

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: CAMILLIS HOUSE CENTER

Address: 1603 N.W. 7th. AVE
MIAMI, FL 33127

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: WOLFBERG, ALVAREZ AND PARTNERS (MARCEL MORLOTE)

Applicant's Address: 3225 AVIATION AVE., MIAMI, FL 33133

Applicant's Telephone: (305) 666-5474 FAX: (305) 740-0738

Applicant's E-mail Address: RLABRADA@WOLFBERGALVAREZ.COM

Relationship to Owner: ARCHITECT

Owner's Name: CAMILLIS HOUSE INC.

Owner's Address: 336 NW 5th. STREET, MIA, FL 33128

Owner's Telephone: (305) 374-1065 FAX (305) 372-1402

Owner's E-mail Address: CJMATHERNE@CAMILLIS.ORG

Signature of Owner: 

Contact Person: C.J. MATHERNE

Contact Person's Telephone: (305) 374-1065 E-mail Address: CJMATHERNE@CAMILLIS.ORG

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Form No. 2001-01

3. Please check one of the following:

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

BUILDING "B" AT CAMILLIS HOUSE CAMPUS WHICH INCLUDES
DINING HALL, OFFICES, FITNESS and an AUDITORIUM for 124.
THIS BLDG. HAS 3 STORIES and 25,869 SF.

5. **Project Construction Cost** (Provide cost for new construction, the addition or the alteration):

THE COST OF BLDG. "B" IS APPROXIMATE \$2,964,857

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

DURING TEMPORARY CERTIFICATE OF OCCUPANCY, THE
CITY OF MIAMI'S B&Z DEPT. HAS REQUESTED WAIVER.

AT TIME OF REQUEST FROM CITY, BUILDING WAS GENERALLY
SUBSTANTIALLY COMPLETE.

INSPECTIONS

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

THE CITY OF MIAMI HAS REFERENCED ²⁰⁰⁷ FBC 11-4.1.3⁽⁵⁾ THAT VERTICAL
1: ACCESSIBILITY BE PROVIDED TO ALL LEVELS OF A G LEVEL, 124 SEAT
AUDITORIUM (SEE ATTACHED PLANS). REFER TO DESIGN PROFESSIONAL'S
COMMENTS IN ITEM #10 OF THIS APPLICATION.

Issue

2: _____

Issue

3: _____

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.
THE AUDITORIUM IS USED BY THE RESIDENTS FOR MEETINGS, LECTURES, VIEWING OF
FILMS AND OTHER SIMILAR PURPOSES. ADA COMPLIANT SPACES ARE PROPOSED FOR THE
LOWER LEVEL OF THE G LEVEL, 124 SEAT SPACE.
THE ADA SPACES ARE DISPERSED ON THE LOW LEVEL.
THE INTRODUCTION OF A RAMPING SYSTEM WOULD SIGNIFICANTLY REDUCE AVAILABLE
SEATING.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

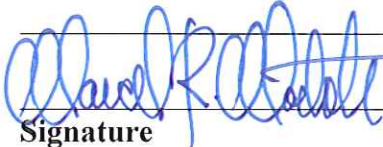
a. N/A

b. _____

c. _____

10. Licensed Design Professional: Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

IT IS MY INTERPRETATION THAT OUR DESIGN SATISFIES THE REQUIREMENTS OF
FBC 11-4.33:3 FOR PLACEMENT OF WHEELCHAIR LOCATIONS. NOTE SEATING
CAPACITY IS LESS THAN 300.



Signature

MARCEL R. MORLOTE

Printed Name

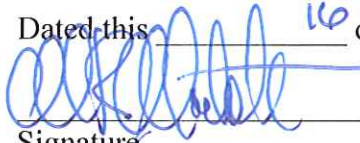
Phone number: (305) 666-5474 X-257

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 16 day of APRIL, 20 12



Signature

MARCEL MORLOTE

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

- a. FBC 2007 - 11-4.1.3 (5) VERTICAL ACCESSIBILITY TO ALL LEVELS, AT AUDITORIUM FOR IMA.
- b. _____
- c. _____

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction \$2,964,857 (BUILDING B).

Comments/Recommendation FLORIDA BUILDING COMMISSION TO ADVISE.

Jurisdiction CITY OF MIAMI,

Building Official or Designee _____
Signature 

MARIANO V. FERNANDEZ
Printed Name

BU 689
Certification Number

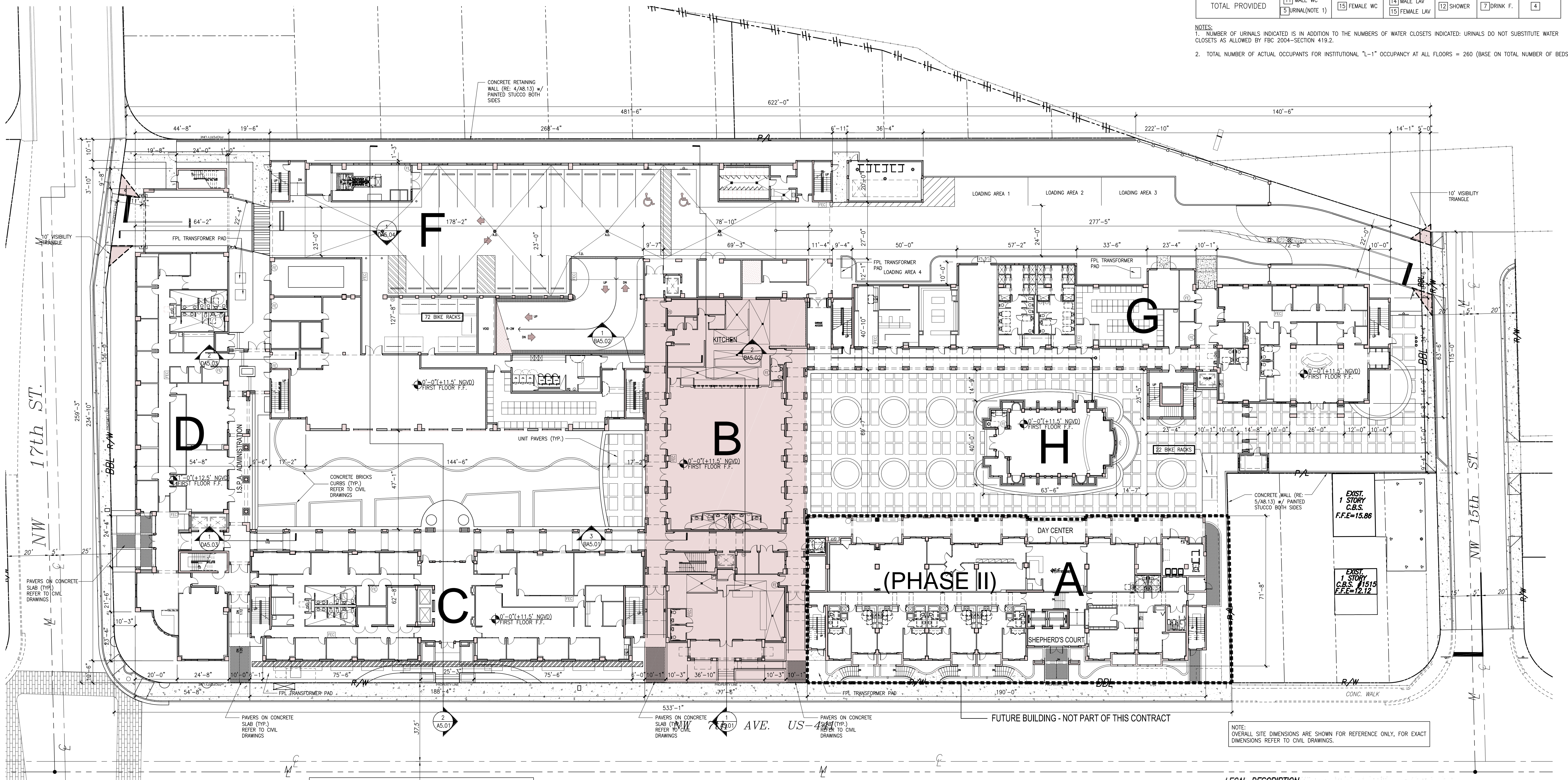
(305) 462 1101 - (305) 416 2168
Telephone/FAX

Address: 444 SW 2 Ave, 4th Fl
MIAMI, FL 33130

PLUMBING FIXTURE REQUIREMENTS--FIRST FLOOR AS PER FLORIDA PLUMBING CODE 2004, (TABLE 403.1)

OCCUPANCY CLASSIFICATION	OCCUPANT LOAD (REFER TO CALCULATIONS ON LIFE SAFETY PLANS)						SUB TOTAL	MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES					
	AREA "B" OCC.	AREA "C" OCC.	AREA "D" OCC.	AREA "F" OCC.	AREA "G" OCC.	AREA "H" OCC.		MALE WC	FEMALE WC	LAVATORIES	SHOWERS	DRINKING FOUNTAIN	SERVICE SINK
ASSEMBLY A-2	365	—	—	—	—	—	365 (183M 183F)	1 PER 75 3 WC (REQ.)	1 PER 75 3 WC (REQ.)	1 PER 200 1M LAV 1F LAV (REQ.)	—	1 PER 500 1 DRINK F. (REQ.)	1
ASSEMBLY A-3	—	—	—	—	—	170	170 (85M 85F)	1 PER 150 1 WC (REQ.)	1 PER 75 2 WC (REQ.)	1 PER 200 1M LAV 1F LAV (REQ.)	—	1 PER 1,000 1 DRINK F. (REQ.)	1
BUSINESS B	—	130	245	—	106	—	481 (241M 241F)	1 PER 25 FOR FIRST 50 1 PER 50 FOR REMAINDER 6 WC (REQ.)	1 PER 25 FOR FIRST 50 1 PER 50 FOR REMAINDER 6 WC (REQ.)	1 PER 40 FOR FIRST 50 1 PER 80 FOR REMAINDER 4M LAV 4F LAV (REQ.)	—	—	—
TOTAL REQUIRED								9 MALE WC	10 FEMALE WC	6 MALE LAV 6 FEMALE LAV	0 SHOWER	2 DRINK F.	2
TOTAL PROVIDED								11 MALE WC 5 URINAL(NOTE 1)	15 FEMALE WC	14 MALE LAV 15 FEMALE LAV	12 SHOWER	17 DRINK F.	4

NOTES:
 1. NUMBER OF URINALS INDICATED IS IN ADDITION TO THE NUMBERS OF WATER CLOSETS INDICATED: URINALS DO NOT SUBSTITUTE WATER CLOSETS AS ALLOWED BY FBC 2004-SECTION 419.2.
 2. TOTAL NUMBER OF ACTUAL OCCUPANTS FOR INSTITUTIONAL "L-1" OCCUPANCY AT ALL FLOORS = 260 (BASE ON TOTAL NUMBER OF BEDS).



LEGEND

AREA A	SHEPHERD'S COURT (N.I.C.)
AREA B	FOOD SERVICE CAMILLUS CAFE / MARKET
AREA C	SOUTH FLORIDA WORKFORCE HOMELESS PREVENTION HUMAN RESOURCES
AREA D	I.S.P.A. ADMINISTRATION
AREA E	J.O.B. ADMINISTRATION
AREA F	PARKING GARAGE KENNEL MAINTENANCE / STORAGE
AREA G	INTAKE DIRECT CARE SERVICES
AREA H	CHAPEL

COMPREHENSIVE FIRST FLOOR PLAN / SITE PLAN
 SCALE: 1" = 20'-0"

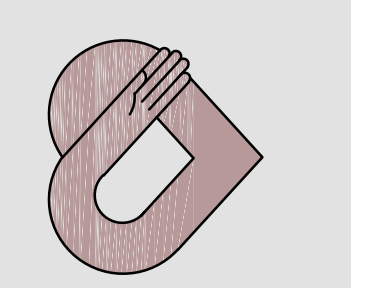
REVISION 10 NOTE:
 THIS REVISION 10 INCLUDES THE LOCATION OF FIRE EXTINGUISHERS,
 EITHER BRACKET MOUNTED OR IN CABINETS.
 (E) BRACKET MOUNTED FIRE EXTINGUISHER
 (F) FIRE EXTINGUISHER IN CABINET

LEGAL DESCRIPTION

WEST PARCEL:
 TRACTS "A" AND "B", FLORIDA GLASS AND MIRROR SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 79, PAGE 25, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.
 TOGETHER WITH:
 EAST PARCEL (SHOWN FOR INFORMATION PURPOSES ONLY) (PER BISCAYNE ENGINEERING SURVEY)
 LOTS 13 THROUGH 19, BLOCK 3; LOTS 12 THROUGH 18, BLOCK 4; THE 15 FOOT WIDE ALLEYS LYING WEST OF AND ADJACENT TO SAID BLOCKS 3 AND 4 AND PORTIONS OF NW 16TH STREET AND NW 6TH PLACE, ALL ACCORDING TO THE PLAT OF ROBERTS AND GREINER ADDITION AS RECORDED IN PLAT BOOK 10, PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 COMMENCE AT THE N.W. CORNER OF SECTION 36, TOWNSHIP 53 SOUTH, RANGE 41 EAST; THENCE N87°51'00"E ALONG NORTH LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 36 A DISTANCE OF 35.01 FEET; THENCE S01°13'55"E ALONG THE WESTERLY LINES OF BLOCKS 3, 6, 7 AND 8 OF SAID PLAT AND THE NORTHERLY AND SOUTHERLY PROLONGATIONS THEREOF A DISTANCE OF 1368.88 FEET TO A POINT; THENCE N87°38'48"E A DISTANCE OF 100.00 FEET TO THE NORTHEAST CORNER OF LOT 11, SAID BLOCK 4 AND THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREINAFTER DESCRIBED; THENCE CONTINUE N87°38'48"E ALONG THE NORTHERLY LINES OF LOTS 12 AND 13, BLOCK 4 AND THE EASTERLY AND WESTERLY PROLONGATIONS THEREOF A DISTANCE OF 115.00 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID LOT 13; THENCE S78°29'21"E A DISTANCE OF 46.11 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY PROLONGATION OF THE WESTERLY LINE OF LOT 32, BLOCK 10 SAID ROBERTS AND GREINER ADDITION; THENCE S01°03'55"E ALONG THE WESTERLY LINE OF SAID BLOCK 10 AND THE NORTHERLY PROLONGATION THEREOF A DISTANCE OF 481.24 FEET TO THE SOUTHWEST CORNER OF LOT 22, SAID BLOCK 10; THENCE S16°38'20"W A DISTANCE OF 148.00 FEET TO THE POINT OF INTERSECTION OF THE SOUTHERLY PROLONGATION OF THE EAST LINE OF SAID BLOCK 3 WITH THE EASTERLY PROLONGATION OF SOUTH LINE OF SAID BLOCK 3; THENCE S87°36'00"W ALONG THE SOUTH LINE OF SAID BLOCK 3 AND ITS EASTERLY AND WESTERLY PROLONGATIONS A DISTANCE OF 115.00 FEET; THENCE N01°03'55"W ALONG THE WESTERLY LINE OF SAID LOT 13 15.00 FEET ALLEY AND ACROSS NW 16TH STREET A DISTANCE OF 632.60 FEET TO THE POINT OF BEGINNING, SAID LANDS BEING IN THE CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.
 BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING OF N87°45'00"E ALONG THE NORTH LINE OF THE NORTHWEST ONE-QUARTER (NW 1/4) OF SAID SECTION 36 AS SHOWN ON SAID PLAT.
 ALL LYING AND BEING IN SECTION 36, TOWNSHIP 53 SOUTH, RANGE 41 EAST, CITY OF MIAMI, MIAMI-DADE COUNTY, FLORIDA.

LEGAL DESCRIPTION OBTAINED FROM BOUNDARY SURVEY DATED 04-01-09 AND PREPARED BY SCHNEBE-SHESKIN & ASSOCIATES, INC.

WOLFBERG
ALVAREZ
 1500 San Remo Avenue, Suite 300
 Coral Gables, Florida 33146
 TEL: (305) 666-5474
 FAX: (305) 666-4994
 AA 002416 EB 002354



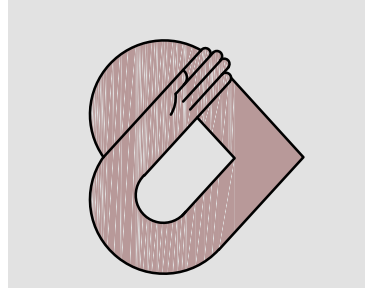
CAMILLUS HOUSE CENTER
 1603 NW 7th Avenue
 MIAMI, FL 33127

WA PROJECT NO.: 27002.00

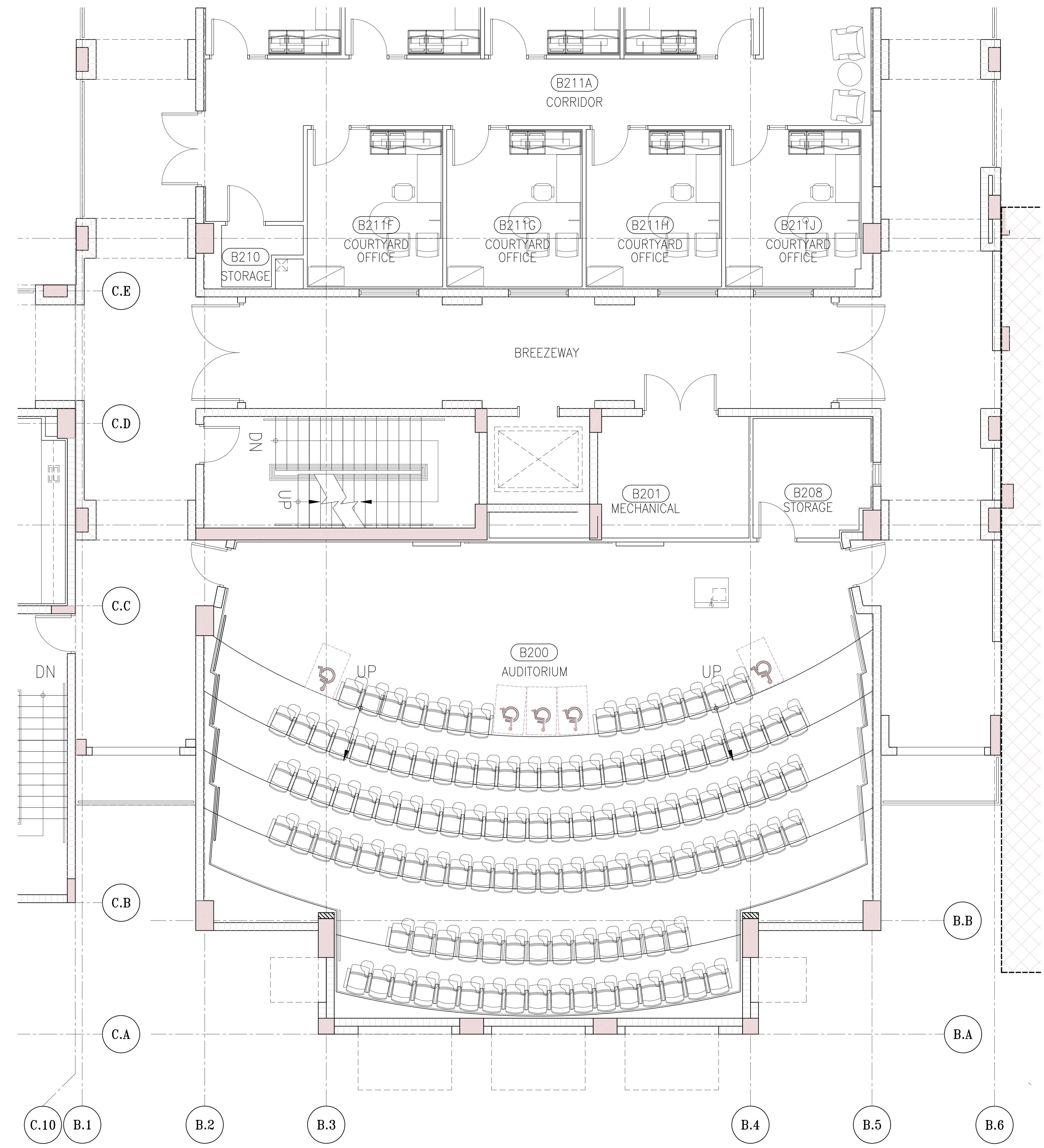
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04	04/03/09
07	07/15/09
10	10/13/09
11	11/13/09

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 1ST FLOOR PLAN

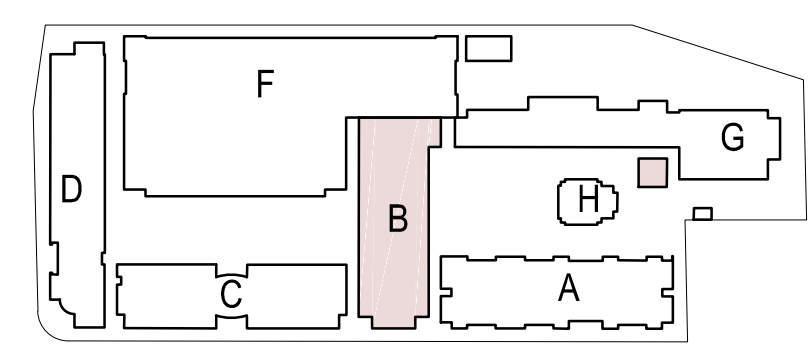
SHEET NUMBER
A2.01



CAMILLUS HOUSE CENTER
1603 NW 7th AVENUE
MIAMI, FL 33127



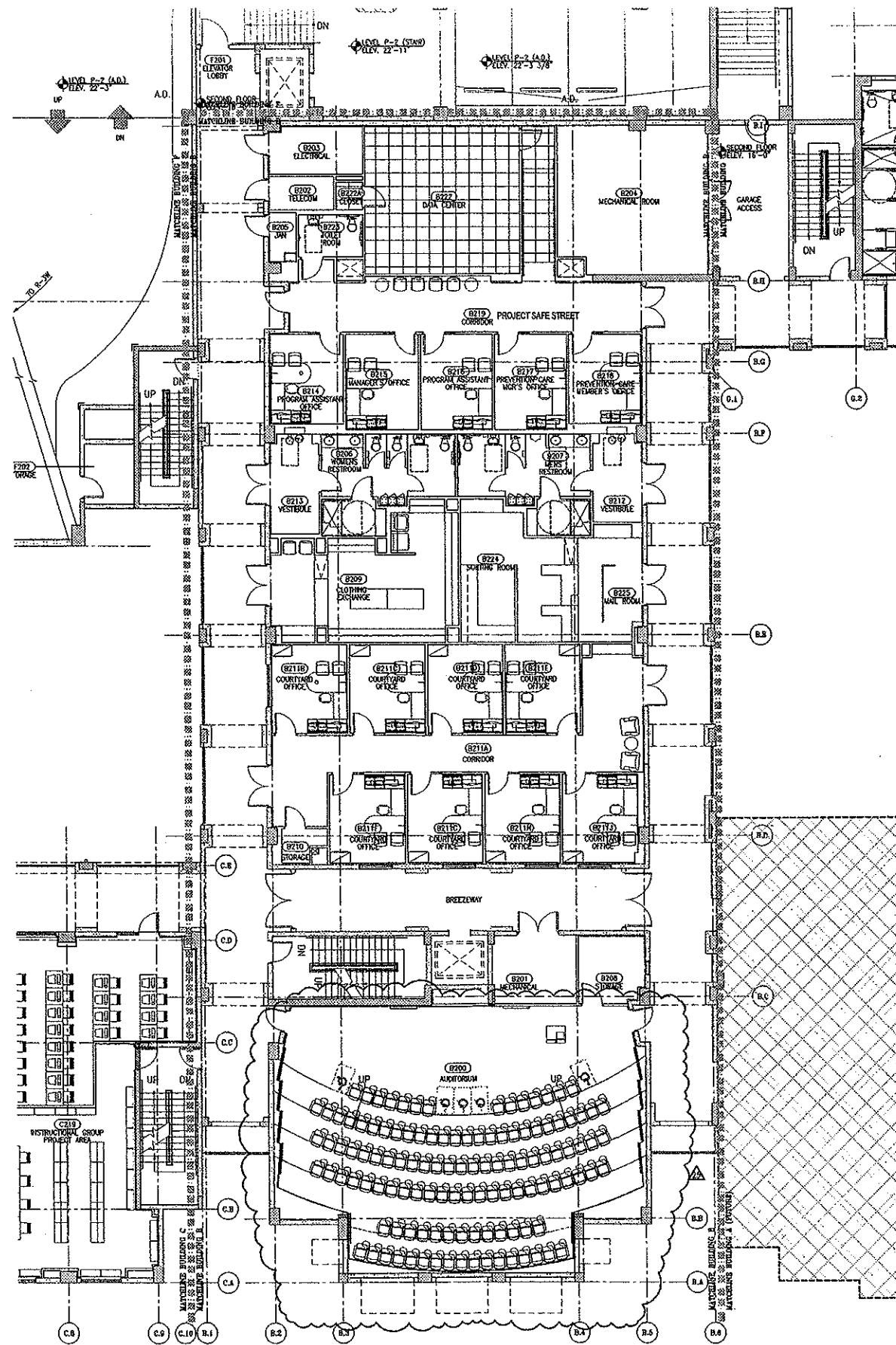
BUILDING B - SECOND FLOOR AUDITORIUM PLAN
SCALE: 1/4" = 1'-0"



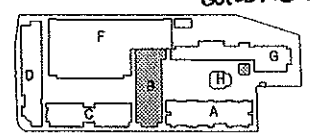
KEYPLAN
N.T.S.

- A - SHEPHERD'S COURT (N.I.C.)
- B - FOOD SERVICE / FITNESS/BOARDROOM
- C - ADMINISTRATION
- D - ISPA ADMINISTRATION / SLEEPING
- ~~E - JOB ADMINISTRATION / SLEEPING~~
- F - PARKING GARAGE
- G - DIRECT CARE SERVICES / CAMILLUS HEALTH CONCERN
- H - CHAPEL

WA PROJECT NO.: 27002.00	
ISSUE DATE	
8/18/2008	
NO. REVISION DATE	
1	03/11/09
2	07/15/09
3	10/13/09
4	05-25-11
DRAWING TITLE	
BLDG B 2ND FL PLAN	
SHEET NUMBER	
B-A3.06A	



BUILDING B - SECOND FLOOR FURNITURE PLAN
 SCALE: 1/8" = 1'-0"

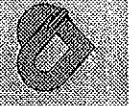


KEYPLAN
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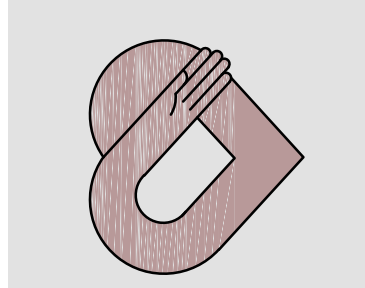


1001 S.W. 1st Ave., 10th Floor
 Miami, FL 33134
 Tel: (305) 375-3333
 Fax: (305) 375-3334
 www.miamigov.com

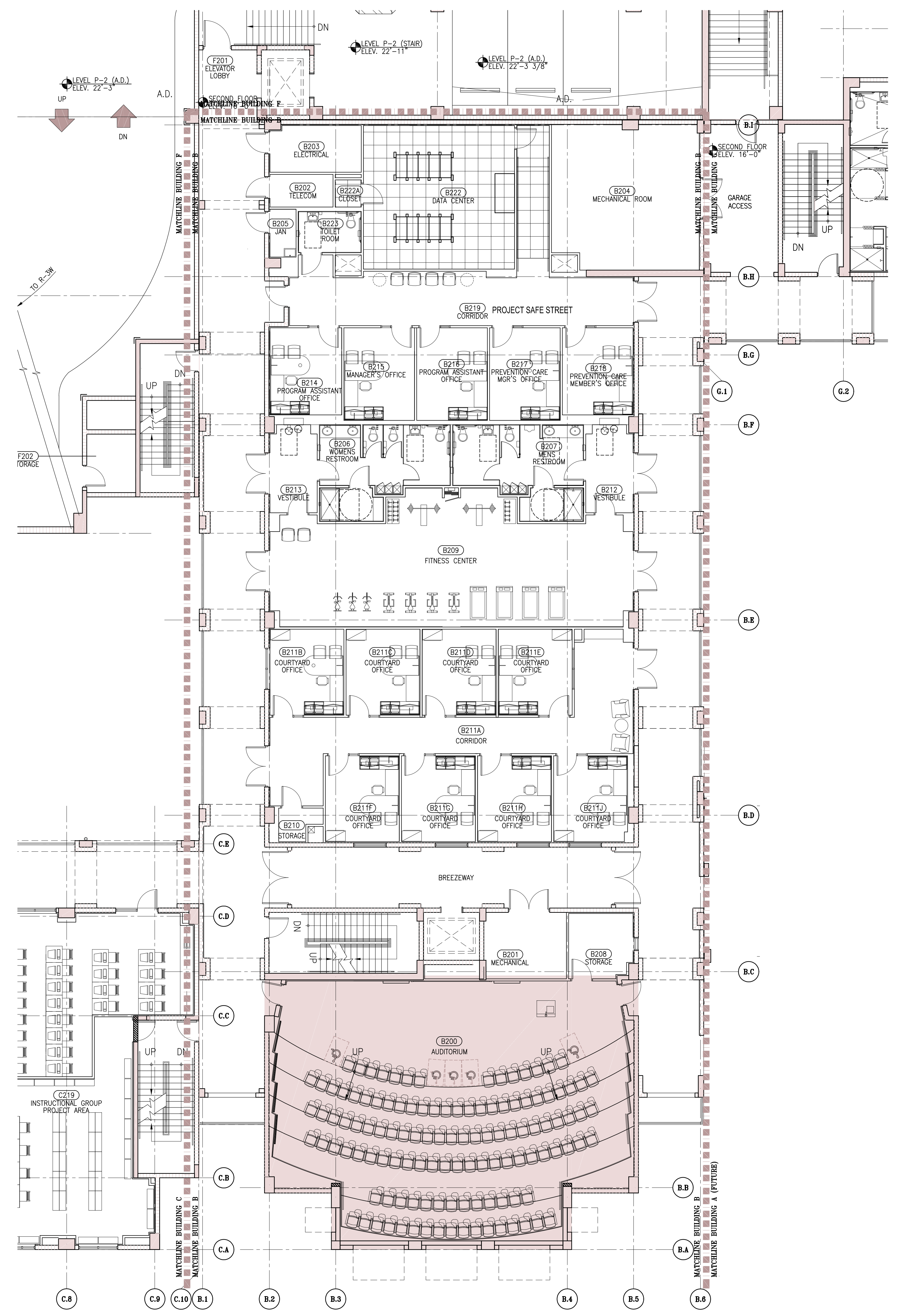


CAMILLUS HOUSE CENTER
 1603 NW 7th Avenue
 MIAMI, FL 33127

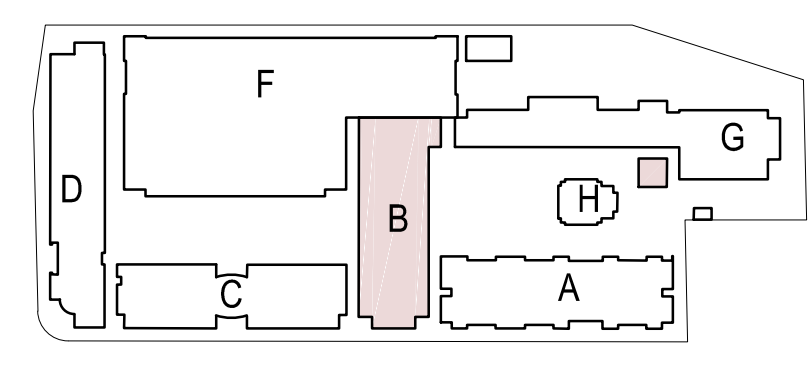
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3	10/13/09
4	05-25-11
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SHEET NUMBER	
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CAMILLUS HOUSE CENTER
1603 NW 7th AVENUE
MIAMI, FL 33127



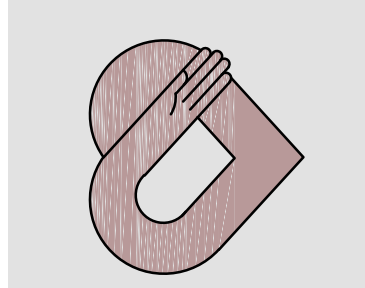
BUILDING B - SECOND FLOOR FURNITURE PLAN
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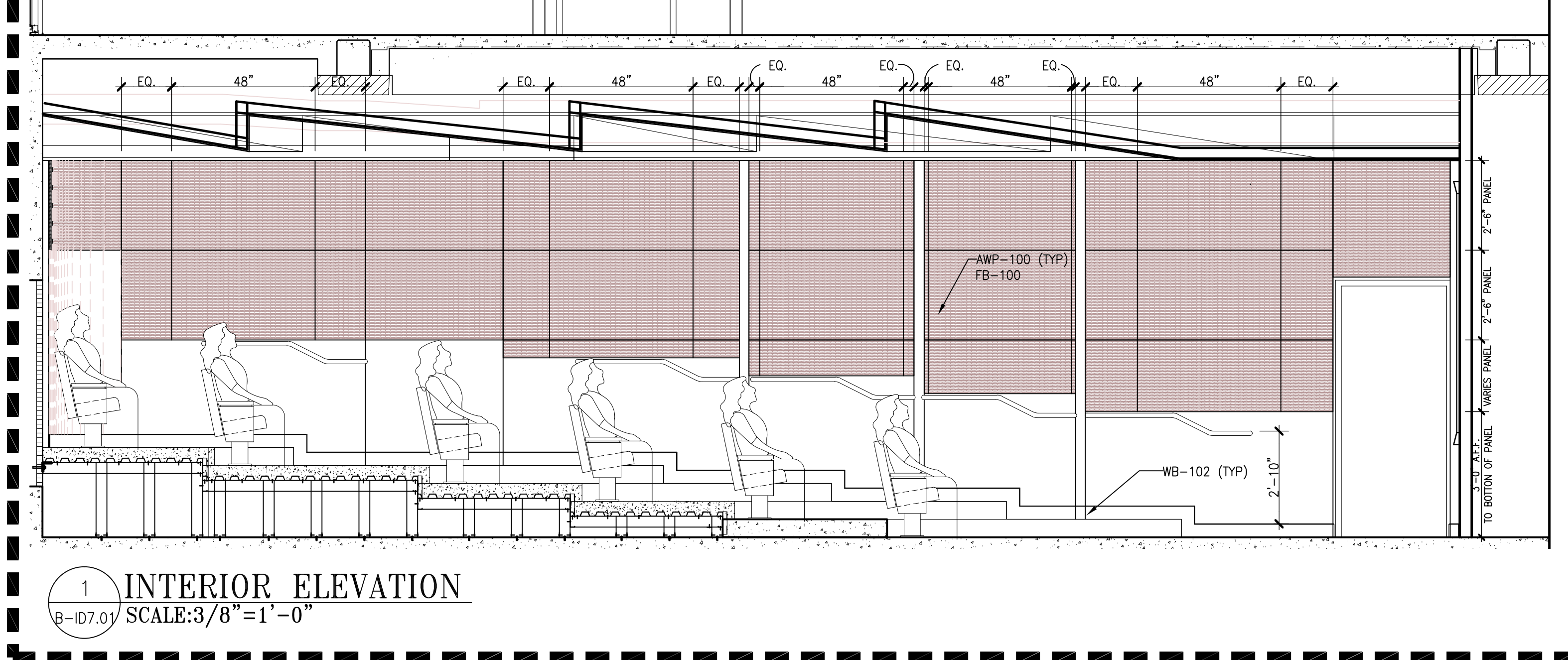
KEYPLAN
N.T.S.

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- ~~E - JOB ADMINISTRATION / SLEEPING~~
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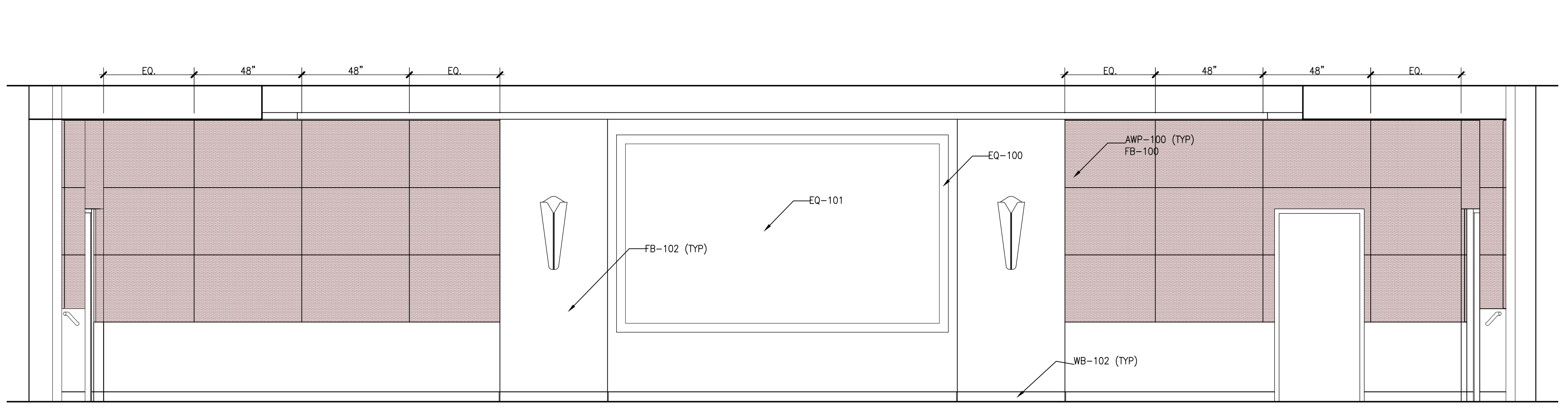
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BLDG B 2ND FL PLAN	
SHEET NUMBER	
B-A3.06	



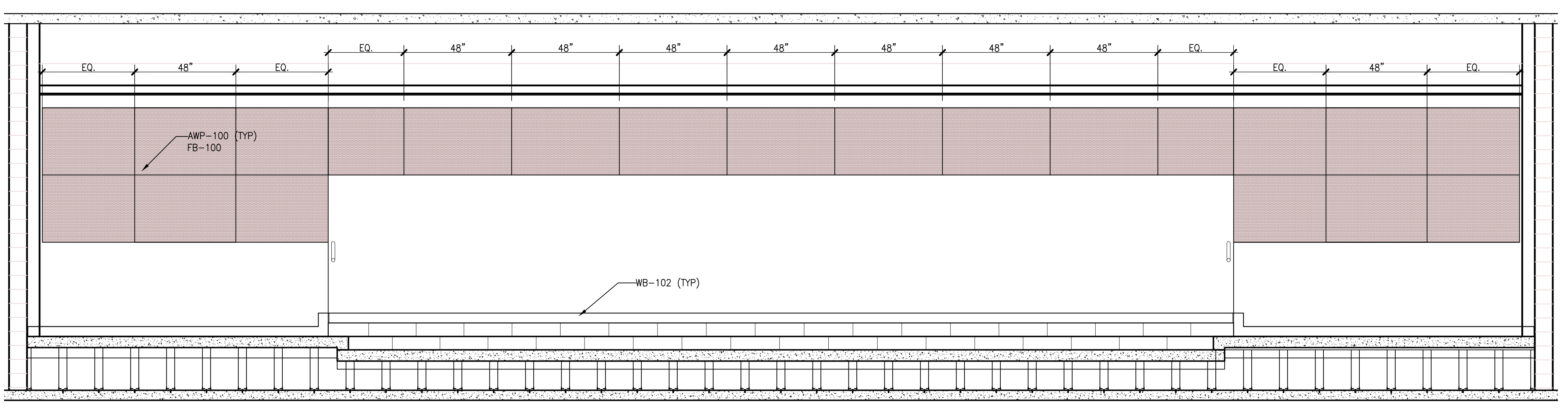
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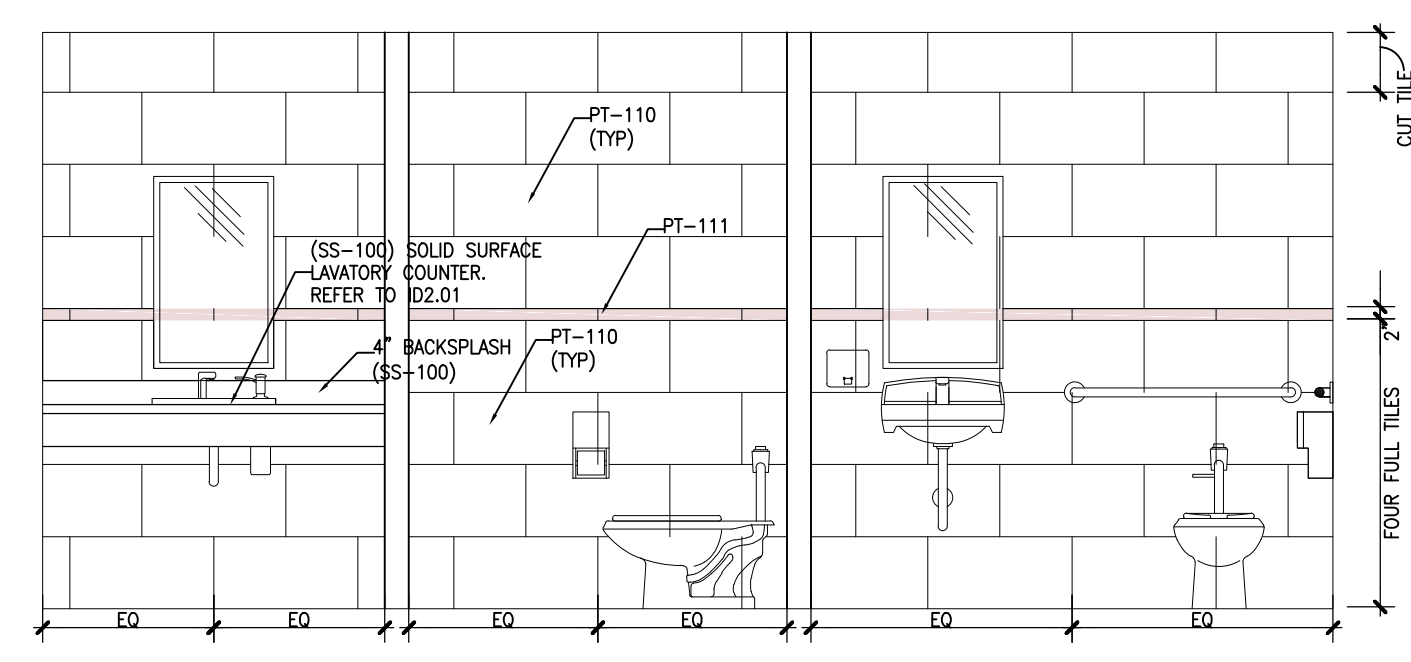
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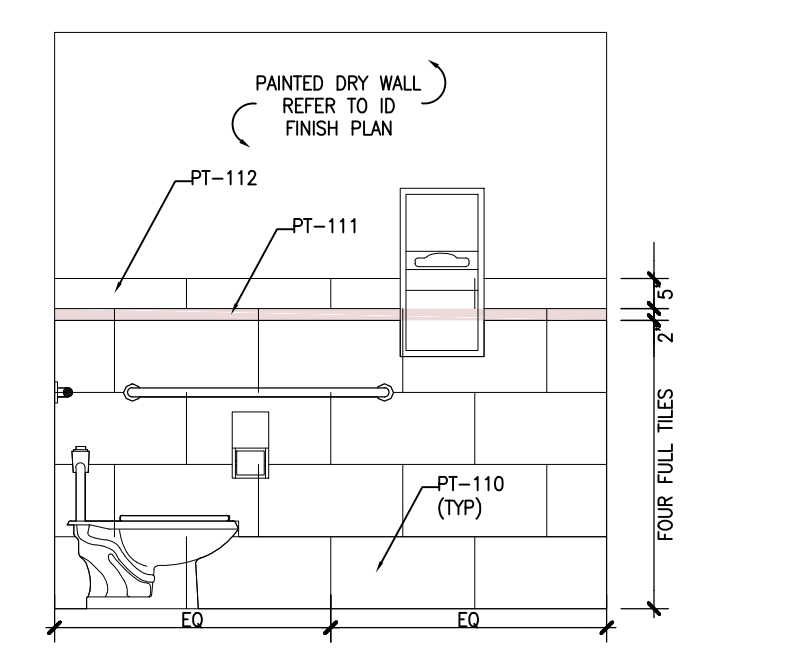
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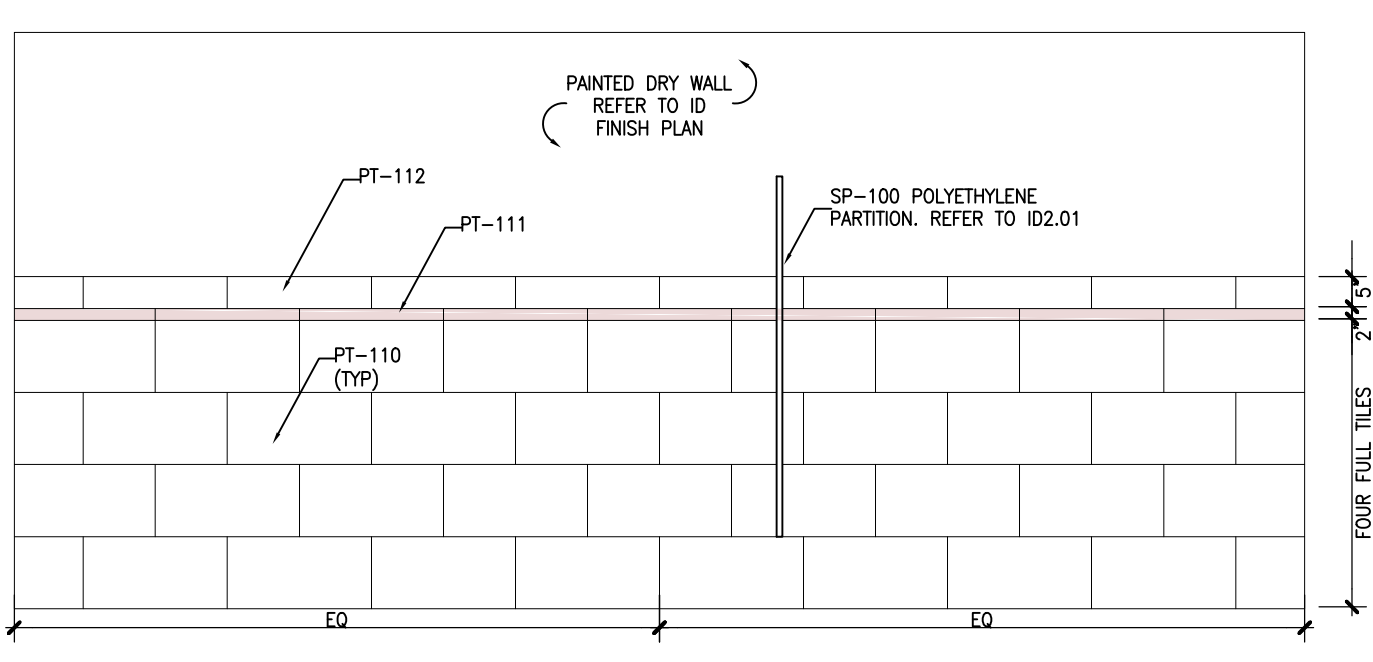
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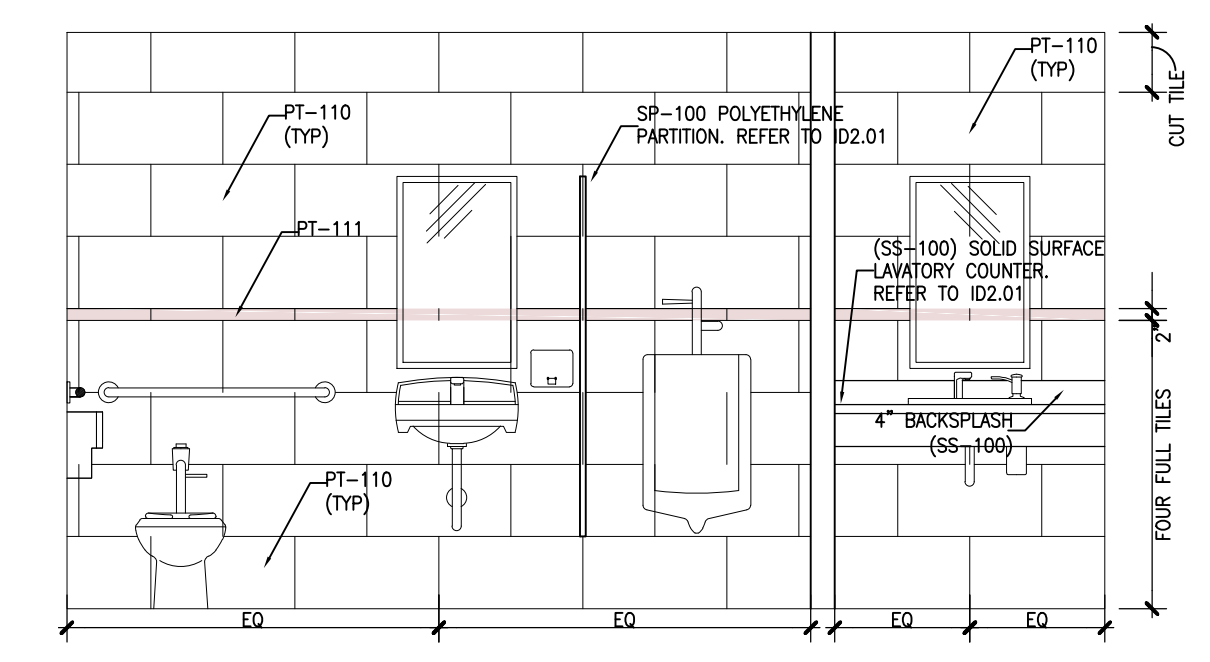
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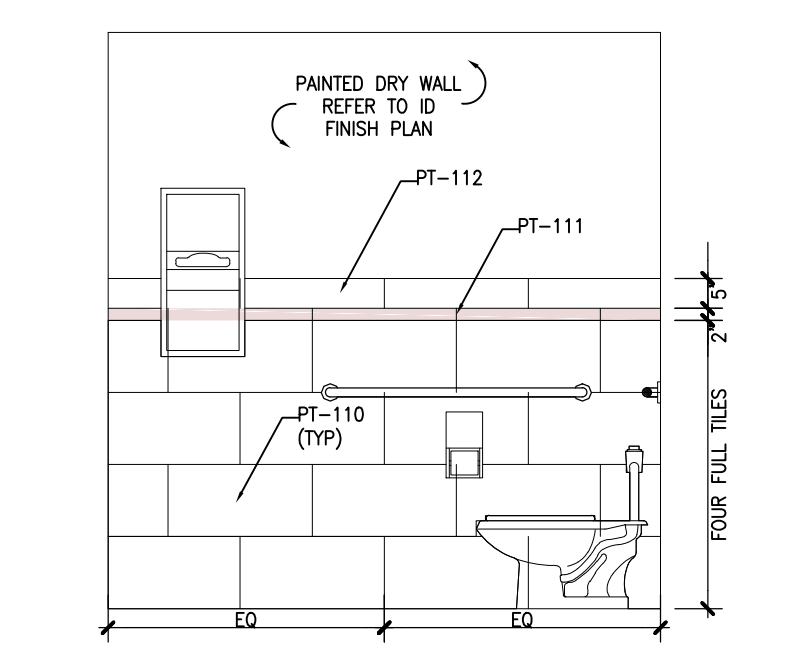
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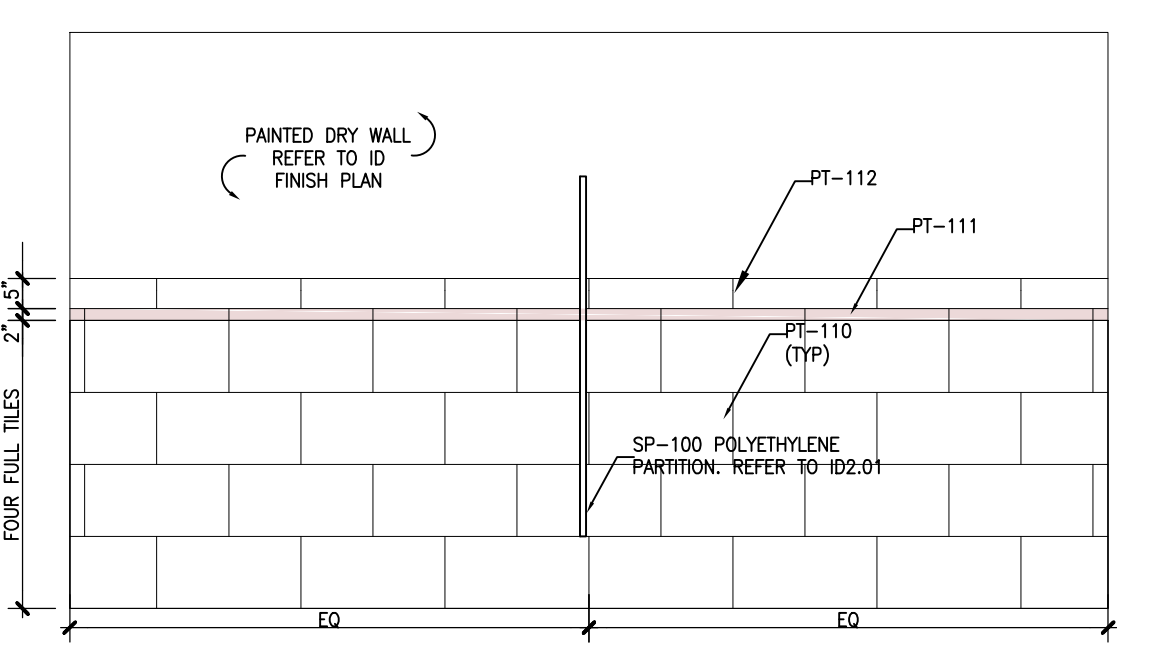
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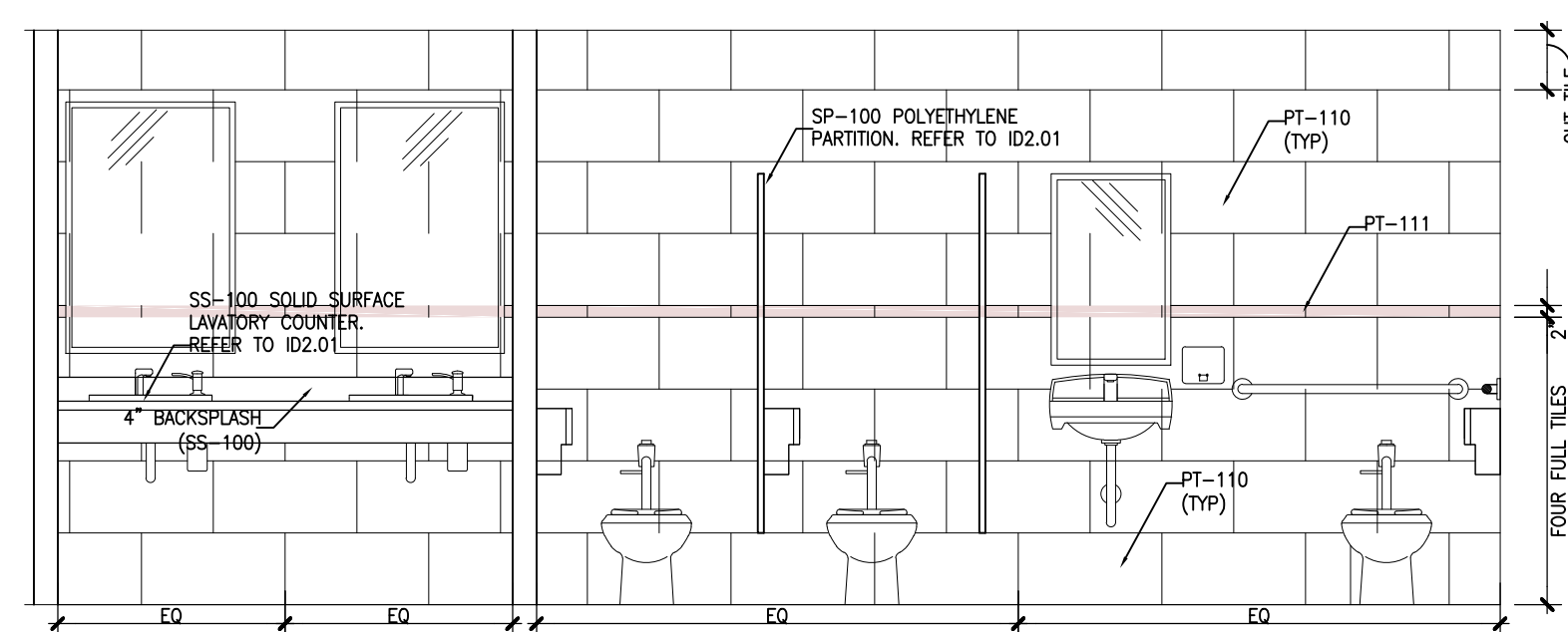
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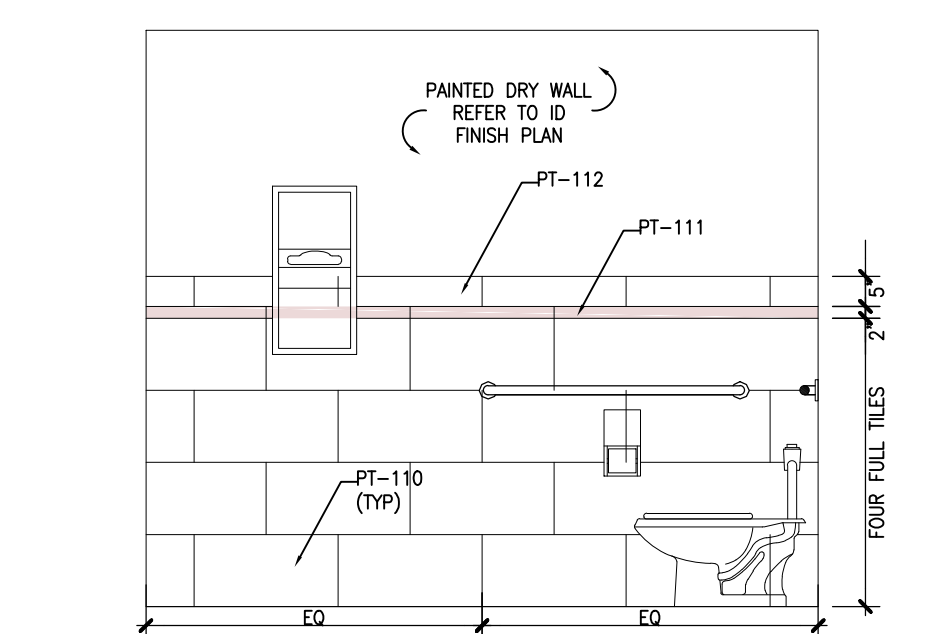
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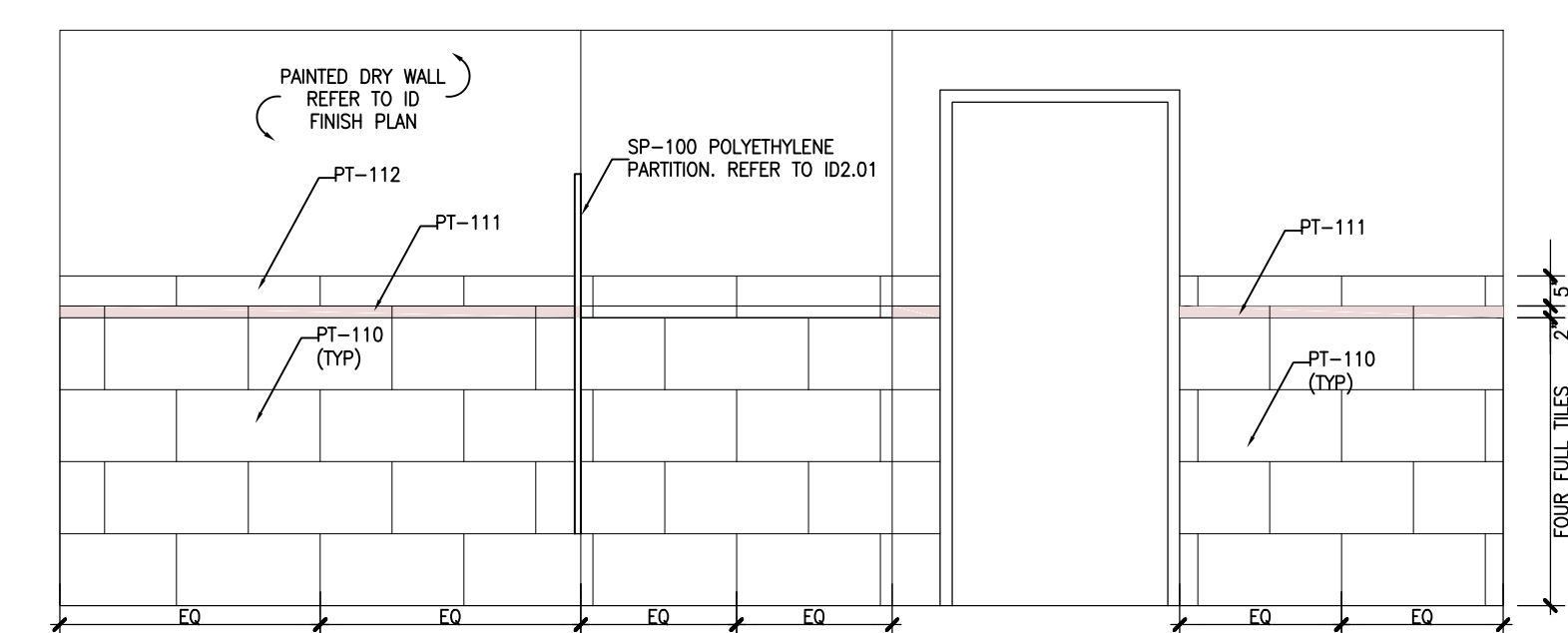
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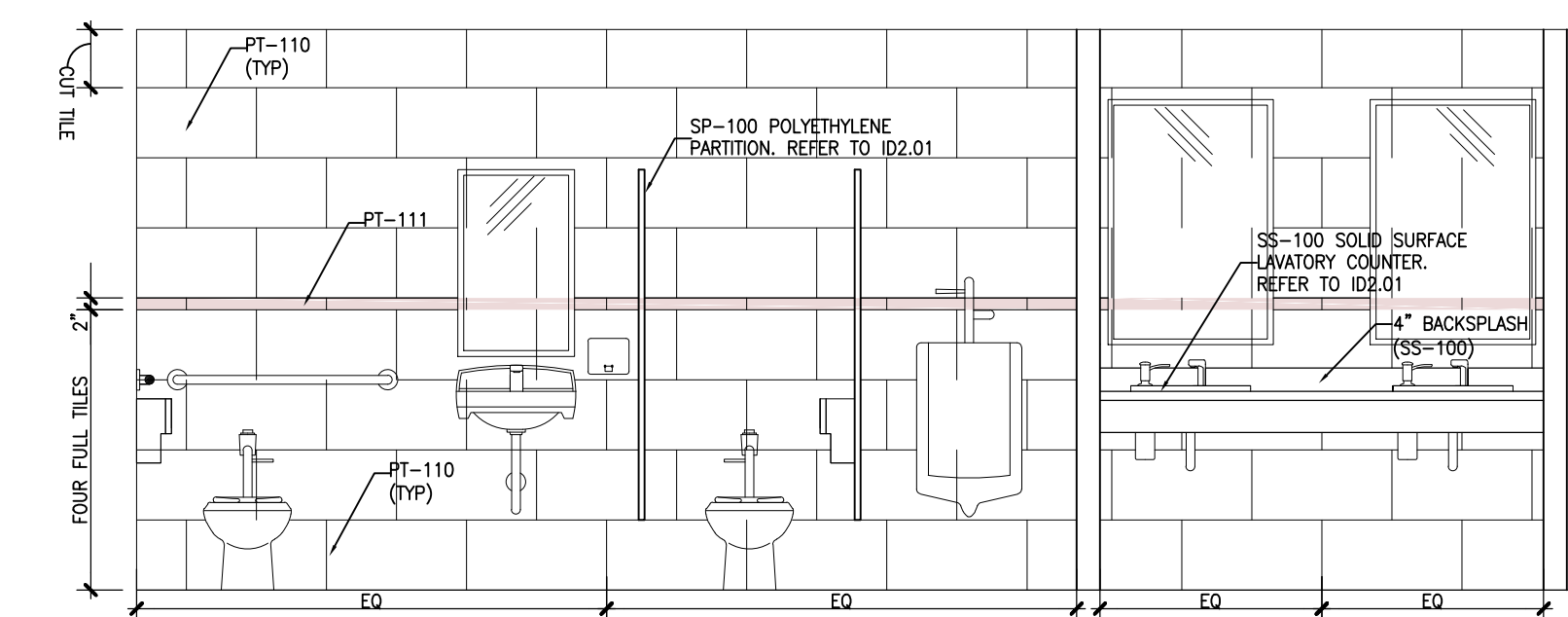
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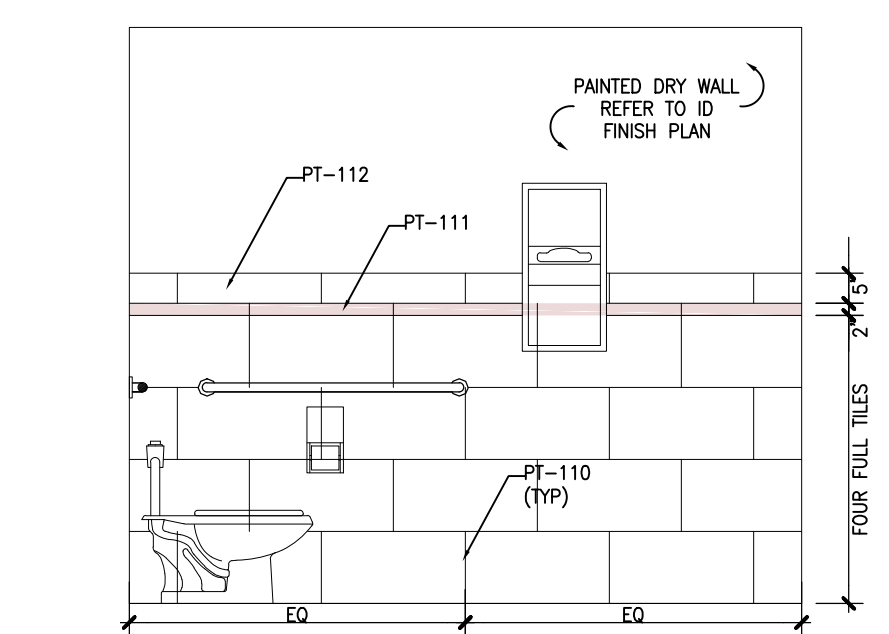
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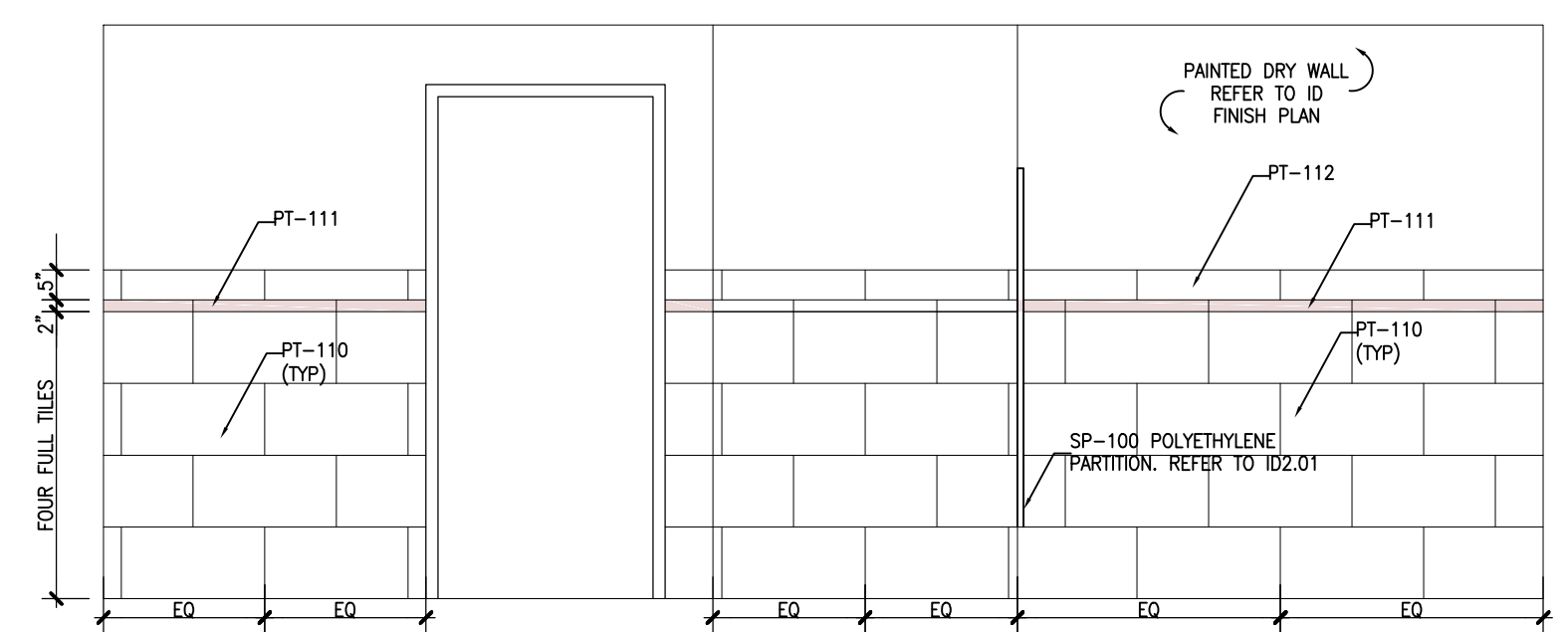
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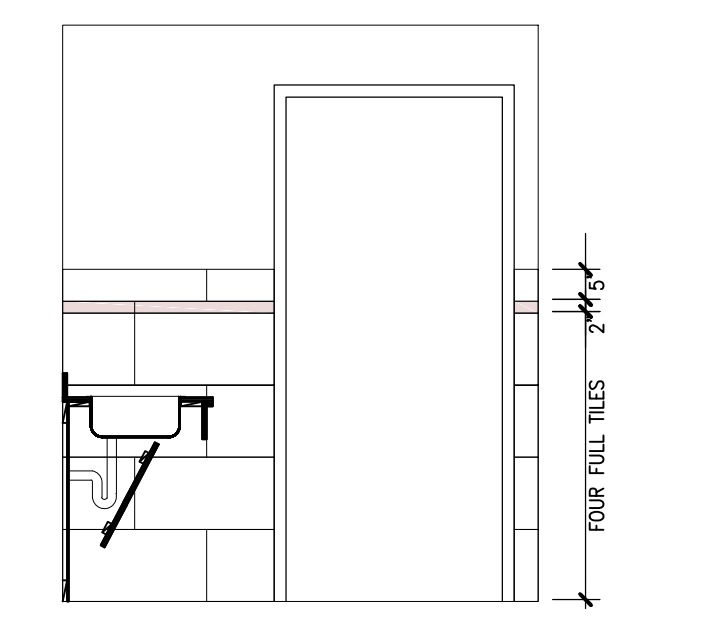
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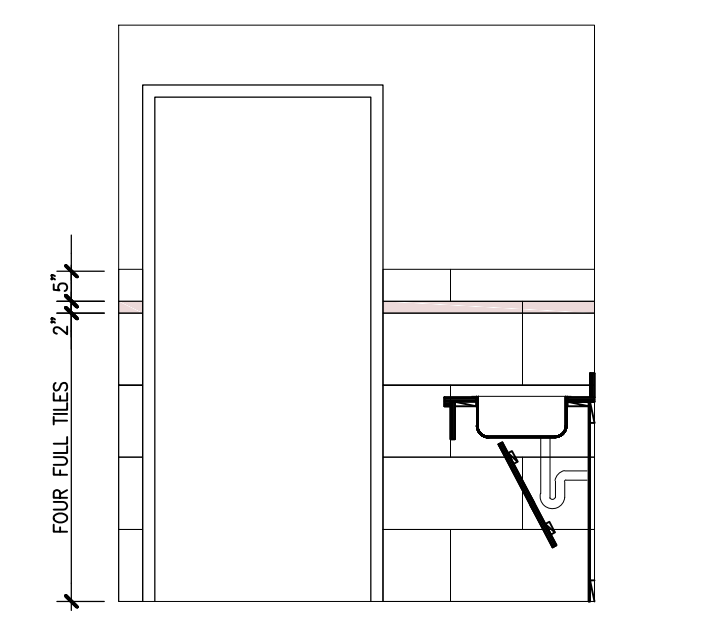
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15 INTERIOR ELEVATION
B-ID7.01 SCALE:3/8"=1'-0"



16 INTERIOR ELEVATION
B-ID7.01 SCALE:3/8"=1'-0"



17 INTERIOR ELEVATION
B-ID7.01 SCALE:3/8"=1'-0"