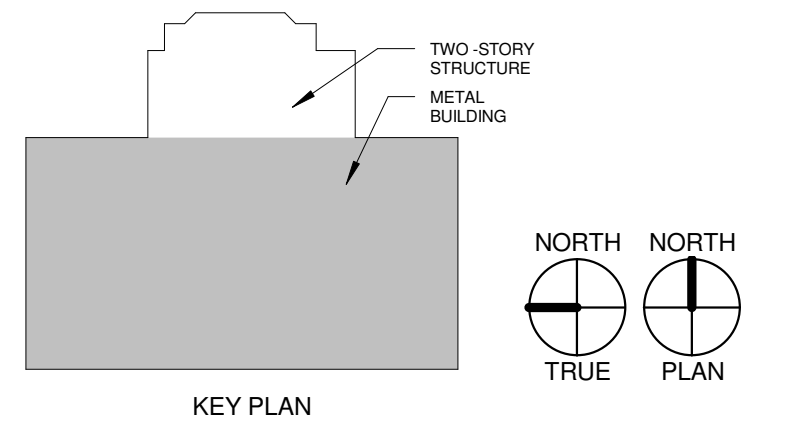
### GYPSUM WALL NOTES

1. NON RATED PARTITION WITH ADJACENT GYPSUM BOARD CEILING, GYPSUM WALLBOARD TO STOP AT FINISH CEILING AND METAL STUDS TO CONTINUE TO THE UNDERSIDE OF STRUCTURE (UNLESS NOTE OTHERWISE)
2. NON-RATED PARTITIONS WITH ADJACENT SUSPENDED ACOUSTICAL TILE CEILING, GYPSUM WALLBOARD TO STOP 6" ABOVE FINISH CEILING AND METAL STUDS TO CONTINUE TO THE UNDERSIDE OF STRUCTURE (UNLESS NOTE OTHERWISE)
3. FIRE AND SOUND (ACOUSTICAL) RATED METAL STUD PARTITIONS TO HAVE BOTH THE WALLBOARD AND METAL STUDS CONTINUE TO THE UNDERSIDE OF STRUCTURE. RATED WALLS TO RECEIVE SEALANT TOP AND BOTTOM OF WALLS TO MEET LISTED RATING REQUIREMENTS



### WALL LEGEND

- CONCRETE WALL/COLUMN
- NEW CMU WALL
- NEW FRAME WALL
- EXISTING WALL
- WALL TO BE REMOVED



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PROJECT

CIARAN MCARDLE

XL SOCCER WORLD  
ORLANDO

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## GROUND FLOOR PLAN - METAL BUILDING

Project number	1254
Date	08.10.2010
Drawn by	JGB
Checked by	RGB