



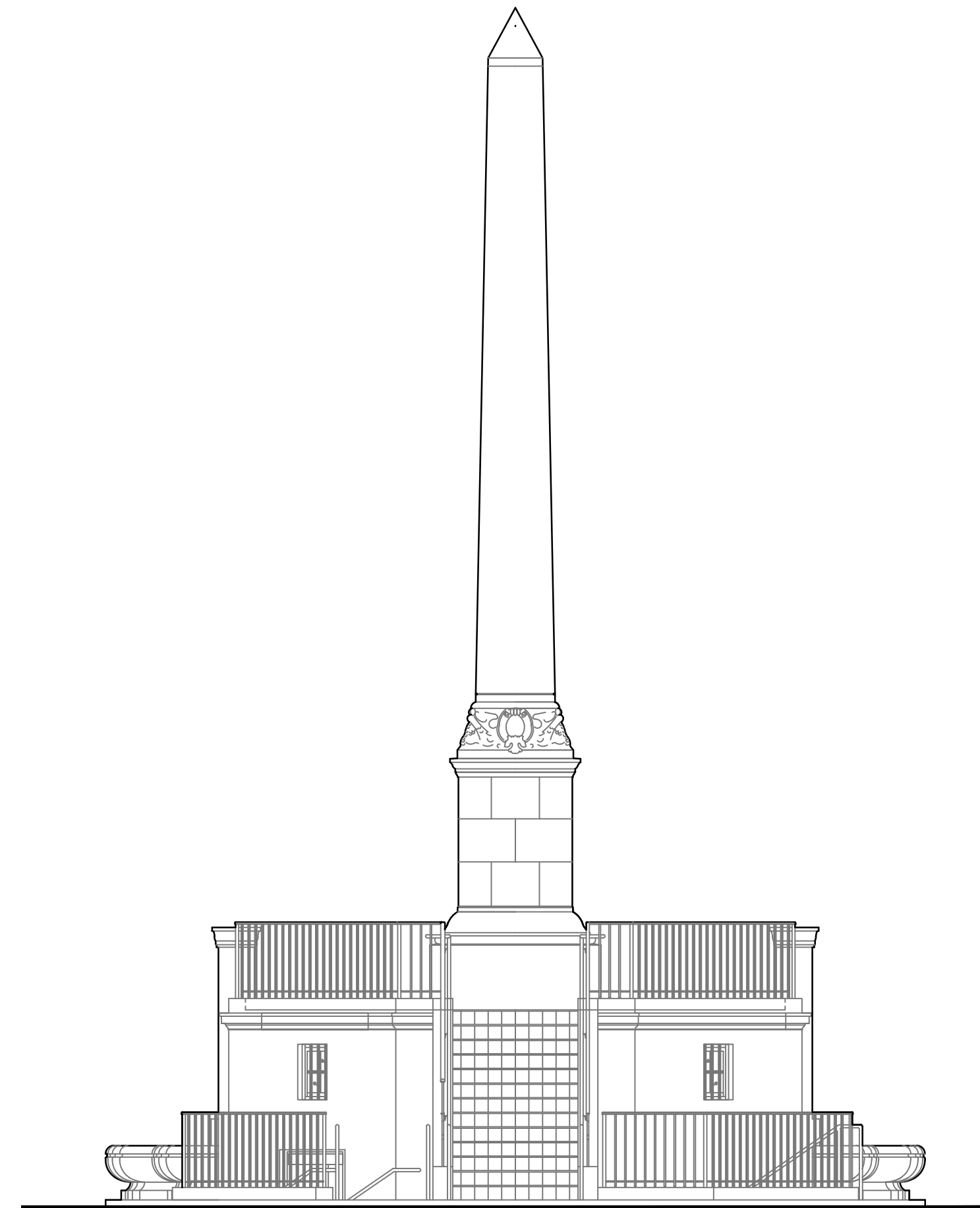
**CITY OF MIAMI BEACH**

Mayor: Dan Gelber

Commissioner: Micky Steinberg  
Commissioner: Mark Samuelian  
Commissioner: Michael Gongora  
Commissioner: Kristen Rosen Gonzalez  
Commissioner: Ricky Arriola  
Commissioner: John Elizabeth Aleman

City Manager: Jimmy L Morales  
City Attorney: Raul J Aguila

Director of C.I.P. Office: David Martinez, P.E., LEED AP



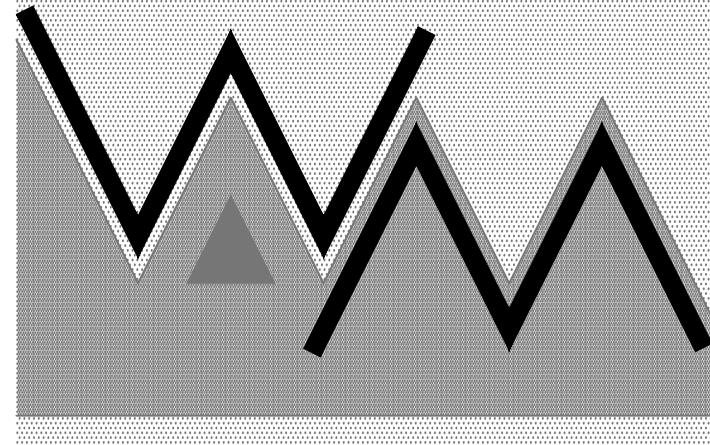
**28th Street Obelisk and Pump Station  
Restoration Project**

300 West 28th Street  
Miami Beach, Florida 33139

Permit Set  
Date: 01/22/2018

**INDEX OF DRAWINGS**

- C-1 Existing Conditions Plan
- C-2 Paving and Grading Plan
- C-3 Erosion and Sediment Control Plan
  
- A-0 General Notes - Specifications - Project Information
- A-1 Site Plan
- A-2 Ground Floor Plan - Demolition  
Terrace Floor/Roof Plan- Demolition
- A-3 Exterior Elevations - Demolition
- A-4 Exterior Elevations - Demolition
- A-5 Ground Floor Plan - Terrace Floor Plan
- A-6 Exterior Elevations
- A-7 Exterior Elevations
- A-8 Exterior Elevations - Details
- A-9 Obelisk Elevations
- A-10 Building Sections
- A-11 Schedules - East Steps - West Steps - Details
- A-12 Details
  
- S-1 Shoring
- S-2 Ground Floor Plan - Terrace Floor Plan
- S-3 Sections and Details
- S-4 Elevations
- S-5 Notes and Details
  
- M-1 Ground Floor Plan - Terrace Floor Plan - Roof Plan
- E-1 Ground Floor Plan - Terrace Floor Plan - Roof Plan
- P-1 Ground Floor Plan - Terrace Floor Plan - Roof Plan



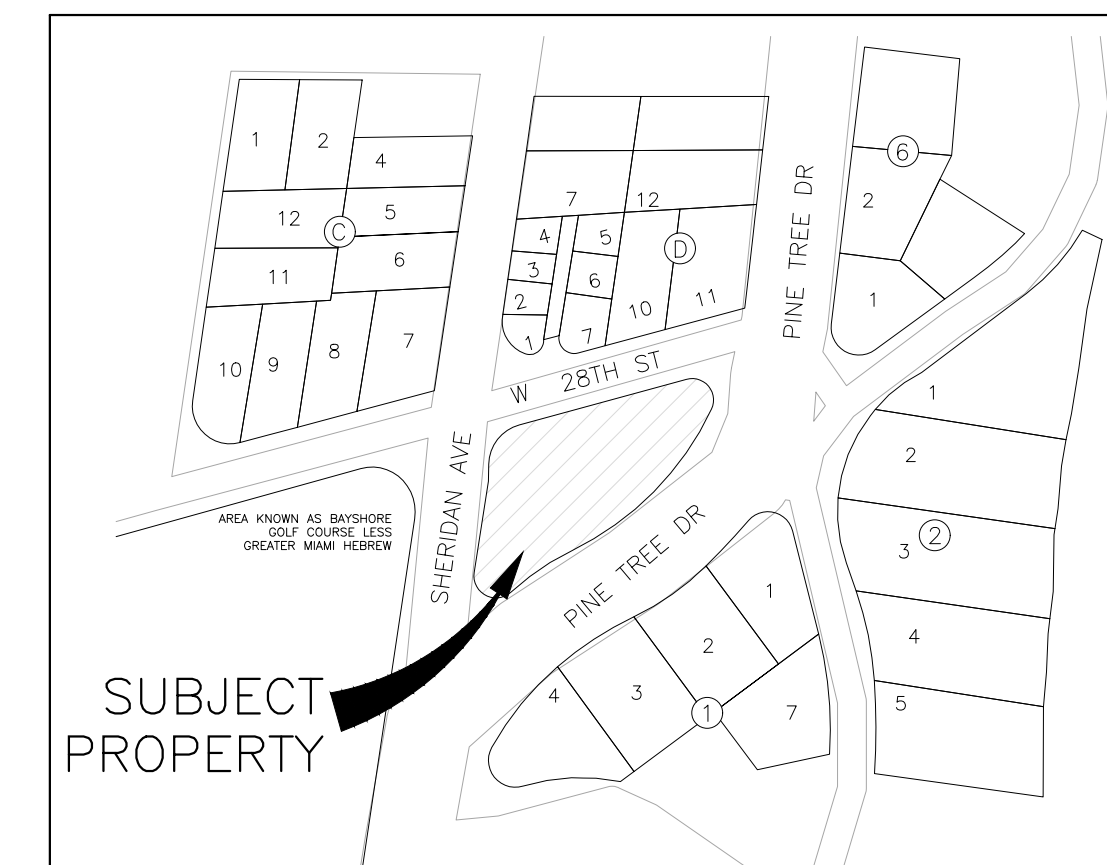
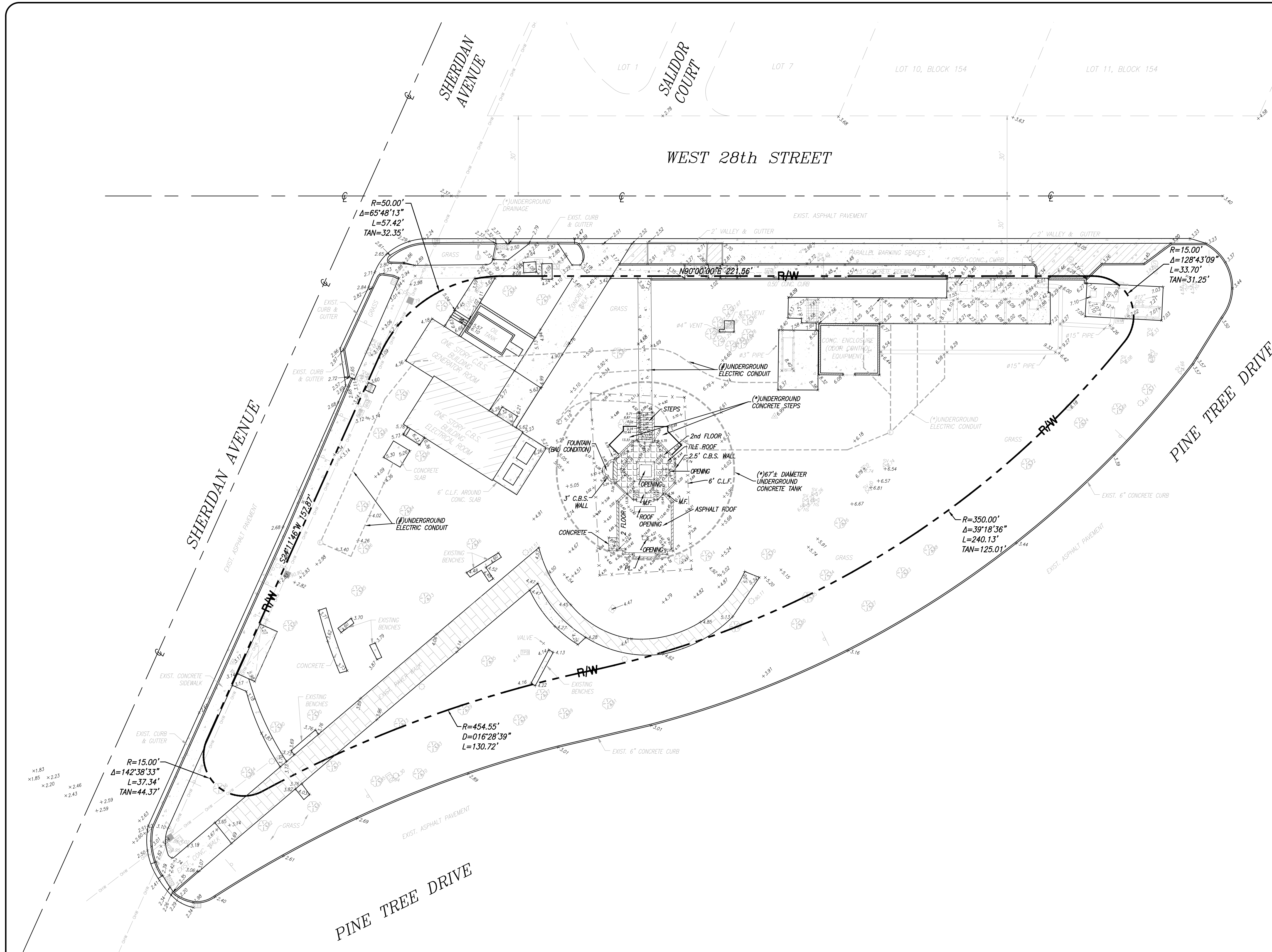
**William B. Medellin  
Architect, P.A.**

www.wbmarchitect.com  
FL AA0003400 - FL AR0013832



**STRUCTURAL ENGINEER**  
INGELMO ASSOCIATES P.A.  
250 Catalonia Avenue., Suite 301  
Coral Gables, FL 33134  
305-461-6009

**MEP ENGINEER**  
MAQUEIRA ENGINEERING CONSULTANTS, INC.  
7220 S.W. 39th Terrace  
Miami, FL 33155  
305-444-8210

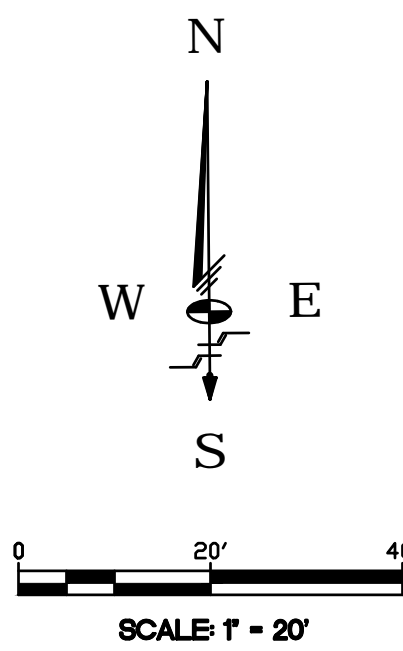


LOCATION SKETCH

Scale: 1"=150'  
A PORTION OF SECTION 27-53S-42E, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

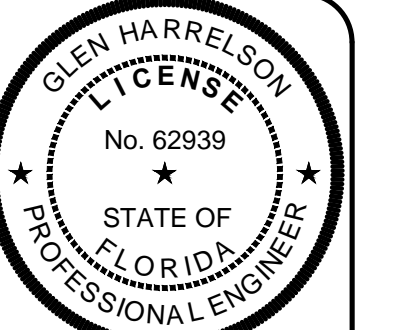
LEGAL DESCRIPTION

UNNUMBERED TRACT (NOW KNOWN AS 28 ST PUMPING STATION) AS SHOWN ON PLAT OF FLAMINGO TERRACE SUBDIVISION, AS RECORDED IN PLAT BOOK 10, PAGE 3, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA  
PROPERTY ADDRESS: 300 28th STREET, MIAMI BEACH, FLORIDA, 33140



**Schwabke Shiskin & Associates, Inc.**  
LAND SURVEYORS  
CIVIL ENGINEERS  
LAND PLANNERS  
LB#87 CA#87  
3240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

REVISIONS		
Date	Remarks	By



THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 01/22/2018 BY GLEN HARRELSON USING A DIGITAL SIGNATURE. PRINTED COPY OF THIS SHEET IS NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE.

**28th STREET OBELISK**  
EXISTING CONDITIONS  
PLAN  
City of Miami Beach, FL, Sec. 27, Twp. 53, Rge. 42

Drawn By: GH Date: 01/22/18  
Checked By: GH Date: 01/22/18  
Order No. 208039 FB, 0000 Pg. 00  
Drawing Status: PERMIT SET  
Date: 01/22/18

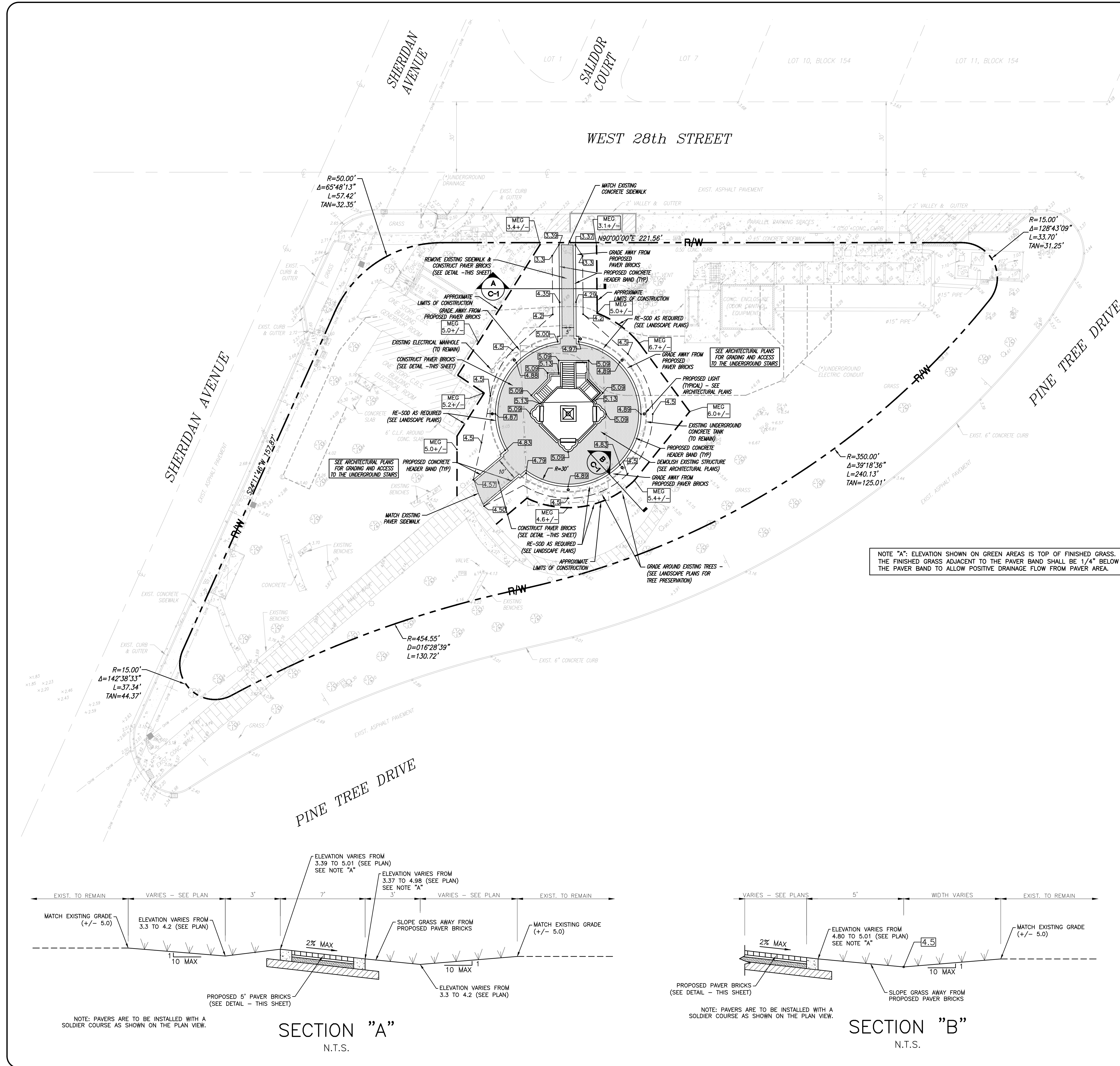
By: Glen Harrelson, P.E.  
Project Manager  
Registered Engineer No. 62939  
State of Florida

Scale: As Noted

File No. **AJ-5571**

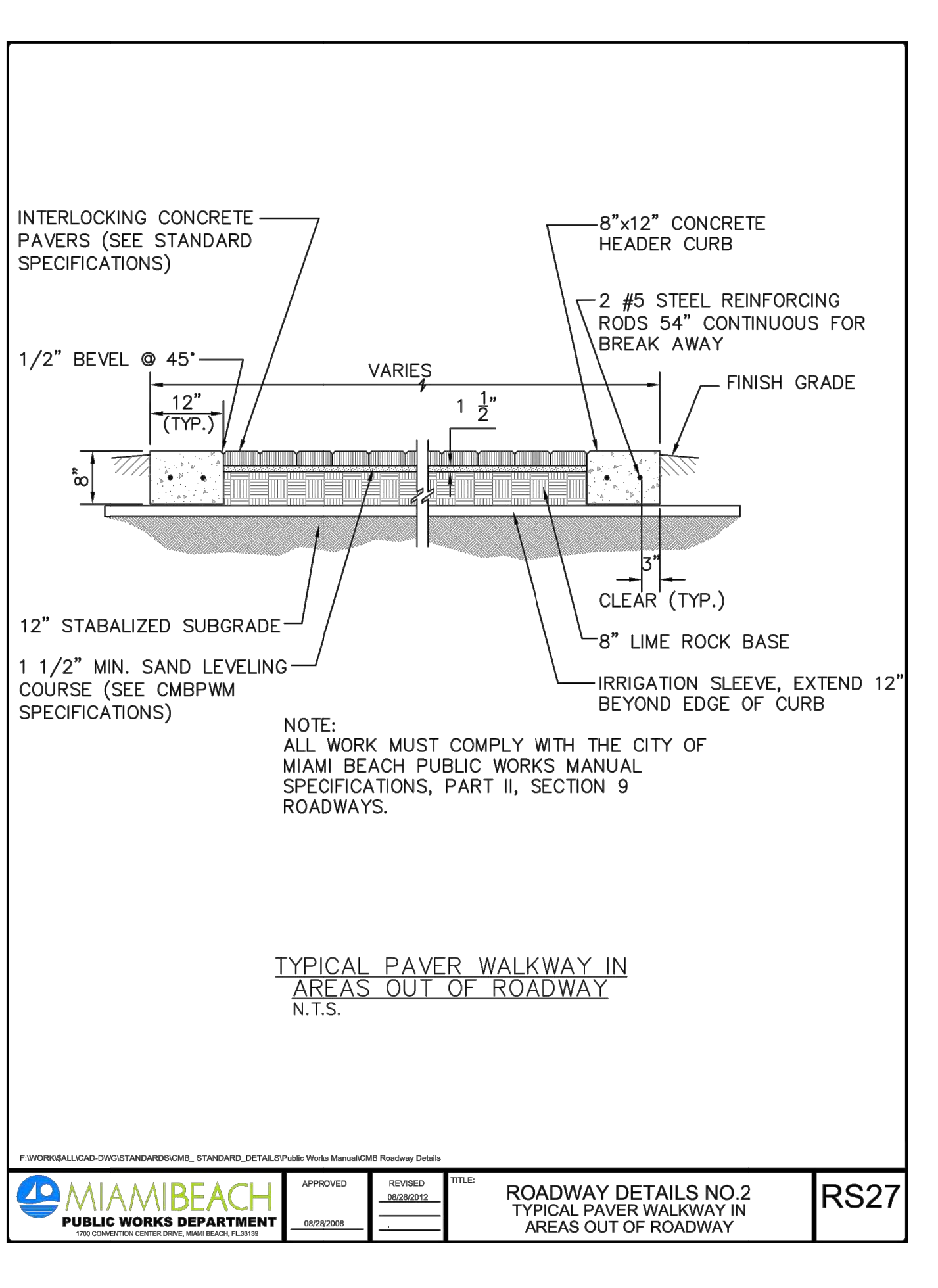
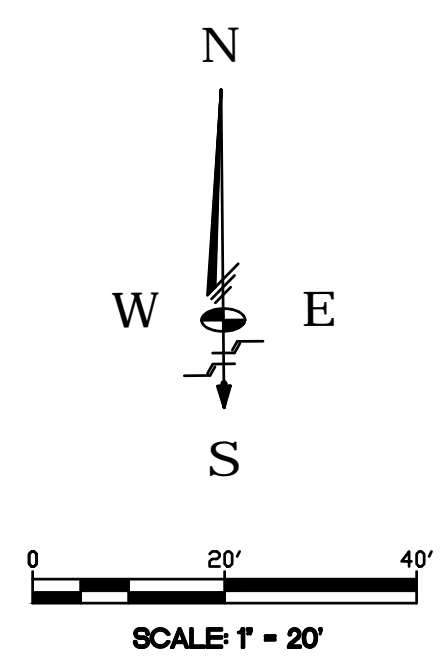
Dwg. No:  
**C-1**  
OF: C- 3

PERMIT SET - 01/22/2018



**LEGEND**

- PROPOSED PAVER BRICKS
- PROPOSED ELEVATION
- MATCH EXISTING GRADE
- EXISTING ELEVATION
- RIGHT OF WAY
- CENTER LINE



MIAMI BEACH PUBLIC WORKS DEPARTMENT

ROADWAY DETAILS NO. 2  
TYPICAL PAVER WALKWAY IN AREAS OUT OF ROADWAY

RS27

- GENERAL NOTES:**
- ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).
  - THE BEARINGS SHOWN HEREON RELATE TO AN ASSUMED BEARING OF N90°00'00"E ALONG THE SOUTH RIGHT-OF-WAY LINE OF WEST 28TH STREET BETWEEN SHERIDAN AVENUE AND PINE TREE DRIVE.
  - PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "AE" (ELEVATION 8), PER FLOOD INSURANCE RATE MAP NO. 12086C0317L, COMMUNITY NO. 120651, PANEL NO. 0317, SUFFIX L, OF FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) MAP DATED SEPTEMBER 11, 2009.
  - BENCHMARKS:
    - NAME: CMB 30-02. ELEV = 3.28' (N.A.V.D. 88) LOC1 INTERSECTION OF W. 30TH STREET & PINE TREE DR. (PK NAIL & WASH ON TOP OF CURB; ACROSS FROM RES 2887).
    - NAME: CMB 30-03. ELEV = 2.71' (N.A.V.D. 88) LOC1 N.E. INTERSECTION ROYAL PALM AVENUE & W. 30TH STREET. NAIL & WASHER.
  - ALL WORK SHALL CONFORM TO THE MIAMI BEACH PUBLIC WORKS DEPARTMENT'S GRADING AND DRAINAGE REGULATIONS AND STANDARDS.
  - THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND/OR BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS.
  - IN THE EVENT THAT UNSUITABLE SOILS (MUCK) ARE FOUND WITHIN THE LIMITS OF THE PROPOSED PAVER AREAS, THE CONTRACTOR SHALL REMOVE SAID SOILS TO ITS FULL DEPTH. THE EXCAVATED MATERIAL SHALL BE SUBSTITUTED WITH 40 LBS SOILS COMPACTED TO 95% IN 12" LAYERS.
  - CONTRACTOR:
    - IF EXISTING IMPROVEMENTS ARE DAMAGED, RESTORE THEM TO THEIR CONDITION AT THE BEGINNING OF YOUR WORK.
    - NOTIFY ALL UTILITY COMPANIES BEFORE STARTING WORK.
    - YOU ARE SOLELY RESPONSIBLE FOR COORDINATING AND GIVING NOTICE OF REQUIRED INSPECTIONS. IN DOING THIS HONOR THE LEAD TIME NEEDS OF THE RESPECTIVE AGENCIES.
  - ALL DISPOSAL MATERIAL, RUBBISH AND DEBRIS SHALL BE MADE AT LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED SATISFACTORILY. NO SEPARATE PAYMENT WILL MADE FOR THIS.
  - WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL THE FINAL ACCEPTANCE OF THE OWNER, ENGINEER AND CITY OF MIAMI BEACH IS REQUIRED.
  - CONTRACTOR(S) SHALL BE CAUTIONED THAT INTRODUCTION OF SUCH MATERIALS AS CONSTRUCTION MATERIALS, CONCRETE AND STUCCO SLURRY OR WASH-OFF MATERIALS FROM THESE OPERATIONS, PAINT AND PAINTING ACTIVITY, INGREDIENTS, OILS, HYDRAULIC FLUIDS, FUELS AND OR ANY OTHER SUCH DELETERIOUS MATERIALS, WHEN INTRODUCED INTO THE STORM DRAINAGE SYSTEM CAN AND WILL RENDER IT USELESS, POLLUTE THE SITE AND SURROUNDING SITES OR HARM THE SYSTEM'S PERFORMANCE LEVEL. REFER TO ARCHITECTURAL PLANS FOR GRADING AND ACCESS TO THE UNDERGROUND STAIRS.

**Schuecke Shiskin & Associates, Inc.**

LAND SURVEYORS  
CIVIL ENGINEERS  
LAND PLANNERS  
LB#87 CA#87

3240 CORPORATE WAY  
MIRAMAR, FL 33025  
TEL: (305)652-7010  
FAX: (305)652-8284

**REVISIONS**

Date	Remarks	By

GLENN HARRELSON  
LICENSE  
No. 62939  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 01/22/2018 BY GLENN HARRELSON USING A DIGITAL SIGNATURE. PRINTED COPY OF THIS SHEET IS NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE.

**28th STREET OBELISK**

PAVING AND GRADING  
PLAN  
City of Miami Beach, FL, Sec. 27, Turp. 53, Rge. 42

PERMIT SET - 01/22/2018

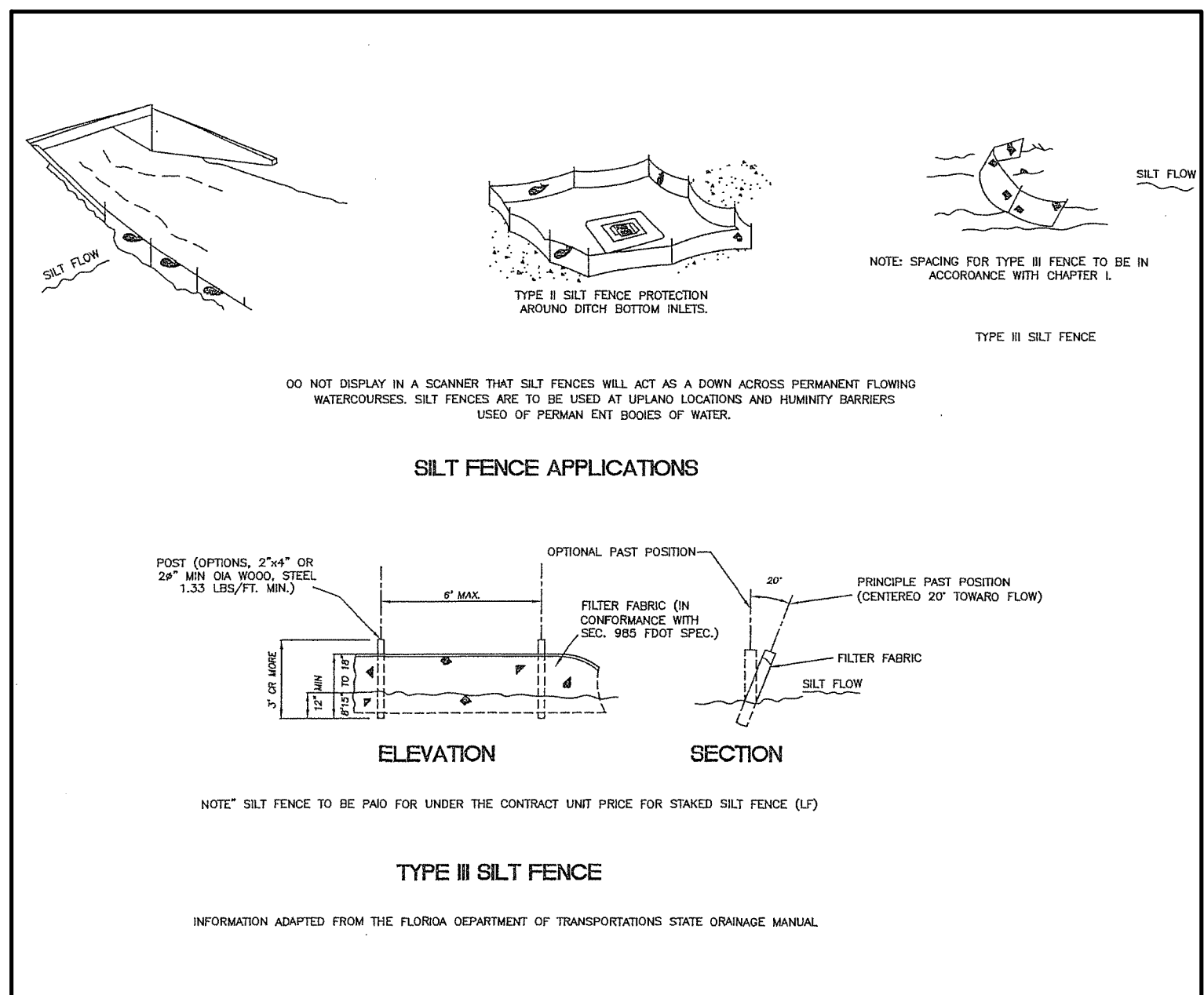
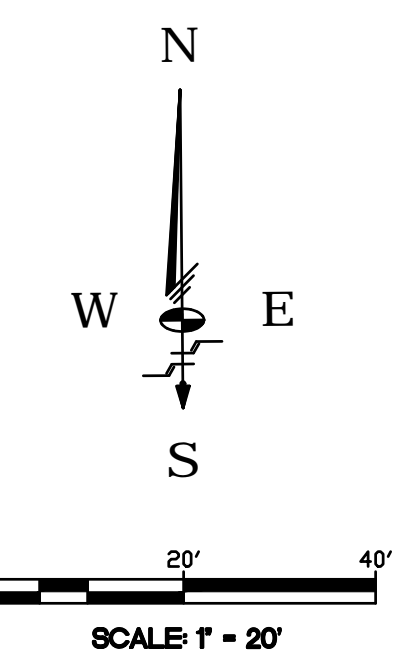
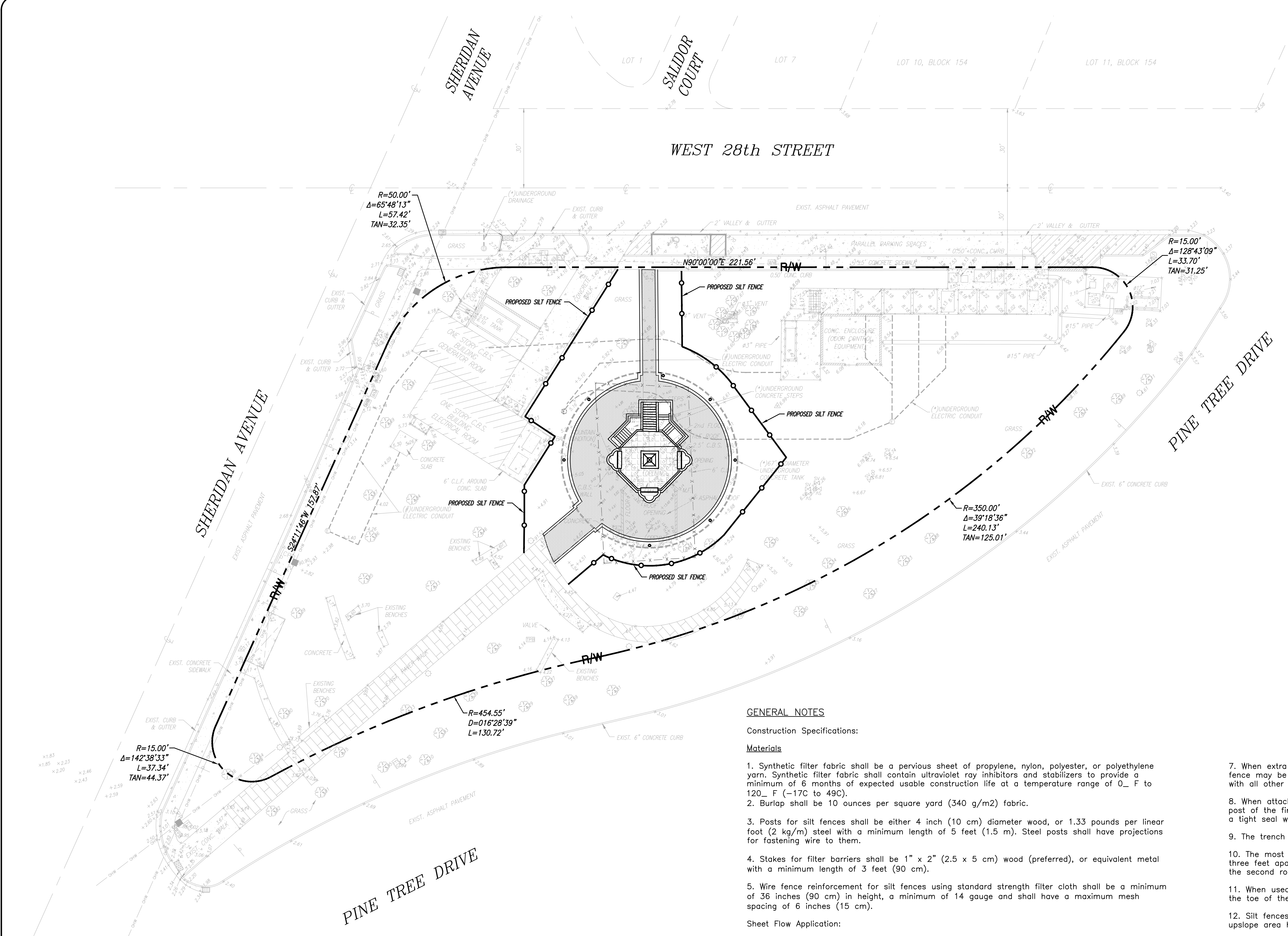
Drawn By: GH Date: 01/22/18  
Checked By: GH Date: 01/22/18  
Order No. 200839 FB, 0000 Pg. 00  
Drawing Status: PERMIT SET  
Date: 01/22/18

By: **Glen Harrelson, P.E.**  
Project Manager  
Registered Engineer No. 62939  
State of Florida

Scale: As Noted

File No. **AJ-5571**

Dwg. No:  
**C-2**  
OF: C-3



**GENERAL NOTES**

**Construction Specifications:**

**Materials**

1. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester, or polyethylene yarn. Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizers to provide a minimum of 6 months of expected usable construction life at a temperature range of 0. F to 120. F (-17C to 49C).
2. Burlap shall be 10 ounces per square yard (340 g/m2) fabric.
3. Posts for silt fences shall be either 4 inch (10 cm) diameter wood, or 1.33 pounds per linear foot (2 kg/m) steel with a minimum length of 5 feet (1.5 m). Steel posts shall have projections for fastening wire to them.
4. Stakes for filter barriers shall be 1" x 2" (2.5 x 5 cm) wood (preferred), or equivalent metal with a minimum length of 3 feet (90 cm).
5. Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 36 inches (90 cm) in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches (15 cm).

**Sheet Flow Application:**

**Silt Fence**

- This sediment barrier uses standard strength or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected.
1. The height of a silt fence shall not exceed 36 inches (90 cm). Higher fences may impound volumes of water sufficient to cause failure of the structure. 2. The filter fabric shall be purchased in a continuous roll cut to the length of the barrier to avoid the use of joints. When joints are necessary, filter cloth shall be spliced as described in item No. 8 below.
  3. Posts shall be spaced a maximum of 10 feet (3 m) apart at the barrier location and driven securely into the ground a minimum of 12 inches (30 cm). When extra strength fabric is used without the wire support fence, post spacing shall not exceed 6 feet (1.8 m).
  4. A trench shall be excavated approximately 4 inches (10 cm) wide and 4 inches (10 cm) deep along the line of posts and upslope from the barrier.
  5. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1 inch (25 mm) long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2 inches (5 cm) and shall not extend more than 36 inches (90 cm) above the original ground surface.
  6. The standard strength filter fabric shall be stapled or wired to the fence, and 8 inches (20 cm) of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches (90 cm) above the original ground surface.

7. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item No. 6 applying.
  8. When attaching two silt fences together, place the end post of the second fence inside the end post of the first fence. Rotate both posts at least 180 degrees on a clockwise direction to create a tight seal with the filter fabric. Drive both posts into the ground and bury the flap.
  9. The trench shall be backfilled and the soil compacted over the filter fabric.
  10. The most effective application consists of a double row of silt fences spaced a minimum of three feet apart. The three foot separation is so that if the first row collapses it will not fall on the second row. Wire or synthetic mesh is may be used to reinforce the first row.
  11. When used to control sediments from a steep slope, silt fences should be placed away from the toe of the slope for increased holding capacity.
  12. Silt fences shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.
- Maintenance**
1. Silt fences and filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
  2. Should the fabric on a silt fence or filter barrier decompose or become ineffective before the end of the expected usable life and the barrier still be necessary, the fabric shall be replaced promptly.
  3. Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately one-half the height of the barrier.
  4. Wind screens must be kept orderly at all times
  5. Construction entrances must be kept in working condition
  6. Protect all existing trees during construction
  7. Maintain all BMP's at existing inlets until the completion of construction.

**Schwabke Shiskin & Associates, Inc.**  
 LAND SURVEYORS  
 CIVIL ENGINEERS  
 LAND PLANNERS  
 LB#87 CA#87  
 3240 CORPORATE WAY  
 MIRAMAR, FL 33025  
 TEL: (305)652-7010  
 FAX: (305)652-8284

**REVISIONS**

Date	Remarks	By



THIS SHEET HAS BEEN ELECTRONICALLY SIGNED & SEALED ON 01/22/2018 BY GLEN HARRELSON USING A DIGITAL SIGNATURE. PRINTED COPY OF THIS SHEET IS NOT CONSIDERED AS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES SHALL HAVE AN ORIGINAL SIGNATURE AND DATE.

**28th STREET OBELISK**  
 EROSION AND SEDIMENT CONTROL PLAN  
 City of Miami Beach, FL, Sec. 27, Turp. 53, Rge. 42

Drawn By: GH Date: 01/22/18  
 Checked By: GH Date: 01/22/18  
 Order No. 208039 FB, 00000 Pg. 00  
 Drawing Status: PERMIT SET Date: 01/22/18  
 By: Glen Harrelson, P.E. Project Manager  
 Registered Engineer No. 62939 State of Florida  
 Scale: As Noted  
 File No. AJ-5571  
 Dwg. No: C-3  
 OF: C-3

**PERMIT SET - 01/22/2018**

GENERAL NOTES

THE CITY OF MIAMI BEACH TECHNICAL SPECIFICATIONS DIVISION-1 GENERAL REQUIREMENTS IS HEREBY MADE A PART OF THESE DOCUMENTS TO THE SAME EXTENT AS IF BOUND IN THEIR ENTIRETY HEREIN.

THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS, OR HAVE CONTROL OR CHARGE OVER THE ACTS AND OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OF THE AGENTS OR EMPLOYEES, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK.

THE CONTENTS OF THESE GENERAL NOTES SHALL NOT DETRACT ANY REQUIREMENTS FROM THE DRAWINGS AND SPECIFICATIONS.

THE STRUCTURAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS, SUCH A DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL OR ENGINEERING DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS SOLE EXPENSE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER CONTRACTORS AND THEIR WORK TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS. CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF THE EXISTING STRUCTURE AND ALL OBSTRUCTIONS, UTILITY LINES, POLES, STREET LIGHTS, SIGNS, BRANCHES AND TREES THAT NEED TO BE TEMPORARILY REMOVED TO FACILITATE RELOCATION OF THE STRUCTURE. THE CONTRACTOR SHALL COORDINATE TEMPORARY RELOCATION OF ALL UTILITIES WITH THE UTILITY SUPPLIER AND ARRANGE FOR THEIR REINSTALLATION IMMEDIATELY AFTER RELOCATION.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY TAKING FIELD MEASUREMENTS AT THE BUILDING SITE AND SHALL BE RESPONSIBLE FOR THEIR CORRECTNESS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENT PRIOR TO ANY WORK BEING PERFORMED.

DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS TO BE FOLLOWED.

ANY CHANGES, REVISIONS, ALTERATIONS, MODIFICATIONS, DEVIATIONS, ETC. THAT ARE REQUIRED ON THESE PLANS SHALL BE REQUESTED IN WRITING BY THE CONTRACTOR OR OWNER. ANY MODIFICATIONS NOT MADE BY WILLIAM B. MEDELLIN ARCHITECT P.A. WILL BE RELEASED TO WILLIAM B. MEDELLIN ARCHITECT P.A. FROM ANY AND ALL CLAIMS AGAINST WILLIAM B. MEDELLIN ARCHITECT P.A.

ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, COUNTY, CITY, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, LIFE SAFETY AND FIRE CODES. CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY CONFLICTS AS THEY EXIST. CONSTRUCTION SHALL FOLLOW "FLORIDA BUILDING CODE" 2014 EDITION AS ADOPTED BY THE CITY OF MIAMI - DADE COUNTY, FLORIDA.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING THE COSTS OF ALL REQUIRED BUILDING PERMITS, IMPACT FEES, AND TRADE PERMITS. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED INSURANCE CERTIFICATES FROM HIS SUBCONTRACTORS, MAINTAIN THEM UP TO DATE, AND DELIVER COPIES TO THE OWNER.

EXCEPT FOR LONGER PERIODS OF GUARANTEE AS MAY BE SPECIFIED, THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS COVERED BY THIS CONTRACT FOR A PERIOD OF (1) ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

IT IS THE INTENT AND PURPOSE OF THESE PLANS AND SPECIFICATIONS TO BE A COMPLETE AND TOTAL PROJECT OTHER THAN ITEMS MARKED N.I.C. (NOT IN CONTRACT)

THE CONTRACTOR SHALL MAINTAIN THE WORK SITE CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE.

SITE INVESTIGATION - IT SHALL BE THE RESPONSIBILITY OF THE BIDDERS TO VISIT THE SITE AND ACQUAINT THEMSELVES WITH ALL INFORMATION REGARDING THE BUILDING AND ITS EXISTING CONDITION.

EXCEPT FOR LONGER PERIODS OF EXPERIENCE AS MAY BE SPECIFIED, THE HISTORIC RESTORATION CONTRACTORS AND ARCHITECTS SHALL DEMONSTRATE PROOF OF EXTENSIVE EXPERIENCE IN HISTORIC RESTORATION AND REHABILITATION PROJECTS. SUBMIT AT LEAST FIVE (5) HISTORIC RESTORATION PROJECT REFERENCES FOR REVIEW.

SEE PROJECT SPECIFICATIONS SECTION 01100 - GENERAL REQUIREMENTS FOR ADDITIONAL PROJECT CONDITIONS AND REQUIREMENTS.

DEMOLITION NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL CODES, ORDINANCES AND OSHA REGULATIONS.

CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR PERMITS AND INSPECTIONS AS REQUIRED BY CODE, APPLICABLE LAWS OR GOVERNING AGENCIES IN CONNECTION WITH DEMOLITION WORK, REMOVAL AND DISPOSAL OF DEBRIS.

ASBESTOS AND LEAD-BASED PAINT ABATEMENT.

PROPER DISPOSAL OF ALL DEMOLISHED WASTE MATERIALS SHALL BE BY THE GENERAL CONTRACTOR. ALL INDIVIDUAL SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF WASTE MATERIALS DUE TO THEIR RESPECTIVE ACTIVITIES.

THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION AND CONSTRUCTION.

DEMOLITION OF ITEMS TO BE REMOVED OR RELOCATED, SHALL BE DONE ON A SAFE, ORDERLY MANNER WITHOUT DAMAGE TO OTHER PARTS OF THE PREMISES.

MATERIALS AND ITEMS TO BE DEMOLISHED AND NOT DESIGNATED TO BECOME THE PROPERTY OF THE OWNER, SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE.

DEMOLISH, REMOVE AND/OR RELOCATE ALL EXISTING WORK AS SPECIFIED OR DIRECTED, AND AS REQUIRED BY THE CONDITIONS OF THE JOB, PLANS, AND SPECIFICATIONS, INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: ONE STORY EASTERN CONCRETE STRUCTURE ADDITION AND ALL EXISTING ELECTRICAL AND PLUMBING SYSTEMS.

STORE IN A SAFE AREA ALL HISTORIC MATERIAL DESIGNATED TO BE REMOVED. ARCHITECT, MUSEUM'S CONSERVATOR AND STRUCTURAL ENGINEER WILL DETERMINE WHICH HISTORIC MATERIAL TO BE RE-USED. SEE PROJECT SPECIFICATIONS SECTION 02410 - DEMOLITION, FOR ADDITIONAL PROJECT DEMOLITION CONDITIONS AND REQUIREMENTS.

SHOP DRAWINGS AND SUBMITTAL (NOT LIMITED)

NATURAL STONE - MARBLE - MATERIALS AND CLEANING STONE RESTORATION - MATERIALS - REPAIR, INSTALLATION AND CLEANING ARCHITECTURAL WOODWORK - MATERIALS - REPAIR AND INSTALLATION ROOFING AND FLASHING SYSTEMS

PORTLAND CEMENT/STUCCO - MATERIALS - REPAIR AND INSTALLATION PAINT - MATERIALS AND APPLICATION MATERIALS AND FIXTURES - ELECTRICAL

DOORS, FRAMES, DOOR TYPES SPECIFICATIONS AND INSTALLATION HARDWARE SCHEDULE WINDOWS AND GLAZING, DETAILS AND SAMPLES

HURRICANE STORM PANELS MATERIALS AND FIXTURES - HVAC, ELECTRICAL AND PLUMBING TERRACE FLASHING AND WATERPROOFING SYSTEM

METAL RAILING CONCRETE WATERPROOFING QUARRY AND CERAMIC TILE WATER FOUNTAIN MOLDING AND ORNAMENTAL TRIM

SUBMIT SAMPLES AND COLOR CHARTS FOR FINISHES SUBMIT 4 SETS MINIMUM FOR ARCHITECT'S APPROVAL ALLOW TWO WEEKS TIME FOR SHOP REVIEW PROCESSING

SHOP DRAWINGS SHALL BE REVIEWED BY GENERAL CONTRACTOR AND ARCHITECT. SHOP DRAWINGS SUBMITTAL REJECTED SHALL BE RESUBMITTED SHOWING CORRECTIONS.

DIVISION 1 - GENERAL REQUIREMENTS

SEE PROJECT SPECIFICATIONS SECTION 01100 - GENERAL REQUIREMENTS

DIVISION 2 - SITE WORK

SEE PROJECT SPECIFICATIONS SECTION 02410 - DEMOLITION

DIVISION 3 - CONCRETE

SEE STRUCTURAL PLANS DIVISION 4 - MASONRY SEE PROJECT SPECIFICATIONS SECTION 04720 - REMOVING AND REPLACING CAST STONE ARCHITECTURAL FEATURES.

SEE PROJECT SPECIFICATIONS SECTION 04900 - CLEANING METHODS FOR REMAINING MASONRY SURFACES. SEE PROJECT SPECIFICATIONS SECTION 04902 - STONE RESTORATION. SEE STRUCTURAL DRAWINGS

DIVISION 5 - METALS

SEE PROJECT SPECIFICATIONS SECTION 05700 - REPAIRING DAMAGED OR MISSING ORNAMENTAL METAL. SEE PROJECT SPECIFICATIONS SECTION 09910 - EXTERIOR - INTERIOR PAINT.

SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.

COPPER/ BRASS CLEANING:

CLEANING OF LACQUERED AND UNFINISHED BRASS.

MATERIALS:

- 1. HOUSEHOLD AMMONIA. DO NOT MIX AMMONIA WITH CHLORIDE BLEACHES - A POISONOUS GAS WILL RESULT. DO NOT USE BLEACH ON BIRD DROPPINGS.

- 2. VINEGAR
- 3. BAKING SODA.
- 4. MILD SOAP.
- 5. CLEAN POTABLE WATER.
- 6. CLEAN, SOFT CLOTHS.

EXECUTION:

CLEANING MUST BE PERFORMED BY CONSERVATOR WITH AT LEAST FIVE YEARS EXPERIENCE IN THE RESTORATION OF HISTORIC METALS.

BEFORE THE CLEANING PROCESS, EXAMINE THE SURFACES TO DETERMINE THE EXTENT OF WORK REQUIRED. LOOK FOR BROKEN, CRACKED, MISSING, DISTORTED OR LOOSE PARTS, COATING FAILURES SUCH AS CHIPS, LOSSES, PEELING, CRACKS, BUBBLING AND WEAR. LOOK FOR CORROSION CAUSED BY MOISTURE, SEA WATER AND SEA AIR, DEICING SALTS, ACIDS, SOALS, GYPSUM PLASTERS, MAGNESIUM OXYCHLORIDE CEMENTS, ASHES, CLINKERS AND SULPHUR COMPONENTS.

BEFORE CLEANING DETERMINE IF BRASS SURFACE IS SOLID OR PLATED.

WHEN CLEANING RETAIN THE EXISTING BRASS PATINA.

REMOVE LIGHT RUST BY HAND SCRAPPING CHIPPING AND WIRE BRUSH.

PERFORM CLEANING METHOD INDICATED IN A MANNER WHICH RESULTS IN UNIFORM COVERAGE OF ALL SURFACES AND WHICH PRODUCES AN EVEN EFFECT WITHOUT STREAKING OR DAMAGE TO ADJACENT SURFACES.

FOR UNLACQUERED SOLID BRASS:

- 1. APPLY BRASS CLEANER USING A CLEAN SOFT CLOTH. APPLY CLEANER TO A SMALL AREA AT A TIME. BUFF ALONG THE GRAIN OF METAL USING A CLEAN SOFT CLOTH.

- 2. QUICKLY REMOVE THE CLEANER BY BUFFING THE AREA WITH A CLEAN SOFT CLOTH. CREVICES AND CORNERS.
- 3. USE A POINTED ORANGEWOOD STICK TO REMOVE EXCESSIVE CLEANER FORM

FOR LACQUERED SOLID BRASS:

- 1. CLEAN USING ONLY A MILD DETERGENT AND WATER. DO NOT USE AMMONIA CLEANER.
- 2. RINSE THOROUGHLY WITH A CLEAN SOFT CLOTH.

PUMP, TURBINES - ELECTRICAL EQUIPMENT - PIPING AND CONDUITS

CLEANING:

- 1. HAND SCRAPPING AND WIRE BRUSHING OF LOOSE DETERIORATED PAINT AND LIGHT RUST.
- 2. LOW PRESSURE SANDBLASTING OF EXCESSIVE PAINT BUILT-UP AND SUBSTANTIAL CORROSION AGGREGATES TO BE IRON SLAG OR SAND. DO NOT USE COPPER SLAG, HARD SHARP AGGREGATES OR HIGH PRESSURE OVER 100 P.S.I.
- 3. PROTECT ALL ADJACENT MATERIALS TO PREVENT DAMAGE.
- 4. APPLY FINISH AS PER PROJECT SPECIFICATIONS SECTION 09910 EXTERIOR - INTERIOR PAINT.

CLEANING AND FINISHING MUST BE PERFORMED BY CONSERVATOR WITH AT LEAST FIVE YEARS EXPERIENCE IN THE RESTORATION OF HISTORIC METALS.

BEFORE THE CLEANING PROCESS, EXAMINE THE SURFACES TO DETERMINE THE EXTENT OF WORK REQUIRED. LOOK FOR BROKEN, CRACKED, MISSING, DISTORTED OR LOOSE PARTS, COATING FAILURES SUCH AS CHIPS, LOSSES, PEELING, CRACKS, BUBBLING AND WEAR. LOOK FOR CORROSION CAUSED BY MOISTURE, SEA WATER AND SEA AIR, DEICING SALTS, ACIDS, SOALS, GYPSUM PLASTERS, MAGNESIUM OXYCHLORIDE CEMENTS, ASHES, CLINKERS AND SULPHUR COMPONENTS.

CLEAN AND RE-INSTALL ANY LOOSE EQUIPMENT,COMPONENTS, PARTS, TO THEIR ORIGINAL LOCATION.

DIVISION 6 - WOOD

WOOD TREATMENT - STABILIZATION - RESTORATION

SEE PROJECT SPECIFICATIONS SECTION 06401 - EXTERIOR ARCHITECTURAL

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SPECIFICATIONS

DIVISION 7 - MOISTURE PROTECTION

SEE PROJECT SPECIFICATIONS SECTION 07140 FLUID APPLIED WATERPROOFING - FOUNTAINS

SEE PROJECT SPECIFICATIONS SECTION 07141 ELASTOMERIC WATERPROOFING - UNDER TILE

SEE PROJECT SPECIFICATIONS SECTION 07143 WATERPROOFING SYSTEM

SEE STRUCTURAL DRAWINGS FOR ADDITIONAL SPECIFICATIONS

DIVISION 8 - DOORS , WINDOWS AND GLASS

NEW WINDOWS/LOUVERS

ALL GLASS SHALL BE TEMPERED. ALL WINDOWS AND DOORS SHALL BE LABELED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH FLORIDA STATE MODEL ENERGY CODE. ARCHITECT, WINDOW AND DOOR MANUFACTURERS SHALL COORDINATE WITH THE CONTRACTOR AND VERIFY OPENING SIZES PRIOR TO FABRICATION. ALL LOADS AS REQUIRED BY BUILDING CODE, WINDOWS AND LOUVERS TO HAVE CURRENT DADE COUNTY PRODUCT APPROVAL. CERTIFICATION TO BE PROVIDED TO OWNER.

ALL VENTING WINDOWS/LOUVERS ARE TO BE SUPPLIED WITH SCREENS FROM THE FACTORY. WOOD WINDOWS/LOUVERS ARE TO BE SUPPLIED WITH FACTORY PRIMED FINISH.

WOOD WINDOW REPAIR/RESTORATION/UGO/PARDE

SEE PROJECT SPECIFICATIONS SECTION 06401 - EXTERIOR ARCHITECTURAL WOODWORK

SEE PROJECT SPECIFICATIONS SECTION 08810 - REHABILITATING WOOD WINDOWS

SEE PROJECT SPECIFICATIONS SECTION 08800 - REPLACING BROKEN GLASS IN WOOD WINDOWS

SEE PROJECT SPECIFICATIONS SECTION 09911 - EXTERIOR PAINTS - WOOD

FINISH HARDWARE

SEE PROJECT SPECIFICATIONS SECTION 08700 - CLEANING DOOR HARDWARE.

SEE PROJECT SPECIFICATIONS SECTION 08710 - REPAIRING DOOR FINISH HARDWARE.

PROVIDE ALLOWANCE FOR MATERIAL AND INSTALLATION OF NEW HARDWARE AT EXISTING WOOD DOOR. DURING SELECTIVE THE DEMOLITION PHASE, ASSESSMENT OF THE EXISTING CONDITIONS AND DETERMINATION OF THE APPROPRIATE NEW HARDWARE WILL BE SPECIFIED.

DIVISION - 9 FINISHES

SEE PROJECT SPECIFICATIONS SECTION 09220 - PORTLAND CEMENT PLASTER/STUCCO, CERAMIC TILE

SEE PROJECT SPECIFICATIONS SECTION 09310 - REPLACING DAMAGED OR MISSING CERAMIC TILE.

SEE PROJECT SPECIFICATIONS SECTION 09311 - REROUTING CERAMIC TILE.

SEE PROJECT SPECIFICATIONS SECTION 09312 - REMOVING RUST STAINS FROM CERAMIC TILE.

SEE PROJECT SPECIFICATIONS SECTION 09315 - REPAIRING BROKEN TILES.

QUARRY TILE

SEE PROJECT SPECIFICATIONS SECTION 09330 - QUARRY TILE

SEE PROJECT SPECIFICATIONS SECTION 09315 - REPAIRING BROKEN TILES.

PAINTING:

SEE PROJECT SPECIFICATIONS SECTION 09910 - EXTERIOR PAINTS.

SEE PROJECT SPECIFICATIONS SECTION 09911 - EXTERIOR PAINTS, WOOD.

DIVISION - 10 SPECIALTIES

NOT APPLICABLE

DIVISION - 11 EQUIPMENT

NOT APPLICABLE

DIVISION - 12 FURNISHINGS

NOT APPLICABLE

DIVISION - 13 SPECIAL CONSTRUCTION

NOT APPLICABLE

DIVISION - 14 CONVEYING SYSTEM

NOT APPLICABLE

DIVISION - 15 MECHANICAL

SEE MECHANICAL AND PLUMBING DRAWINGS

DIVISION - 16 ELECTRICAL

LIGHT FIXTURES AND EQUIPMENT SEE ELECTRICAL DRAWINGS

ALTERNATES:

ALTERNATE #1: NEW EAST STEPS - SEE ARCHITECTURAL, STRUCTURAL AND PLUMBING DRAWINGS.

ALTERNATE #2: NEW EAST STEPS - SEE ARCHITECTURAL, STRUCTURAL AND PLUMBING DRAWINGS.

PROJECT LOCATION

28th STREET OBELISK AND PUMP ROOM.

300 WEST 28th STREET MIAMI BEACH, FLORIDA 33139

PROJECT DATA

SCOPE OF WORK: DEMOLITION OF EXISTING ONE STORY, REINFORCED CONCRETE STRUCTURE, SELECTIVE DEMOLITION OF TERRACE MASONRY AND METAL RAILING. RESTORATION AND RE-CONFIGURATION OF EXISTING HISTORIC STAIRS RAILING. INSTALLATION OF NEW METAL RAILING AT TERRACE. ?????? AND RESTORATION OF CONCRETE NORTH AND SOUTH STEPS. RESTORATION OF EXISTING WOOD DOOR AND WINDOWS. STRUCTURAL REPAIRS AND RESTORATION OF FINISHES. RESTORATION OF EXISTING WATER FOUNTAIN AND INSTALLATION OF TWO NEW WATER FOUNTAINS TO MATCH EXISTING. NEW PLUMBING SYSTEM TO SERVICE WATER FOUNTAINS. NEW ELECTRICAL SYSTEM AND EXTERIOR/INTERIOR LIGHTING. NEW MECHANICAL VENTILATION SYSTEM.

APPLICABLE CODES AND STANDARDS

FLORIDA BUILDING CODE 2014 EDITION.

FLORIDA BUILDING CODE EXISTING 2014 EDITION.

FLORIDA FIRE PREVENTION CODE / NFPA 101 LIFE SAFETY CODE 2014 EDITION.

FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2012 EDITION.

NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS 2013 EDITION.

NFPA 70 NATIONAL ELECTRIC CODE 2017.

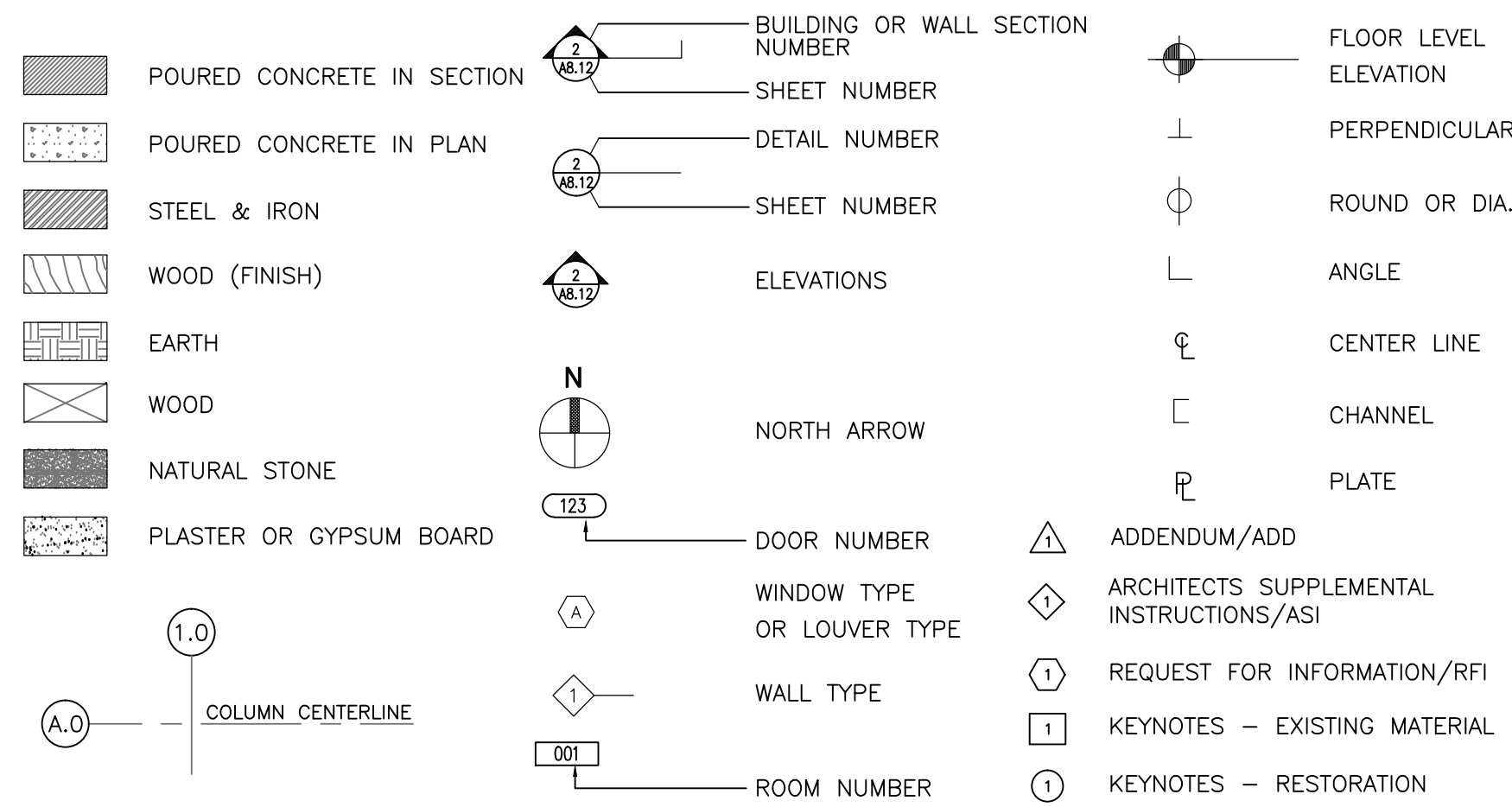
THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES - PRESERVATION, REHABILITATION, RESTORATION AND RECONSTRUCTION.

2 PROJECT INFORMATION

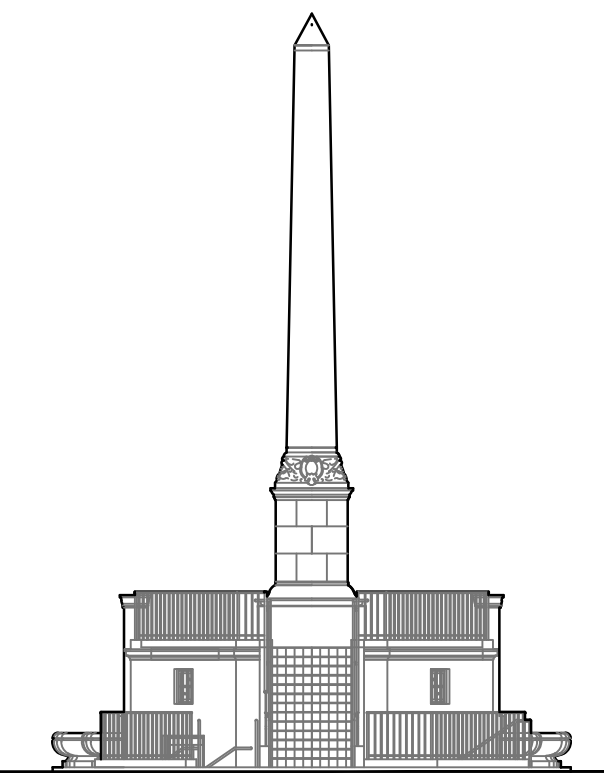
3 STANDARD SYMBOLS

4 ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes entries like AFT Above Finished Floor, DN Down, Dimension, etc.



1 GENERAL NOTES - SPECIFICATIONS



28th STREET OBELISK AND PUMP STATION RESTORATION

300 WEST 28th STREET MIAMI BEACH, FL. 33139

Table with 3 columns: NO., REVISIONS/SUBMISSIONS (\*), DATE. Shows permit set on 01/22/2018.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medellin Architect P.A. www.wbmaarchitect.com

560 N.E. 71 STREET MIAMI, FLORIDA 33138 305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER

INGELMO ASSOCIATES P.A. 250 CATALONIA AVENUE, SUITE 301 CORAL GABLES, FL 33134 305-461-6009

MEP ENGINEER

MAQUEIRA ENGINEERING CONSULTANTS 7220 S.W. 39th TERRACE MIAMI, FL 33155 305-444-9210

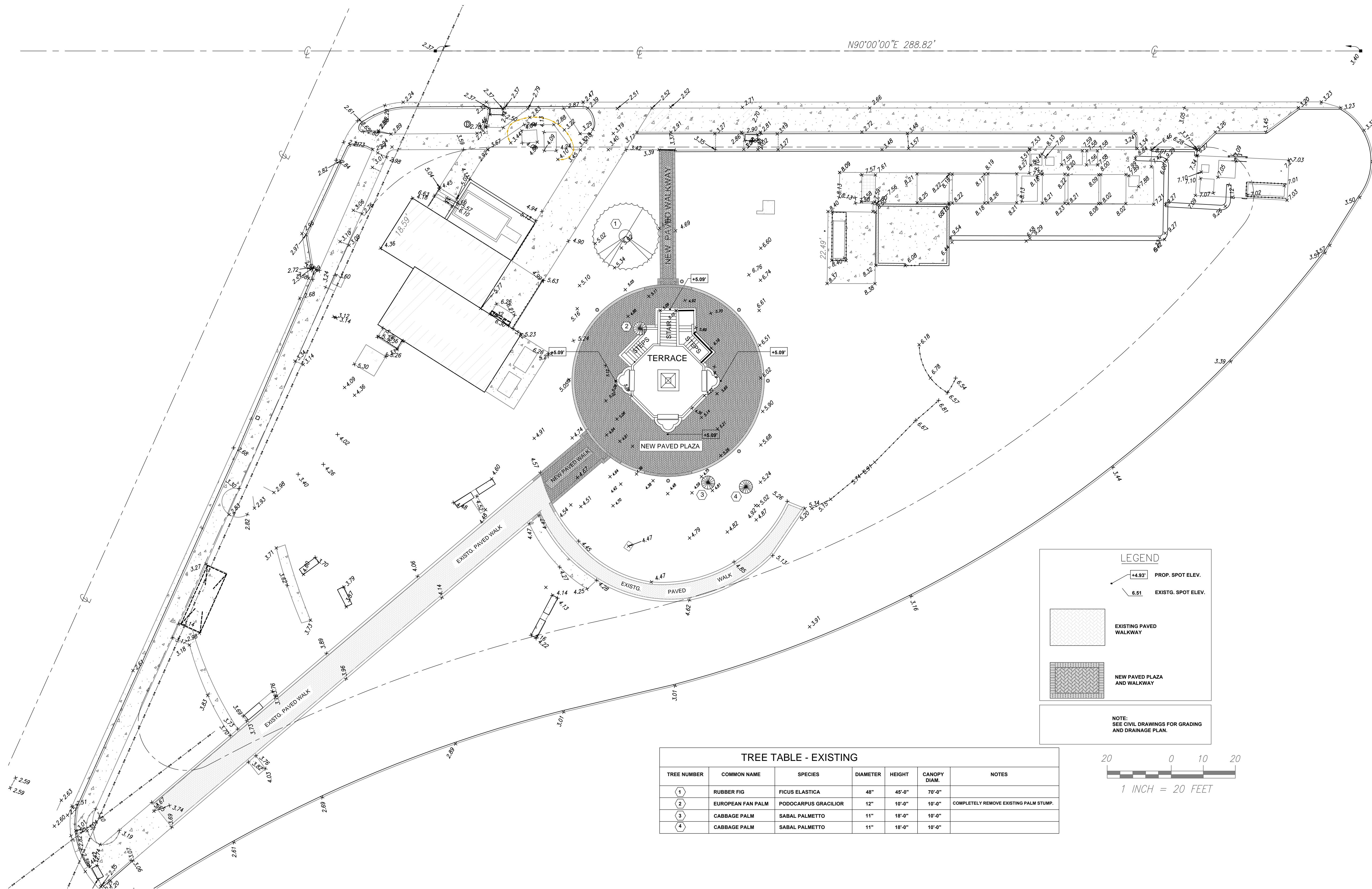
SHEET TITLE

GENERAL NOTES - SPECIFICATIONS PROJECT INFORMATION

Table with 2 columns: SEAL, ISSUE DATE, PROJECT NO., DRAWN BY, CHECKED BY, DRAWING NO.

A-0

DATE: WILLIAM B MEDELLIN ARCHITECT P.A. FL REGISTRATION No. 00034000



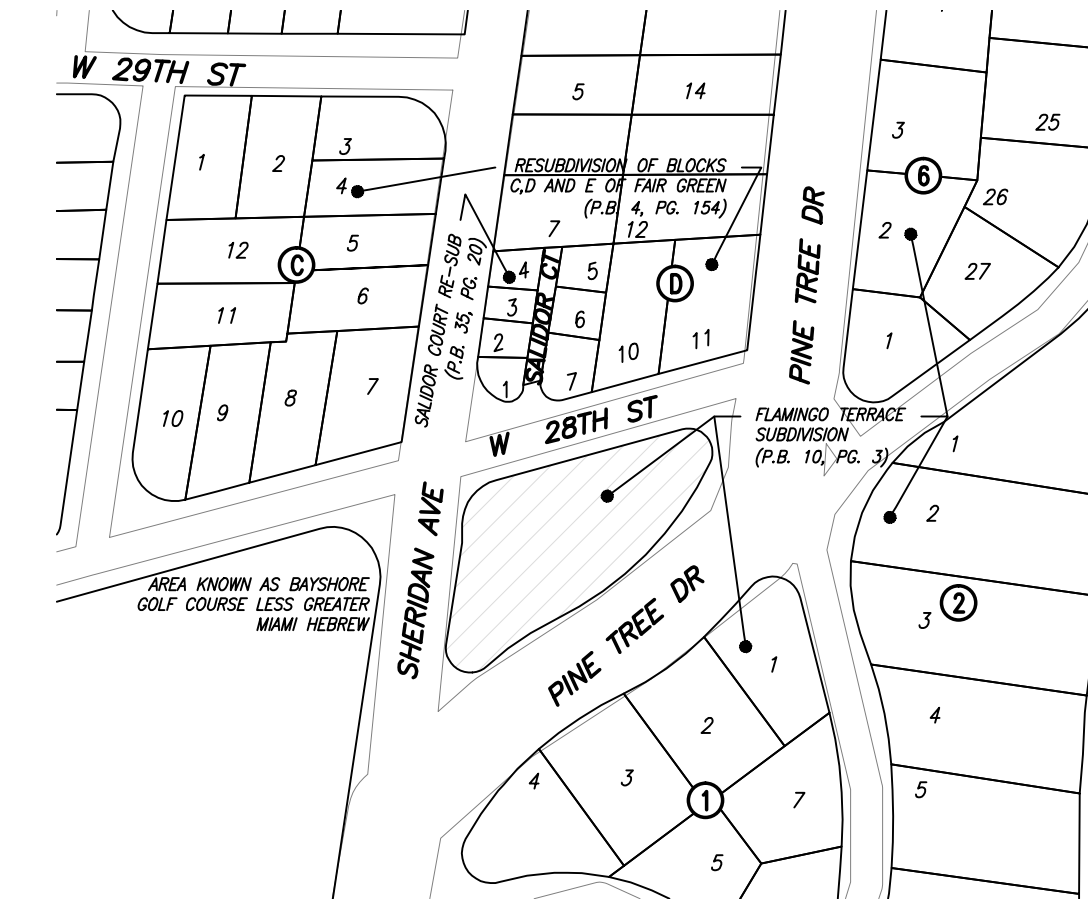
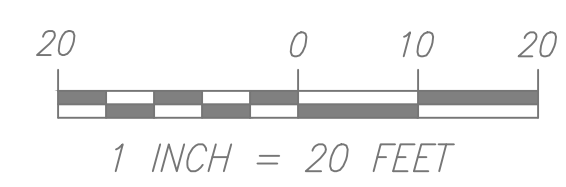
**TREE TABLE - EXISTING**

TREE NUMBER	COMMON NAME	SPECIES	DIAMETER	HEIGHT	CANOPY DIAM.	NOTES
1	RUBBER FIG	FICUS ELASTICA	48"	45'-0"	70'-0"	
2	EUROPEAN FAN PALM	PODOCARPUS GRACILIOR	12"	10'-0"	10'-0"	COMPLETELY REMOVE EXISTING PALM STUMP
3	CABBAGE PALM	SABAL PALMETTO	11"	15'-0"	10'-0"	
4	CABBAGE PALM	SABAL PALMETTO	11"	15'-0"	10'-0"	

**LEGEND**

- 14.97 PROP. SPOT ELEV.
- 14.87 EXISTG. SPOT ELEV.
- EXISTING PAVED WALKWAY
- NEW PAVED PLAZA AND WALKWAY

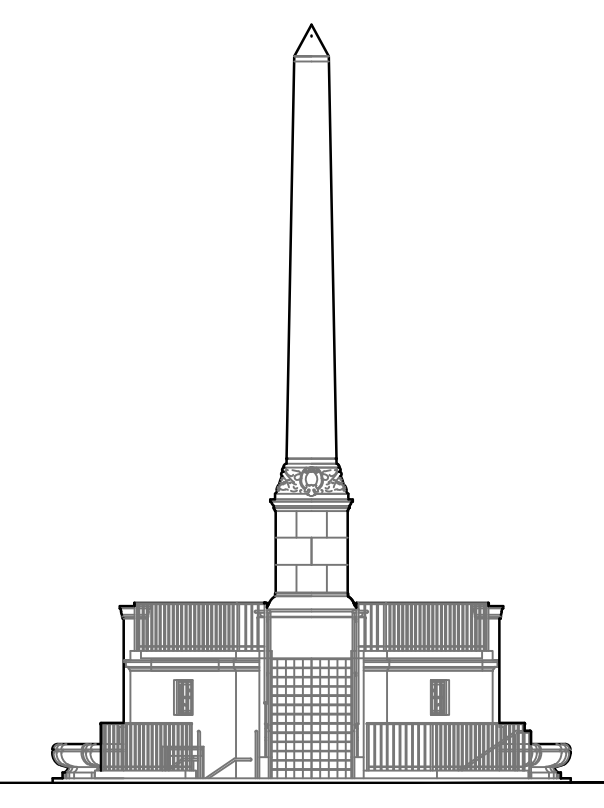
NOTE: SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE PLAN.



**LEGAL DESCRIPTION**

A portion of land, located in Section 27, Township 53, South Range 42 East, bounded by the perimeter of an arc circumference having a radius of 33.50 feet and an arc length of 210.49 feet. The location of the radius point of said circumference is described as follows:  
Commence at the point of intersection of the east right-of-way line of Sheridan Avenue and the north right-of-way line of West 28th Street, as shown in SALIDOR COURT, recorded in Plat Book 35, at Page 20, Public Records of Miami-Dade County, Florida; thence South 8° 25' 08" West, along the extension of the east right-of-way line of Sheridan Street for a distance of 32.89 feet to the point of intersection with the center line of said West 28th Street; thence North 74° 13' 22" East, along the center line of said West 28th Street for a distance of 73.05 feet; thence South 15° 46' 38" East, at right angle with the center line of said West 28th Street for a distance of 102.64 feet to the radius point of the above mentioned circumference. Said lands located, lying and being in the City of Miami Beach, County of Miami-Dade, Florida, and containing 3526 square feet more or less

1 SITE PLAN  
AS SHOWN



**28th STREET OBELISK AND PUMP STATION RESTORATION**

300 WEST 28th STREET  
MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medelin  
Architect P.A.  
www.wbmaarchitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381  
FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER  
INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-461-6009

MEP ENGINEER  
MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-8210

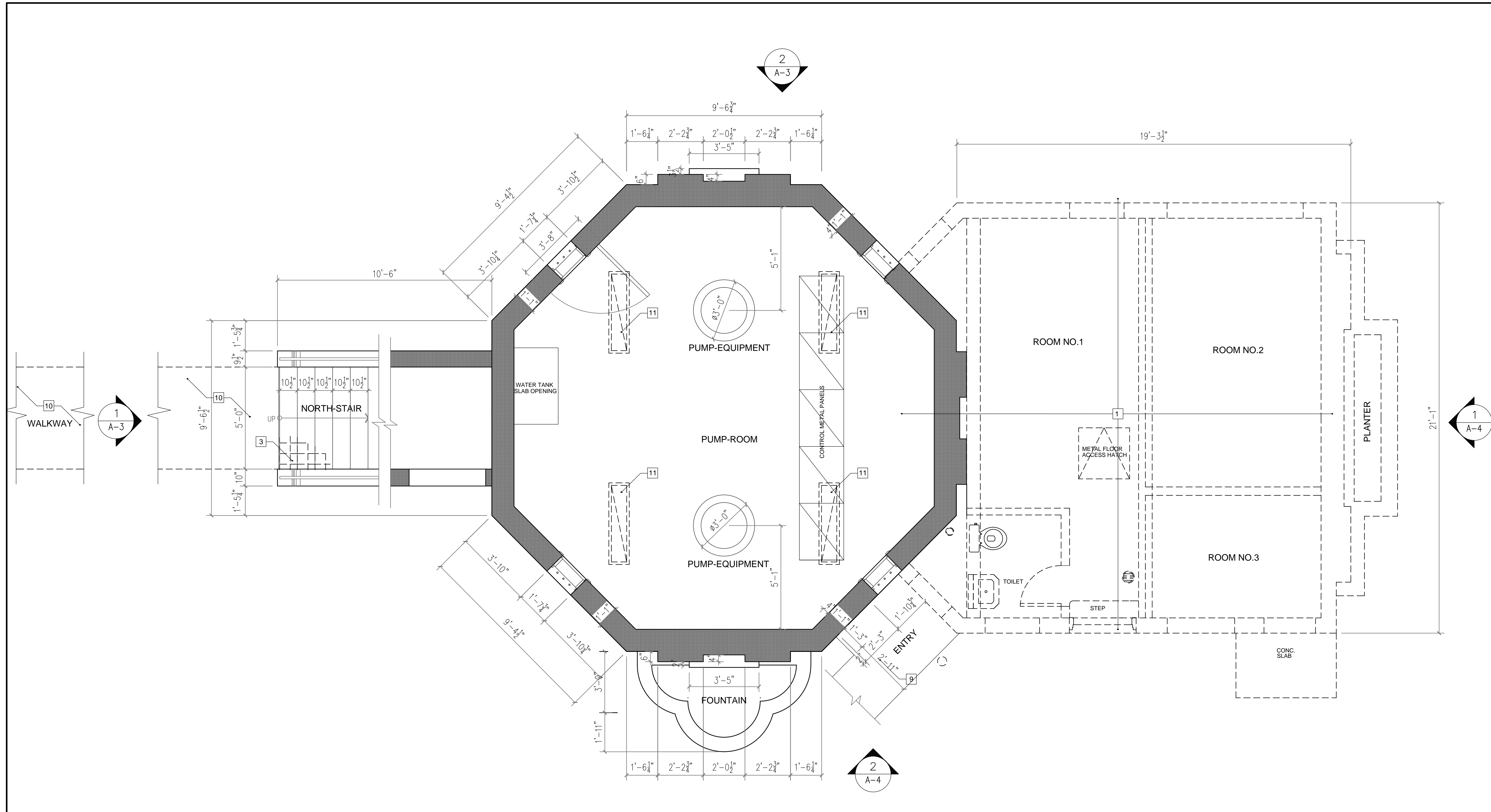
SHEET TITLE

SITE PLAN

DATE	ISSUE DATE
01/22/2018	01/22/2018

PROJECT NO. 12155  
DRAWN BY ZW  
CHECKED BY WW  
DRAWING NO. A-1

DATE: WILLIAM B MEDELLIN ARCHITECT P.A.  
FL REGISTRATION No. 0003400



**DEMOLITION LEGEND:**

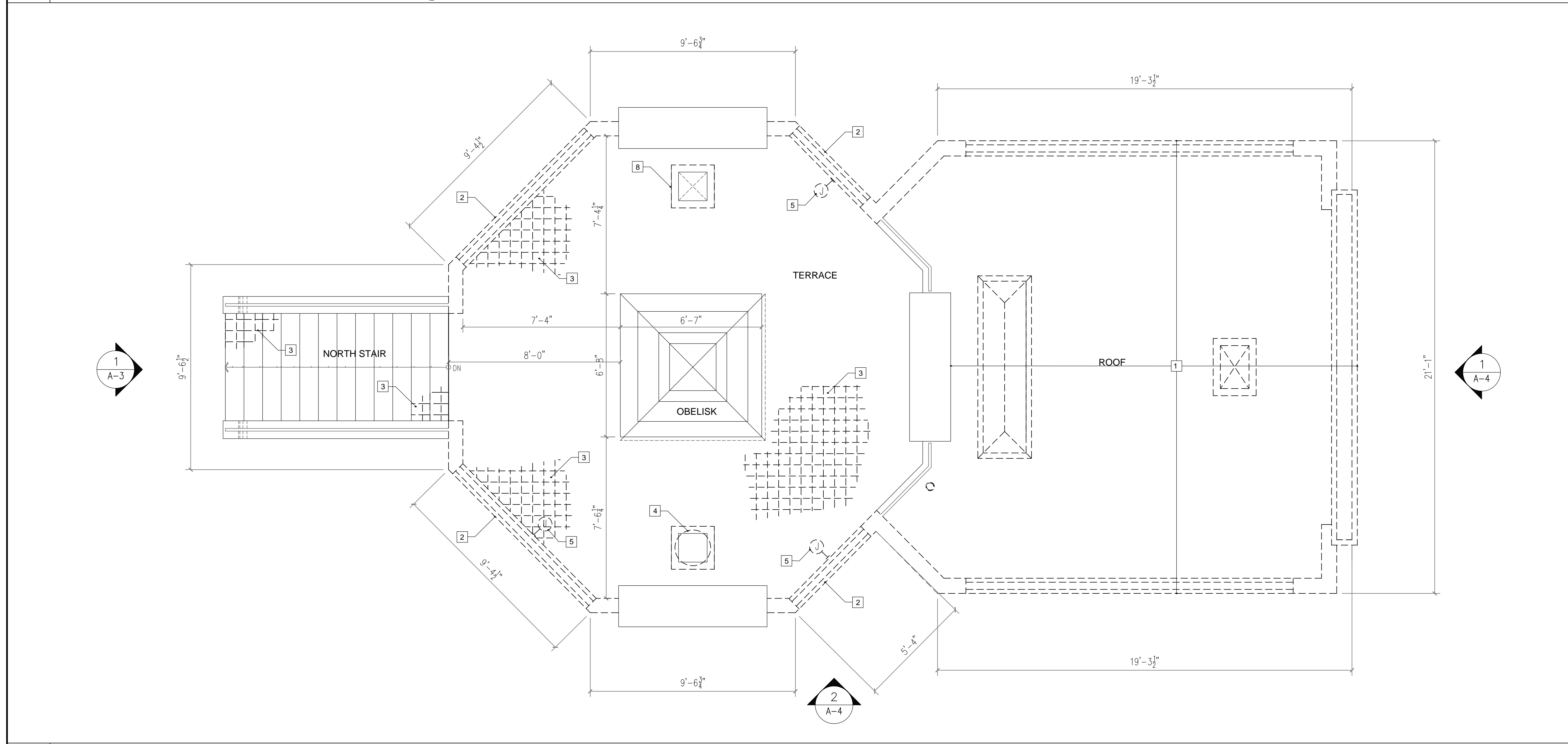
- EXISTING TO REMAIN
- - - - - EXISTING TO BE REMOVED

**DEMOLITION NOTES:**

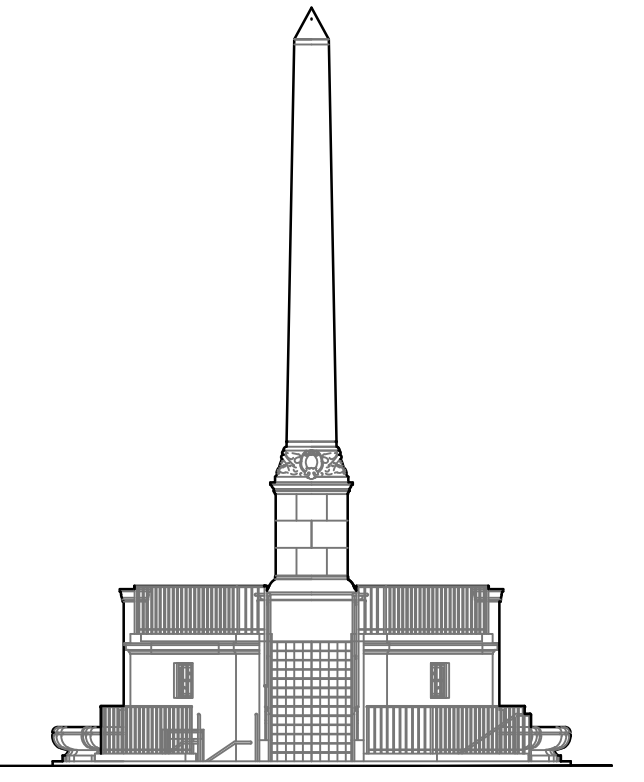
- REMOVE IN ITS ENTIRETY CONCRETE STRUCTURE ADDITION, INCLUDING ALL RELATED STRUCTURAL ELEMENTS, TANKS, UTILITIES AND RELATED COMPONENT SYSTEMS. PROTECT FROM DAMAGE DURING CONSTRUCTION ADJACENT HISTORIC FINISHES, STRUCTURE, EQUIPMENT AND ALL OTHER ITEMS TO REMAIN. BEFORE DEMOLITION FIELD INVESTIGATE ADDITIONAL STRUCTURAL SYSTEM AND RELATION TO EXISTING OCTAGONOBELISK & UNDERGROUND TANKS STRUCTURAL SYSTEMS AND NOTIFY ARCHITECT, STRUCTURAL ENGINEER AND PROJECT MANAGER TO VISIT SITE TO REVIEW EXISTING CONDITIONS.
  - CAREFULLY REMOVE TOP SECTION OF PIERCED BRICK LOW WALL, INSTALLED OVER CONCRETE CURB. EXISTING CONCRETE CURB TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING STRUCTURE, MATERIALS AND FINISHES TO REMAIN.
  - REMOVE AND DISCARD RED QUARRY TILE AT TERRACE FLOOR PROVIDE TEMPORARY WEATHER PROTECTION COVERING DURING CONSTRUCTION.
  - REMOVE AND RETURN TO OWNER. PUMP ROOM METAL VENT. TEMPORARILY PROTECT SLAB OPENING AFTER REMOVAL.
  - REMOVE AND DISCARD ELECTRICAL JUNCTION BOX AND RELATED ELECTRICAL SYSTEM.
  - REMOVE AND DISCARD EXTERIOR PORTION OF METAL PIPES AND ALL RELATED SYSTEM. PATCH HOLES AND FINISH TO MATCH EXISTING.
  - REMOVE AND DISCARD NON-HISTORIC METAL ENCLOSURE.
  - REMOVE AND DISCARD PUMP ROOM METAL VENT FRAME. TEMPORARILY PROTECT VENT SLAB OPENING.
  - REMOVE AND DISCARD METAL PIPE AND ALL EXTERIOR RELATED SYSTEM, INCLUDING ALL UNDERGROUND PIPING.
  - REMOVE CONCRETE SIDEWALK.
  - REMOVE AND DISCARD ELECTRICAL LIGHT FIXTURES.
- ALL PUMP ROOM EQUIPMENT TO REMAIN.  
 SEE PROJECT SPECIFICATIONS SECTION 02410 - DEMOLITION FOR ADDITIONAL INFORMATION.

3 KEYNOTES - DEMOLITION - SELECTIVE DEMOLITION

1 GROUND FLOOR PLAN - DEMOLITION  
 1/4"=1'-0"



2 TERRACE/ROOF PLAN - DEMOLITION  
 3/8"=1'-0"

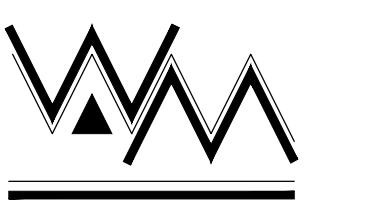


**28th STREET OBELISK AND PUMP STATION RESTORATION**

300 WEST 28th STREET  
 MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



**William B Medelin**  
 Architect P.A.  
 www.wbmaarchitect.com

560 N.E. 71 STREET  
 MIAMI, FLORIDA 33138  
 305-672-8381  
 FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER  
 INGELMO ASSOCIATES P.A.  
 250 CATALONIA AVENUE, SUITE 301  
 CORAL GABLES, FL 33134  
 305-461-6009

MEP ENGINEER  
 MAQUERA ENGINEERING CONSULTANTS  
 7220 S.W. 39th TERRACE  
 MIAMI, FL 33155  
 305-444-8210

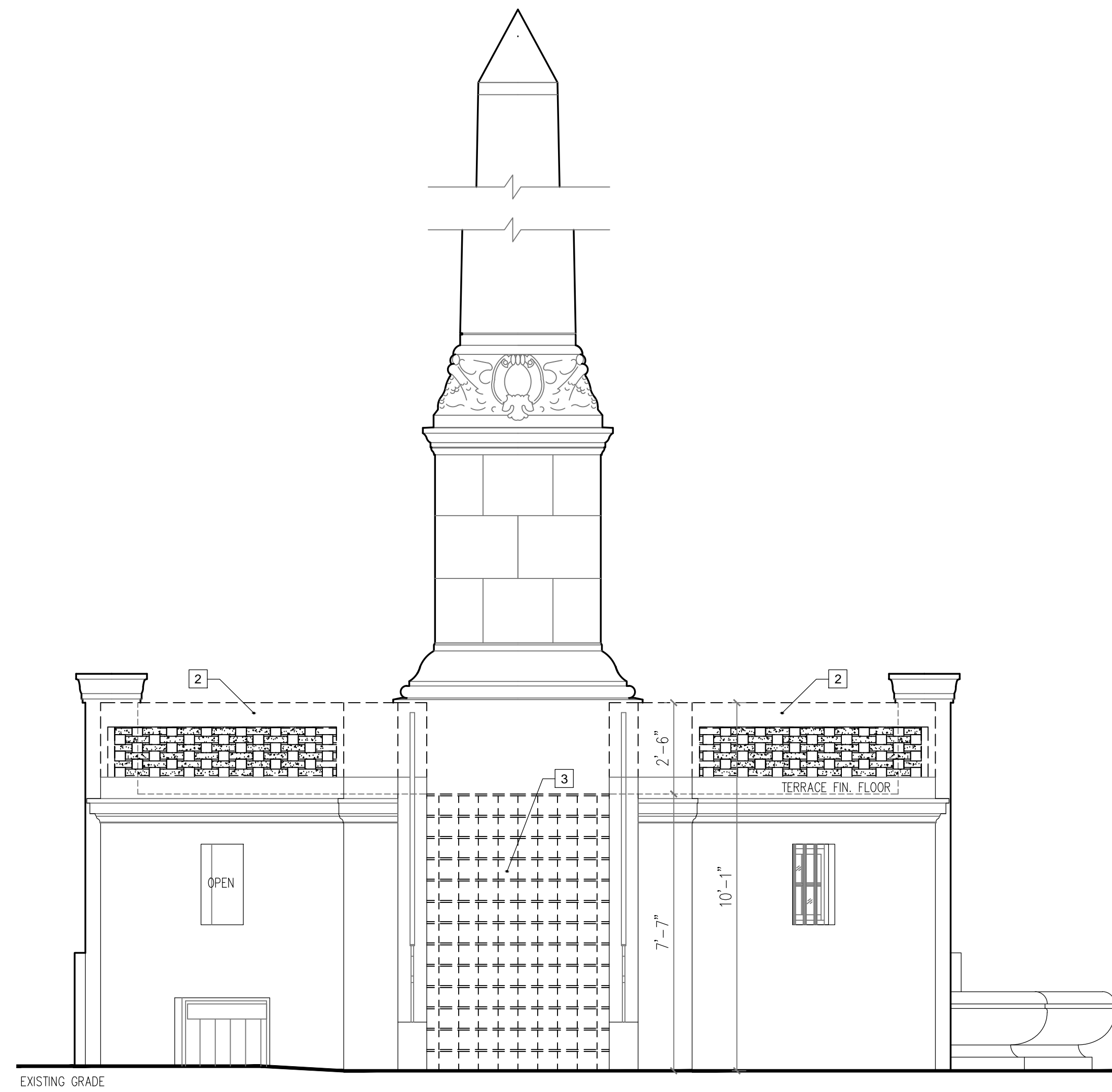
SHEET TITLE

**GROUND FLOOR PLAN - DEMOLITION  
 TERRACE FLOOR/ROOF PLAN - DEMOLITION**

ISSUE DATE:	01/22/2018
PROJECT NO.:	12185
DRAWN BY:	ZW/MW
CHECKED BY:	WM
DRAWING NO.:	

**A-2**

DATE: 01/22/2018  
 WILLIAM B MEDELLIN ARCHITECT P.A.  
 FL REGISTRATION No. 0003400



**DEMOLITION LEGEND:**

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

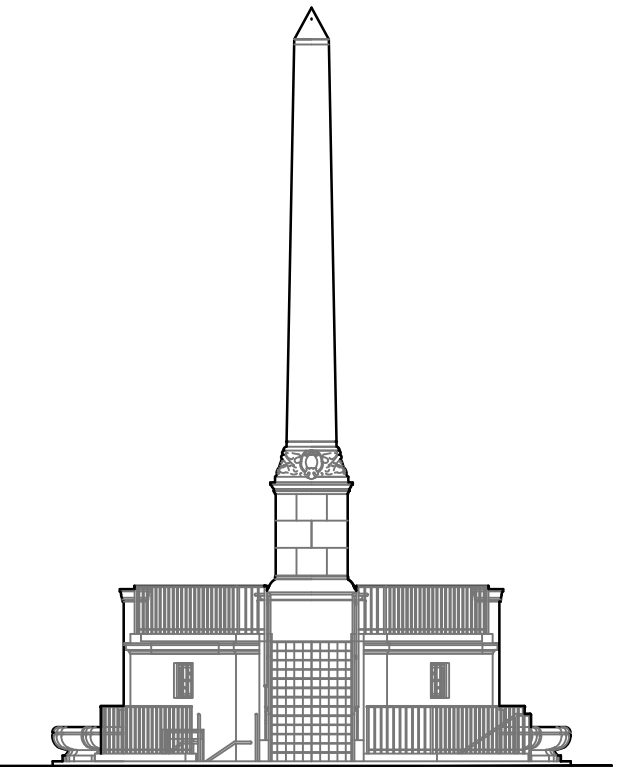
**DEMOLITION NOTES:**

1 REMOVE IN ITS ENTIRETY CONCRETE STRUCTURE ADDITION, INCLUDING ALL RELATED STRUCTURAL ELEMENTS, TANKS, UTILITIES AND RELATED COMPONENT SYSTEMS. PROTECT FROM DAMAGE DURING CONSTRUCTION ADJACENT HISTORIC FINISHES, STRUCTURE, EQUIPMENT AND ALL OTHER ITEMS TO REMAIN. BEFORE DEMOLITION FIELD INVESTIGATE ADDITION'S STRUCTURAL SYSTEM AND RELATION TO EXISTING OCTAGON OBELISK & UNDERGROUND TANKS STRUCTURAL SYSTEMS AND NOTIFY ARCHITECT, STRUCTURAL ENGINEER AND PROJECT MANAGER TO VISIT SITE TO REVIEW EXISTING CONDITIONS.

**SELECTIVE DEMOLITION NOTES:**

- 2 CAREFULLY REMOVE TOP SECTION OF PIERCED BRICK LOW WALL. INSTALLED OVER CONCRETE CURB. EXISTING CONCRETE CURB TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING STRUCTURE, MATERIALS AND FINISHES TO REMAIN.
- 3 REMOVE AND DISCARD RED QUARRY TILE AT TERRACE FLOOR PROVIDE TEMPORARY WEATHER PROTECTION COVERING DURING CONSTRUCTION.
- 4 REMOVE AND RETURN TO OWNER PUMP ROOM METAL VENT. TEMPORARILY PROTECT SLAB OPENING AFTER REMOVAL.
- 5 REMOVE AND DISCARD ELECTRICAL JUNCTION BOX AND RELATED ELECTRICAL SYSTEM.
- 6 REMOVE AND DISCARD EXTERIOR PORTION OF METAL PIPES AND ALL RELATED SYSTEM. PATCH HOLES AND FINISH TO MATCH EXISTING.
- 7 REMOVE AND DISCARD NON-HISTORIC METAL ENCLOSURE.
- 8 REMOVE AND DISCARD PUMP ROOM METAL VENT FRAME. TEMPORARILY PROTECT VENT SLAB OPENING.
- 9 REMOVE AND DISCARD METAL PIPE AND ALL EXTERIOR RELATED SYSTEM, INCLUDING ALL UNDERGROUND PIPING.
- 10 REMOVE CONCRETE SIDEWALK.
- 11 REMOVE AND DISCARD ELECTRICAL LIGHT FIXTURES.

ALL PUMP ROOM EQUIPMENT TO REMAIN.  
SEE PROJECT SPECIFICATIONS SECTION 02410 - DEMOLITION FOR ADDITIONAL INFORMATION.



**28th STREET OBELISK AND PUMP STATION RESTORATION**

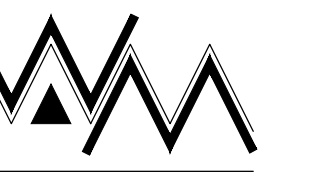
300 WEST 28th STREET  
MIAMI BEACH, FL. 33139

1 NORTH ELEVATION DEMOLITION PLAN  
1/4"=1'-0"

3 KEYNOTES - DEMOLITION - SELECTIVE DEMOLITION

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



**William B Medelin**  
Architect P.A.  
www.wbmaarchitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER  
INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-461-6009

MEP ENGINEER  
MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-8210

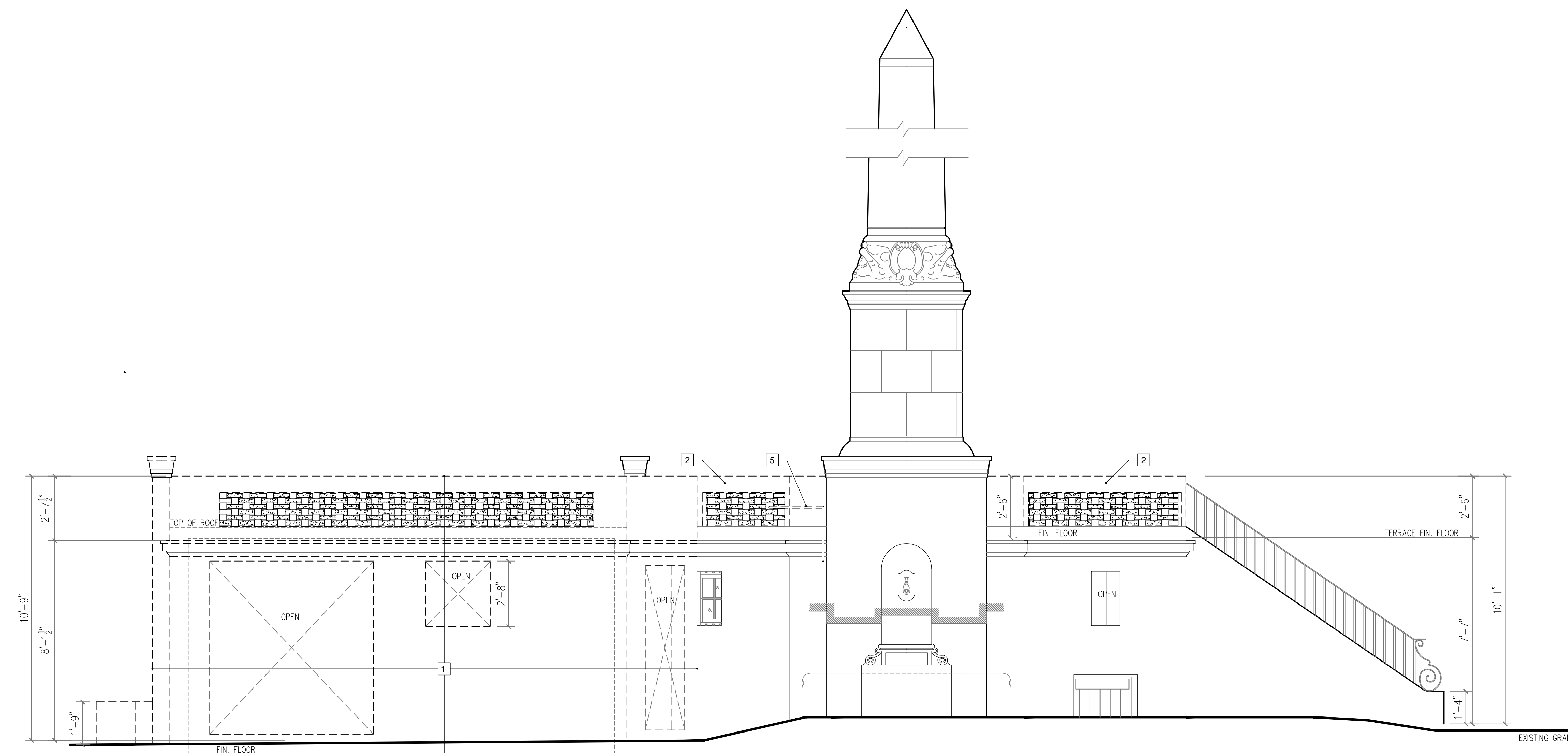
SHEET TITLE

**EXTERIOR ELEVATIONS - DEMOLITION**

SEAL	ISSUE DATE: 01/22/2018
	PROJECT NO. 12185
	DRAWN BY: ZW/MW
	CHECKED BY: MW
	DRAWING NO.

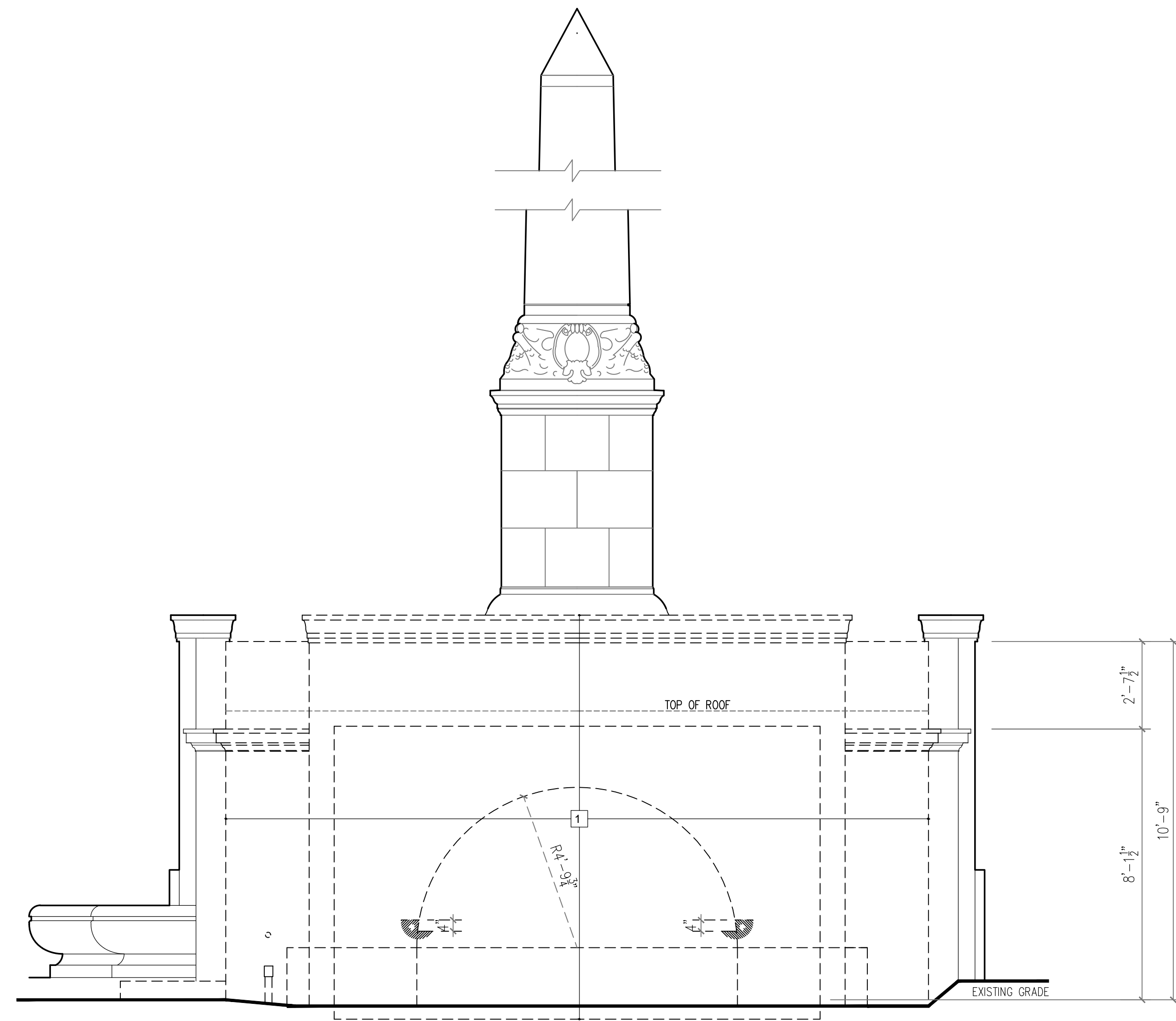
**A-3**

DATE: 01/22/2018  
WILLIAM B MEDELLIN ARCHITECT P.A.  
FL REGISTRATION No. 0003400



2 EAST ELEVATION DEMOLITION PLAN  
3/8"=1'-0"





**DEMOLITION LEGEND:**

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED

**DEMOLITION NOTES:**

1 REMOVE IN ITS ENTIRETY CONCRETE STRUCTURE ADDITION, INCLUDING ALL RELATED STRUCTURAL ELEMENTS, TANKS, UTILITIES AND RELATED COMPONENT SYSTEMS. PROTECT FROM DAMAGE DURING CONSTRUCTION ADJACENT HISTORIC FINISHES, STRUCTURE, EQUIPMENT AND ALL OTHER ITEMS TO REMAIN. BEFORE DEMOLITION FIELD INVESTIGATE ADDITION'S STRUCTURAL SYSTEM AND RELATION TO EXISTING OCTAGON/OBELISK & UNDERGROUND TANKS STRUCTURAL SYSTEMS AND NOTIFY ARCHITECT, STRUCTURAL ENGINEER AND PROJECT MANAGER TO VISIT SITE TO REVIEW EXISTING CONDITIONS.

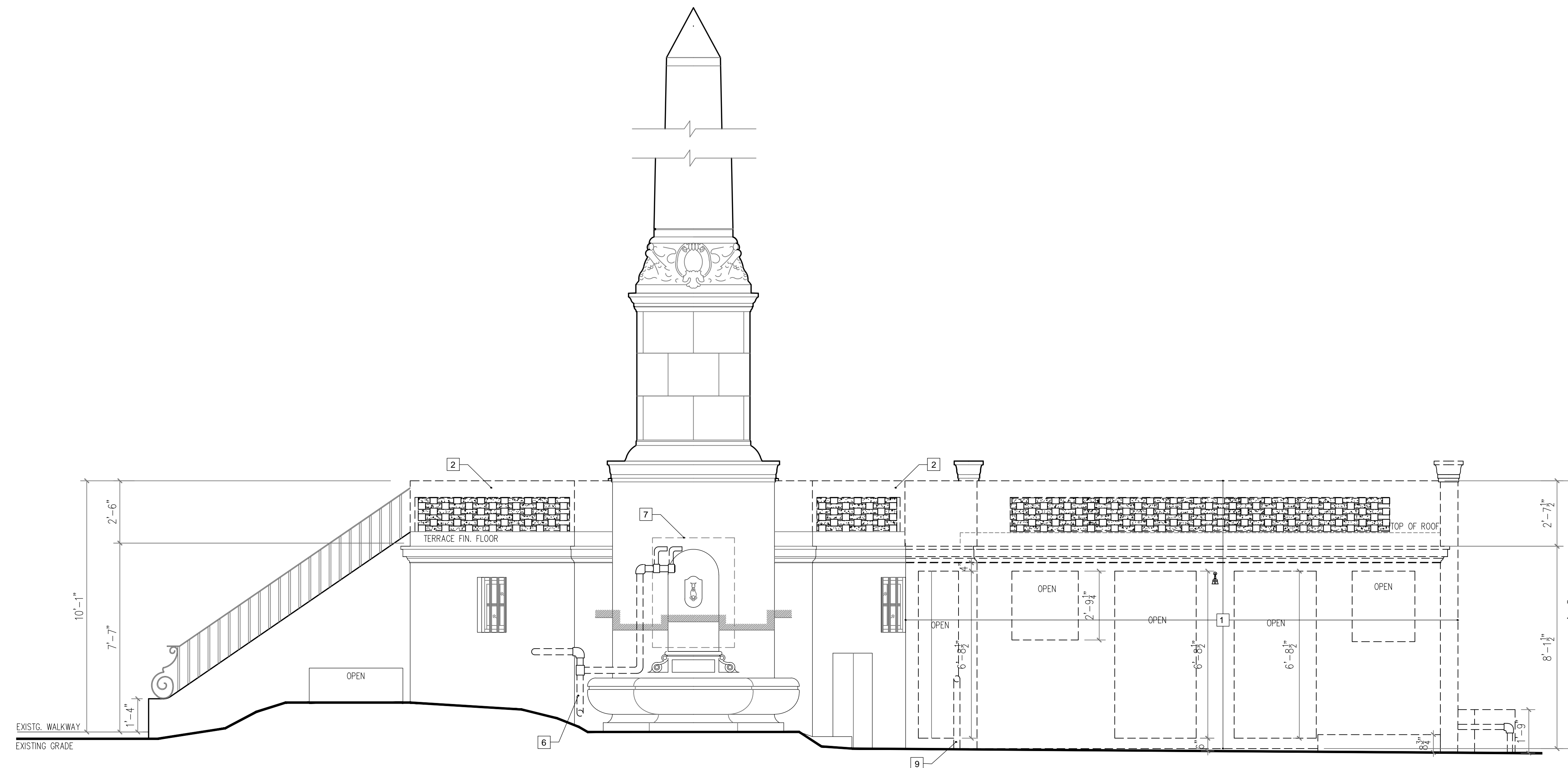
**SELECTIVE DEMOLITION NOTES:**

- 2 CAREFULLY REMOVE TOP SECTION OF PIERCED BRICK LOW WALL INSTALLED OVER CONCRETE CURB. EXISTING CONCRETE CURB TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION ALL EXISTING STRUCTURE, MATERIALS AND FINISHES TO REMAIN.
- 3 REMOVE AND DISCARD RED QUARRY TILE AT TERRACE FLOOR PROVIDE TEMPORARY WEATHER PROTECTION COVERING DURING CONSTRUCTION.
- 4 REMOVE AND RETURN TO OWNER PUMP ROOM METAL VENT. TEMPORARILY PROTECT SLAB OPENING AFTER REMOVAL.
- 5 REMOVE AND DISCARD ELECTRICAL JUNCTION BOX AND RELATED ELECTRICAL SYSTEM.
- 6 REMOVE AND DISCARD EXTERIOR PORTION OF METAL PIPES AND ALL RELATED SYSTEM. PATCH HOLES AND FINISH TO MATCH EXISTING.
- 7 REMOVE AND DISCARD NON-HISTORIC METAL ENCLOSURE.
- 8 REMOVE AND DISCARD PUMP ROOM METAL VENT FRAME. TEMPORARILY PROTECT VENT SLAB OPENING.
- 9 REMOVE AND DISCARD METAL PIPE AND ALL EXTERIOR RELATED SYSTEM, INCLUDING ALL UNDERGROUND PIPING.
- 10 REMOVE CONCRETE SIDEWALK.
- 11 REMOVE AND DISCARD ELECTRICAL LIGHT FIXTURES.

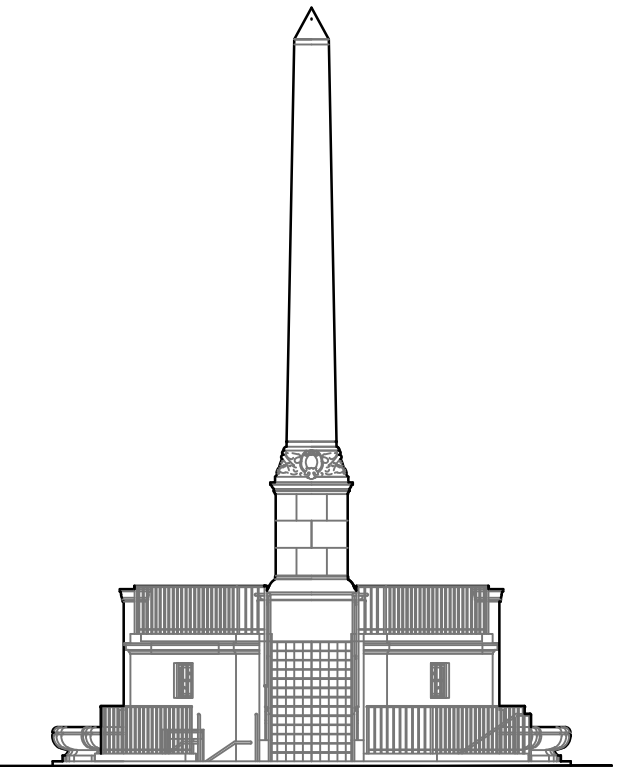
ALL PUMP ROOM EQUIPMENT TO REMAIN.  
SEE PROJECT SPECIFICATIONS SECTION 02410 - DEMOLITION FOR ADDITIONAL INFORMATION.

1 SOUTH ELEVATION DEMOLITION PLAN  
1/4"=1'-0"

3 KEYNOTES



2 WEST ELEVATION DEMOLITION PLAN  
3/8"=1'-0"



**28th STREET OBELISK  
AND PUMP STATION  
RESTORATION**

300 WEST 28th STREET  
MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



**William B Medellin  
Architect P.A.**  
www.wbmaarchitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER  
INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-461-6009

MEP ENGINEER  
MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-8210

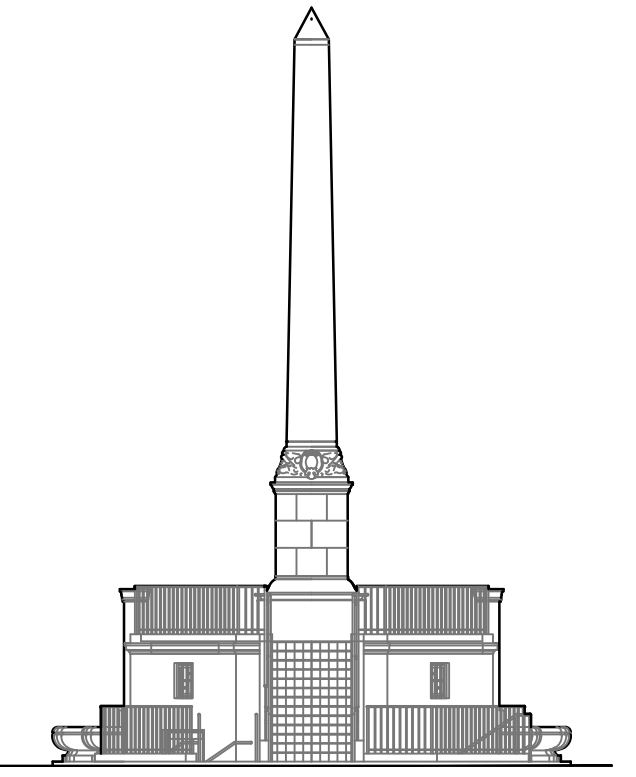
SHEET TITLE

EXTERIOR ELEVATIONS - DEMOLITION

DATE:	01/22/2018
PROJECT NO.:	12155
DRAWN BY:	ZW/MW
CHECKED BY:	WM
DRAWING NO.:	

**A-4**

DATE: 01/22/2018  
WILLIAM B. MEDELLIN ARCHITECT P.A.  
FL REGISTRATION No. 0003400



**28th STREET OBELISK AND PUMP STATION RESTORATION**

300 WEST 28th STREET  
MIAMI BEACH, FL. 33139

-	PERMIT SET	01/22/2018
NO.	REVISIONS/SUBMISSIONS (*)	DATE

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



**William B Medellin**  
Architect P.A.

www.wbmaarchitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER  
INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33154  
305-461-6009

MEP ENGINEER  
MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-8210

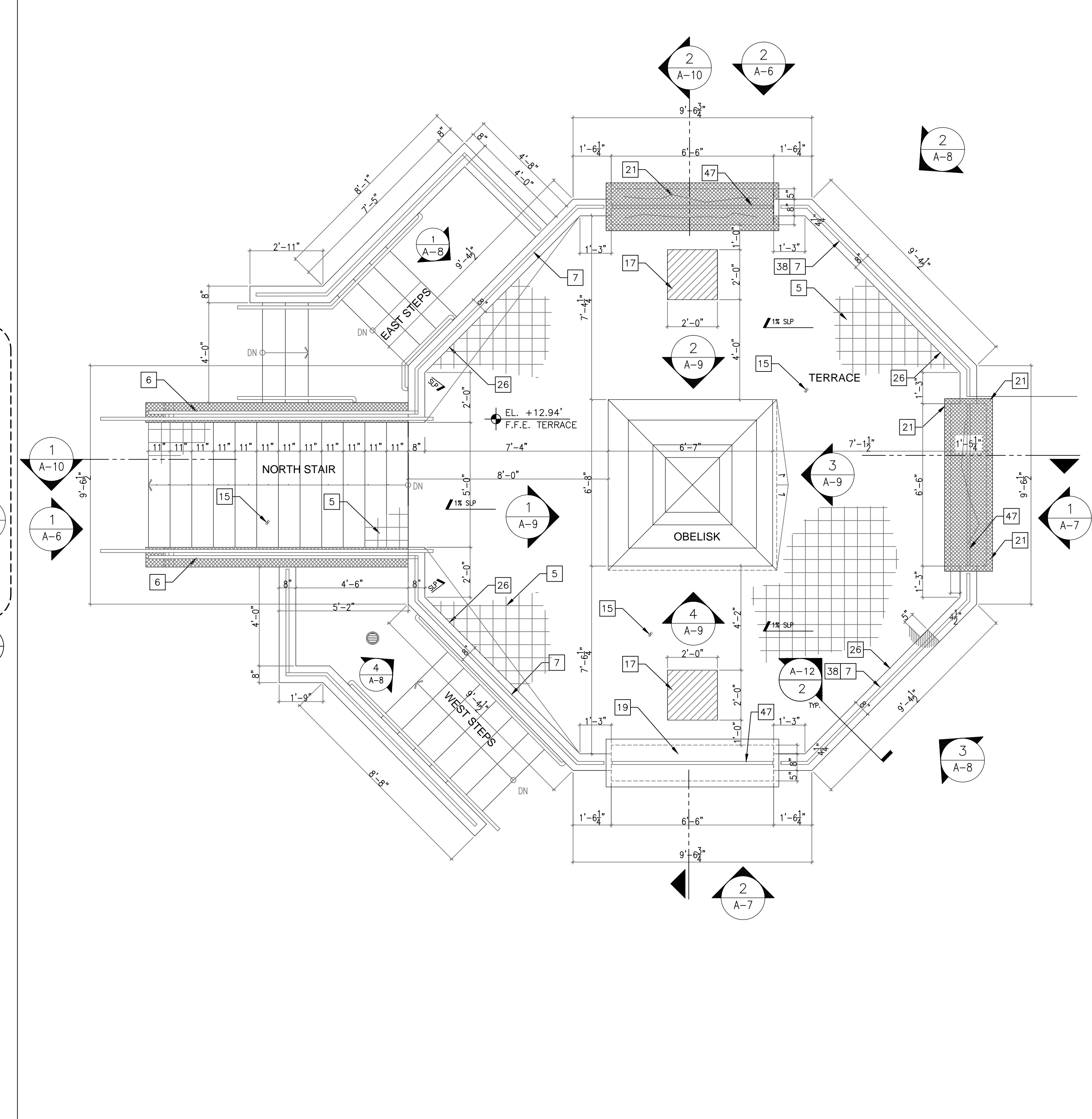
SHEET TITLE

**GROUND FLOOR PLAN  
TERRACE FLOOR PLAN**

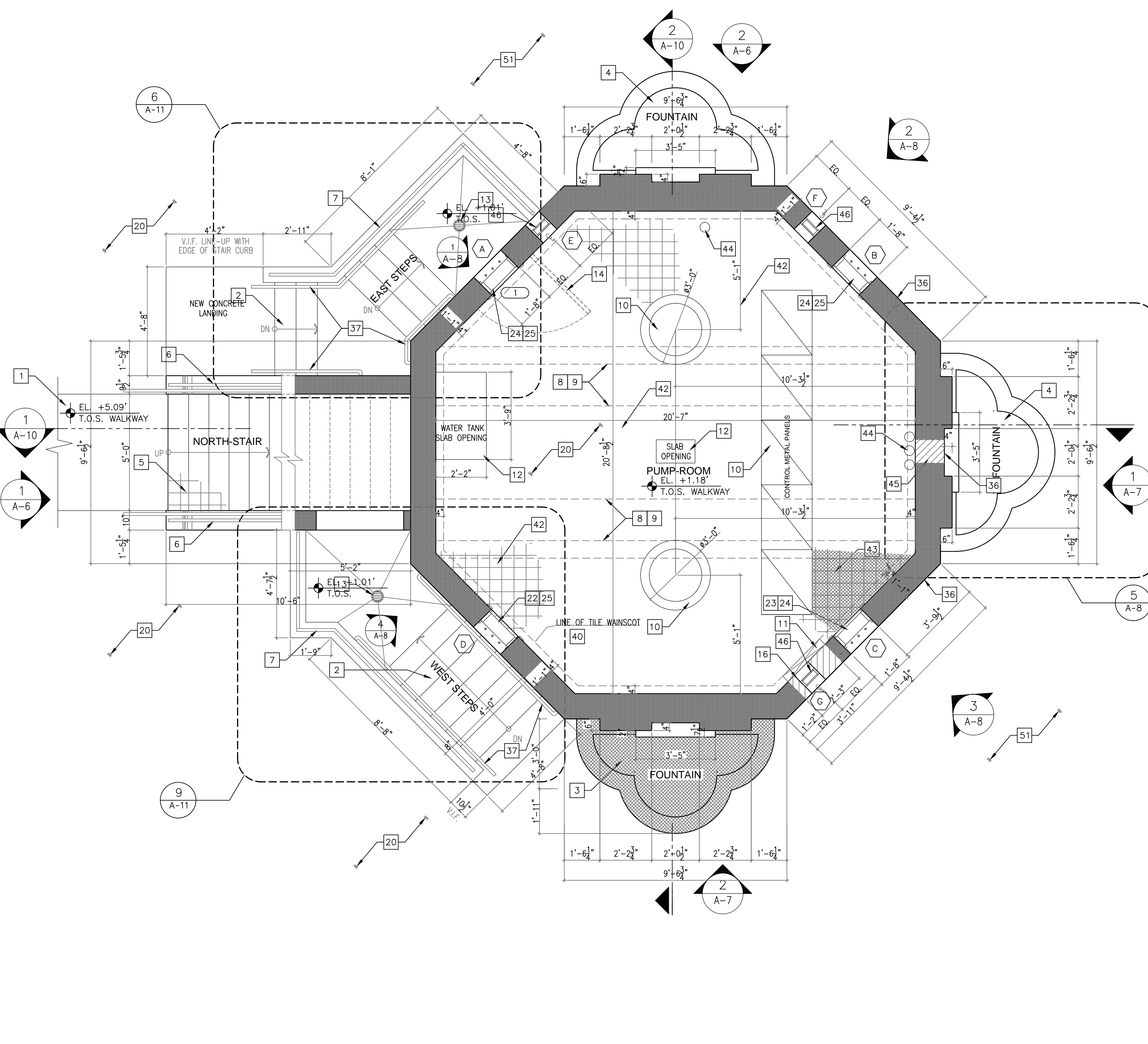
SEAL	ISSUE DATE: 01/22/2018
	PROJECT NO.: 12155
	DRAWN BY: ZW/WW
	CHECKED BY: WW
	DRAWING NO.

**A-5**

DATE: WILLIAM B MEDELLIN ARCHITECT P.A.  
FL REGISTRATION NO. 0003400



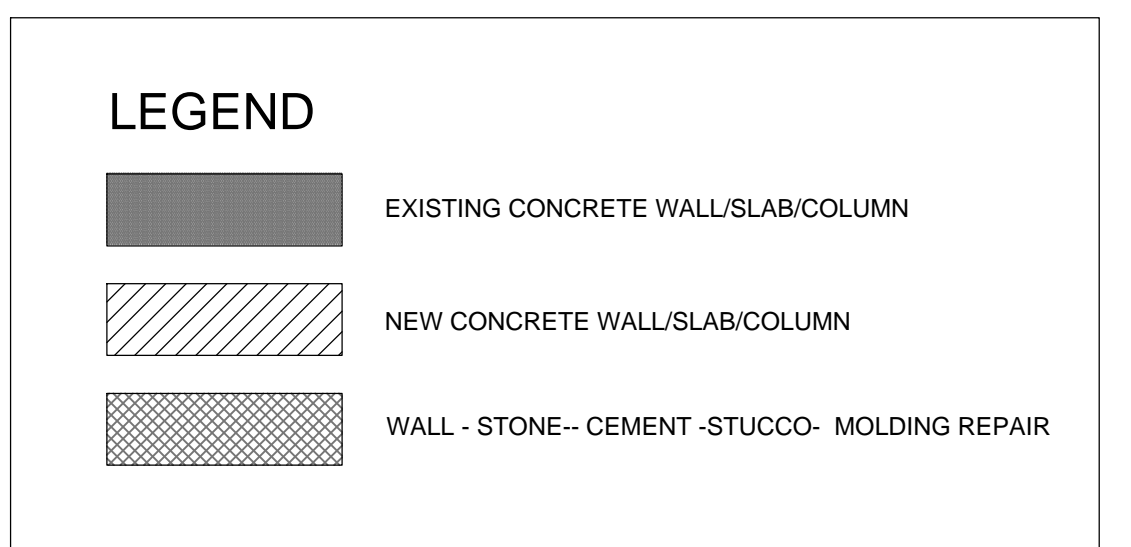
**2 TERRACE FLOOR PLAN**  
3/8"=1'-0"

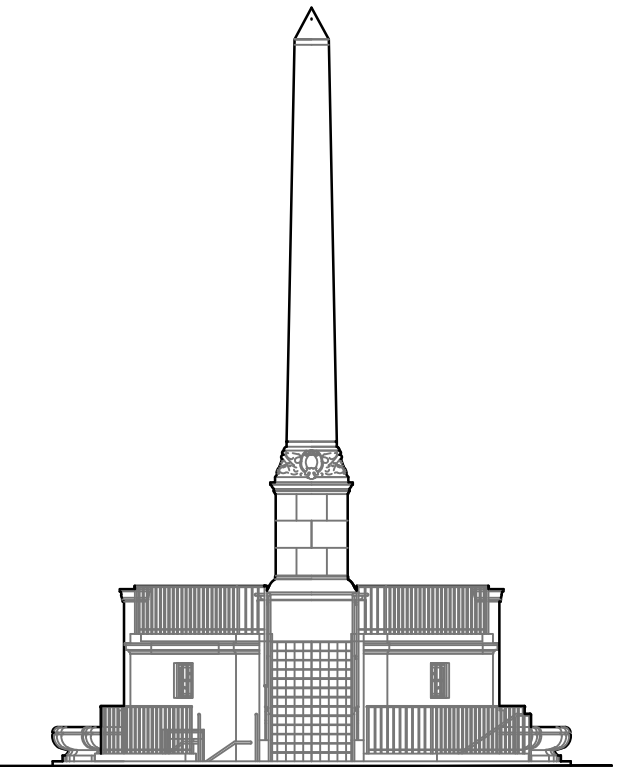


**1 GROUND FLOOR PLAN**  
3/8"=1'-0"

- 1 NEW CONCRETE WALKWAY. SEE SITE PLAN AND CIVIL DRAWINGS.
- 2 CAREFULLY REMOVE IN ITS ENTIRETY ALL EXISTING SOIL TO COMPLETELY EXPOSE EXISTING STEPS. AFTER STEPS ARE COMPLETELY EXPOSED, ARCHITECT AND STRUCTURAL ENGINEER WILL CONDUCT AND ASSESSMENT OF THE STEPS CONDITIONS AND WILL DETERMINE IF STEPS CAN BE RESTORED OR HAVE TO BE REMOVED.  
ALTERNATE #1: EAST STEPS  
NEW CONCRETE STEPS. SEE A-11 AND STRUCTURAL DRAWINGS.  
ALTERNATE #2: WEST STEPS.  
NEW CONCRETE STEPS. SEE A-11 STRUCTURAL DRAWINGS.
- 3 RESTORE CAST-STONE CONCRETE TREFOL SHAPED FOUNTAIN. REPAIR AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS - SECTIONS 04900, 04902, 07140, 09910 AND 09220.  
PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PLUMBING AND ELECTRICAL DRAWINGS.  
SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 4 NEW CAST-STONE CONCRETE TREFOL SHAPED FOUNTAIN TO MATCH SIZE, MATERIAL, SHAPE, TEXTURE AND FINISH OF EXISTING FOUNTAIN LOCATED AT WESTERN SIDE OF OBELISK. PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 07140, 09910 AND 09220.  
THOROUGHLY RECORD AND MEASURE EXISTING FOUNTAIN. MEASUREMENTS SHALL BE DETAILED AND COMPLETE WITH ALL DIMENSIONS, MATERIAL, PROFILES, CONTOUR PATTERNS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING FOUNTAIN.
- 5 PROVIDE AND INSTALL NEW QUARRY TILE PAVERS. SEE PROJECT SPECIFICATIONS - SECTION 07141 AND 09330
- 6 RESTORE, REPAIR, STABILIZE HISTORIC WROUGHT IRON HANDRAIL. ADD NEW WROUGHT IRON TOP RAILING SECTION AS SHOWN ON DRAWINGS. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05700.
- 7 NEW WROUGHT IRON GUARDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 8 INSTALL TEMPORARY SHORING TO SUPPORT EXISTING CONCRETE BEAMS AND FLOOR TERRACE SLAB. SEE STRUCTURAL DRAWINGS FOR TEMPORARY SHORING SPECIFICATIONS AND DETAILS.
- 9 REPAIR STRUCTURAL BEAMS. SEE STRUCTURAL DRAWINGS.
- 10 CLEAN AND STABILIZE PUMP ROOM EQUIPMENT. SEE DIVISION 5 - METALS DRAWING A-0.
- 11 PROVIDE AND INSTALL 3'X6" CERAMIC TILE WAINSCOT WITH CERAMIC TILE BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTION 09310
- 12 NEW WALL OPENINGS FOR VENTILATION LOUVER. SEE MECHANICAL DRAWINGS.
- 13 NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- 14 RESTORE AND REPAIR HISTORIC WOOD DOOR AND DOOR HARDWARE. SEE DOOR SCHEDULE AND PROJECT SPECIFICATIONS SECTIONS 06401, 08700, AND 08710.
- 15 REPAIR AND WATERPROOF EXISTING CONCRETE SLAB. SEE PROJECT SPECIFICATIONS SECTION 07141 AND STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 16 BLOCK DOOR OPENING. SEE STRUCTURAL DRAWINGS.
- 17 BLOCK CONCRETE SLAB VENT OPENING. SEE STRUCTURAL DRAWINGS.
- 18 RESTORE, REPAIR, PATCH AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR LOCATION OF CRACKS AND STRUCTURAL REPAIRS.
- 19 REMOVE EXISTING, PROVIDE AND INSTALL NEW HISTORIC CAST-STONE CAP. BEFORE REMOVAL THOROUGHLY RECORD AND MEASURE STONE CAP WITH DIMENSIONS, PROFILES, CONTOUR AND MATERIAL. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 20 REMOVE BRANCHES AND FOLIAGE FROM ALL OVERHANGING OBELISK AREAS. CLEARANCE SHALL NOT BE LESS THAN 25'-0". CONSULT WITH CITY'S ARBORIST REGARDING METHOD AND EXTENT BEFORE REMOVAL.
- 21 REPAIR HISTORIC CAST-STONE CAP. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 22 NEW 18"W X 24" HT. WOOD FRAME WINDOW. SEE WINDOW SCHEDULE.
- 23 COMPLETELY REMOVE EXISTING SECTIONS OF COPPER BARS AND PROVIDE AND INSTALL NEW 1" DIAM. COPPER BARS. PATCH AND FINISH ADJACENT AREAS TO MATCH EXISTING. SUBMIT SAMPLE FOR APPROVAL.
- 24 RESTORE 18"W X 24" HT. HISTORIC WOOD FRAME WINDOW. SEE WINDOW SCHEDULE AND PROJECT SPECIFICATIONS SECTION 06401, 08610, 08710, 08800 AND 09910.
- 25 CLEAN COPPER BARS. SEE DIVISION 5 - METALS. DRAWING A-0.
- 26 AFTER REMOVAL OF PIERCED BRICK LOW WALL, REPAIR, PATCH AND FINISH TO MATCH EXISTING CONCRETE CURB TO REMAIN. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910.
- 27 PROVIDE AND INSTALL NEW CAST-STONE MOLDING. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 28 DURING THE CONSTRUCTION PHASE, CONDUCT ASSESSMENT CONDITION OF THE BLOCKED VENTILATION FLUE OPENINGS AND CONCRETE PYRAMIDAL APEN. NOTIFY PROJECT ARCHITECT AND PROJECT MANAGER OF ASSESSMENT CONDITIONS. SCOPE OF WORK TO BE DETERMINED FOLLOWING ASSESSMENT OF EXISTING CONDITIONS.
- 29 PROVIDE AND INSTALL MISSING STONE PANELS. MATCH EXISTING IN SIZE, MATERIAL, TEXTURE AND FINISH. SUBMIT SAMPLE FOR APPROVAL BEFORE INSTALLATION. PATCH EXISTING HOLES AT EAST ELEVATION CONCRETE BASE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 30 RESTORE CAST-STONE SEA CREATURE ORNAMENT. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 31 REPLICATE TO MATCH EXISTING NEW CAST-STONE SEA CREATURE ORNAMENT. THOROUGHLY RECORD AND MEASURE EXISTING SEA CREATURE. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS AND PROFILES. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 32 REMOVE DAMAGED AND INSTALL NEW SECTION OF CAST-STONE CYMA-RECTA MOLDING. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 33 RE-POINT CEMENT PANELS JOINTS AND APPLY NEW SMOOTH STUCCO FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 04902, 09220 AND 09910.
- 34 RESTORE CAST-STONE CARTOUCHE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 35 NEW LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 36 AFTER DEMOLITION OF EXISTING ADDITION, NOTIFY ARCHITECT AND PROJECT MANAGER FOR REVIEW OF EXISTING OCTAGON WALL TO REMAIN. SEE PROJECT SPECIFICATIONS SECTION 02410.
- 37 1 1/2" DIAMETER METAL HANDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 38 CAREFULLY REMOVE AND RESTORE HISTORIC WROUGHT IRON PICKETS. USE RESTORED PICKETS TO REPLACE DAMAGED PICKETS AT NORTH STAIR. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05700.
- 39 SEE SHEET A-9 FOR ARCHITECTURAL NOTES. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIR.
- 40 CLEAN AND REPLACE DAMAGED 3'X6" CERAMIC TILE WAINSCOT AND BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTIONS 09310, 09311, 09312 AND 09315.  
PROVIDE UNIT PRICE FOR CLEANING AND REPLACEMENT OF TILE.
- 41 REPAIR AND PAINT CEMENT WALL FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 09220 AND 09910.
- 42 CLEAN 6'X6" RED QUARRY TILE PAVERS.
- 43 PROVIDE AND INSTALL NEW 6'X6" RED QUARRY TILE TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTION 09330. ESTIMATED AREA OF NEW REPLACEMENT TILE: 20 SQ. FT. PROVIDE UNIT COST FOR REPLACEMENT TILE.
- 44 FLOOR METAL CONDUITS TO REMAIN. REMOVE WIRING.
- 45 REMOVE WALL MOUNTED METAL ENCLOSURE AND RELATED SYSTEM. BLOCK CONCRETE OPENING SEE STRUCTURAL DRAWINGS.
- 46 NEW 10" X 10" EXHAUST METAL LOUVER. SEE WINDOW SCHEDULE AND MECHANICAL PLANS.
- 47 NEW IRON GUARDRAIL 42" A.F.F. ON TOP OF CAST-STONE CAP. SEE PROJECT SPECIFICATIONS 0520.
- 48 NEW LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.
- 49 PATCH HOLE WITH CONCRETE CEMENT, BEFORE INSTALLATION OF STONE PANEL VENEER.
- 50 PROVIDE AND INSTALL WATER PROOF SYSTEM. SEE PROJECT SPECIFICATIONS SECTION 07142.
- 51 NEW PAVED PLAZA. SEE SITE PLAN AND CIVIL DRAWINGS.

**3 KEYNOTES**



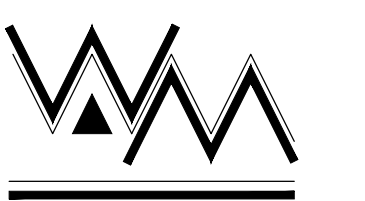


28th STREET OBELISK AND PUMP STATION RESTORATION

300 WEST 28th STREET MIAMI BEACH, FL. 33139

-	PERMIT SET	01/22/2018
NO.	REVISIONS/SUBMISSIONS (*)	DATE

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medelin Architect P.A.

560 N.E. 71 STREET MIAMI, FLORIDA 33138 305-672-8381

FL #A0003400 - FL #A0013832

STRUCTURAL ENGINEER

INGELMO ASSOCIATES P.A. 250 CATALONIA AVENUE, SUITE 301 CORAL GABLES, FL 33134 305-461-6009

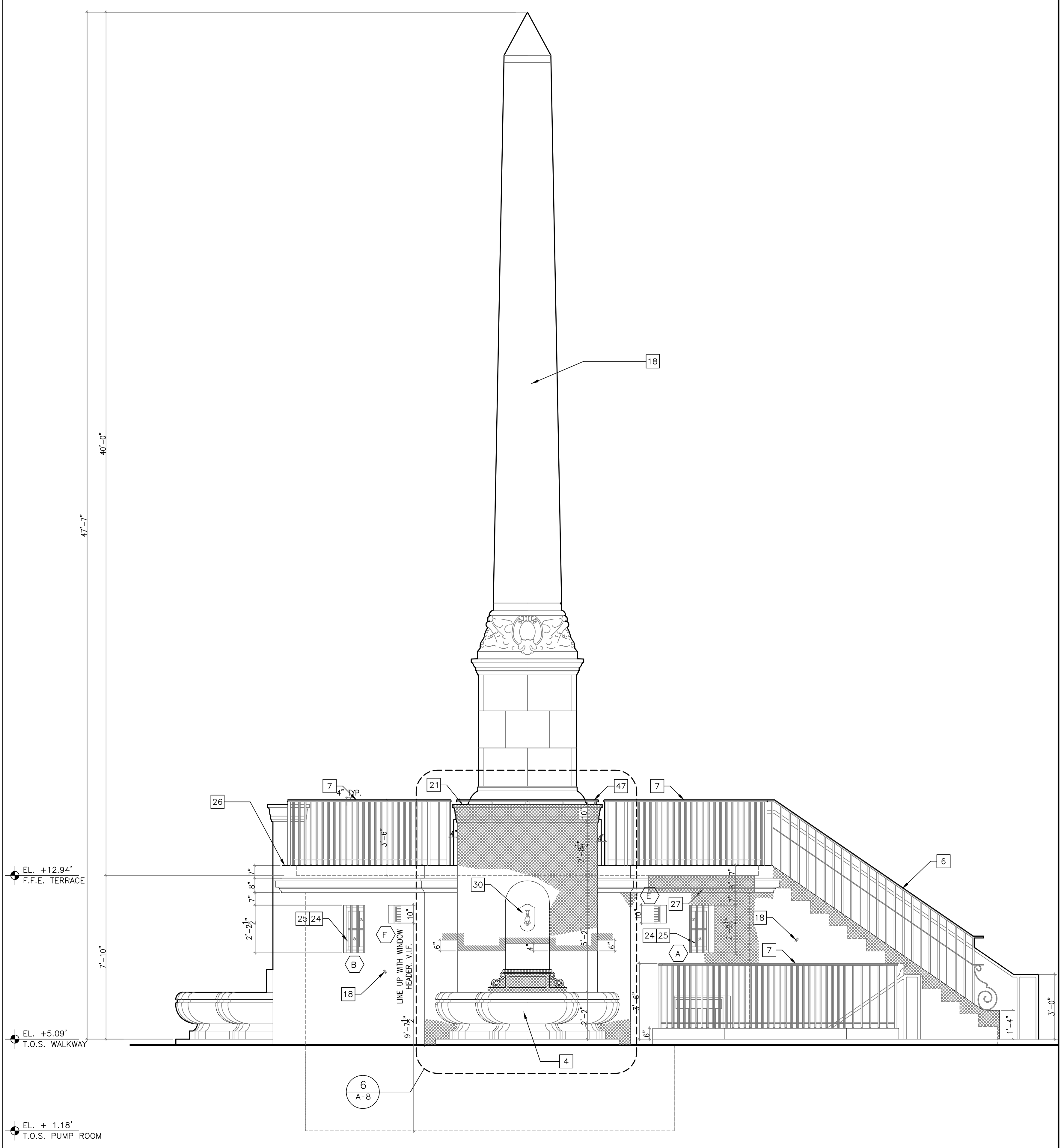
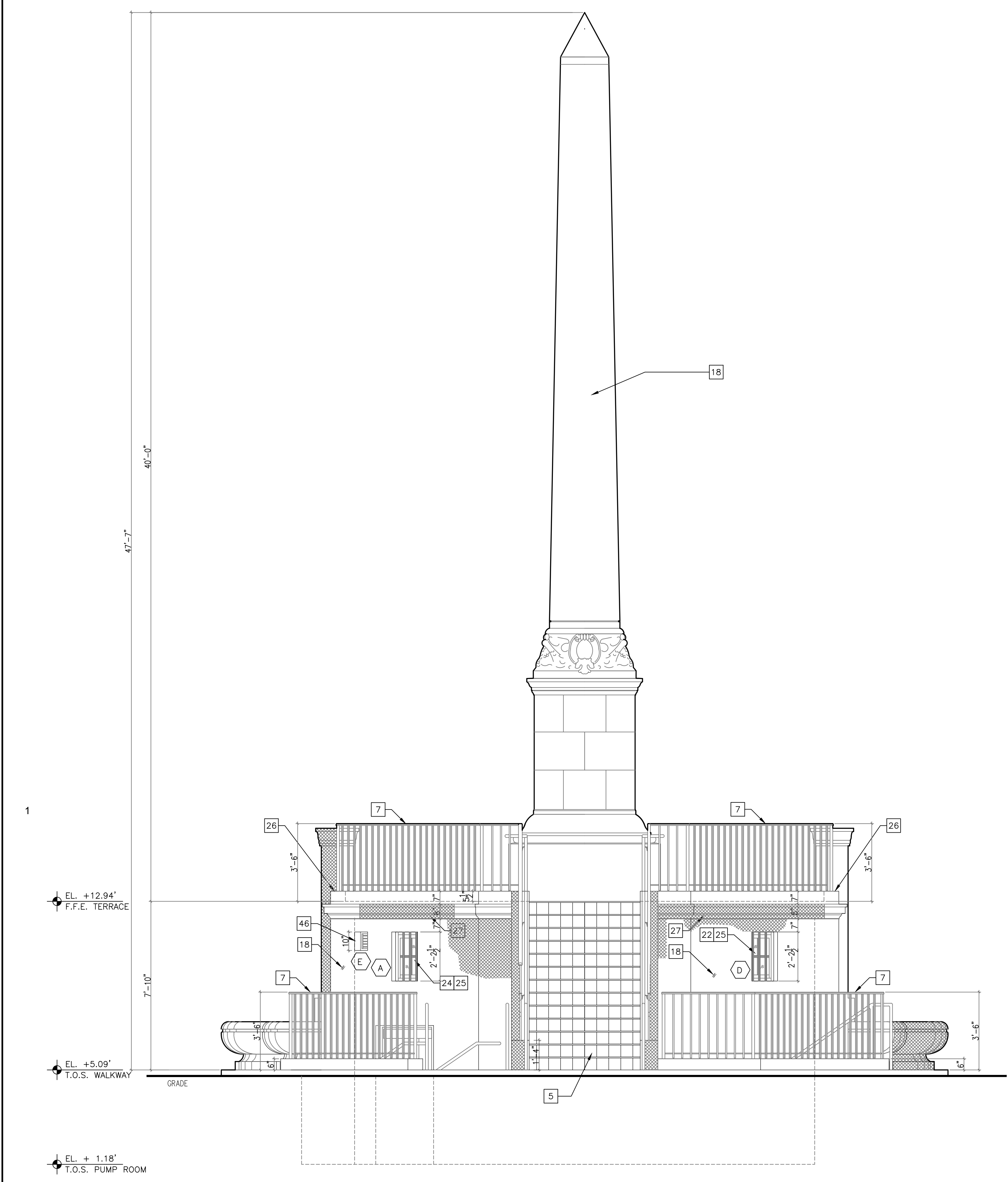
MEP ENGINEER

MAQUERA ENGINEERING CONSULTANTS 7220 S.W. 39th TERRACE MIAMI, FL 33155 305-444-9210

SHEET TITLE

EXTERIOR ELEVATIONS

SEAL	ISSUE DATE: 01/22/2018
	PROJECT NO: 12155
	DRAWN BY: ZM/W
	CHECKED BY: WW
	DRAWING NO:
DATE: WILLIAM B MEDELIN ARCHITECT P.A. FL REGISTRATION NO. 0003400	<b>A-6</b>



1 NORTH ELEVATION 3/8"=1'-0"

2 EAST ELEVATION 3/8"=1'-0"

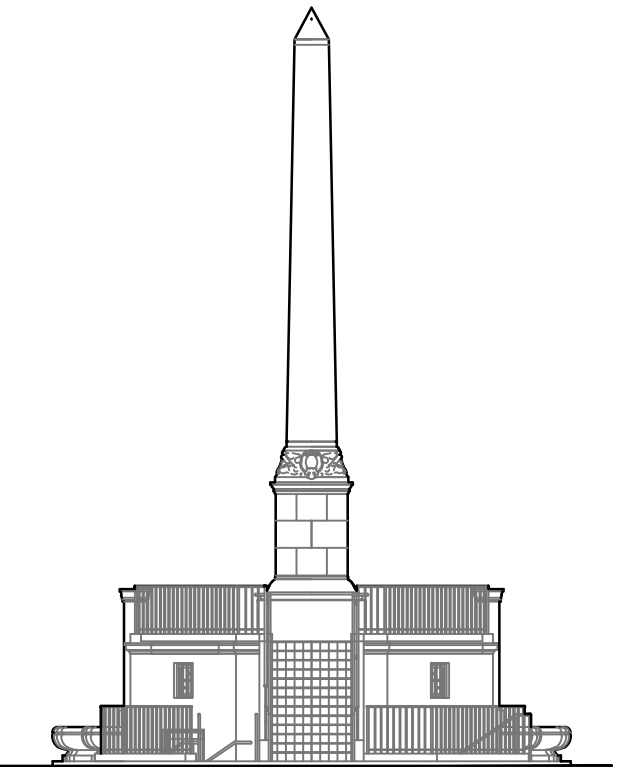
- 1 NEW CONCRETE WALKWAY. SEE SITE PLAN AND CIVIL DRAWINGS.
- 2 CAREFULLY REMOVE IN ITS ENTIRETY ALL EXISTING SOIL TO COMPLETELY EXPOSE EXISTING STEPS. AFTER STEPS ARE COMPLETELY EXPOSED, ARCHITECT AND STRUCTURAL ENGINEER WILL CONDUCT AND ASSESSMENT OF THE STEPS CONDITIONS AND WILL DETERMINE IF STEPS CAN BE RESTORED OR HAVE TO BE REMOVED.
- ALTERNATE #1: EAST STEPS  
NEW CONCRETE STEPS. SEE A-11 AND STRUCTURAL DRAWINGS.  
ALTERNATE #2: WEST STEPS  
NEW CONCRETE STEPS. SEE A-11 STRUCTURAL DRAWINGS.
- 3 RESTORE CAST-STONE CONCRETE TREFOL SHAPED FOUNTAIN. REPAIR AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS - SECTIONS 04900, 04902, 07140, 09910 AND 09220.  
PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PLUMBING AND ELECTRICAL DRAWINGS.  
SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 4 NEW CAST-STONE CONCRETE TREFOL SHAPED FOUNTAIN TO MATCH SIZE, MATERIAL, SHAPE, TEXTURE AND FINISH OF EXISTING FOUNTAIN LOCATED AT WESTERN SIDE OF OBELISK. PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS.  
SEE PROJECT SPECIFICATIONS - SECTIONS 04900, 04902, 07140, 09910 AND 09220.  
THOROUGHLY RECORD AND MEASURE EXISTING FOUNTAIN. MEASUREMENTS SHALL BE DETAILED AND COMPLETE WITH ALL DIMENSIONS, MATERIAL, PROFILES, CONTOUR PATTERNS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL.
- 5 PROVIDE AND INSTALL NEW QUARRY TILE PAVERS. SEE PROJECT SPECIFICATIONS - SECTION 07141 AND 09330
- 6 RESTORE, REPAIR, STABILIZE HISTORIC WROUGHT IRON HANDRAIL. ADD NEW WROUGHT IRON TOP RAILING SECTION AS SHOWN ON DRAWINGS. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05710.
- 7 NEW WROUGHT IRON GUARDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 8 INSTALL TEMPORARY SHORING TO SUPPORT EXISTING CONCRETE BEAMS AND FLOOR TERRACE SLAB. SEE STRUCTURAL DRAWINGS FOR TEMPORARY SHORING SPECIFICATIONS AND DETAILS.
- 9 REPAIR STRUCTURAL BEAMS. SEE STRUCTURAL DRAWINGS.
- 10 CLEAN AND STABILIZE PUMP ROOM EQUIPMENT. SEE DIVISION 5 - METALS DRAWING A-0.
- 11 PROVIDE AND INSTALL 3"X6" CERAMIC TILE WAINSCOT WITH CERAMIC TILE BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTION 09310.
- 12 NEW FLOOR OPENINGS FOR VENTILATION LOUVER. SEE MECHANICAL DRAWINGS.
- 13 NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- 14 RESTORE AND REPAIR HISTORIC WOOD DOOR AND DOOR HARDWARE. SEE DOOR SCHEDULE AND PROJECT SPECIFICATIONS SECTIONS 06401, 08700, AND 08710.
- 15 REPAIR AND WATERPROOF EXISTING CONCRETE SLAB. SEE PROJECT SPECIFICATIONS SECTION 07141 AND STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 16 BLOCK DOOR OPENING. SEE STRUCTURAL DRAWINGS.
- 17 BLOCK CONCRETE SLAB VENT OPENING. SEE STRUCTURAL DRAWINGS.
- 18 RESTORE, REPAIR, PATCH AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR LOCATION OF CRACKS AND STRUCTURAL REPAIRS.
- 19 REMOVE EXISTING. PROVIDE AND INSTALL NEW HISTORIC CAST-STONE CAP. BEFORE REMOVAL THOROUGHLY RECORD AND MEASURE STONE CAP WITH DIMENSIONS, PROFILES, CONTOUR AND MATERIAL. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 20 REMOVE BRANCHES AND FOLIAGE FROM ALL OVERHANGING OBELISK AREAS. CLEARANCE SHALL NOT BE LESS THAN 25'-0". CONSULT WITH CITY'S ARBORIST REGARDING METHOD AND EXTENT BEFORE REMOVAL.
- 21 REPAIR HISTORIC CAST-STONE CAP THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 22 NEW 18"W X 24" HT. WOOD FRAME WINDOW. SEE WINDOW SCHEDULE.
- 23 COMPLETELY REMOVE EXISTING SECTIONS OF COPPER BARS AND PROVIDE AND INSTALL NEW 1" DIAM. COPPER BARS. PATCH AND FINISH ADJACENT AREAS TO MATCH EXISTING. SUBMIT SAMPLE FOR APPROVAL.
- 24 RESTORE 18"W X 24" HT. HISTORIC WOOD FRAME WINDOW. SEE WINDOW SCHEDULE AND PROJECT SPECIFICATIONS SECTION 06401, 08610, 08710, 08800 AND 09910.
- 25 CLEAN COPPER BARS. SEE DIVISION - 5 METALS. DRAWING A-0.
- 26 AFTER REMOVAL OF PIERCED BRICK LOW WALL, REPAIR, PATCH AND FINISH TO MATCH EXISTING CONCRETE CURB TO REMAIN. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910.
- 27 PROVIDE AND INSTALL NEW CAST-STONE MOLDING THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 28 DURING THE CONSTRUCTION PHASE, CONDUCT ASSESSMENT CONDITION OF THE BLOCKED VENTILATION FLUE OPENINGS AND CONCRETE PYRAMIDAL APEX. NOTIFY PROJECT ARCHITECT AND PROJECT MANAGER OF ASSESSMENT CONDITIONS. SCOPE OF WORK TO BE DETERMINED FOLLOWING ASSESSMENT OF EXISTING CONDITIONS.
- 29 PROVIDE AND INSTALL MISSING STONE PANELS. MATCH EXISTING IN SIZE, MATERIAL, TEXTURE AND FINISH. SUBMIT SAMPLE FOR APPROVAL BEFORE INSTALLATION. PATCH EXISTING HOLES AT EAST ELEVATION CONCRETE BASE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 30 RESTORE CAST-STONE SEA CREATURE ORNAMENT. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 31 REPLICATE TO MATCH EXISTING NEW CAST-STONE SEA CREATURE ORNAMENT THOROUGHLY RECORD AND MEASURE EXISTING SEA CREATURE. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS AND PROFILES. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.

- 32 REMOVE DAMAGED AND INSTALL NEW SECTION OF CAST-STONE CYMA-RECTA MOLDING THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 33 RE-POINT CEMENT PANELS JOINTS AND APPLY NEW SMOOTH STUCCO FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 04902, 09220 AND 09910.
- 34 RESTORE CAST-STONE CARTOUCHE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 09220 AND 09910.
- 35 NEW LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 36 AFTER DEMOLITION OF EXISTING ADDITION, NOTIFY ARCHITECT AND PROJECT MANAGER FOR REVIEW OF EXISTING OCTAGON WALL TO REMAIN. SEE PROJECT SPECIFICATIONS SECTION 02410.
- 37 1/2" DIAMETER METAL HANDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 38 CAREFULLY REMOVE AND RESTORE HISTORIC WROUGHT IRON PICKETS. USE RESTORED PICKETS TO REPLACE DAMAGED PICKETS AT NORTH STAIR. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05720.
- 39 SEE SHEET A-9 FOR ARCHITECTURAL NOTES. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIR.
- 40 CLEAN AND REPLACE DAMAGED 3"X6" CERAMIC TILE WAINSCOT AND BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTIONS 09310, 09311, 09312 AND 09315. PROVIDE UNIT PRICE FOR CLEANING AND REPLACEMENT OF TILE.
- 41 REPAIR AND PAINT CEMENT WALL FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 09220 AND 09910.
- 42 CLEAN 6"X6" RED QUARRY TILE PAVERS.
- 43 REMOVE AND INSTALL NEW 6"X6" RED QUARRY TILE TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTION 09330. ESTIMATED AREA OF NEW REPLACEMENT TILE: 20 SQ. FT. PROVIDE UNIT COST FOR REPLACEMENT TILE.
- 44 FLOOR METAL CONDUITS TO REMAIN. REMOVE WIRING.
- 45 REMOVE WALL MOUNTED METAL ENCLOSURE AND RELATED SYSTEM. BLOCK CONCRETE OPENING SEE STRUCTURAL DRAWINGS.
- 46 NEW 10" X 10" EXHAUST METAL LOUVER. SEE WINDOW SCHEDULE AND MECHANICAL PLANS.
- 47 NEW IRON GUARDRAIL 42" A.F. ON TOP OF CAST-STONE CAP. SEE PROJECT SPECIFICATIONS 05700.
- 48 NEW LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.
- 49 PATCH HOLE WITH CONCRETE CEMENT. BEFORE INSTALLATION OF STONE PANEL VENEER.
- 50 PROVIDE AND INSTALL WATER PROOF SYSTEM. SEE PROJECT SPECIFICATIONS SECTION 07142.
- 51 NEW PAVED PLAZA. SEE SITE PLAN AND CIVIL DRAWINGS.

**LEGEND**

- EXISTING CONCRETE WALL/SLAB/COLUMN
- NEW CONCRETE WALL/SLAB/COLUMN
- WALL - STONE - CEMENT - STUCCO - MOLDING REPAIR

3 KEYNOTES

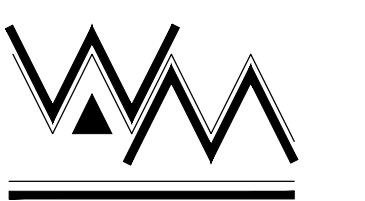


28th STREET OBELISK AND PUMP STATION RESTORATION

300 WEST 28th STREET MIAMI BEACH, FL. 33139

-	PERMIT SET	01/22/2018
NO.	REVISIONS/SUBMISSIONS (*)	DATE

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medelin Architect P.A.

560 N.E. 71 STREET MIAMI, FLORIDA 33138 305-672-8381

FL #A0003400 - FL #A00013832

STRUCTURAL ENGINEER

INGELMO ASSOCIATES P.A. 250 CATALONIA AVENUE, SUITE 301 CORAL GABLES, FL 33134 305-461-6009

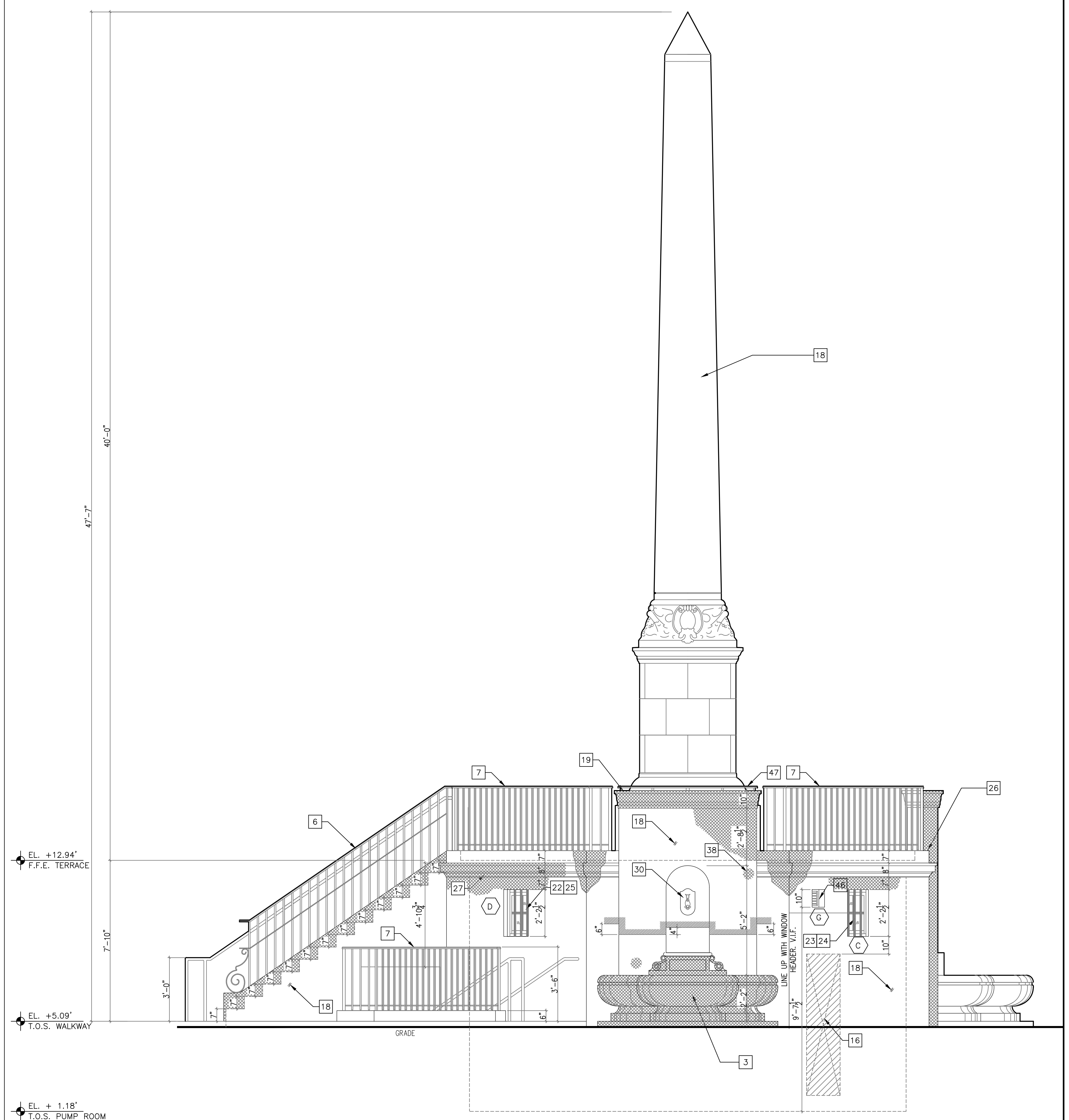
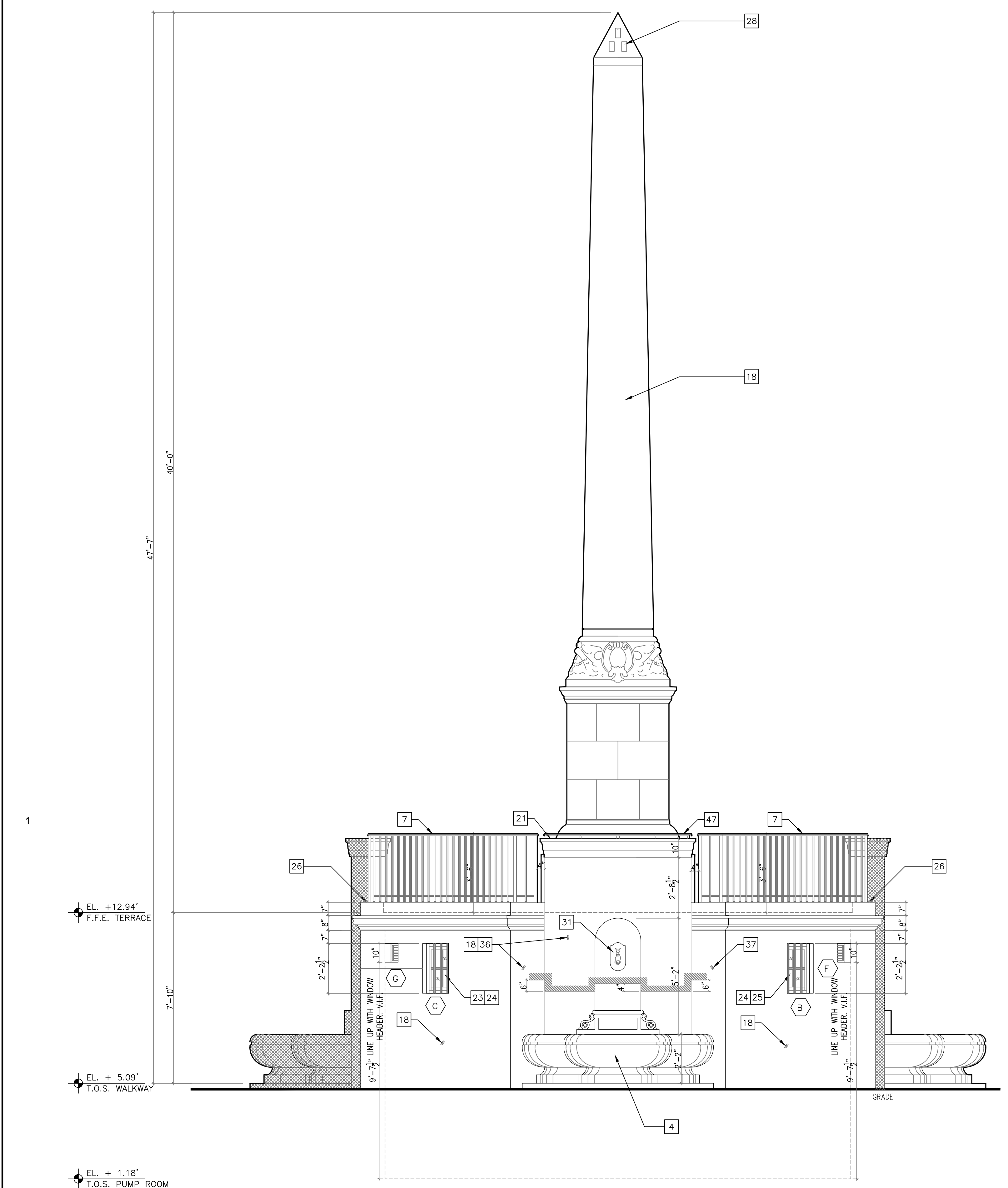
MEP ENGINEER

MAQUERA ENGINEERING CONSULTANTS 7220 S.W. 39th TERRACE MIAMI, FL 33155 305-444-9210

SHEET TITLE

EXTERIOR ELEVATIONS

SEAL	ISSUE DATE: 01/22/2018
	PROJECT NO. 12155
	DRAWN BY: ZM/W
	CHECKED BY: WW
	DRAWING NO.
DATE: WILLIAM B MEDELIN ARCHITECT P.A. FL REGISTRATION NO. 0003400	<b>A-7</b>



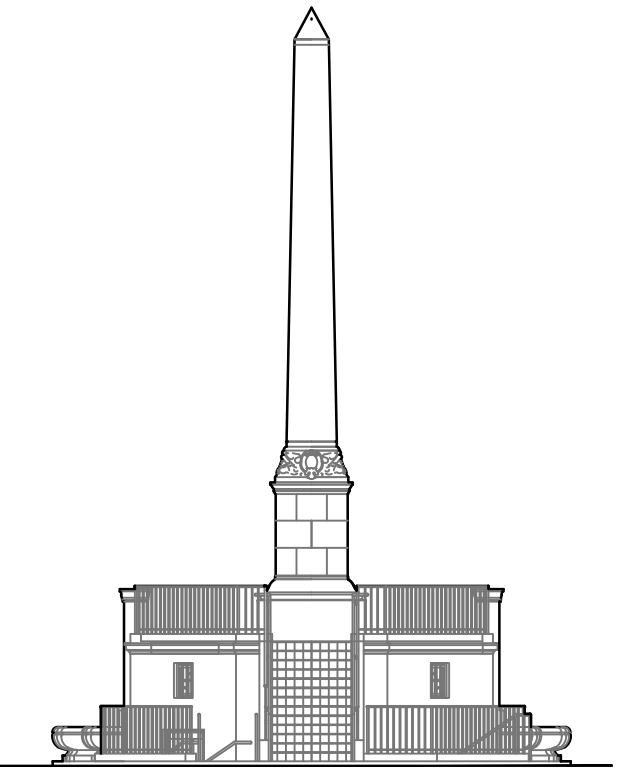
1 SOUTH ELEVATION 3/8"=1'-0"

2 WEST ELEVATION 3/8"=1'-0"

- 1 NEW CONCRETE WALKWAY. SEE SITE PLAN AND CIVIL DRAWINGS.
- 2 CAREFULLY REMOVE IN ITS ENTIRETY ALL EXISTING SOIL TO COMPLETELY EXPOSE EXISTING STEPS. AFTER STEPS ARE COMPLETELY EXPOSED, ARCHITECT AND STRUCTURAL ENGINEER WILL CONDUCT AND ASSESSMENT OF THE STEPS' CONDITIONS AND WILL DETERMINE IF STEPS CAN BE RESTORED OR HAVE TO BE REMOVED.  
ALTERNATE #1: EAST STEPS  
NEW CONCRETE STEPS. SEE A-11 AND STRUCTURAL DRAWINGS.  
ALTERNATE #2: WEST STEPS  
NEW CONCRETE STEPS. SEE A-11 STRUCTURAL DRAWINGS.
- 3 RESTORE CAST-STONE CONCRETE TREFOLI SHAPED FOUNTAIN. REPAIR AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS - SECTIONS 0490, 0492, 0740, 0890 AND 0920.  
PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PLUMBING AND ELECTRICAL DRAWINGS. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 4 NEW CAST-STONE CONCRETE TREFOLI SHAPED FOUNTAIN TO MATCH SIZE, MATERIAL, SHAPE, TEXTURE AND FINISH OF EXISTING FOUNTAIN LOCATED AT WESTERN SIDE OF OBELISK. PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0472, 0474, 0890 AND 0920.  
THOROUGHLY RECORD AND MEASURE EXISTING FOUNTAIN. MEASUREMENTS SHALL BE DETAILED AND COMPLETE WITH ALL DIMENSIONS, MATERIAL, PROFILES, CONTOUR PATTERNS FULLY INDICATED. SUBMIT DOCUMENTATION OF EXISTING MATERIAL TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING FOUNTAIN.
- 5 PROVIDE AND INSTALL NEW QUARRY TILE PAVERS. SEE PROJECT SPECIFICATIONS - SECTION 07141 AND 0930
- 6 RESTORE, REPAIR, STABILIZE HISTORIC WROUGHT IRON HANDRAIL. ADD NEW WROUGHT IRON TOP RAILING SECTION AS SHOWN ON DRAWINGS. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05700.
- 7 NEW WROUGHT IRON GUARDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 8 INSTALL TEMPORARY SHORING TO SUPPORT EXISTING CONCRETE BEAMS AND FLOOR TERRACE SLAB. SEE STRUCTURAL DRAWINGS FOR TEMPORARY SHORING SPECIFICATIONS AND DETAILS.
- 9 REPAIR STRUCTURAL BEAMS. SEE STRUCTURAL DRAWINGS.
- 10 CLEAN AND STABILIZE PUMP ROOM EQUIPMENT. SEE DIVISION 5 - METALS DRAWING A-0.
- 11 PROVIDE AND INSTALL 3"X6" CERAMIC TILE WAINSCOT WITH CERAMIC TILE BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTION 09310.
- 12 NEW WALL OPENINGS FOR VENTILATION LOUVER. SEE MECHANICAL DRAWINGS.
- 13 NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- 14 RESTORE AND REPAIR HISTORIC WOOD DOOR AND DOOR HARDWARE. SEE DOOR SCHEDULE AND PROJECT SPECIFICATIONS SECTIONS 0841, 08700 AND 08710.
- 15 REPAIR AND WATERPROOF EXISTING CONCRETE SLAB. SEE PROJECT SPECIFICATIONS SECTION 07141 AND STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 16 BLOCK DOOR OPENING. SEE STRUCTURAL DRAWINGS.
- 17 BLOCK CONCRETE SLAB VENT OPENING. SEE STRUCTURAL DRAWINGS.
- 18 RESTORE, REPAIR, PATCH AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTIONS 0490, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR LOCATION OF CRACKS AND STRUCTURAL REPAIRS.
- 19 REMOVE EXISTING. PROVIDE AND INSTALL NEW HISTORIC CAST-STONE CAP. BEFORE REMOVAL THOROUGHLY RECORD AND MEASURE STONE CAP WITH DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0490, 0492, 09220 AND 09910.
- 20 REMOVE BRANCHES AND FOLIAGE FROM ALL OVERHANGING OBELISK AREAS. CLEARANCE SHALL NOT BE LESS THAN 25'-0". CONSULT WITH CITY'S ARBORIST REGARDING METHOD AND EXTENT BEFORE REMOVAL.
- 21 REPAIR HISTORIC CAST-STONE CAP. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0490, 0492, 09220 AND 09910.
- 22 NEW 18"W X 24" HT. WOOD FRAME WINDOW. SEE WINDOW SCHEDULE.
- 23 COMPLETELY REMOVE EXISTING SECTIONS OF COPPER BARS AND PROVIDE AND INSTALL NEW 1" DIAM. COPPER BARS. PATCH AND FINISH ADJACENT AREAS TO MATCH EXISTING. SUBMIT SAMPLE FOR APPROVAL.
- 24 RESTORE 18"W X 24" HT. HISTORIC WOOD FRAME WINDOW. SEE WINDOW SCHEDULE AND PROJECT SPECIFICATIONS SECTION 0401, 0810, 08710, 0890 AND 09910.
- 25 CLEAN COPPER BARS. SEE DIVISION - 5 METALS. DRAWING A-0.
- 26 AFTER REMOVAL OF PERCHED BRICK LOWN WALL, REPAIR, PATCH AND FINISH TO MATCH EXISTING CONCRETE CURB TO REMAIN. SEE PROJECT SPECIFICATIONS SECTIONS 0490, 09220 AND 09910.
- 27 PROVIDE AND INSTALL NEW CAST-STONE MOLDING. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 28 DURING THE CONSTRUCTION PHASE, CONDUCT ASSESSMENT CONDITION OF THE BLOCKED VENTILATION FLUE OPENINGS AND CONCRETE PYRAMIDAL APEX NOTIFY PROJECT ARCHITECT AND PROJECT MANAGER OF ASSESSMENT CONDITIONS. SCOPE OF WORK TO BE DETERMINED FOLLOWING ASSESSMENT OF EXISTING CONDITIONS.
- 29 PROVIDE AND INSTALL MISSING STONE PANELS. MATCH EXISTING IN SIZE, MATERIAL, TEXTURE AND FINISH. SUBMIT SAMPLE FOR APPROVAL BEFORE INSTALLATION. PATCH EXISTING HOLES AT EAST ELEVATION CONCRETE BASE. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0490, 09220 AND 09910.
- 30 RESTORE CAST-STONE SEA CREATURE ORNAMENT. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0490, 09220 AND 09910.
- 31 REPLICATE TO MATCH EXISTING NEW CAST-STONE SEA CREATURE ORNAMENT. THOROUGHLY RECORD AND MEASURE EXISTING SEA CREATURE. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS AND PROFILES. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0490, 09220 AND 09910.
- 32 REMOVE DAMAGED AND INSTALL NEW SECTION OF CAST-STONE CYMA-RECTA MOLDING. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0490, 0492, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 33 RE-POINT CEMENT PANELS JOINTS AND APPLY NEW SMOOTH STUCCO FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 0490, 09220 AND 09910.
- 34 RESTORE CAST-STONE CARTOUCHE. SEE PROJECT SPECIFICATIONS SECTIONS 0470, 0490, 09220 AND 09910.
- 35 NEW LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 36 AFTER DEMOLITION OF EXISTING ADDITION, NOTIFY ARCHITECT AND PROJECT MANAGER FOR REVIEW OF EXISTING OCTAGON WALL TO REMAIN. SEE PROJECT SPECIFICATIONS SECTION 02410.
- 37 1/2" DIAMETER METAL HANDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 38 CAREFULLY REMOVE AND RESTORE HISTORIC WROUGHT IRON PICKETS. USE RESTORED PICKETS TO REPLACE DAMAGED PICKETS AT NORTH STAIR. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05700.
- 39 SEE SHEET A-9 FOR ARCHITECTURAL NOTES. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIR.
- 40 CLEAN AND REPLACE DAMAGED 3"X6" CERAMIC TILE WAINSCOT AND BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTIONS 09310, 09311, 09312 AND 09315.  
PROVIDE UNIT PRICE FOR CLEANING AND REPLACEMENT OF TILE.
- 41 REPAIR AND PAINT CEMENT WALL FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 09220 AND 09910.
- 42 CLEAN 6"X6" RED QUARRY TILE PAVERS.
- 43 PROVIDE AND INSTALL NEW 6"X6" RED QUARRY TILE TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTION 09330. ESTIMATED AREA OF NEW REPLACEMENT TILE: 20 SQ. FT. PROVIDE UNIT COST FOR REPLACEMENT TILE.
- 44 FLOOR METAL CONDUITS TO REMAIN. REMOVE WIRING.
- 45 REMOVE WALL MOUNTED METAL ENCLOSURE AND RELATED SYSTEM. BLOCK CONCRETE OPENING SEE STRUCTURAL DRAWINGS.
- 46 NEW 10" X 10" EXHAUST METAL LOUVER. SEE WINDOW SCHEDULE AND MECHANICAL PLANS.
- 47 NEW IRON GUARDRAIL 42" A.F.F. ON TOP OF CAST-STONE CAP. SEE PROJECT SPECIFICATIONS 05720.
- 48 NEW LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.
- 49 PATCH HOLE WITH CONCRETE CEMENT. BEFORE INSTALLATION OF STONE PANEL VENEER.
- 50 PROVIDE AND INSTALL WATER PROOF SYSTEM. SEE PROJECT SPECIFICATIONS SECTION 07142.
- 51 NEW PAVED PLAZA. SEE SITE PLAN AND CIVIL DRAWINGS.

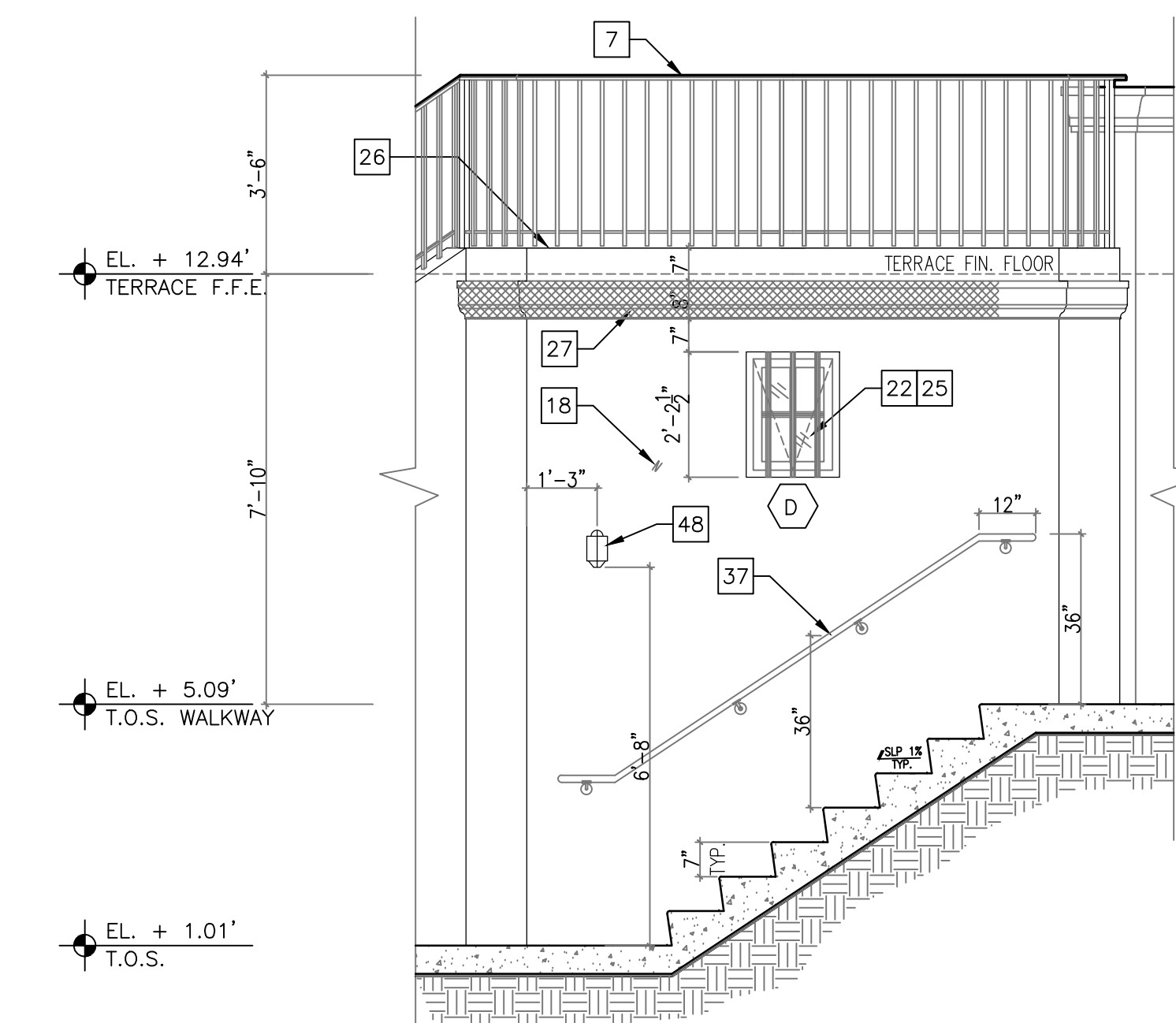
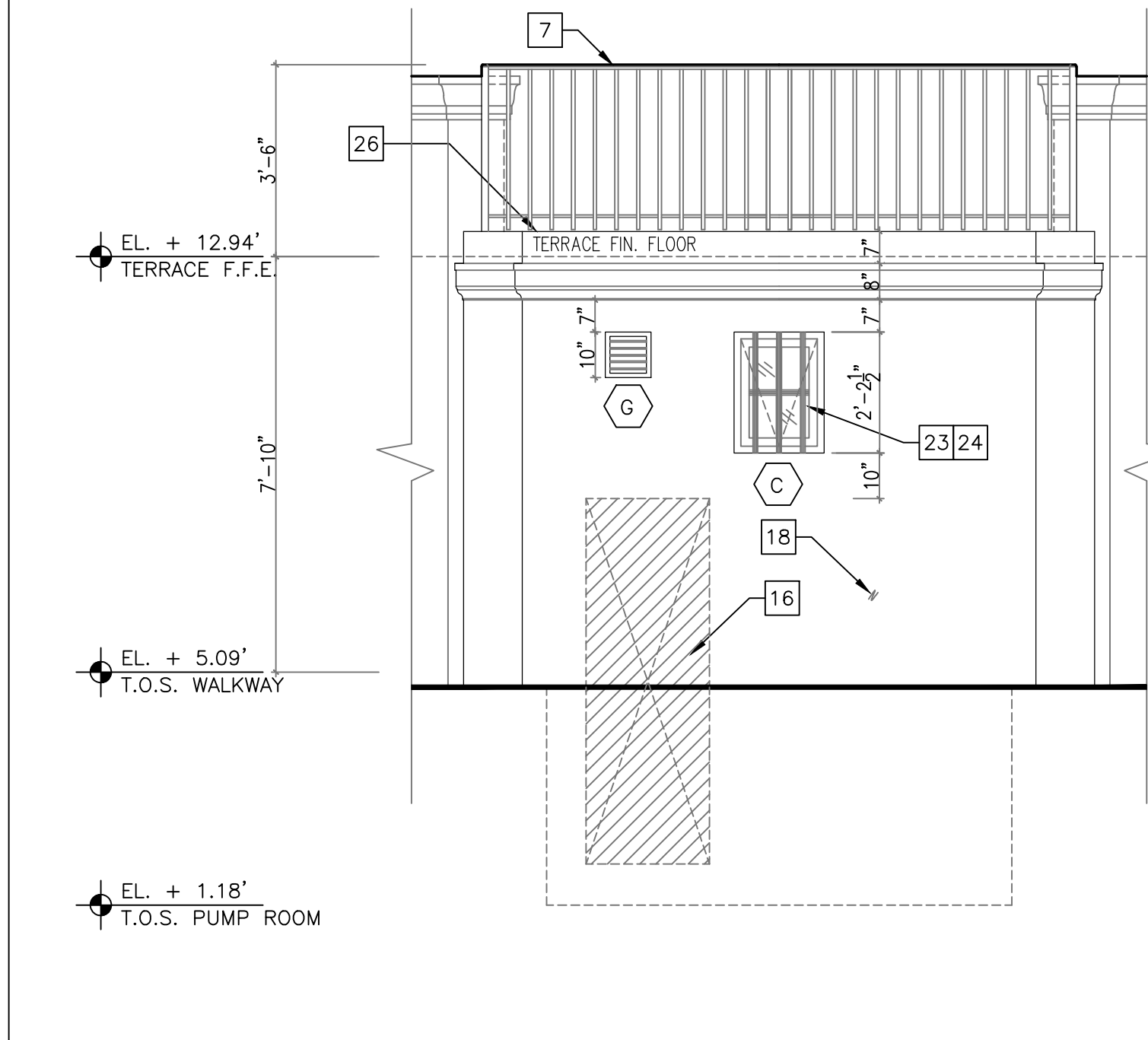
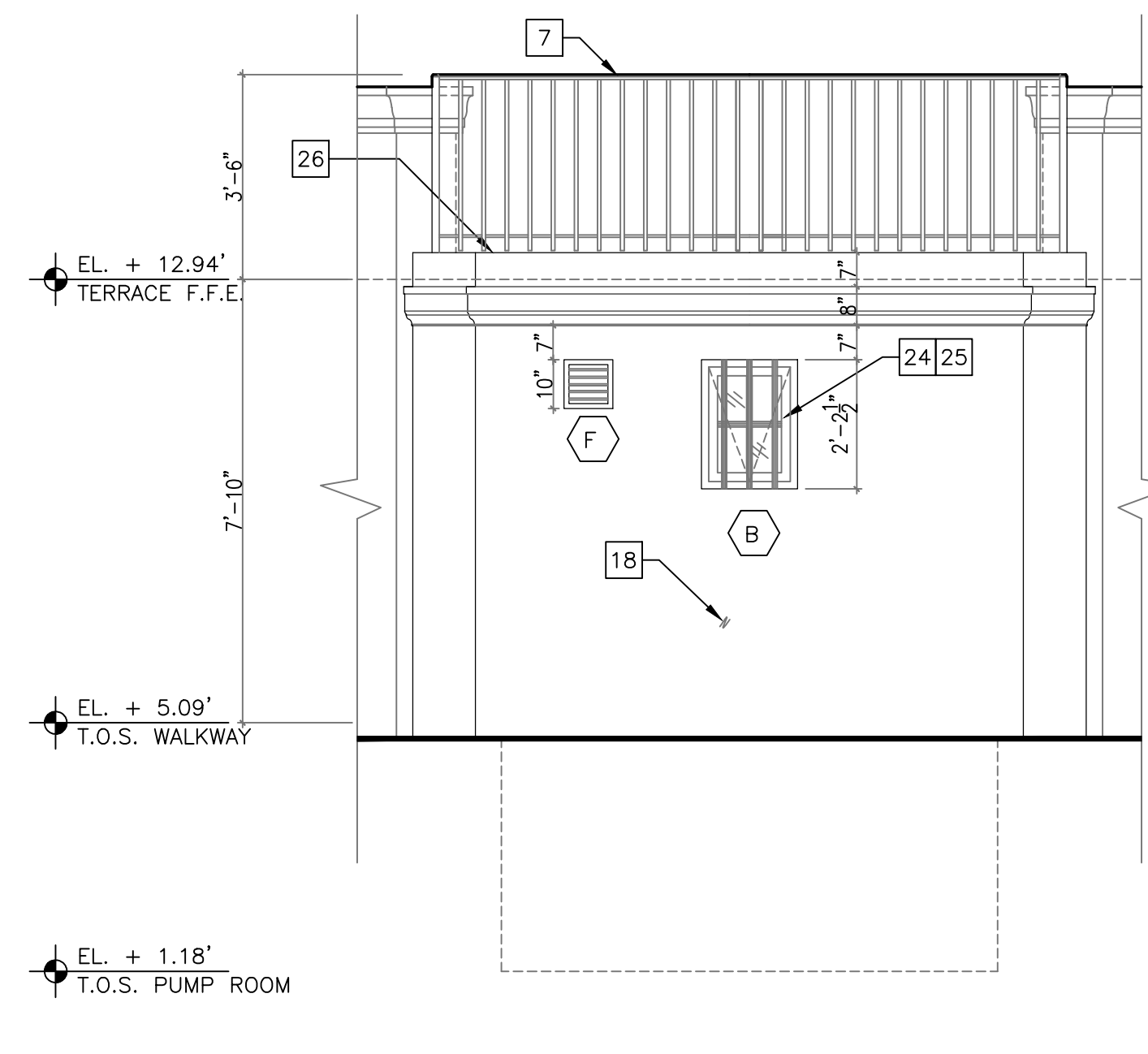
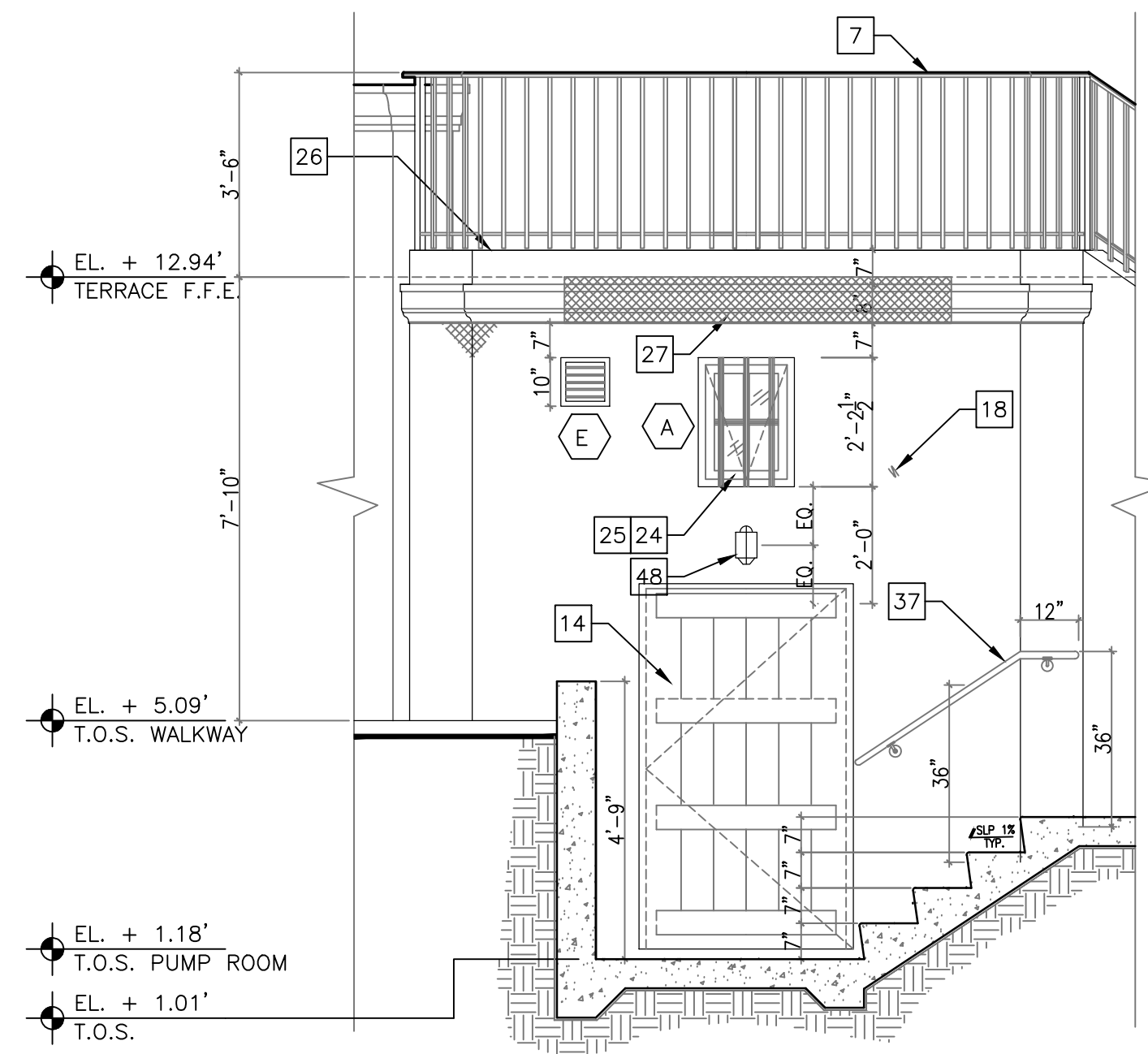
3 KEYNOTES

LEGEND	
	EXISTING CONCRETE WALL/SLAB/COLUMN
	NEW CONCRETE WALL/SLAB/COLUMN
	WALL - STONE - CEMENT - STUCCO - MOLDING REPAIR



28th STREET OBELISK AND PUMP STATION RESTORATION

300 WEST 28th STREET MIAMI BEACH, FL. 33139

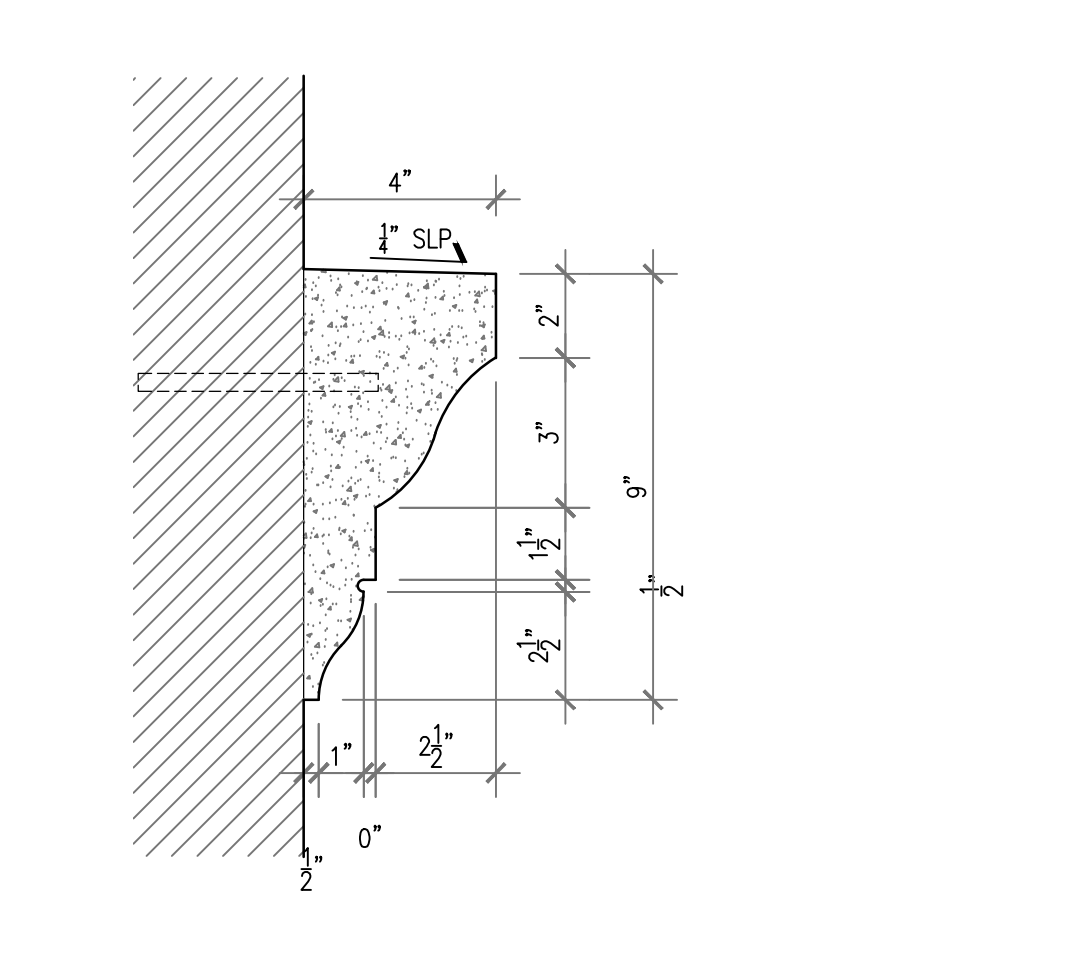
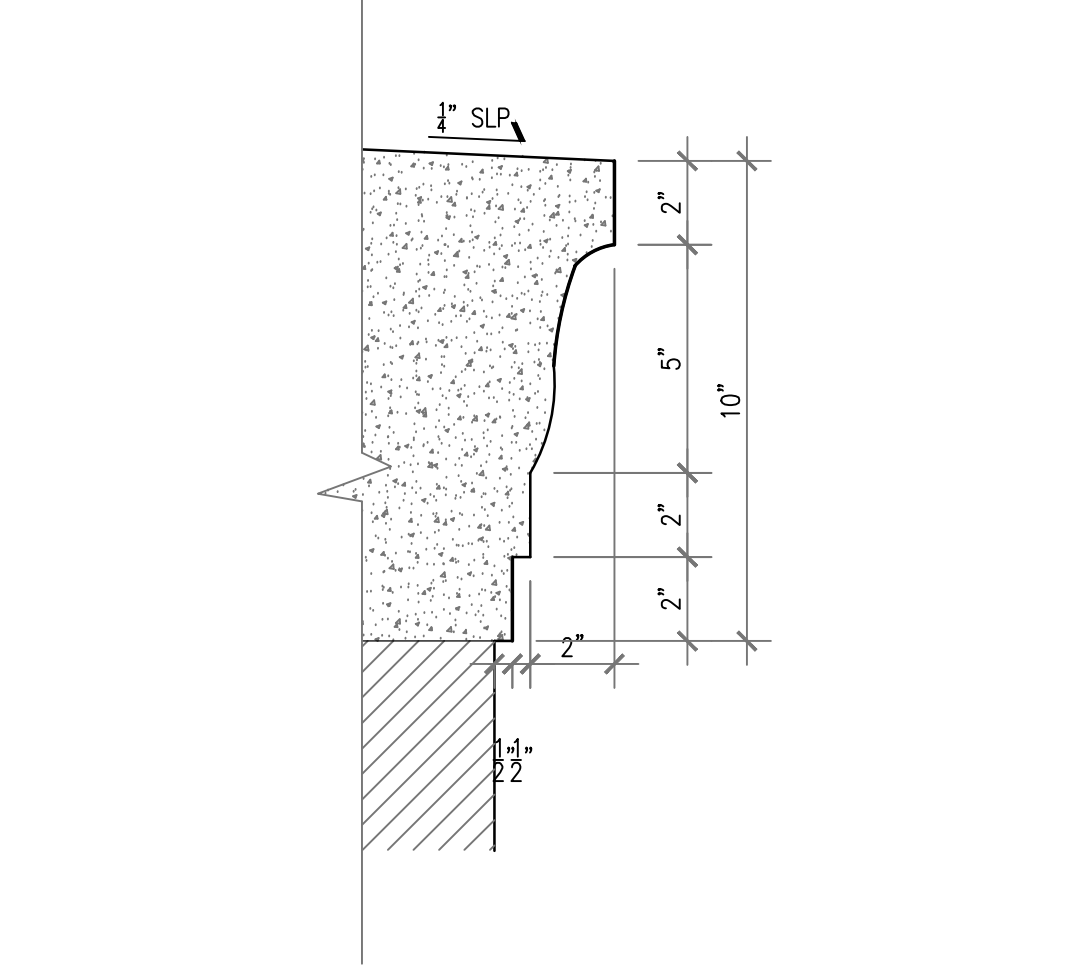
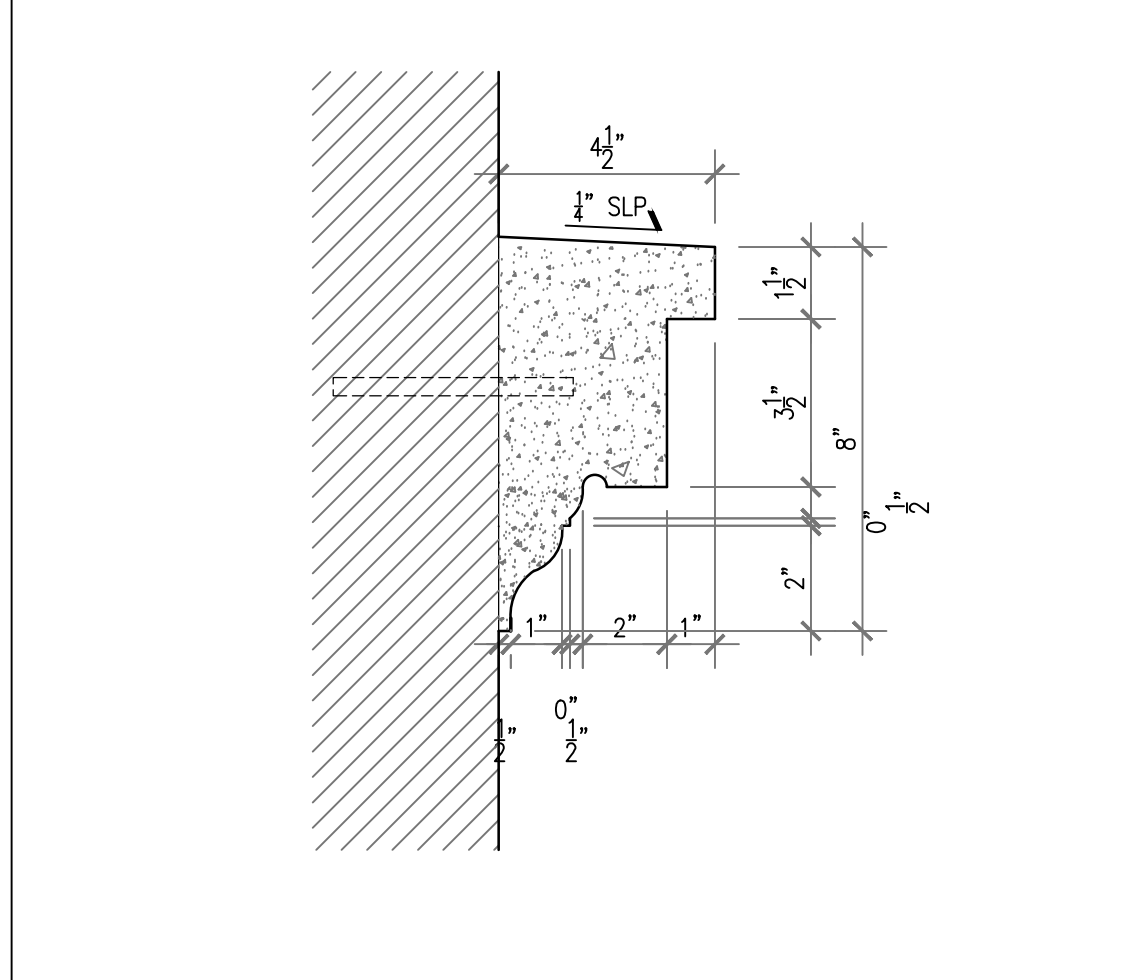
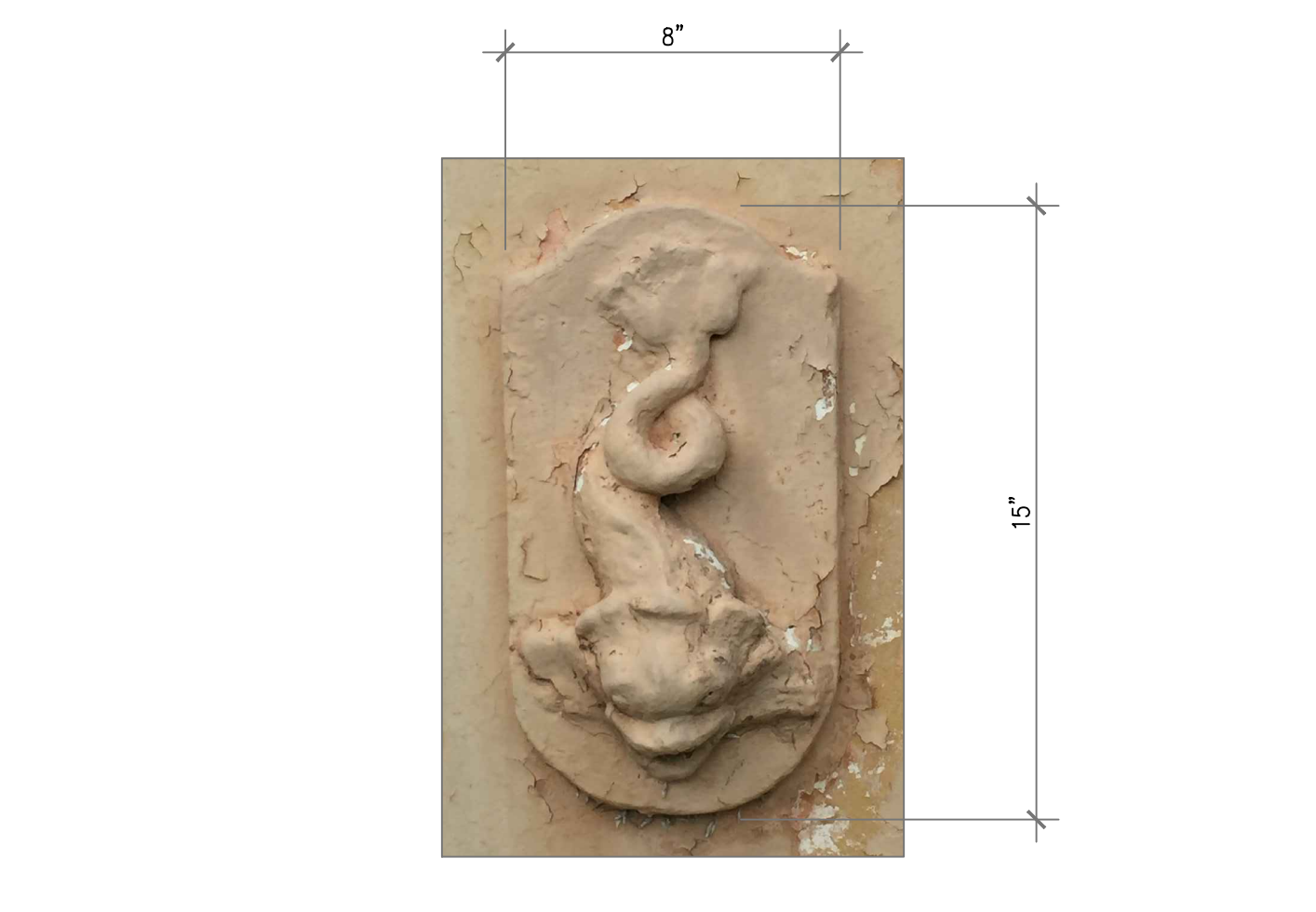
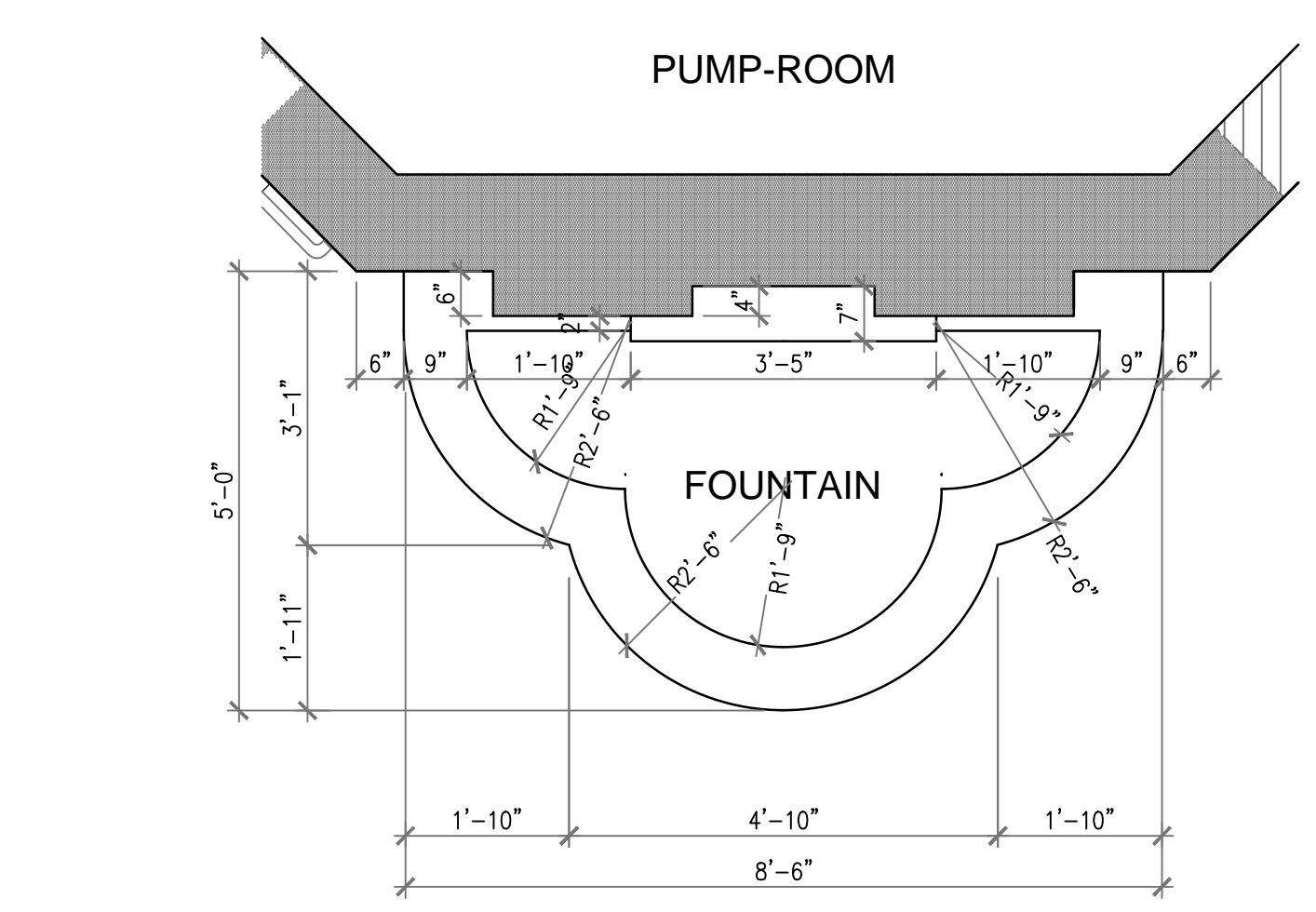


1 NORTH EAST ELEVATION 3/8"=1'-0"

2 SOUTHEAST ELEVATION 3/8"=1'-0"

3 SOUTHWEST ELEVATION 3/8"=1'-0"

4 NORTHWEST ELEVATION 3/8"=1'-0"



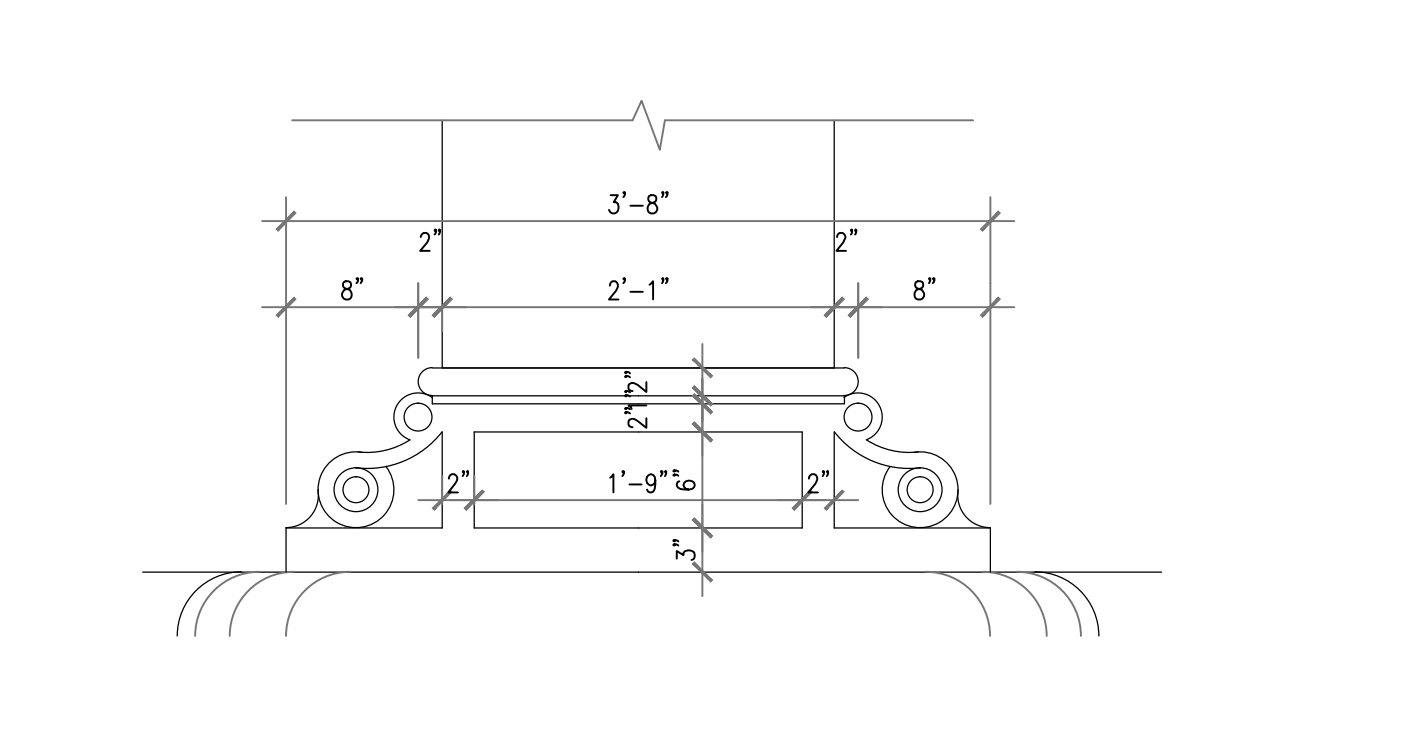
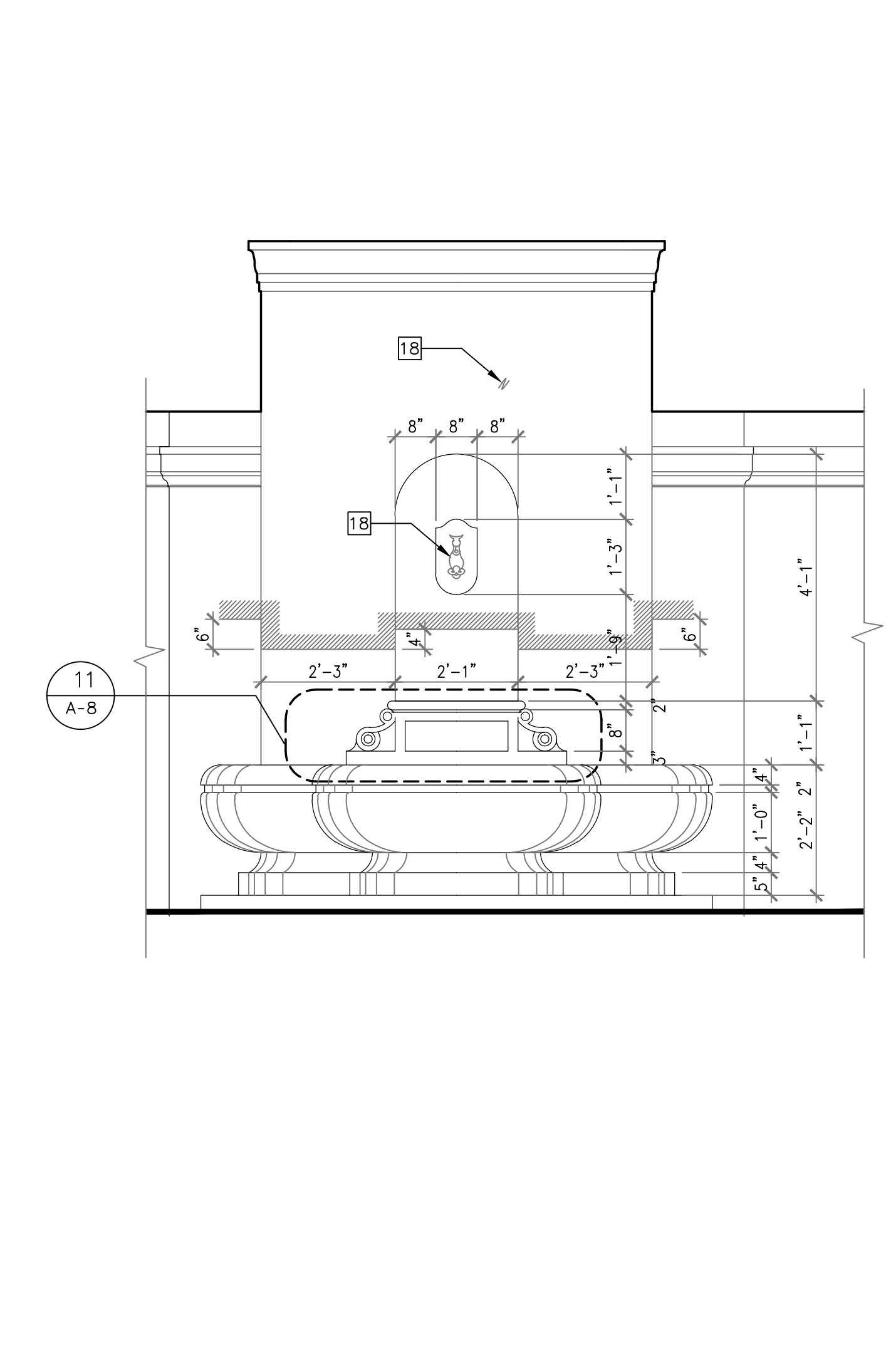
5 FOUNTAIN PLAN 1/2"=1'-0"

6 FOUNTAIN - SEA CREATURE N.T.S.

7 CORNICE - SECTION DETAIL 3"=1'-0"

8 STONE CAP - SECTION DETAIL 3"=1'-0"

8 CYMA-RECTA - SECTION DETAIL 3"=1'-0"



11 FOUNTAIN ENTABLATURE DETAIL ELEVATION 3"=1'-0"

12 CORNICE - SECTION DETAIL 3"=1'-0"

13 KEYNOTES

14 RESTORE AND REPAIR HISTORIC WOOD DOOR AND DOOR HARDWARE. SEE DOOR SCHEDULE AND PROJECT SPECIFICATIONS SECTIONS 06401, 08700, AND 08710.

15 REPAIR AND WATERPROOF EXISTING CONCRETE SLAB. SEE PROJECT SPECIFICATIONS SECTION 07141 AND STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.

16 BLOCK DOOR OPENING. SEE STRUCTURAL DRAWINGS.

17 BLOCK CONCRETE SLAB VENT OPENING. SEE STRUCTURAL DRAWINGS.

18 RESTORE, REPAIR, PATCH AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910.

19 REMOVE EXISTING. PROVIDE AND INSTALL NEW HISTORIC CAST-STONE CAP. BEFORE REMOVAL THOROUGHLY RECORD AND MEASURE STONE CAP WITH DIMENSIONS, PROFILES, CONTOUR AND MATERIAL. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910.

20 REMOVE BRANCHES AND FOLIAGE FROM ALL OVERHANGING OBELISK AREAS. CLEARANCE SHALL NOT BE LESS THAN 25'-0". CONSULT WITH CITY'S ARBORIST REGARDING METHOD AND EXTENT BEFORE REMOVAL.

21 REPAIR HISTORIC CAST-STONE CAP. THOROUGHLY RECORD AND MEASURE MOLDS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910.

22 NEW 18"W X 24" HT. WOOD FRAME WINDOW. SEE WINDOW SCHEDULE.

23 COMPLETELY REMOVE EXISTING SECTIONS OF COPPER BARS AND PROVIDE AND INSTALL NEW 1" DIAM. COPPER BARS. PATCH AND FINISH ADJACENT AREAS TO MATCH EXISTING. SUBMIT SAMPLE FOR APPROVAL.

24 RESTORE 18"W X 24" HT. HISTORIC WOOD FRAME WINDOW. SEE WINDOW SCHEDULE AND PROJECT SPECIFICATIONS SECTION 06401, 08610, 08710, 08800 AND 09910.

25 CLEAN COPPER BARS. SEE DIVISION 5 - METALS DRAWING A-0.

26 AFTER REMOVAL OF PIERCED BRICK LOW WALL, REPAIR, PATCH AND FINISH TO MATCH EXISTING CONCRETE CURB TO REMAIN. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910.

27 PROVIDE AND INSTALL NEW CAST-STONE MOLDING. THOROUGHLY RECORD AND MEASURE MOLDS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910.

28 DURING THE CONSTRUCTION PHASE, CONDUCT ASSESSMENT CONDITION OF THE BLOCKED VENTILATION FLUE OPENINGS AND CONCRETE PYRAMIDAL APEX. NOTIFY PROJECT ARCHITECT AND PROJECT MANAGER OF ASSESSMENT CONDITIONS. SCOPE OF WORK TO BE DETERMINED FOLLOWING ASSESSMENT OF EXISTING CONDITIONS.

29 PROVIDE AND INSTALL MISSING STONE PANELS. MATCH EXISTING IN SIZE, MATERIAL, TEXTURE AND FINISH. SUBMIT SAMPLE FOR APPROVAL BEFORE INSTALLATION. PATCH EXISTING HOLES AT EAST ELEVATION CONCRETE BASE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.

30 RESTORE CAST-STONE SEA CREATURE ORNAMENT. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.

31 REPLICATE TO MATCH EXISTING NEW CAST-STONE SEA CREATURE ORNAMENT. THOROUGHLY RECORD AND MEASURE EXISTING SEA CREATURE MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS AND PROFILES. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.

32 REMOVE DAMAGED AND INSTALL NEW SECTION OF CAST-STONE CYMA-RECTA MOLDING. THOROUGHLY RECORD AND MEASURE MOLDS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.

33 REPOINT CEMENT PANELS JOINTS AND APPLY NEW SMOOTH STUCCO FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 04902, 09220 AND 09910.

34 RESTORE CAST-STONE CARTOUCHE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.

35 NEW LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.

36 AFTER DEMOLITION OF EXISTING ADDITION, NOTIFY ARCHITECT AND PROJECT MANAGER FOR REVIEW OF EXISTING OCTAGON WALL TO REMAIN. SEE PROJECT SPECIFICATIONS SECTION 02410.

37 1/2" DIAMETER METAL HANDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.

38 CAREFULLY REMOVE AND RESTORE HISTORIC WROUGHT IRON PICKETS. USE RESTORED PICKETS TO REPLACE DAMAGED PICKETS AT NORTH STAIR. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05720.

39 SEE SHEET A-9 FOR ARCHITECTURAL NOTES. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIR.

40 CLEAN AND REPLACE DAMAGED 3"x6" CERAMIC TILE WAINSCOT AND BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTIONS 09310, 09311, 09312 AND 09315. PROVIDE UNIT PRICE FOR CLEANING AND REPLACEMENT OF TILE.

41 REPAIR AND PAINT CEMENT WALL FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 09220 AND 09910.

42 CLEAN 6"x8" RED QUARRY TILE PAVERS.

43 PROVIDE AND INSTALL NEW 6"x8" RED QUARRY TILE TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTION 09330. ESTIMATED AREA OF NEW REPLACEMENT TILE: 20 SQ. FT. PROVIDE UNIT COST FOR REPLACEMENT TILE.

44 FLOORED METAL CONDUITS TO REMAIN. REMOVE WIRING.

45 REMOVE WALL MOUNTED METAL ENCLOSURE AND RELATED SYSTEM. BLOCK CONCRETE OPENING SEE STRUCTURAL DRAWINGS.

46 NEW 10' X 10' EXHAUST METAL LOUVER. SEE WINDOW SCHEDULE AND MECHANICAL PLANS.

47 NEW IRON GUARDRAIL 42" F.F. ON TOP OF CAST-STONE CAP. SEE PROJECT SPECIFICATIONS 05720.

48 NEW LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.

49 PATCH HOLE WITH CONCRETE CEMENT. BEFORE INSTALLATION OF STONE PANEL VENEER.

50 PROVIDE AND INSTALL WATER PROOF SYSTEM. SEE PROJECT SPECIFICATIONS SECTION 07142.

51 NEW PAVED PLAZA. SEE SITE PLAN AND CIVIL DRAWINGS.

**LEGEND**

- EXISTING CONCRETE WALL/SLAB/COLUMN
- NEW CONCRETE WALL/SLAB/COLUMN
- WALL - STONE- CEMENT- STUCCO- MOLDING REPAIR

-	PERMIT SET	01/22/2018
NO.	REVISIONS/SUBMISSIONS (*)	DATE

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medellin  
Architect P.A.  
www.wbmaarchitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER

INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-441-6009

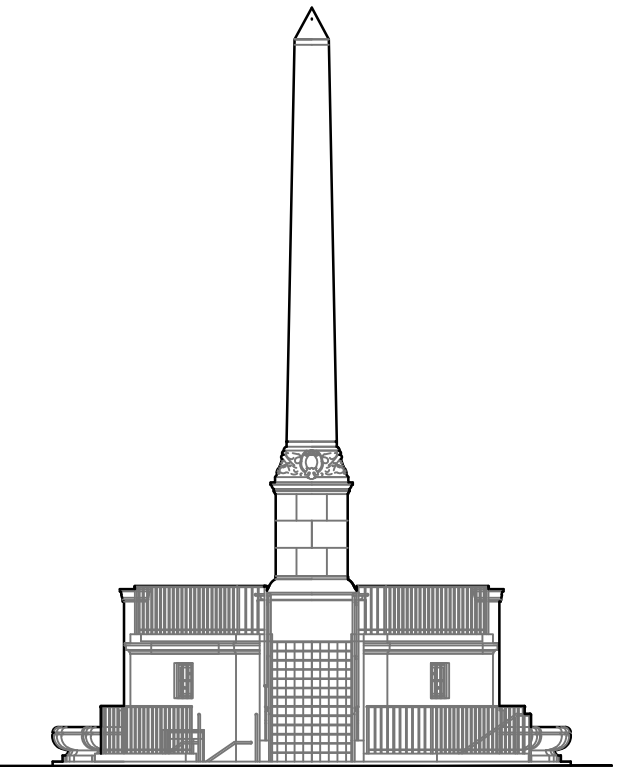
MEP ENGINEER

MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-8210

SHEET TITLE

EXTERIOR ELEVATIONS  
DETAILS

DATE: WILLIAM B MEDELLIN ARCHITECT P.A. FL REGISTRATION No. 0003400	ISSUE DATE: 01/22/2018 PROJECT NO.: 12155 DRAWN BY: ZW/WW CHECKED BY: WW DRAWING NO.
	<b>A-8</b>



**28th STREET OBELISK AND PUMP STATION RESTORATION**

300 WEST 28th STREET  
MIAMI BEACH, FL. 33139

-	PERMIT SET	01/22/2018
NO.	REVISIONS/SUBMISSIONS (*)	DATE

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



**William B Medellin**  
Architect P.A.

www.wbmaarchitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138

305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER

INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-461-6009

MEP ENGINEER

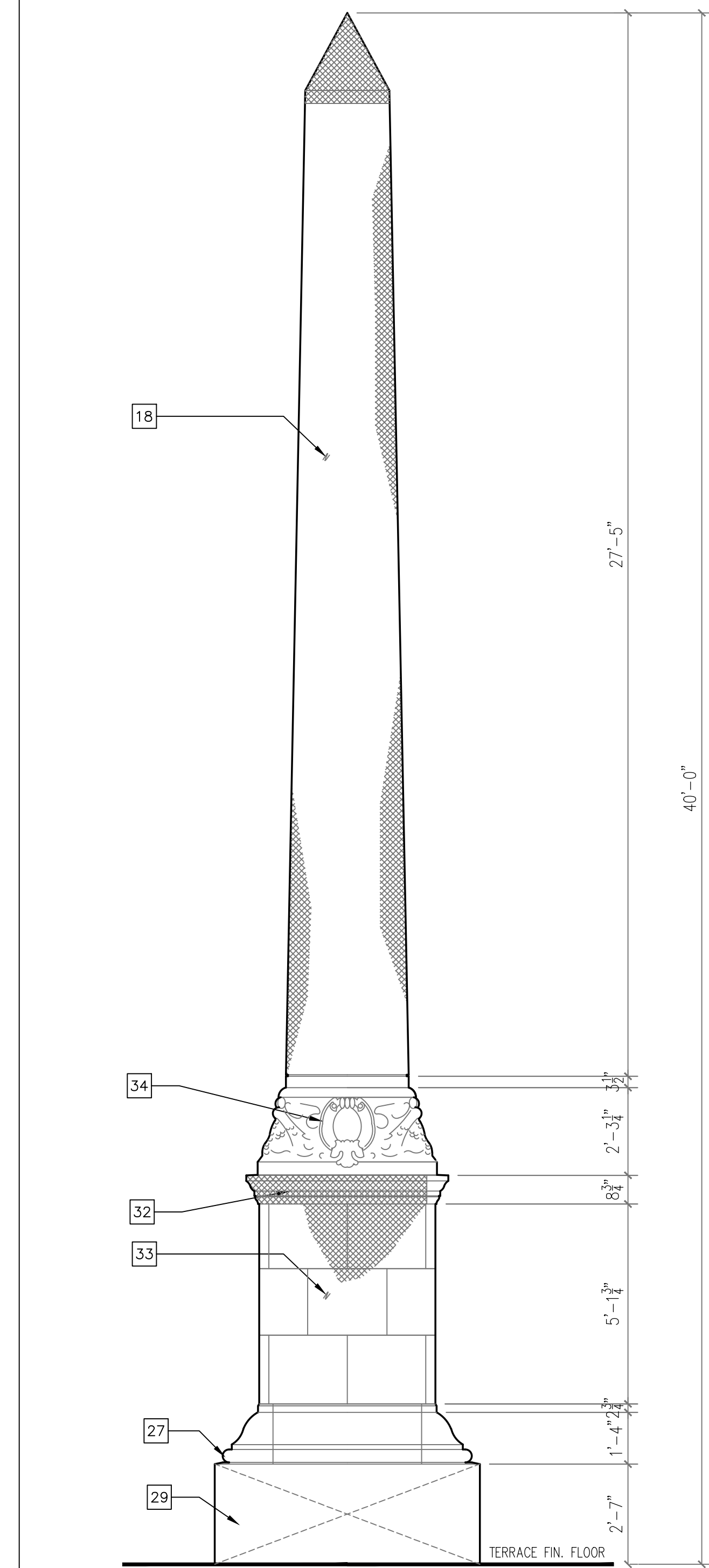
MAQUEIRA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-6210

SHEET TITLE

**OBELISK ELEVATIONS**

DATE: WILLIAM B MEDELLIN ARCHITECT P.A. FL REGISTRATION No. 00034000	ISSUE DATE: 01/22/2018 PROJECT NO. 12155 DRAWN BY: ZW/MW CHECKED BY: WW DRAWING NO.
--	---

**A-9**



**4 WEST ELEVATION**

3/8"=1'-0"



**NORTH ELEVATION**

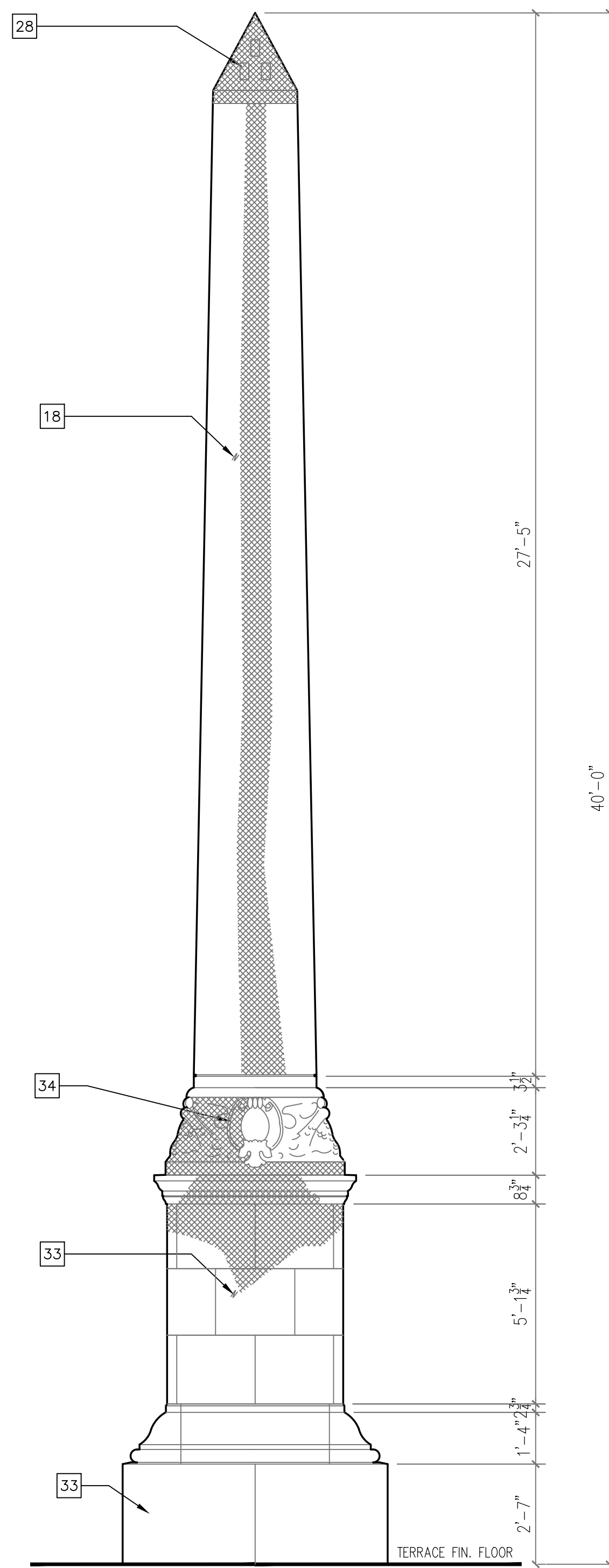


**WEST ELEVATION**

**6 CYMA - RECTA MOLDING**

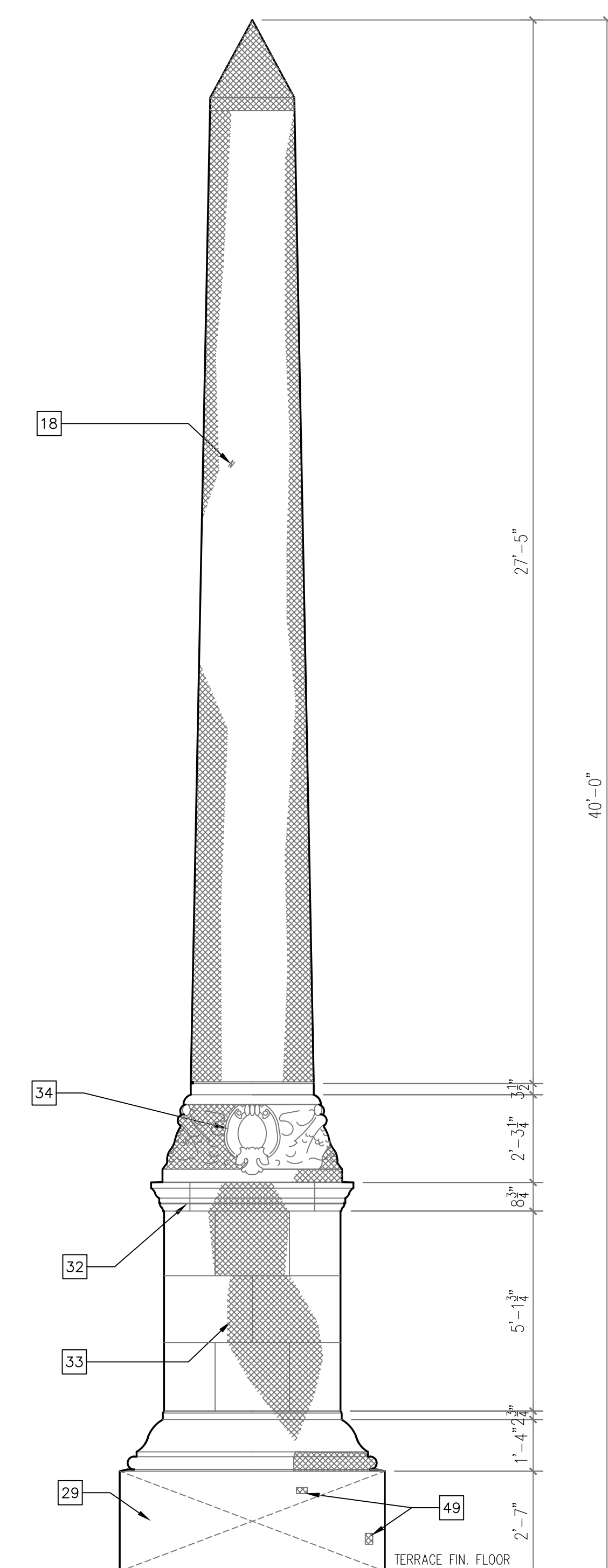
N.T.S.

LEGEND	
	EXISTING CONCRETE WALL/SLAB/COLUMN
	NEW CONCRETE WALL/SLAB/COLUMN
	WALL - STONE- CEMENT -STUCCO- MOLDING REPAIR



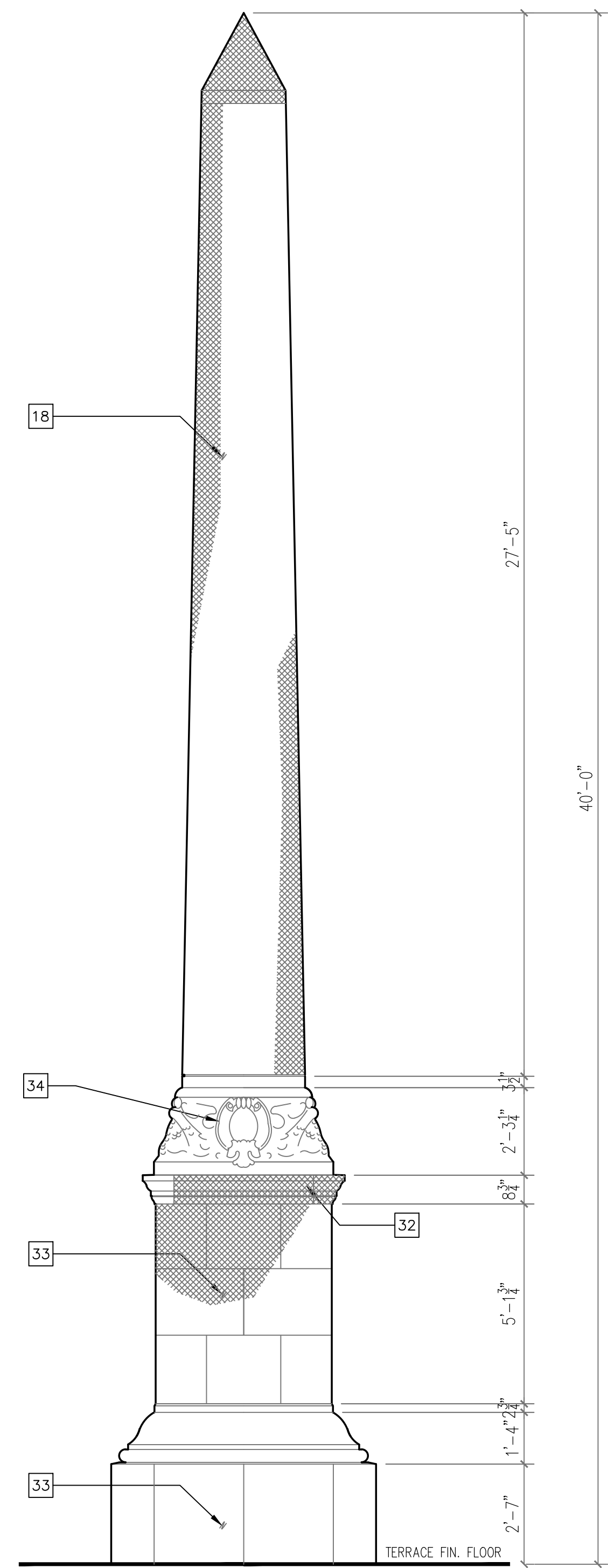
**2 EAST ELEVATION**

3/8"=1'-0"



**3 SOUTH ELEVATION**

3/8"=1'-0"



**1 NORTH ELEVATION**

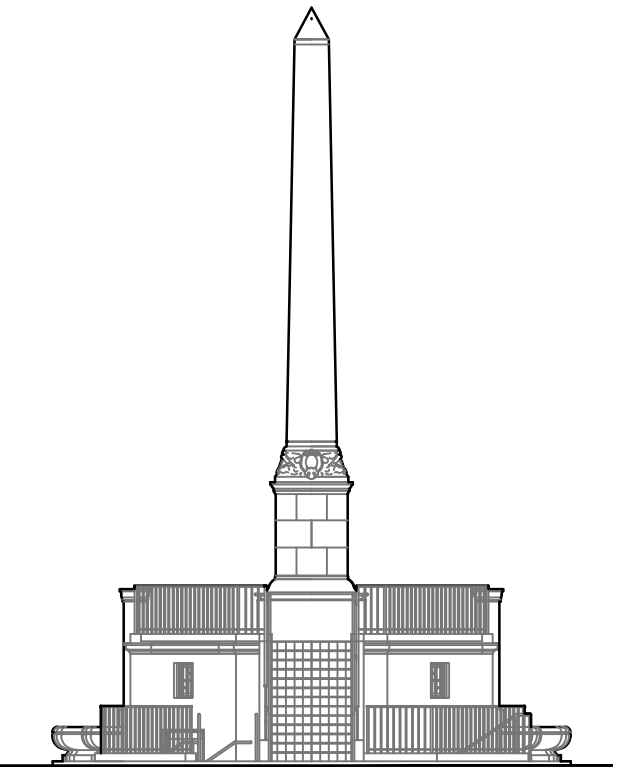
3/8"=1'-0"

- 1 NEW CONCRETE WALKWAY. SEE SITE PLAN AND CIVIL DRAWINGS.
- 2 CAREFULLY REMOVE IN ITS ENTIRETY ALL EXISTING SOIL TO COMPLETELY EXPOSE EXISTING STEPS. AFTER STEPS ARE COMPLETELY EXPOSED, ARCHITECT AND STRUCTURAL ENGINEER WILL CONDUCT AND ASSESSMENT OF THE STEPS' CONDITIONS AND WILL DETERMINE IF STEPS CAN BE RESTORED OR HAVE TO BE REMOVED.  
  
ALTERNATE #1: EAST STEPS  
NEW CONCRETE STEPS. SEE A-11 AND STRUCTURAL DRAWINGS.  
ALTERNATE #2: WEST STEPS  
NEW CONCRETE STEPS. SEE A-11 STRUCTURAL DRAWINGS.
- 3 RESTORE CAST-STONE CONCRETE TREFOIL SHAPED FOUNTAIN. REPAIR AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS - SECTIONS 04900, 04902, 07140, 09910 AND 09220.  
PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PLUMBING AND ELECTRICAL DRAWINGS. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 4 NEW CAST-STONE CONCRETE TREFOIL SHAPED FOUNTAIN TO MATCH SIZE, MATERIAL, SHAPE, TEXTURE AND FINISH OF EXISTING FOUNTAIN LOCATED AT WESTERN SIDE OF OBELISK. PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 07140, 09910 AND 09220.  
THOROUGHLY RECORD AND MEASURE EXISTING FOUNTAIN MEASUREMENTS SHALL BE DETAILED AND COMPLETE WITH ALL DIMENSIONS, MATERIAL, PROFILES, CONTOUR PATTERNS FULLY INDICATED. SUBMIT DOCUMENTATION OF EXISTING MATERIAL TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING FOUNTAIN.
- 5 PROVIDE AND INSTALL NEW QUARRY TILE PAVERS. SEE PROJECT SPECIFICATIONS - SECTION 07141 AND 09330
- 6 RESTORE, REPAIR, STABILIZE HISTORIC WROUGHT IRON HANDRAIL. ADD NEW WROUGHT IRON TOP RAILING SECTION AS SHOWN ON DRAWINGS. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05700.
- 7 NEW WROUGHT IRON GUARDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 8 INSTALL TEMPORARY SHORING TO SUPPORT EXISTING CONCRETE BEAMS AND FLOOR TERRACE SLAB. SEE STRUCTURAL DRAWINGS FOR TEMPORARY SHORING SPECIFICATIONS AND DETAILS.
- 9 REPAIR STRUCTURAL BEAMS. SEE STRUCTURAL DRAWINGS.
- 10 CLEAN AND STABILIZE PUMP ROOM EQUIPMENT. SEE DIVISION 5 - METALS DRAWING A-0.
- 11 PROVIDE AND INSTALL 3"x6" CERAMIC TILE WAINSCOT WITH CERAMIC TILE BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTION 09310.
- 12 NEW WALL OPENINGS FOR VENTILATION LOUVER. SEE MECHANICAL DRAWINGS.
- 13 NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- 14 RESTORE AND REPAIR HISTORIC WOOD DOOR AND DOOR HARDWARE. SEE DOOR SCHEDULE AND PROJECT SPECIFICATIONS SECTIONS 06401, 08700, AND 08710.
- 15 REPAIR AND WATERPROOF EXISTING CONCRETE SLAB. SEE PROJECT SPECIFICATIONS SECTION 07141 AND STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 16 BLOCK DOOR OPENING. SEE STRUCTURAL DRAWINGS.
- 17 BLOCK CONCRETE SLAB VENT OPENING. SEE STRUCTURAL DRAWINGS.

**5 KEYNOTES**

- 18 RESTORE, REPAIR, PATCH AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR LOCATION OF CRACKS AND STRUCTURAL REPAIRS.
- 19 REMOVE EXISTING, PROVIDE AND INSTALL NEW HISTORIC CAST-STONE CAP. BEFORE REMOVAL THOROUGHLY RECORD AND MEASURE STONE CAP WITH DIMENSIONS, PROFILES, CONTOUR AND MATERIAL. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910.
- 20 REMOVE BRANCHES AND FOLIAGE FROM ALL OVERHANGING OBELISK AREAS. CLEARANCE SHALL NOT BE LESS THAN 25'-0". CONSULT WITH CITY'S ARBORIST REGARDING METHOD AND EXTENT BEFORE REMOVAL.
- 21 REPAIR HISTORIC CAST-STONE CAP.  
THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL.  
SEE PROJECT SPECIFICATIONS 04720, 04900, 04902, 09220 AND 09910.
- 22 NEW 18"W X 24" HT. WOOD FRAME WINDOW. SEE WINDOW SCHEDULE.
- 23 COMPLETELY REMOVE EXISTING SECTIONS OF COPPER BARS AND PROVIDE AND INSTALL NEW 1" DIAM. COPPER BARS. PATCH AND FINISH ADJACENT AREAS TO MATCH EXISTING. SUBMIT SAMPLE FOR APPROVAL.
- 24 RESTORE 18"W X 24" HT. HISTORIC WOOD FRAME WINDOW. SEE WINDOW SCHEDULE AND PROJECT SPECIFICATIONS SECTION 09401, 09910, 08710, 09900 AND 09910.
- 25 CLEAN COPPER BARS. SEE DIVISION - 5 METALS. DRAWING A-0.
- 26 AFTER REMOVAL OF PIERCED BRICK LOW WALL, REPAIR, PATCH AND FINISH TO MATCH EXISTING CONCRETE CURB TO REMAIN. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910.
- 27 PROVIDE AND INSTALL NEW CAST-STONE MOLDING.  
THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 28 DURING THE CONSTRUCTION PHASE, CONDUCT ASSESSMENT CONDITION OF THE BLOCKED VENTILATION FLUE OPENINGS AND CONCRETE PYRAMIDAL APX. NOTIFY PROJECT ARCHITECT AND PROJECT MANAGER OF ASSESSMENT CONDITIONS. SCOPE OF WORK TO BE DETERMINED FOLLOWING ASSESSMENT OF EXISTING CONDITIONS.
- 29 PROVIDE AND INSTALL MISSING STONE PANELS. MATCH EXISTING IN SIZE, MATERIAL, TEXTURE AND FINISH. SUBMIT SAMPLE FOR APPROVAL BEFORE INSTALLATION. PATCH EXISTING HOLES AT EAST ELEVATION CONCRETE BASE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 30 RESTORE CAST-STONE SEA CREATURE ORNAMENT. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 31 REPLICATE TO MATCH EXISTING NEW CAST-STONE SEA CREATURE ORNAMENT.  
THOROUGHLY RECORD AND MEASURE EXISTING SEA CREATURE. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS AND PROFILES. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.

- 32 REMOVE DAMAGED AND INSTALL NEW SECTION OF CAST-STONE CYMA-RECTA MOLDING.  
THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED. MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL.  
SEE PROJECT SPECIFICATIONS 04720, 04900, 04902, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 33 RE-POINT CEMENT PANELS JOINTS AND APPLY NEW SMOOTH STUCCO FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 04902, 09220 AND 09910.
- 34 RESTORE CAST-STONE CARTOUCHE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 35 NEW LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 36 AFTER DEMOLITION OF EXISTING ADDITION, NOTIFY ARCHITECT AND PROJECT MANAGER FOR REVIEW OF EXISTING OCTAGON WALL TO REMAIN. SEE PROJECT SPECIFICATIONS SECTION 02410.
- 37 1 1/2" DIAMETER METAL HANDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 38 CAREFULLY REMOVE AND RESTORE HISTORIC WROUGHT IRON PICKETS. USE RESTORED PICKETS TO REPLACE DAMAGED PICKETS AT NORTH STAIR. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05700.
- 39 SEE SHEET A-9 FOR ARCHITECTURAL NOTES. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIR.
- 40 CLEAN AND REPLACE DAMAGED 3"x6" CERAMIC TILE WAINSCOT AND BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTIONS 09310, 09311, 09312 AND 09315.  
PROVIDE UNIT PRICE FOR CLEANING AND REPLACEMENT OF TILE.
- 41 REPAIR AND PAINT CEMENT WALL FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 09220 AND 09910.
- 42 CLEAN 6"x6" RED QUARRY TILE PAVERS.
- 43 PROVIDE AND INSTALL NEW 6"x6" RED QUARRY TILE TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTION 09330. ESTIMATED AREA OF NEW REPLACEMENT TILE : 20 SQ. FT. PROVIDE UNIT COST FOR REPLACEMENT TILE.
- 44 FLOOR METAL CONDUITS TO REMAIN. REMOVE WIRING.
- 45 REMOVE WALL MOUNTED METAL ENCLOSURE AND RELATED SYSTEM. BLOCK CONCRETE OPENING SEE STRUCTURAL DRAWINGS.
- 46 NEW 10" X 10" EXHAUST METAL LOUVER. SEE WINDOW SCHEDULE AND MECHANICAL PLANS.
- 47 NEW IRON GUARDRAIL 42" A.F.F. ON TOP OF CAST-STONE CAP. SEE PROJECT SPECIFICATIONS 05700.
- 48 NEW LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.
- 49 PATCH HOLE WITH CONCRETE CEMENT, BEFORE INSTALLATION OF STONE PANEL VENEER.
- 50 PROVIDE AND INSTALL WATER PROOF SYSTEM. SEE PROJECT SPECIFICATIONS SECTION 07142.
- 51 NEW PAVED PLAZA. SEE SITE PLAN AND CIVIL DRAWINGS.



28th STREET OBELISK AND PUMP STATION RESTORATION

300 WEST 28th STREET MIAMI BEACH, FL. 33139

-	PERMIT SET	01/22/2018
NO.	REVISIONS/SUBMISSIONS (*)	DATE

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medellin Architect P.A.  
www.wbmaarchitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER

INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-461-6009

MEP ENGINEER

MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-9210

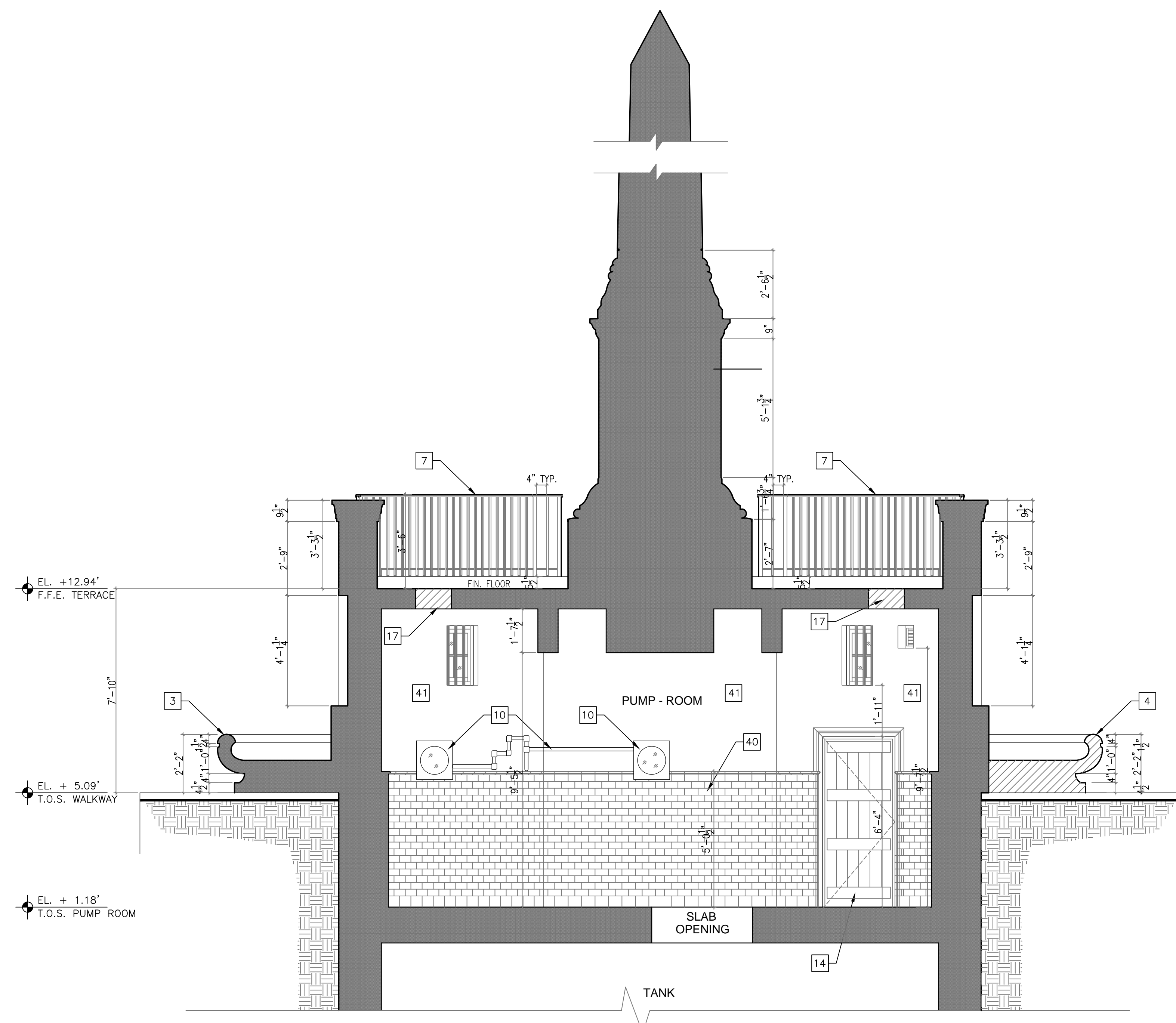
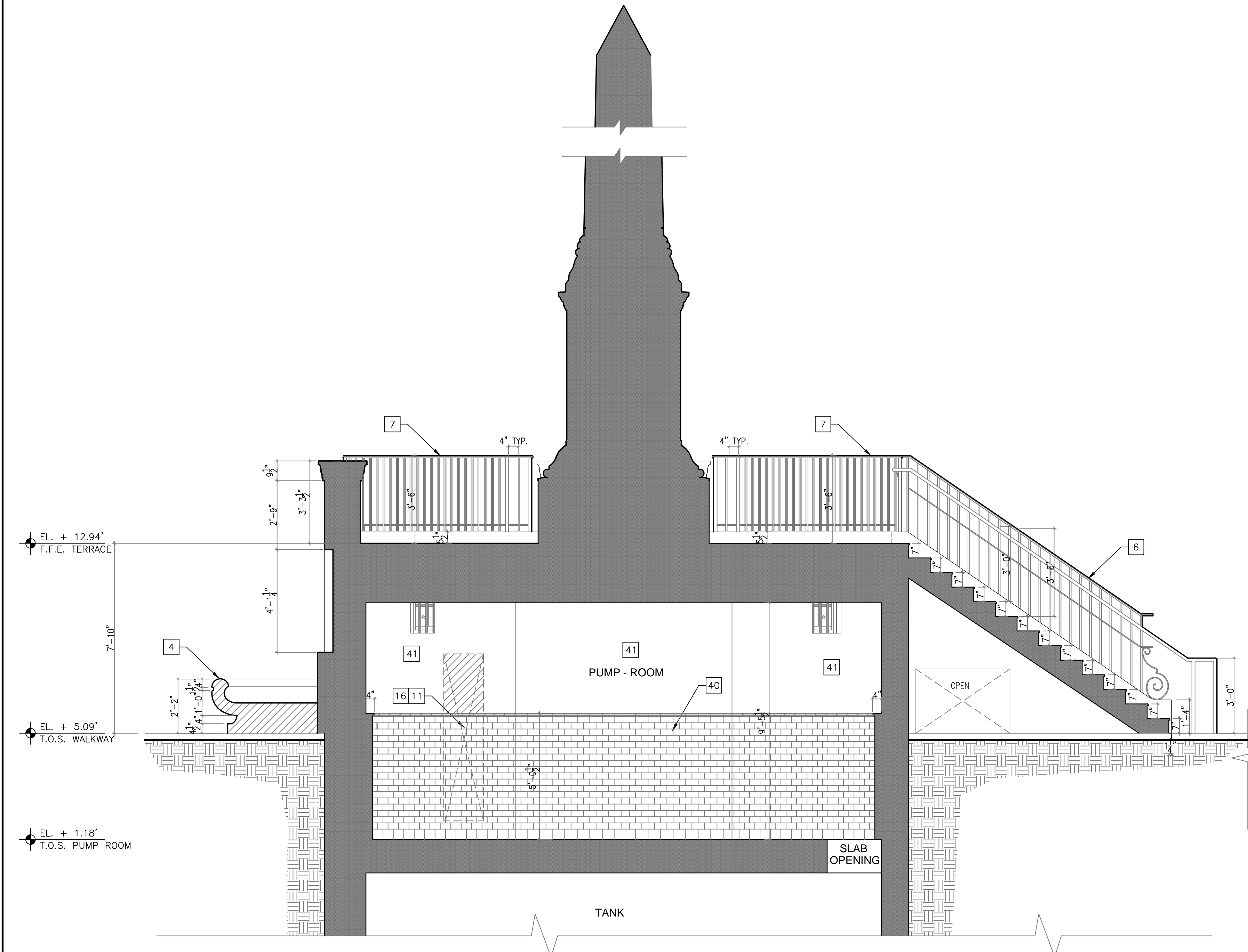
SHEET TITLE

BUILDING SECTIONS

SEAL	ISSUE DATE: 01/22/2018
	PROJECT NO. 13185
	DRAWN BY: ZW/MW
	CHECKED BY: MW
	DRAWING NO.

A-10

DATE: WILLIAM B MEDELLIN ARCHITECT P.A.  
FL REGISTRATION No. 0003400



1 BUILDING SECTION  
3/8"=1'-0"

2 BUILDING SECTION  
3/8"=1'-0"

- 1 NEW CONCRETE WALKWAY. SEE SITE PLAN AND CIVIL DRAWINGS.
- 2 CAREFULLY REMOVE IN ITS ENTIRETY ALL EXISTING SOIL TO COMPLETELY EXPOSE EXISTING STEPS. AFTER STEPS ARE COMPLETELY EXPOSED, ARCHITECT AND STRUCTURAL ENGINEER WILL CONDUCT AND ASSESSMENT OF THE STEPS CONDITIONS AND WILL DETERMINE IF STEPS CAN BE RESTORED OR HAVE TO BE REMOVED.  
ALTERNATE #1: EAST STEPS  
NEW CONCRETE STEPS. SEE A-11 AND STRUCTURAL DRAWINGS.  
ALTERNATE #2: WEST STEPS  
NEW CONCRETE STEPS. SEE A-11 STRUCTURAL DRAWINGS.
- 3 RESTORE CAST-STONE CONCRETE TREFOL SHAPED FOUNTAIN. REPAIR AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS - SECTIONS 04900, 04902, 07140, 0910 AND 09220.  
PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PLUMBING AND ELECTRICAL DRAWINGS.  
SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 4 NEW CAST-STONE CONCRETE TREFOL SHAPED FOUNTAIN TO MATCH SIZE, MATERIAL, SHAPE, TEXTURE AND FINISH OF EXISTING FOUNTAIN LOCATED AT WESTERN SIDE OF OBELISK. PROVIDE AND INSTALL NEW PLUMBING AND ELECTRICAL SYSTEMS. SEE PROJECT SPECIFICATIONS - SECTIONS 04720, 07140, 0910 AND 09220.  
THOROUGHLY RECORD AND MEASURE EXISTING FOUNTAIN. MEASUREMENTS SHALL BE DETAILED AND COMPLETE WITH ALL DIMENSIONS, MATERIAL, PROFILES, CONTOUR PATTERNS FULLY INDICATED. SUBMIT DOCUMENTATION OF EXISTING MATERIAL TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING FOUNTAIN.
- 5 PROVIDE AND INSTALL NEW QUARRY TILE PAVERS. SEE PROJECT SPECIFICATIONS - SECTION 07141 AND 09330
- 6 RESTORE, REPAIR, STABILIZE HISTORIC WROUGHT IRON HANDRAIL. ADD NEW WROUGHT IRON TOP RAILING SECTION AS SHOWN ON DRAWINGS. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05700.
- 7 NEW WROUGHT IRON GUARDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 8 INSTALL TEMPORARY SHORING TO SUPPORT EXISTING CONCRETE BEAMS AND FLOOR TERRACE SLAB. SEE STRUCTURAL DRAWINGS FOR TEMPORARY SHORING SPECIFICATIONS AND DETAILS.
- 9 REPAIR STRUCTURAL BEAMS. SEE STRUCTURAL DRAWINGS.
- 10 CLEAN AND STABILIZE PUMP ROOM EQUIPMENT. SEE DIVISION 5 - METALS DRAWING A-0.
- 11 PROVIDE AND INSTALL 3"X6" CERAMIC TILE WAINSCOT WITH CERAMIC TILE BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTION 09310.
- 12 NEW WALL OPENINGS FOR VENTILATION LOUVER. SEE MECHANICAL DRAWINGS.
- 13 NEW FLOOR DRAIN. SEE PLUMBING DRAWINGS.
- 14 RESTORE AND REPAIR HISTORIC WOOD DOOR AND DOOR HARDWARE. SEE DOOR SCHEDULE AND PROJECT SPECIFICATIONS SECTIONS 09401, 09700, AND 09710.
- 15 REPAIR AND WATERPROOF EXISTING CONCRETE SLAB. SEE PROJECT SPECIFICATIONS SECTION 07141 AND STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIRS.
- 16 BLOCK DOOR OPENING. SEE STRUCTURAL DRAWINGS.
- 17 BLOCK CONCRETE SLAB VENT OPENING. SEE STRUCTURAL DRAWINGS.
- 18 RESTORE, REPAIR, PATCH AND FINISH TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR LOCATION OF CRACKS AND STRUCTURAL REPAIRS.
- 19 REMOVE EXISTING, PROVIDE AND INSTALL NEW HISTORIC CAST-STONE CAP. BEFORE REMOVAL THOROUGHLY RECORD AND MEASURE STONE CAP WITH DIMENSIONS, PROFILES, CONTOUR AND MATERIAL. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910.
- 20 REMOVE BRANCHES AND FOLIAGE FROM ALL OVERHANGING OBELISK AREAS. CLEARANCE SHALL NOT BE LESS THAN 25'-0". CONSULT WITH CITY'S ARBORIST REGARDING METHOD AND EXTENT BEFORE REMOVAL.
- 21 REPAIR HISTORIC CAST-STONE CAP. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910.
- 22 NEW 18"W X 24" HT. WOOD FRAME WINDOW. SEE WINDOW SCHEDULE.
- 23 COMPLETELY REMOVE EXISTING SECTIONS OF COPPER BARS AND PROVIDE AND INSTALL NEW 1" DIAM. COPPER BARS. PATCH AND FINISH ADJACENT AREAS TO MATCH EXISTING. SUBMIT SAMPLE FOR APPROVAL.
- 24 RESTORE 18"W X 24" HT. HISTORIC WOOD FRAME WINDOW. SEE WINDOW SCHEDULE AND PROJECT SPECIFICATIONS SECTION 09401, 09610, 09710, 09800 AND 09910.
- 25 CLEAN COPPER BARS. SEE DIVISION 5 - METALS, DRAWING A-0.
- 26 AFTER REMOVAL OF PERCHED BRICK LOUVER WALL, REPAIR, PATCH AND FINISH TO MATCH EXISTING CONCRETE CURB TO REMAIN. SEE PROJECT SPECIFICATIONS SECTIONS 04900, 09220 AND 09910.
- 27 PROVIDE AND INSTALL NEW CAST-STONE MOLDING. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 28 DURING THE CONSTRUCTION PHASE, CONDUCT ASSESSMENT CONDITION OF THE BLOCKED VENTILATION FLUE OPENINGS AND CONCRETE PYRAMIDAL APEX. NOTIFY PROJECT ARCHITECT AND PROJECT MANAGER OF ASSESSMENT CONDITIONS. SCOPE OF WORK TO BE DETERMINED FOLLOWING ASSESSMENT OF EXISTING CONDITIONS.
- 29 PROVIDE AND INSTALL MISSING STONE PANELS. MATCH EXISTING IN SIZE, MATERIAL, TEXTURE AND FINISH. SUBMIT SAMPLE FOR APPROVAL BEFORE INSTALLATION. PATCH EXISTING HOLES AT EAST ELEVATION CONCRETE BASE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 30 RESTORE CAST-STONE SEA CREATURE ORNAMENT. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 31 REPLICATE TO MATCH EXISTING NEW CAST-STONE SEA CREATURE ORNAMENT. THOROUGHLY RECORD AND MEASURE EXISTING SEA CREATURE MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS AND PROFILES. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.

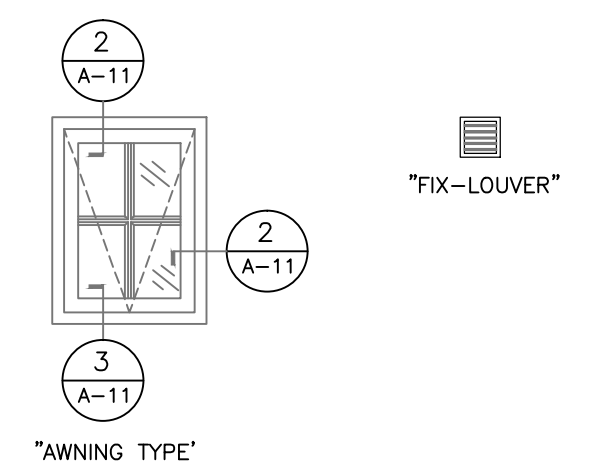
- 32 REMOVE DAMAGED AND INSTALL NEW SECTION OF CAST-STONE CYMA-RECTA MOLDING. THOROUGHLY RECORD AND MEASURE MOLDINGS TO BE REPAIRED OR REPLICATED MEASUREMENTS SHALL BE COMPLETE AND DETAILED WITH MATERIAL, DIMENSIONS, PROFILES, CONTOUR PATTERNS AND JOINTS FULLY INDICATED. SUBMIT DOCUMENTATION TO PROJECT ARCHITECT AND CITY'S PROJECT MANAGER FOR APPROVAL PRIOR TO REMOVAL. PROVIDE MOLDS OF EXISTING MATERIAL. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04900, 04902, 09220 AND 09910. SEE STRUCTURAL DRAWINGS FOR REPARATION OF CRACKS.
- 33 RE-POINT CEMENT PANELS JOINTS AND APPLY NEW SMOOTH STUCCO FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 04902, 09220 AND 09910.
- 34 RESTORE CAST-STONE CARTOUCHE. SEE PROJECT SPECIFICATIONS SECTIONS 04720, 04902, 09220 AND 09910.
- 35 NEW LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 36 AFTER DEMOLITION OF EXISTING ADDITION, NOTIFY ARCHITECT AND PROJECT MANAGER FOR REVIEW OF EXISTING OCTAGON WALL TO REMAIN. SEE PROJECT SPECIFICATIONS SECTION 02410.
- 37 1" DIAMETER METAL HANDRAIL. SEE PROJECT SPECIFICATIONS SECTION 05700.
- 38 CAREFULLY REMOVE AND RESTORE HISTORIC WROUGHT IRON PICKETS. USE RESTORED PICKETS TO REPLACE DAMAGED PICKETS AT NORTH STAIR. SEE PROJECT SPECIFICATIONS SECTIONS 05700 AND 05720.
- 39 SEE SHEET A-9 FOR ARCHITECTURAL NOTES. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REPAIR.
- 40 CLEAN AND REPLACE DAMAGED 3"X6" CERAMIC TILE WAINSCOT AND BULLNOSE. SUBMIT SAMPLES FOR APPROVAL PRIOR TO INSTALLATION. SEE PROJECT SPECIFICATIONS SECTIONS 09310, 09311, 09312 AND 09315.  
PROVIDE UNIT PRICE FOR CLEANING AND REPLACEMENT OF TILE.
- 41 REPAIR AND PAINT CEMENT WALL FINISH. SEE PROJECT SPECIFICATIONS SECTIONS 09220 AND 09910.
- 42 CLEAN 6"X6" RED QUARRY TILE PAVERS.
- 43 PROVIDE AND INSTALL NEW 6"X6" RED QUARRY TILE TO MATCH EXISTING. SEE PROJECT SPECIFICATIONS SECTION 09330.  
ESTIMATED AREA OF NEW REPLACEMENT TILE : 20 SQ. FT. PROVIDE UNIT COST FOR REPLACEMENT TILE.
- 44 FLOOR METAL CONDUITS TO REMAIN. REMOVE WIRING.
- 45 REMOVE WALL MOUNTED METAL ENCLOSURE AND RELATED SYSTEM. BLOCK CONCRETE OPENING. SEE STRUCTURAL DRAWINGS.
- 46 NEW 10' X 10' EXHAUST METAL LOUVER. SEE WINDOW SCHEDULE AND MECHANICAL PLANS.
- 47 NEW IRON GUARDRAIL, 42" A.F.F. ON TOP OF CAST-STONE CAP. SEE PROJECT SPECIFICATIONS 05720.
- 48 NEW LIGHT FIXTURE SEE ELECTRICAL DRAWINGS.
- 49 PATCH HOLE WITH CONCRETE CEMENT, BEFORE INSTALLATION OF STONE PANEL VENEER.
- 50 PROVIDE AND INSTALL WATER PROOF SYSTEM. SEE PROJECT SPECIFICATIONS SECTION 07142.
- 51 NEW PAVED PLAZA. SEE SITE PLAN AND CIVIL DRAWINGS.

3 KEYNOTES

**WINDOW SCHEDULE**

NO.	HEIGHT	WIDTH	MATERIAL	FINISH	TYPE	TINT	TYPE	REMARK
A	2'-2 1/2"	1'-7 3/4"	WOOD	PAINT	TEMPERED	CLEAR	AWNING	EXISTING HISTORIC WINDOW TO BE RESTORED
B	2'-2 1/2"	1'-7"	WOOD	PAINT	TEMPERED	CLEAR	AWNING	EXISTING HISTORIC WINDOW TO BE RESTORED
C	2'-2 1/2"	1'-8"	WOOD	PAINT	TEMPERED	CLEAR	AWNING	EXISTING HISTORIC WINDOW TO BE RESTORED
D	2'-2 1/2"	1'-7 3/4"	WOOD	PAINT	TEMPERED	CLEAR	AWNING	NEW TO MATCH HISTORIC WINDOWS
E	10"	10"	ALUMINUM	PAINT	-	-	FIX-LOUVER	PAINT TO MATCH WINDOW FRAME COLOR
F	10"	10"	ALUMINUM	PAINT	-	-	FIX-LOUVER	PAINT TO MATCH WINDOW FRAME COLOR
G	10"	10"	ALUMINUM	PAINT	-	-	FIX-LOUVER	PAINT TO MATCH WINDOW FRAME COLOR

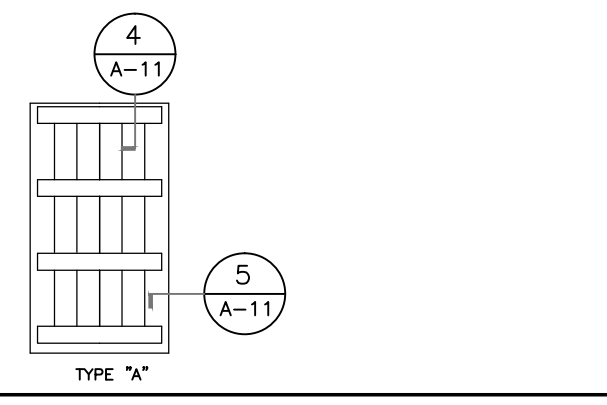
NOTES:  
 1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION.  
 2. AT ALL WINDOW AND EXHAUST LOUVER OPENINGS, PROVIDE REMOVABLE ALUMINUM, HURRICANE PANELS (0.050" - IMPACT 180 MPH) WITH RECESSED PIN, REMOVABLE HEAD AND SILL TRACKS.



**DOOR SCHEDULE**

DOOR NO.	TYPE	MATERIAL	HEIGHT	WIDTH	THICKNESS	FINISH	RATING	HDW	F. TYPE	F. MATERIAL	F. FINISH	JAMB/HEAD	REMARKS
1	A	WOOD	6'-3"	3'-8"	1 5/8"	PAINT	-	1	WOOD	WOOD	PAINT	-	EXISTING DOOR TO BE RESTORED

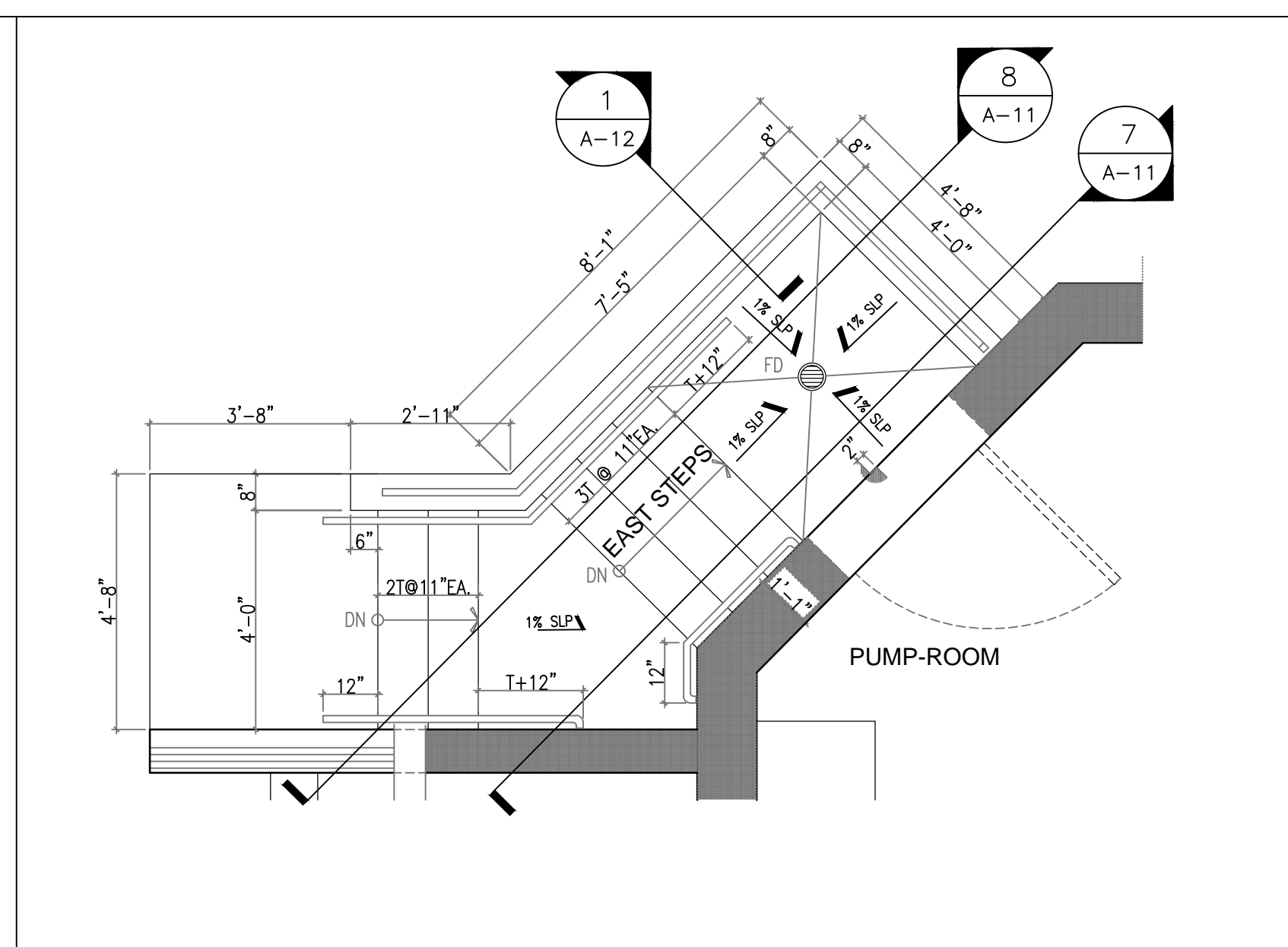
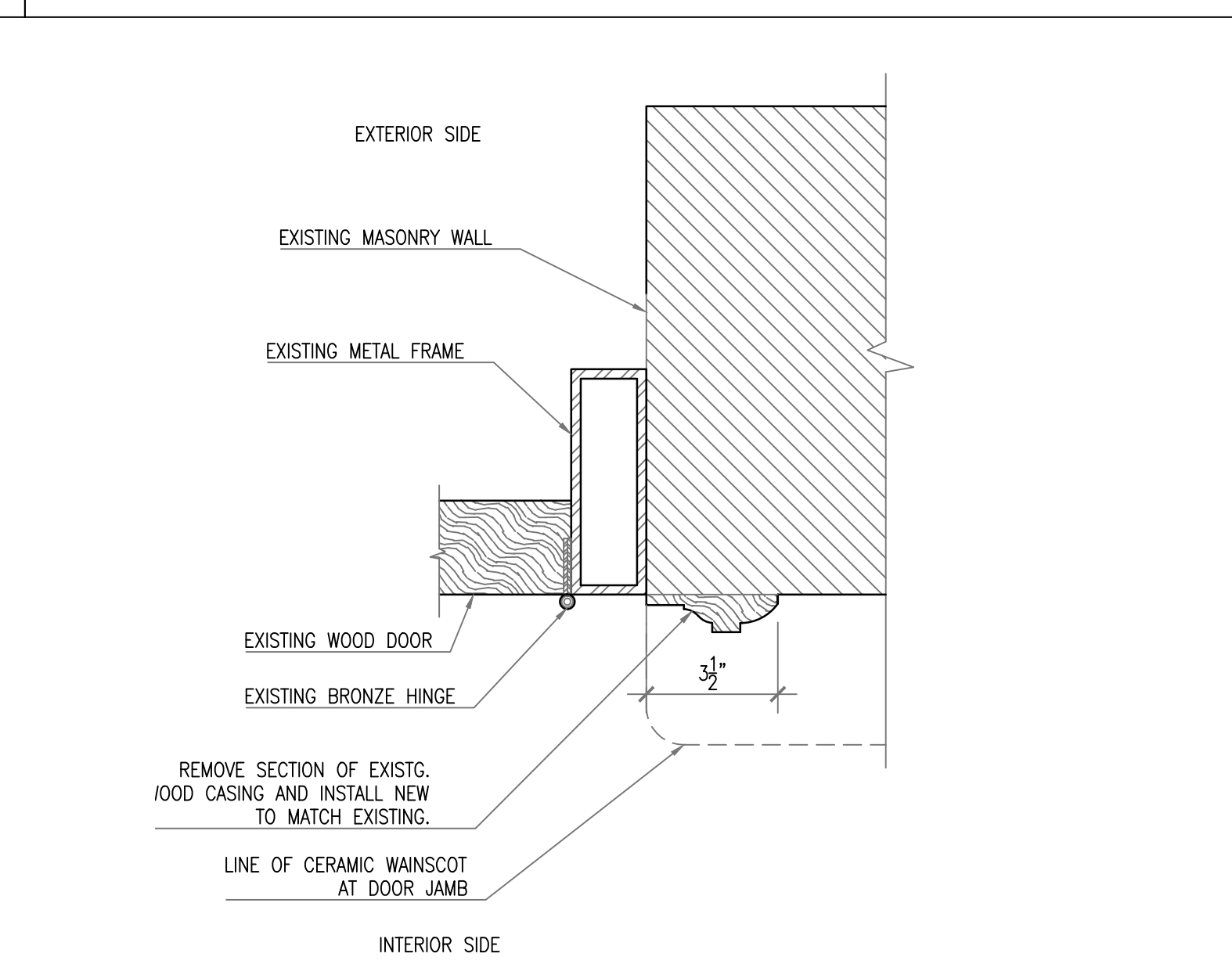
NOTES:  
 2. PROVIDE REMOVABLE ALUMINUM, HURRICANE PANELS (0.050" - IMPACT 180 MPH) WITH RECESSED PIN, REMOVABLE HEAD AND SILL TRACKS.



**FINISH SCHEDULE**

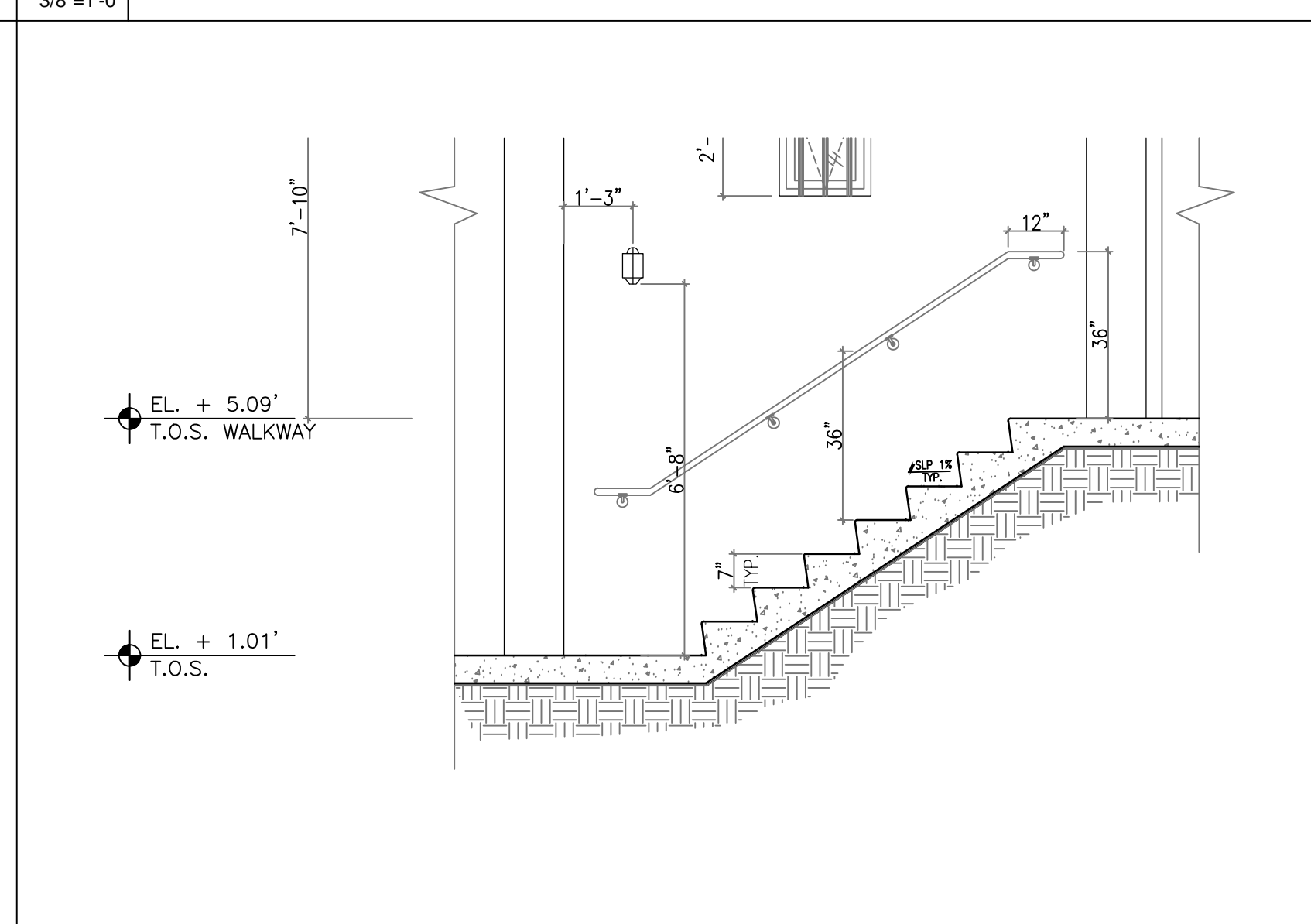
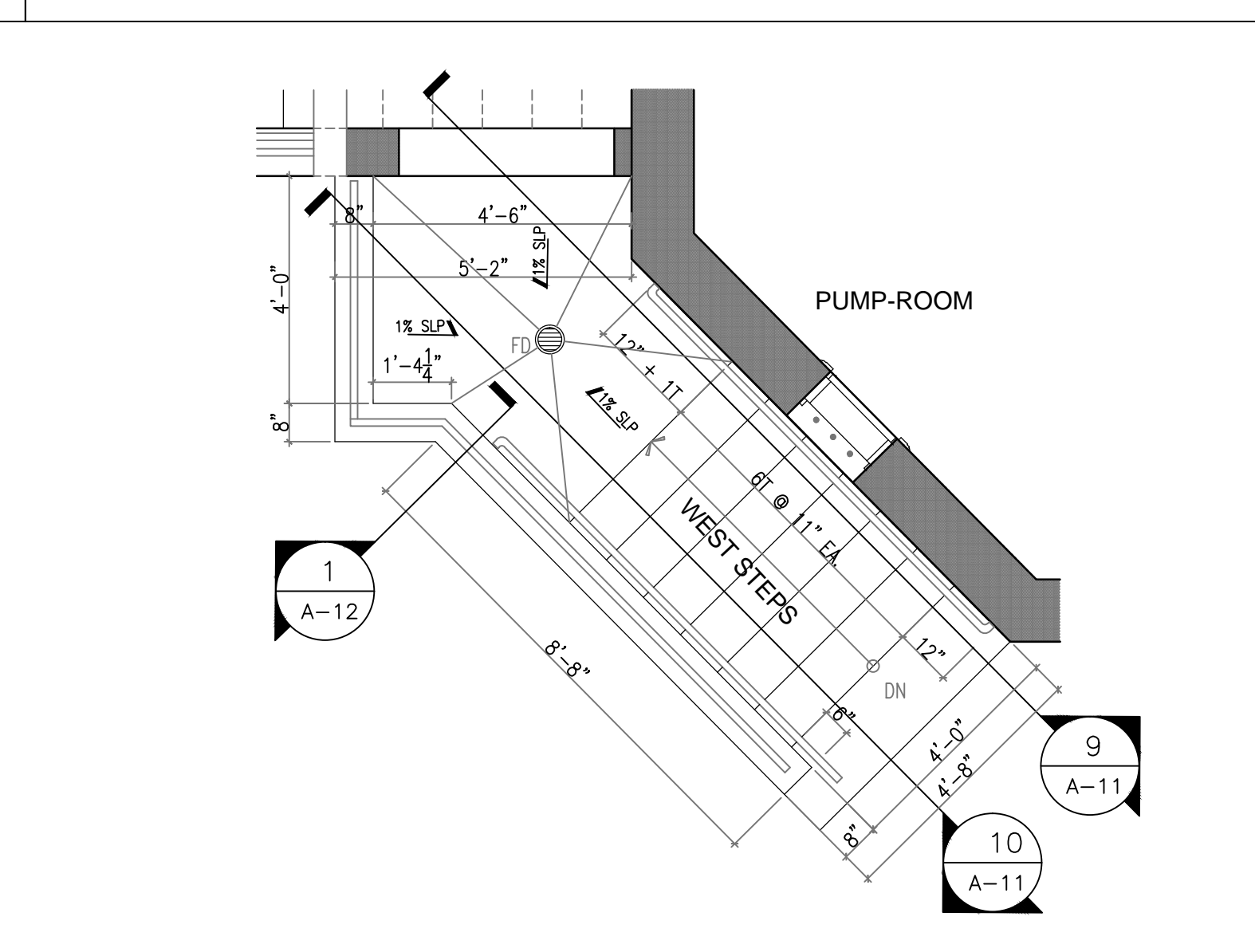
ROOM NAME	FLOOR	WALL										CEILING		HEIGHT	
		NORTH	NORTHEAST	EAST	SOUTHEAST	SOUTH	SOUTHWEST	WEST	NORTHWEST	MATERIAL	FINISH				
PUMP ROOM	QUARRY TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	PLASTER/CER. TILE	EXPOSED CONCRETE	PAINTED	11'-1"

**SCHEDULES**



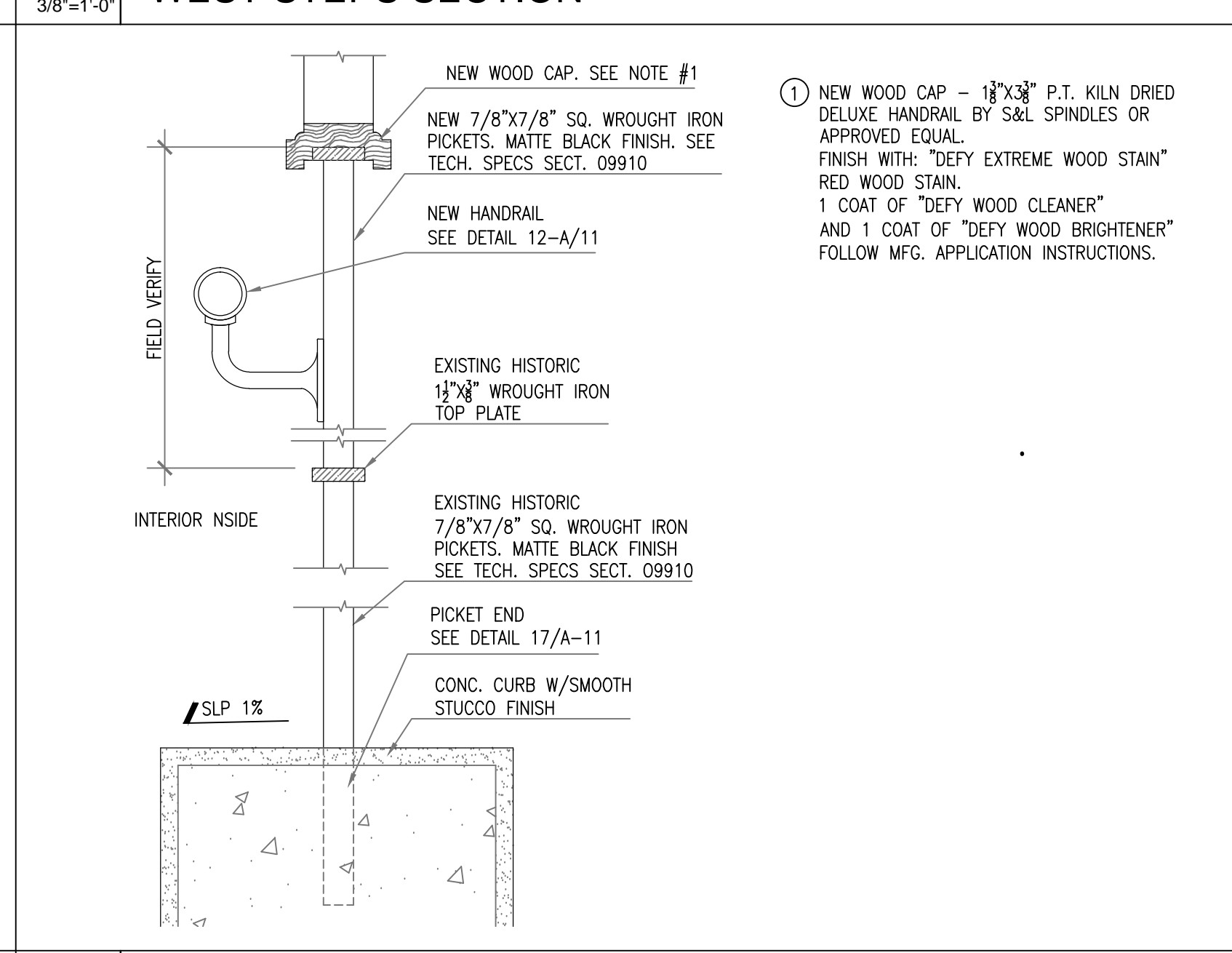
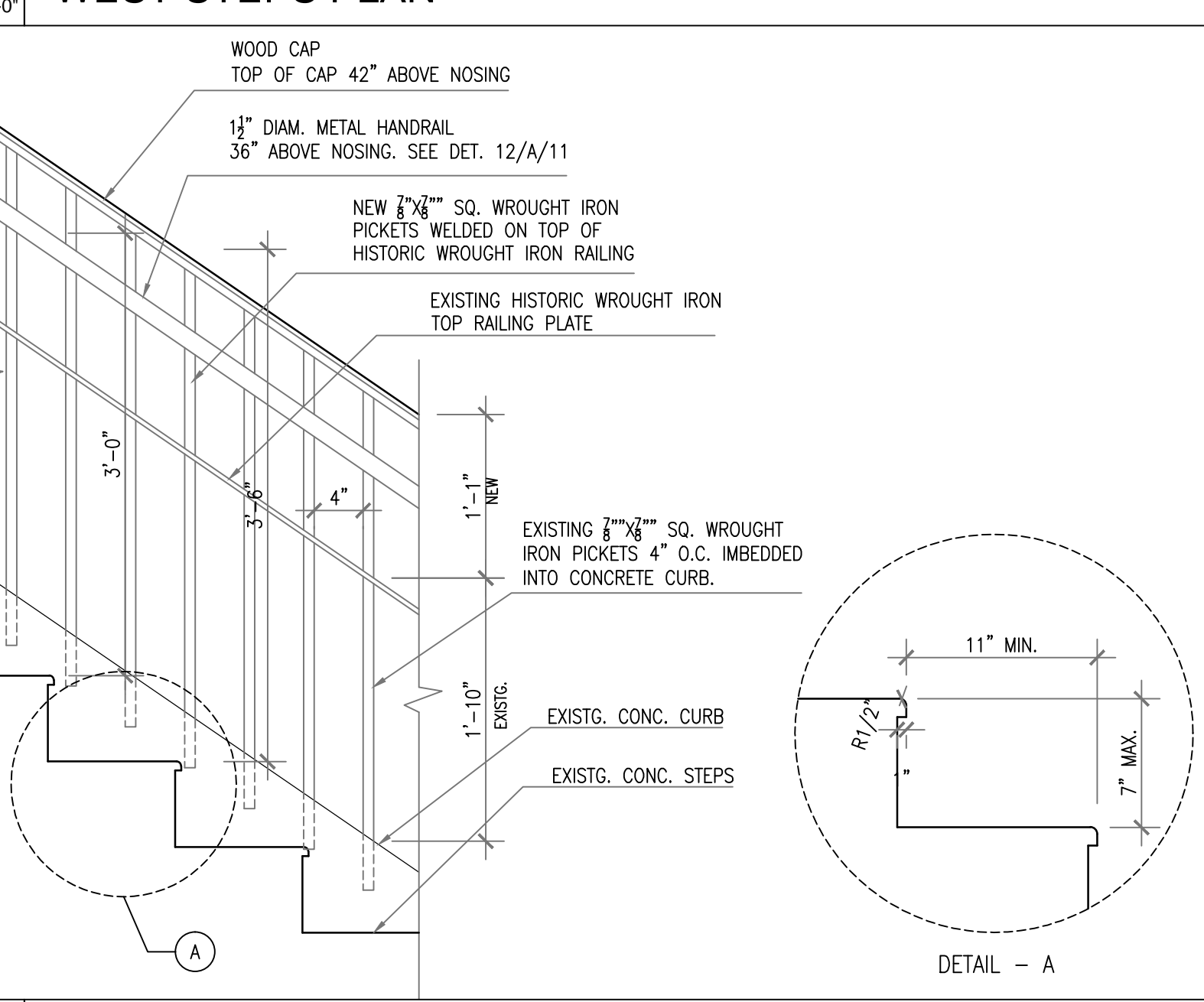
**DOOR JAMB**

**EAST STEPS PLAN**



**WEST STEPS PLAN**

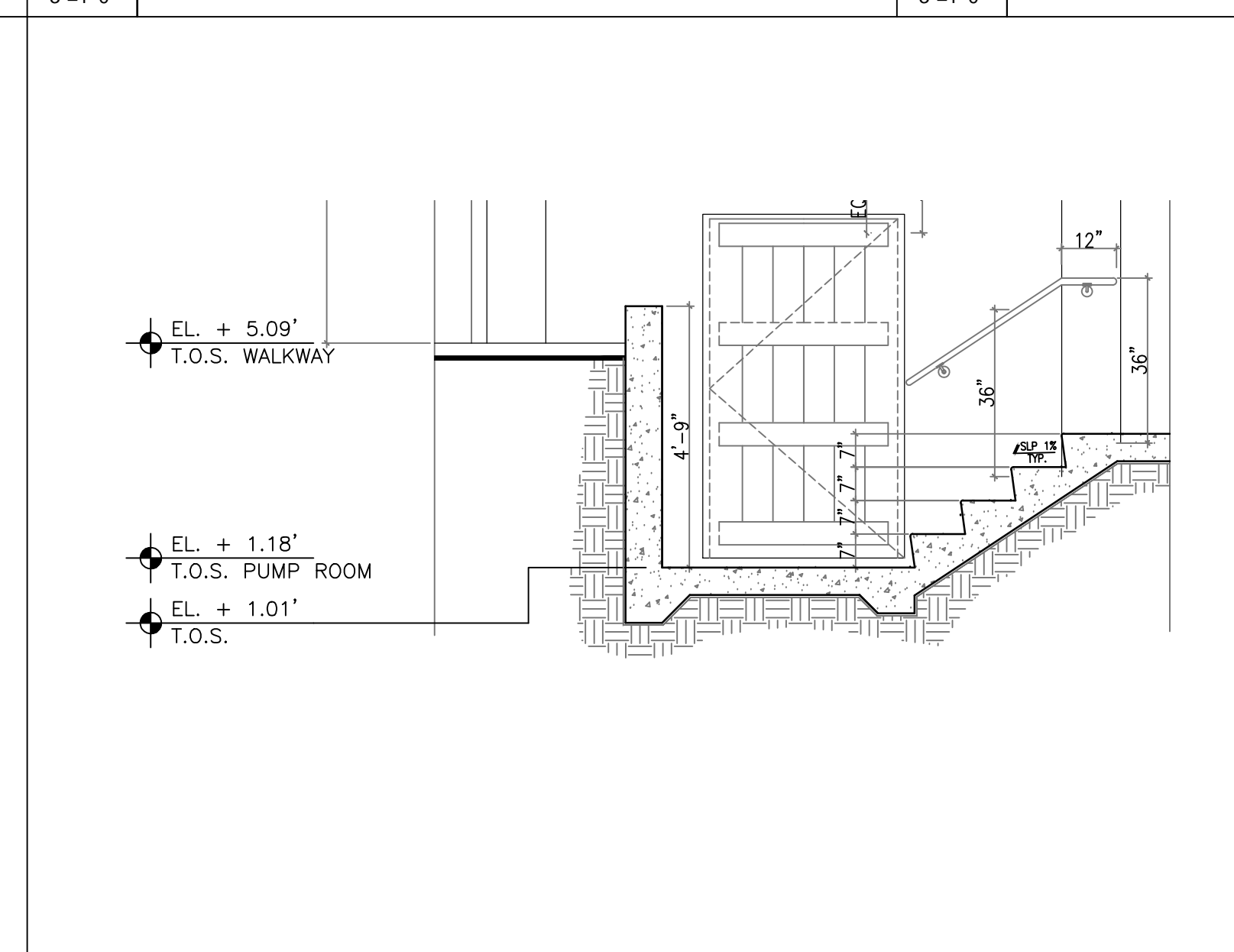
**WEST STEPS SECTION**



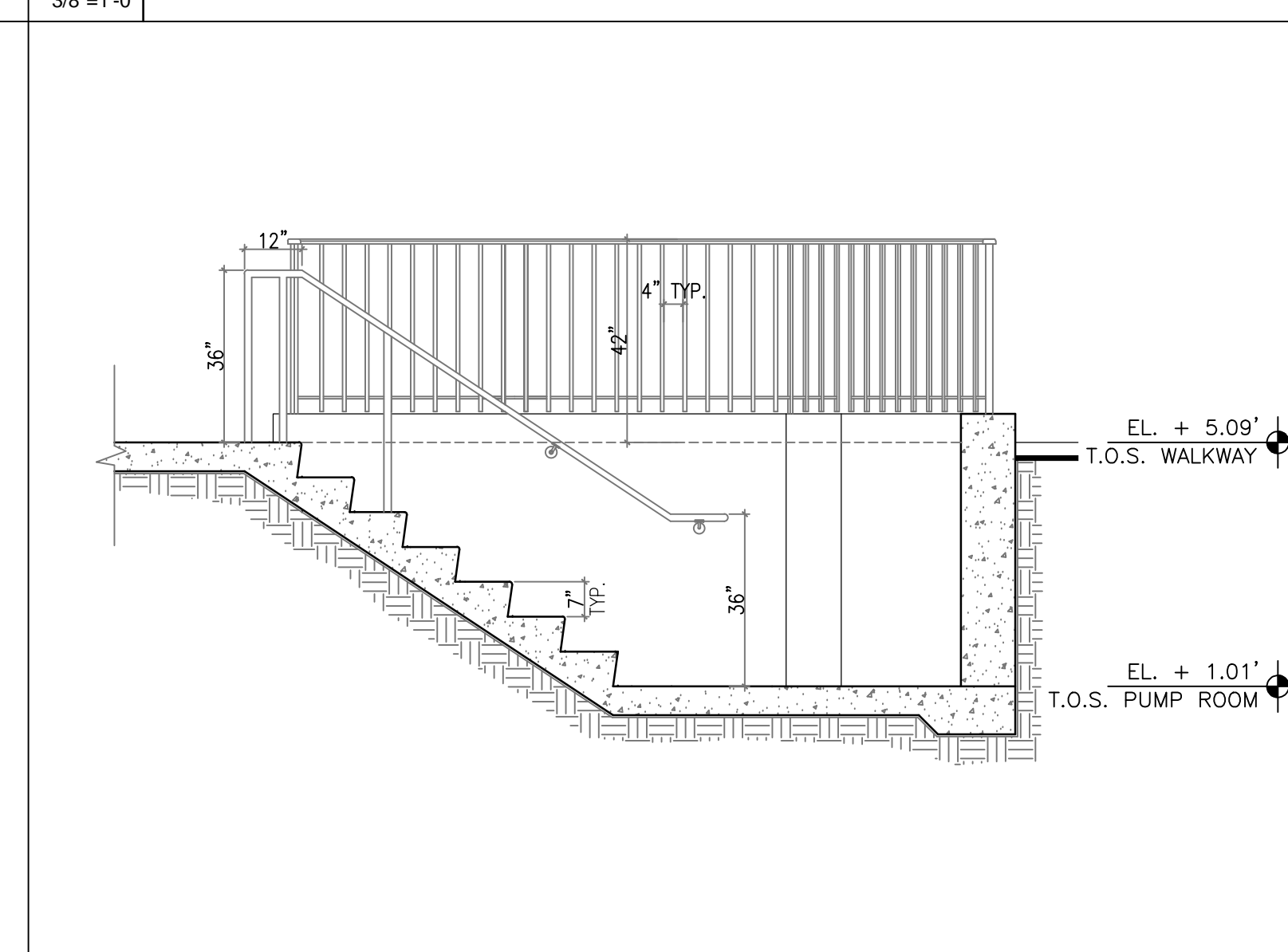
**ELEVATION DETAIL AT NORTH STAIR**

**SECTION DETAIL AT NORTH STAIR RAILING**

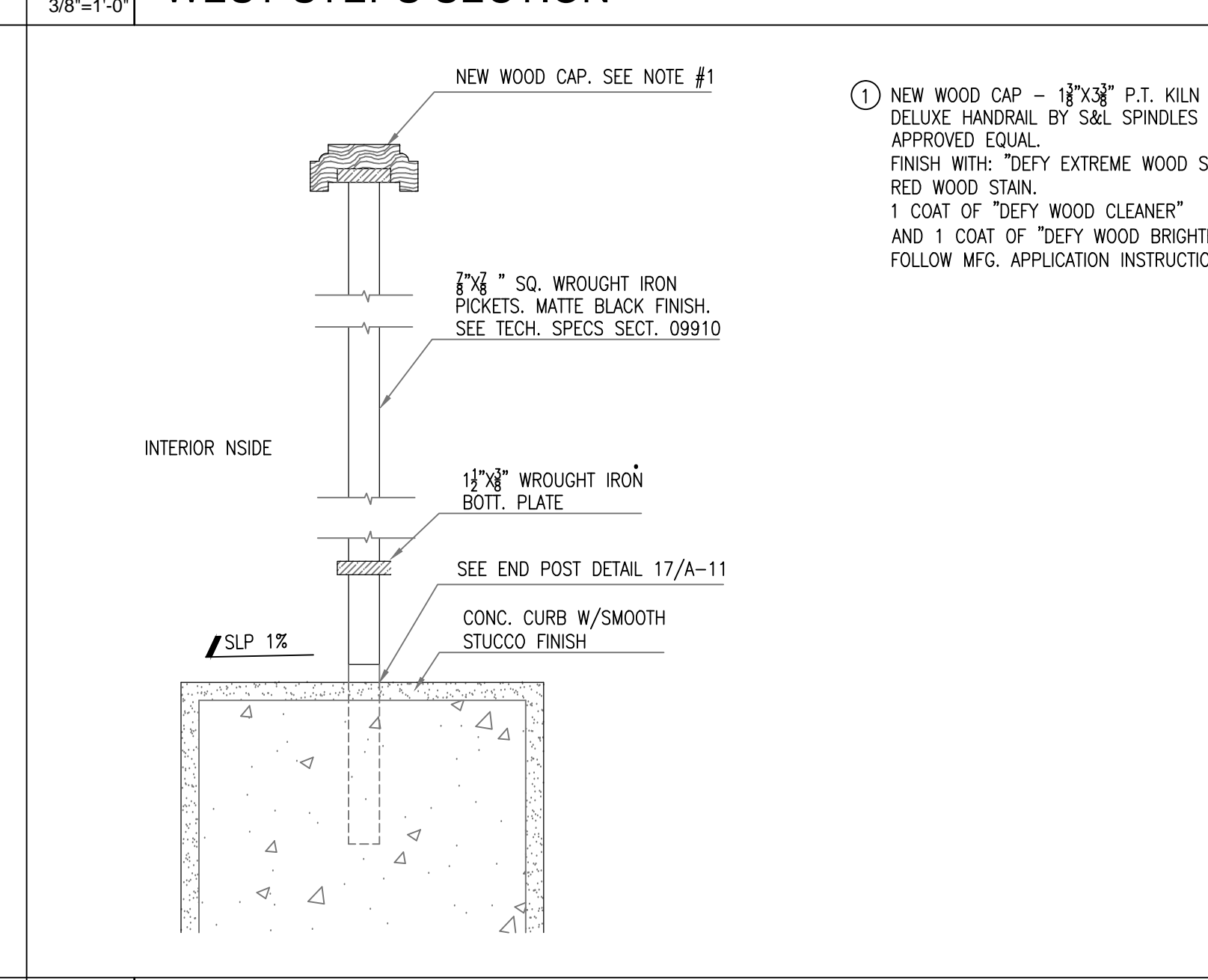
**WINDOW HEADER/JAMB**



**EAST STEPS SECTION**

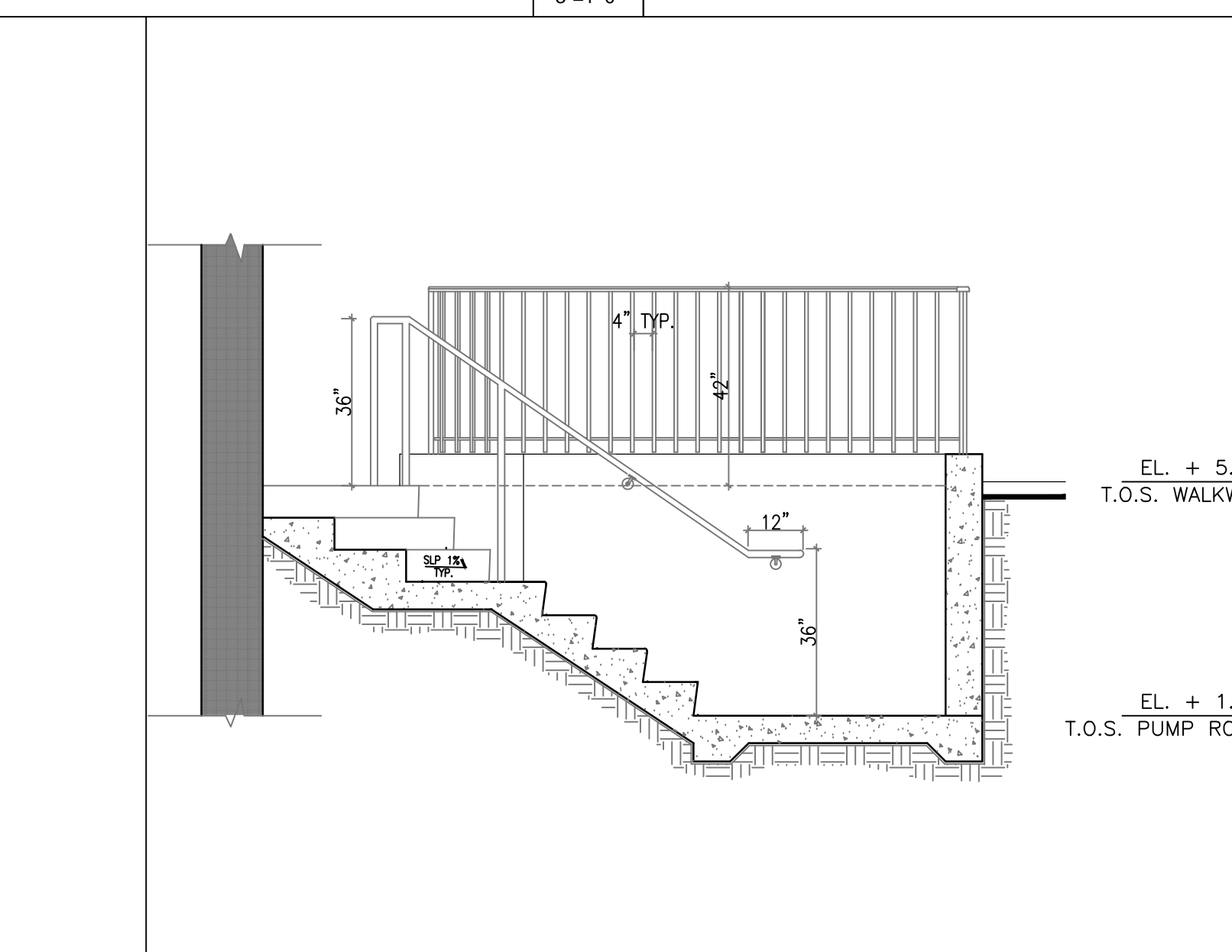


**WEST STEPS SECTION**

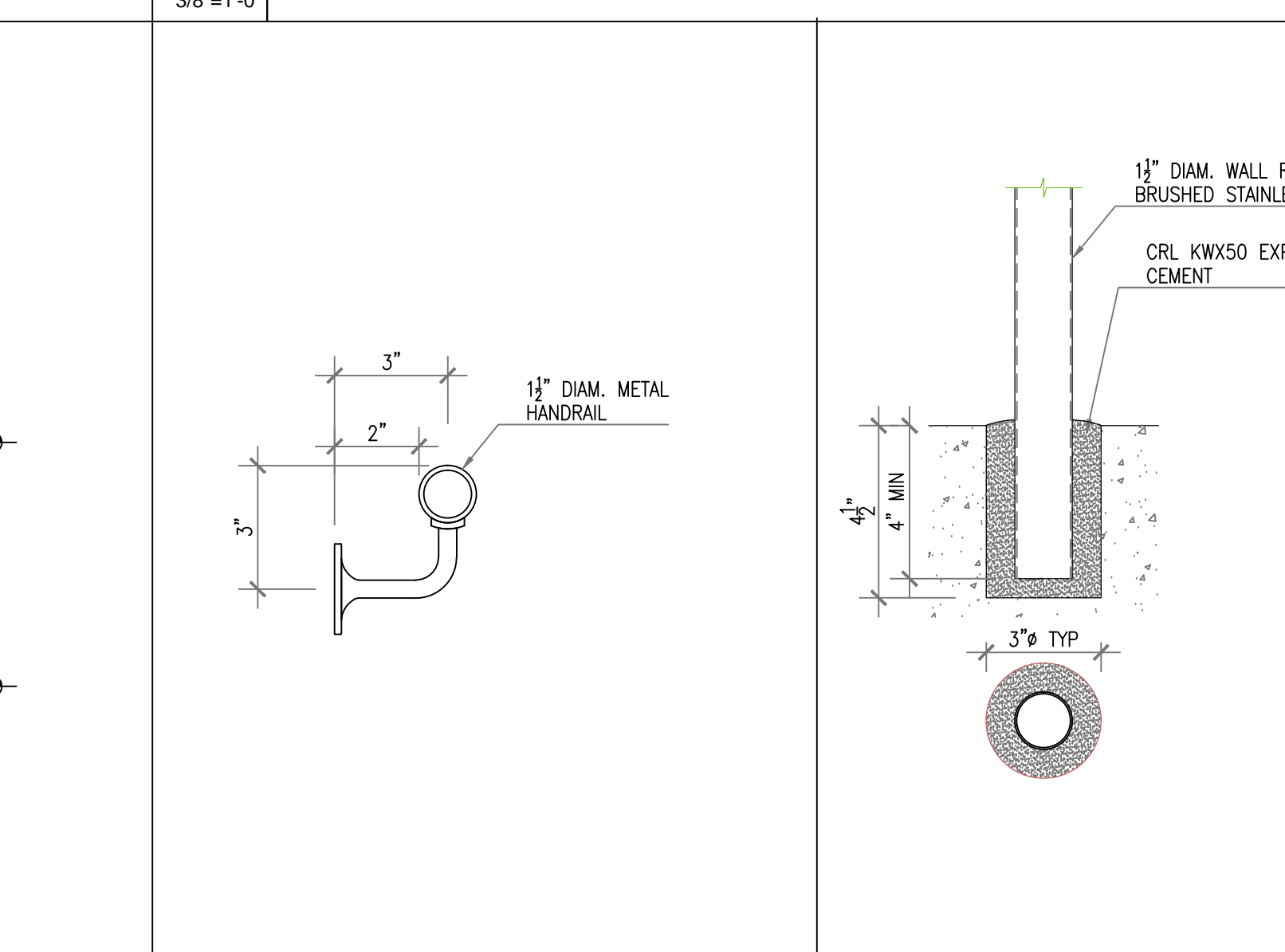


**TYP. SECTION DETAIL AT NEW GUARDRAILS**

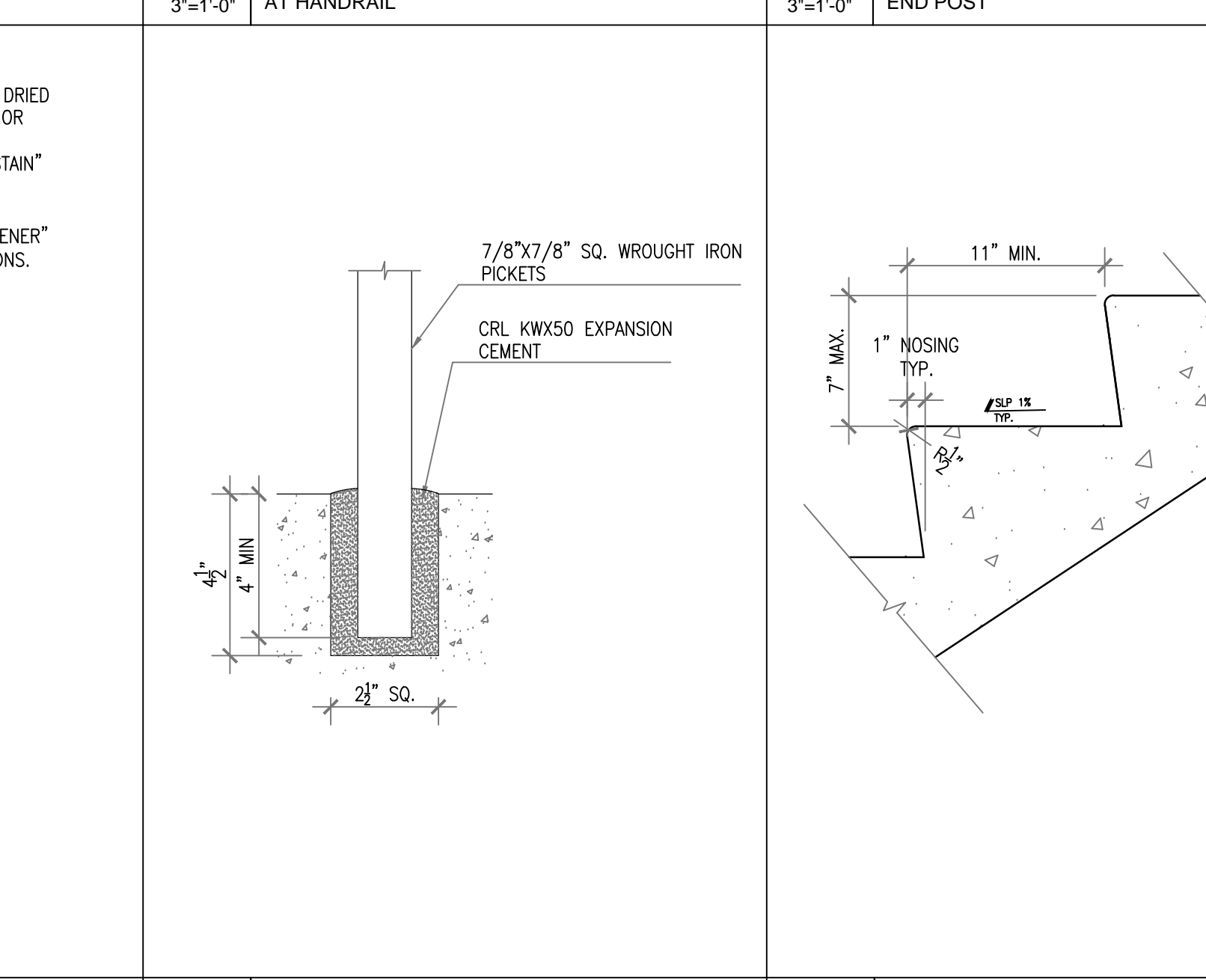
**WINDOW SILL**



**EAST STEPS SECTION**

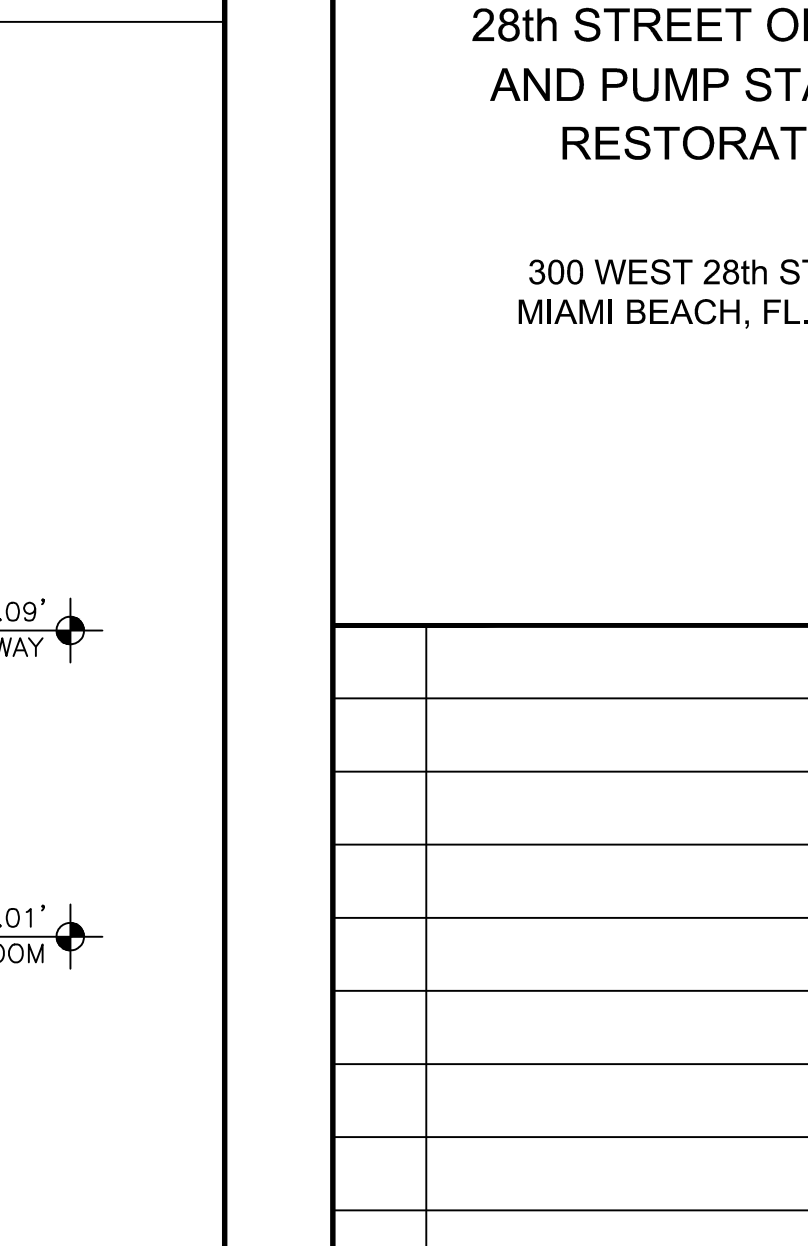


**TYP. SECTION DETAIL AT HANDRAIL**

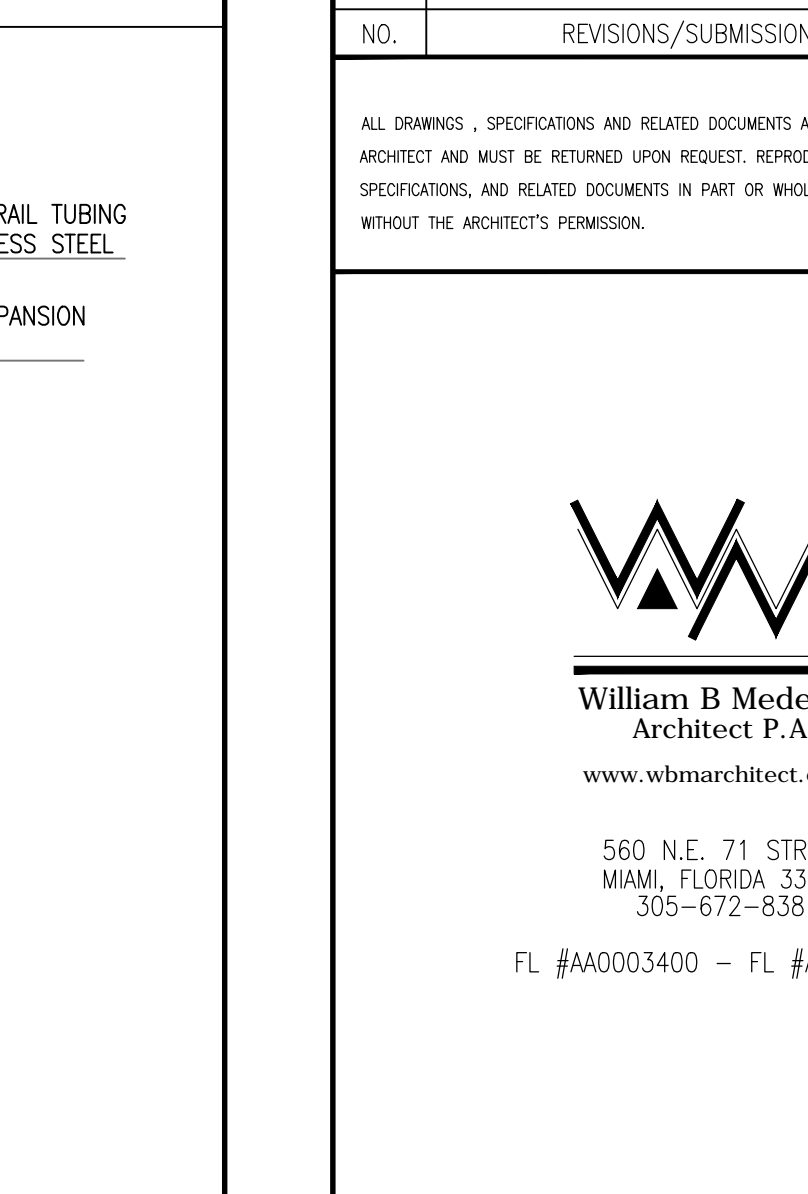


**POST DETAIL - TYP.**

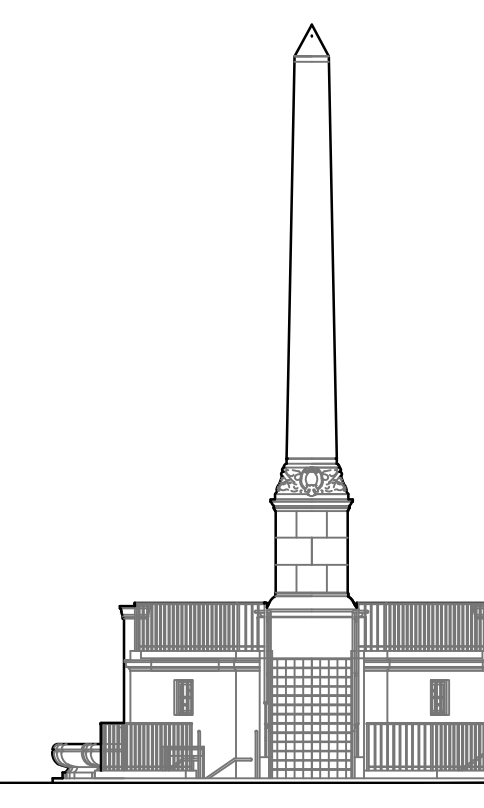
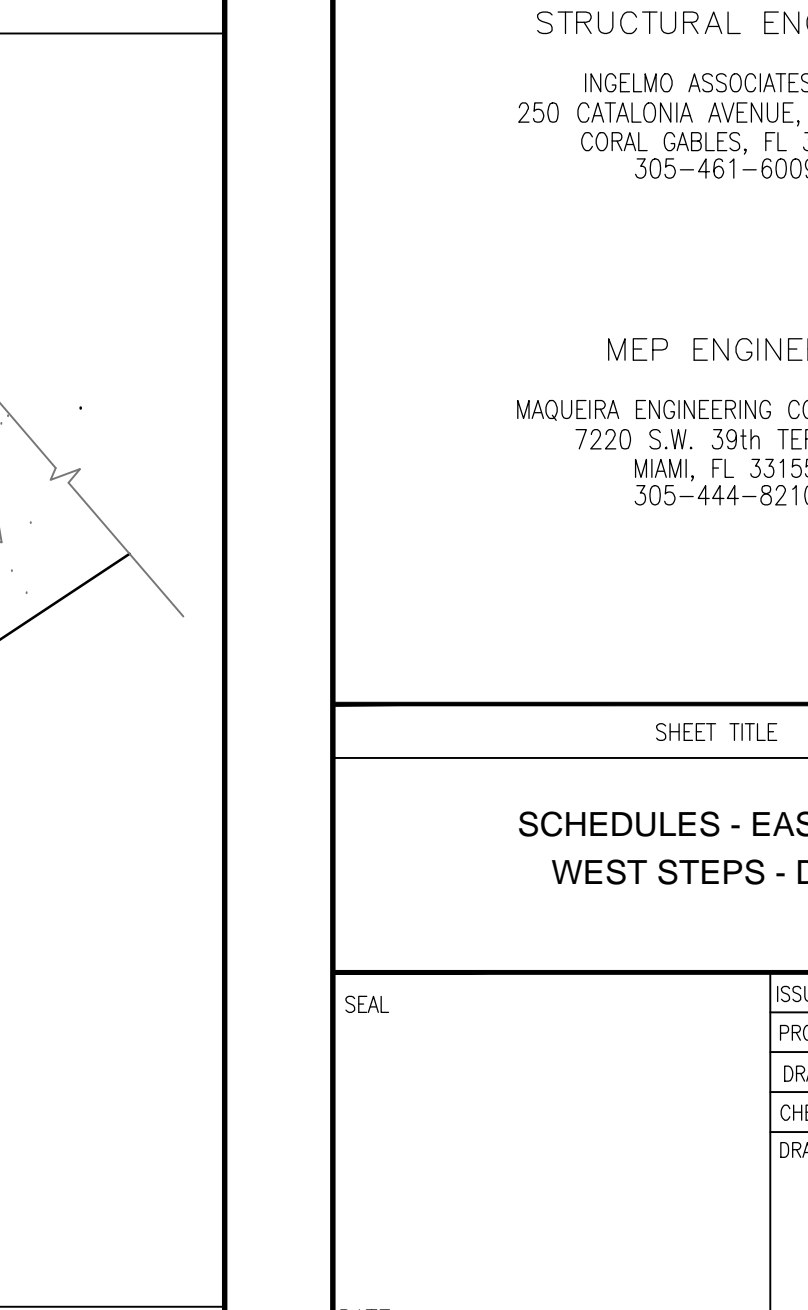
**DOOR HEADER**



**TYP. SECTION DETAIL END POST**



**TYP. SECTION DETAIL AT CONCRETE STEPS**



**28th STREET OBELISK AND PUMP STATION RESTORATION**

300 WEST 28th STREET  
 MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



**William B Medelin**  
 Architect P.A.  
 www.wbmaarchitect.com  
 560 N.E. 71 STREET  
 MIAMI, FLORIDA 33138  
 305-672-8381  
 FL #A0003400 - FL #AR0013832

**STRUCTURAL ENGINEER**

INGELMO ASSOCIATES P.A.  
 250 CATALONIA AVENUE, SUITE 301  
 CORAL GABLES, FL 33134  
 305-461-6009

**MEP ENGINEER**

MAQUERA ENGINEERING CONSULTANTS  
 7220 S.W. 39th TERRACE  
 MIAMI, FL 33155  
 305-444-8210

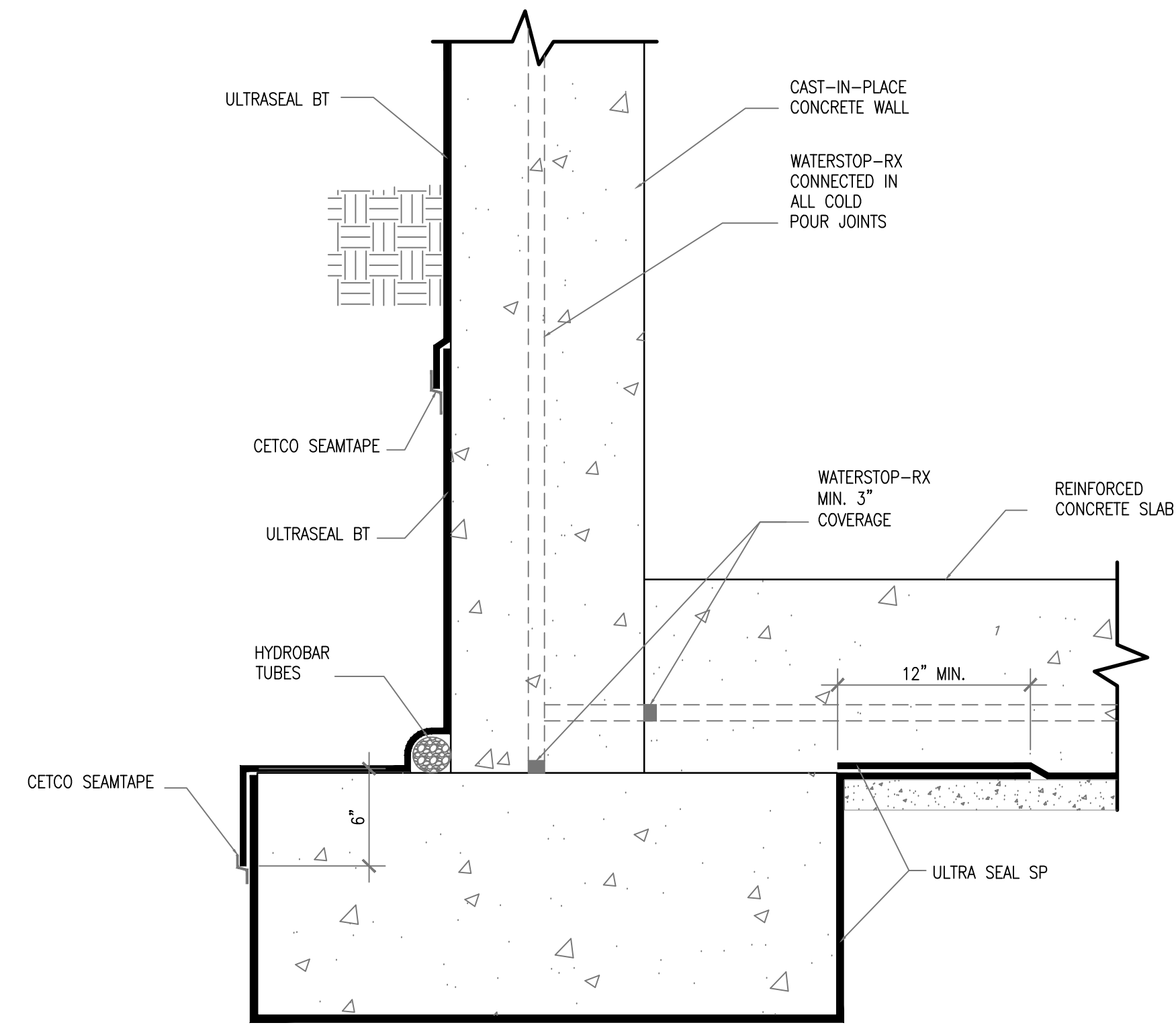
**SHEET TITLE**

**SCHEDULES - EAST STEPS WEST STEPS - DETAILS**

DATE	ISSUE DATE
01/22/2018	01/22/2018

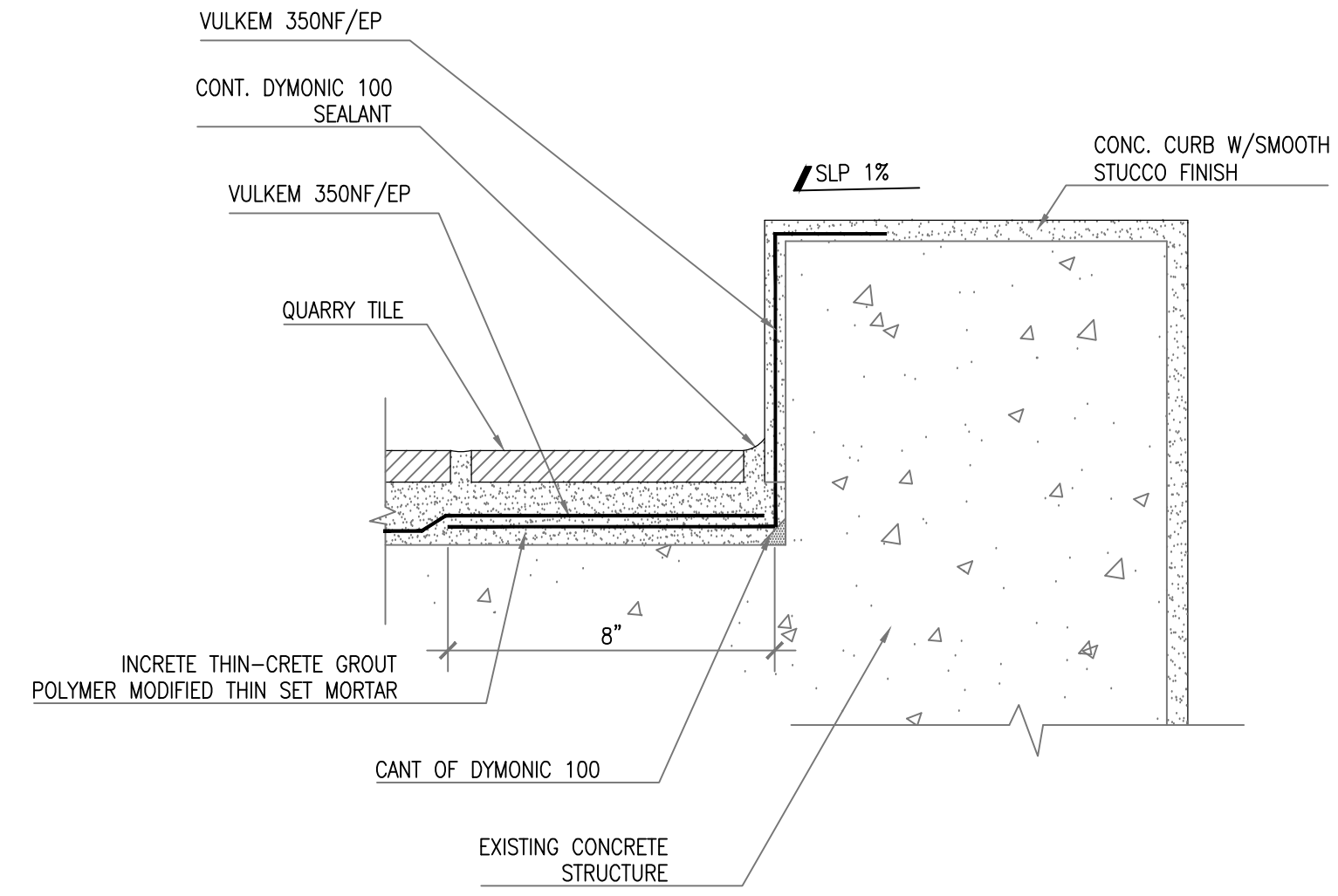
**A-11**





NOTE:  
 CETCO (OR EQUAL) "VOLCLAY" ULTRASEAL BT & ULTRASEAL SP WATERPROOF SYSTEM FOR HYDROSTATIC CONDITIONS. SUBMIT DETAILS FOR ALL JOB SITE CONDITIONS FOR ARCHITECT/ENGINEER APPROVAL.  
 SEE TECHNICAL SPECIFICATIONS SECTION 07143 - WATERPROOFING SYSTEM.

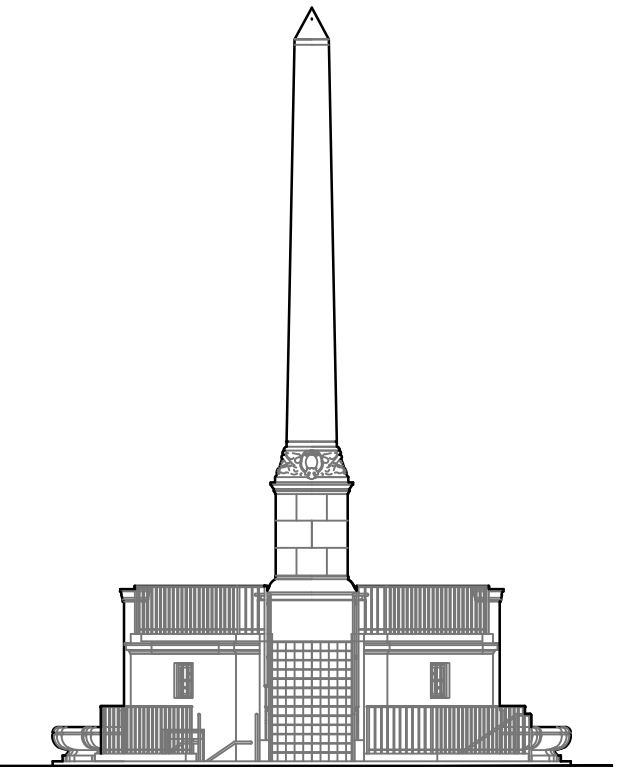
SOIL COMPACTED TO A MINIMUM 85% MODIFIED PROCTOR DENSITY;  
 AGGREGATE 1" MAX.



NOTE:  
 SEE TECHNICAL SPECIFICATIONS SECTION 07141 - ELASTOMERIC WATERPROOFING - UNDER TILE.

2  
 3"=1'-0" UNDER TILE WATERPROOFING

1  
 1 1/2"=1'-0" RETAINING WALL/SLAB WATERPROOFING



28th STREET OBELISK  
 AND PUMP STATION  
 RESTORATION

300 WEST 28th STREET  
 MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medellin  
 Architect P.A.  
 www.wbmaarchitect.com

560 N.E. 71 STREET  
 MIAMI, FLORIDA 33138  
 305-672-8381  
 FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER  
 INGELMO ASSOCIATES P.A.  
 250 CATALONIA AVENUE, SUITE 301  
 CORAL GABLES, FL 33134  
 305-461-6009

MEP ENGINEER  
 MAQUERA ENGINEERING CONSULTANTS  
 7220 S.W. 39th TERRACE  
 MIAMI, FL 33155  
 305-444-8210

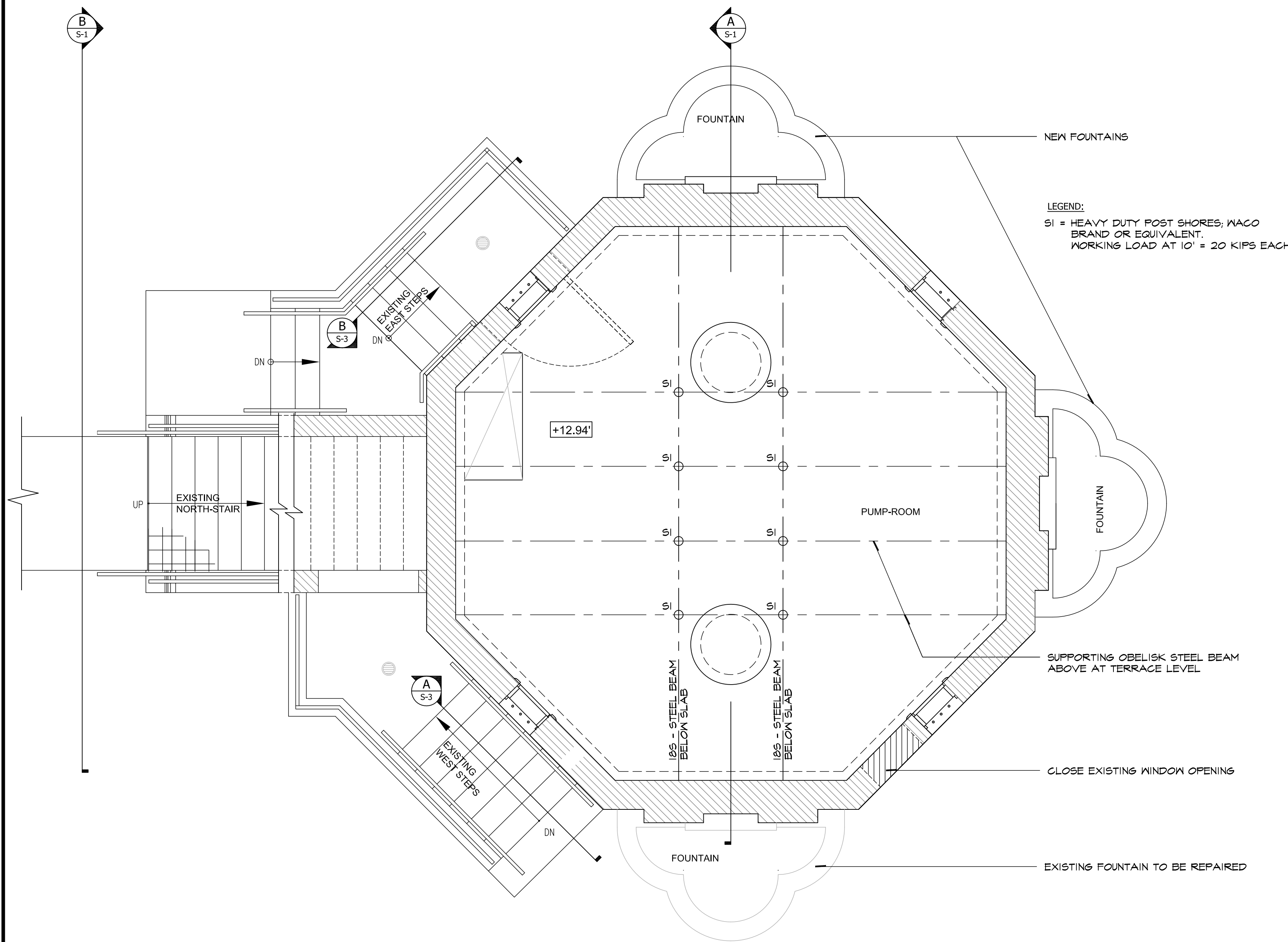
SHEET TITLE

DETAILS

SEAL	ISSUE DATE: 01/22/2018
	PROJECT NO. 12155
	DRAWN BY: ZW/M
	CHECKED BY: W
	DRAWING NO.

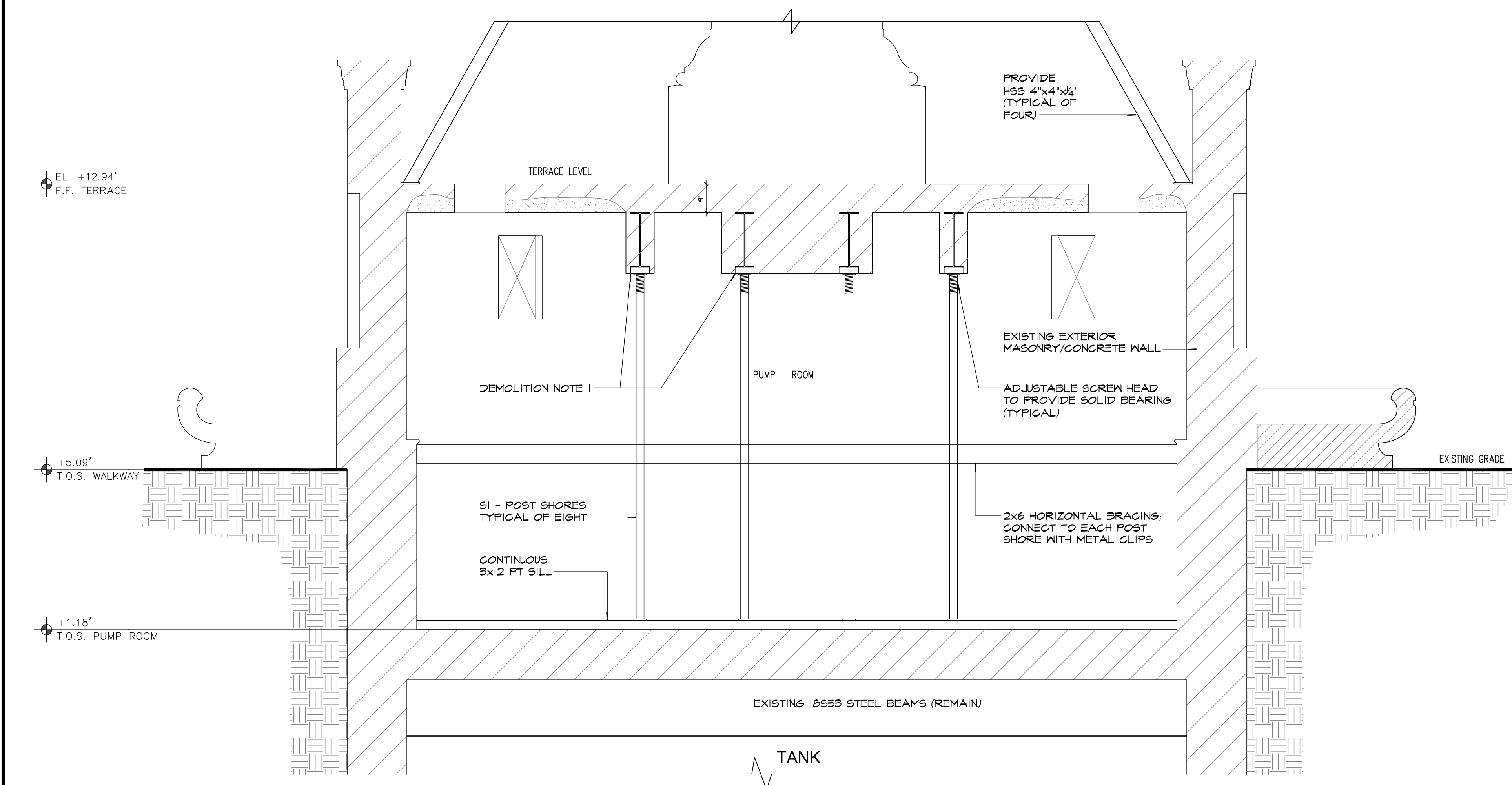
A-12

DATE: WILLIAM B MEDELLIN ARCHITECT P.A.  
 FL REGISTRATION No. 0003400



GROUND FLOOR PLAN - SHORING PLAN

Scale: 3/8"=1'-0"



SECTION - SHORING

Scale: 1/2"=1'-0"

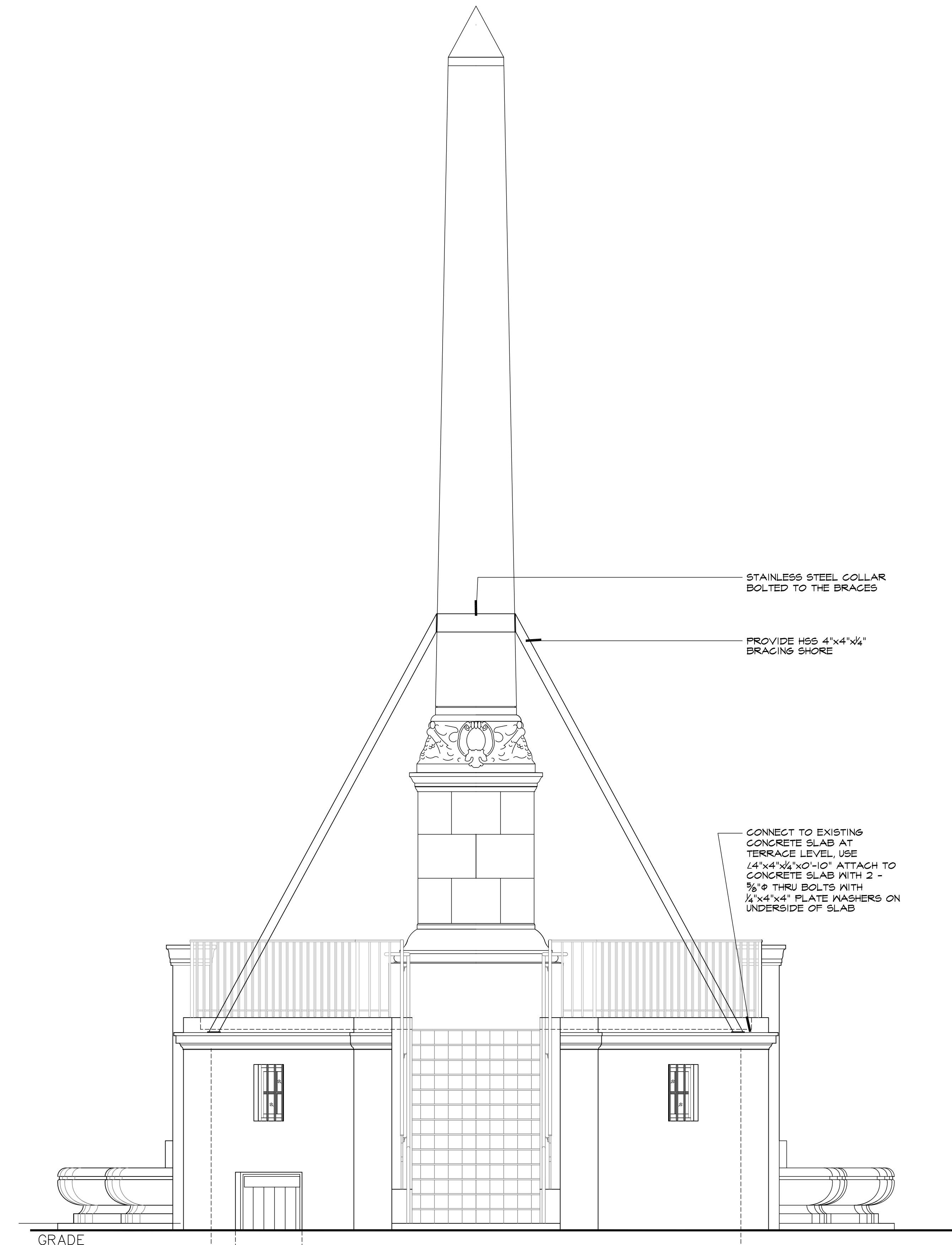
NOTE:  
1. SHORING OF TERRACE FLOOR SLAB SHALL BE PROVIDED AS REQUIRED DURING DEMOLITION AND DURING CONCRETING OPERATIONS.

SEQUENCE OF DEMOLITION AND SHORING FOR THE REMOVAL OF PORTIONS OF THE EXISTING STEEL BEAMS AT THE TERRACE LEVEL AND BRACING OF OBELISK AS SHOWN ON THIS DOCUMENT.

1. CONTRACTOR SHALL CONFIRM ALL FIELD CONDITIONS IN ACCORDANCE TO THE SHORING DETAILS AND DRAWINGS. ANY DISCREPANCY ON THE DRAWINGS SHALL BE CONFIRM WITH THE ENGINEER AND THE MANUFACTURER/SUPPLIER OF THE SHORING EQUIPMENT BEFORE PROCEEDING WITH THE WORK.
2. THE SHORING, AS IS INDICATED ON THE DRAWINGS, SHALL BE SHORED DIRECTLY. THIS WILL REQUIRE REMOVAL OF THE CONCRETE ENGAGEMENT IN ORDER TO PROVIDE DIRECT BEARINGS. THE VERTICAL SHORES SHALL BE PLACED IN SEQUENCE AS THE ENGAGEMENT IS REMOVED AT EACH SHORE LOCATION. BRACING OF THE SHORES AS INDICATED SHALL BE INSTALLED AS SOON AS THE POST SHORES ARE IN PLACE.
3. INSTALL SHORING POSTS AND SECURE AS IS INDICATED ON THE DRAWINGS PRIOR TO BEGINNING ANY NEW WORK.
4. INSTALL THE EXTERIOR BRACINGS AS IS INDICATED ON THE DRAWINGS AND SECURE PROPERLY TO THE CONCRETE SLAB AT THE TERRACE LEVEL.
5. ALL SHORING WORK SHALL BE PERFORMED WITH THE UPMOST CARE IN ORDER TO AVOID ANY COLLATERAL DAMAGE TO THE EXISTING STRUCTURAL ELEMENTS. INSTALL ALL BOLTS AND EPOXY AS INDICATED ON THE DRAWINGS. EPOXY SHALL BE SET AND BOLTS TIGHTEN PRIOR TO PROCEEDING WITH ANY OTHER CONSTRUCTION OPERATIONS.
6. ALL SHORING SHALL REMAIN IN PLACE UNTIL ALL PROPOSED NEW WORK IS COMPLETED AND SECURED. CONTRACTOR SHALL MAINTAIN THE SHORING SECURED DURING THE CONSTRUCTION PROCESS.
7. REMOVE ALL SHORING POSTS ON A ONE-TO-ONE BASIS AFTER THE STRUCTURAL REPAIR WORK HAS BEEN COMPLETED.

SHORING EQUIPMENT

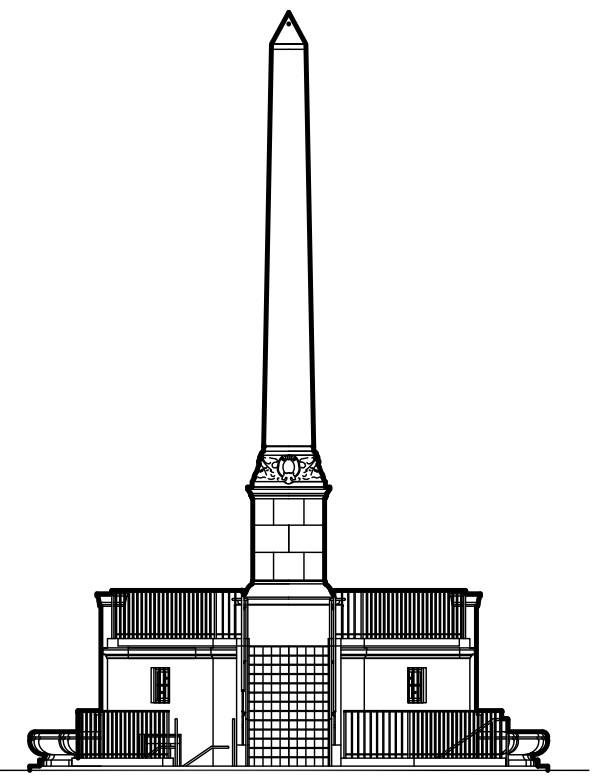
1. THE SHORING EQUIPMENT IS DESIGNED FOR USE WITH MOST SUPPLIERS. THE CONTRACTOR SHALL FOLLOW THE SUPPLIERS RECOMMENDATIONS FOR SAFETY AND ERECTION OF THE SHORING EQUIPMENT AND IS RESPONSIBLE FOR INSURING THE SUITABILITY OF THE EQUIPMENT AND LAYOUT TO THIS PROJECT.
2. CONTRACTOR SHALL PROVIDE SHORING POSTS THAT CAN SUSTAIN AS A MINIMUM 10000 LBS.
3. LOCATION OF POST SHORES MAY VARY PLUS OR MINUS 4" DUE TO FIELD CONDITIONS. ALL POST SHALL BE PLUMB AND LEVEL. ALL POST BASE PLATES SHALL BE SECURED TO THE CONTINUOUS WOOD SILL. IT IS THE INTENT OF THE POST SHORES TO BE SO LOCATED THAT THEY ARE CENTERED OVER THE EXISTING STEEL BEAM AT THE BASE LEVEL.
4. ALL EQUIPMENT MUST BE IN GOOD CONDITION FREE OF DELETERIOUS RUST, DENTS AND OTHER MAJOR DEFECTS.
5. MAXIMUM CALCULATED POST LOAD IS 20000 LBS.
6. USE SCREW JACKS TO ADJUST FOR UNEVEN ELEVATIONS AND CONDITIONS AND TO PROVIDE SNUG TIGHT BEARINGS FOR EXISTING STEEL BEAMS.
7. PROVIDE CONTINUOUS HORIZONTAL BRACINGS ALONG THE POSTS AS INDICATED ON PLAN. PROVIDE KNEE BRACED AT EACH END OF EACH ROW AND PROVIDE KNEE BRACE AT 90 DEGREES ANCHORED TO THE EXISTING CONCRETE SLAB. CONNECT BRACING TO THE EXISTING CONCRETE WALLS AS IS INDICATED.
8. ALL WORK SHALL ADHERE TO THE SSSI GUIDELINES FOR "INDEPENDENT POST SHORE SYSTEM SAFETY RULES."



ELEVATION - SHORING

Scale: 3/8"=1'-0"

NOTE:  
PROVIDE AN HSS 4"x4"x1/4" AT EACH FACE OF OBELISK.



28th STREET OBELISK AND PUMP STATION RESTORATION

300 WEST 28th STREET  
MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medellin  
Architect P.A.

www.wbmarcitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381

FL #A0003400 - FL #AR0013832

STRUCTURAL ENGINEER

INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-461-6009

MEP ENGINEER

MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-8210

SHEET TITLE

SHORING

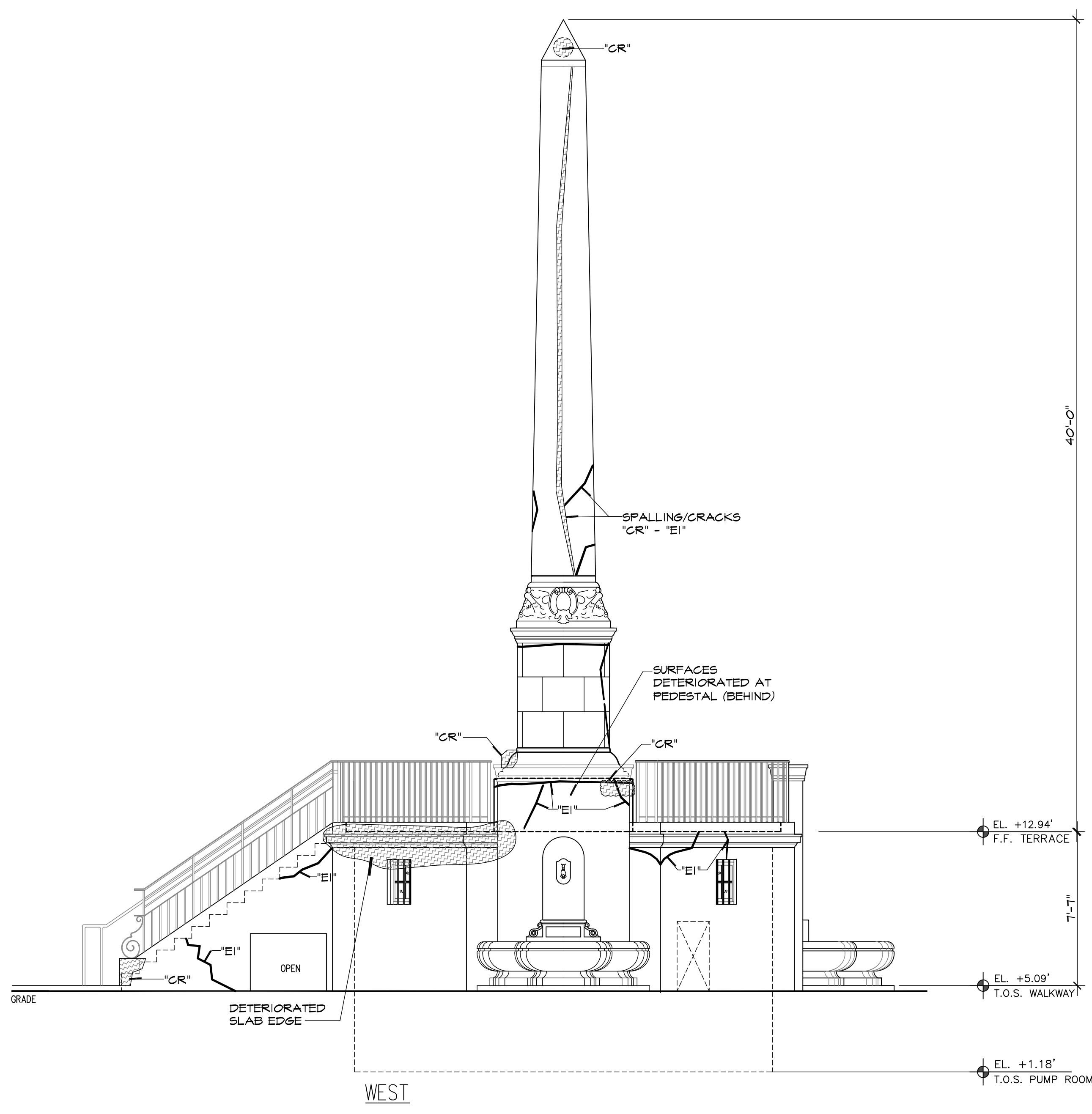
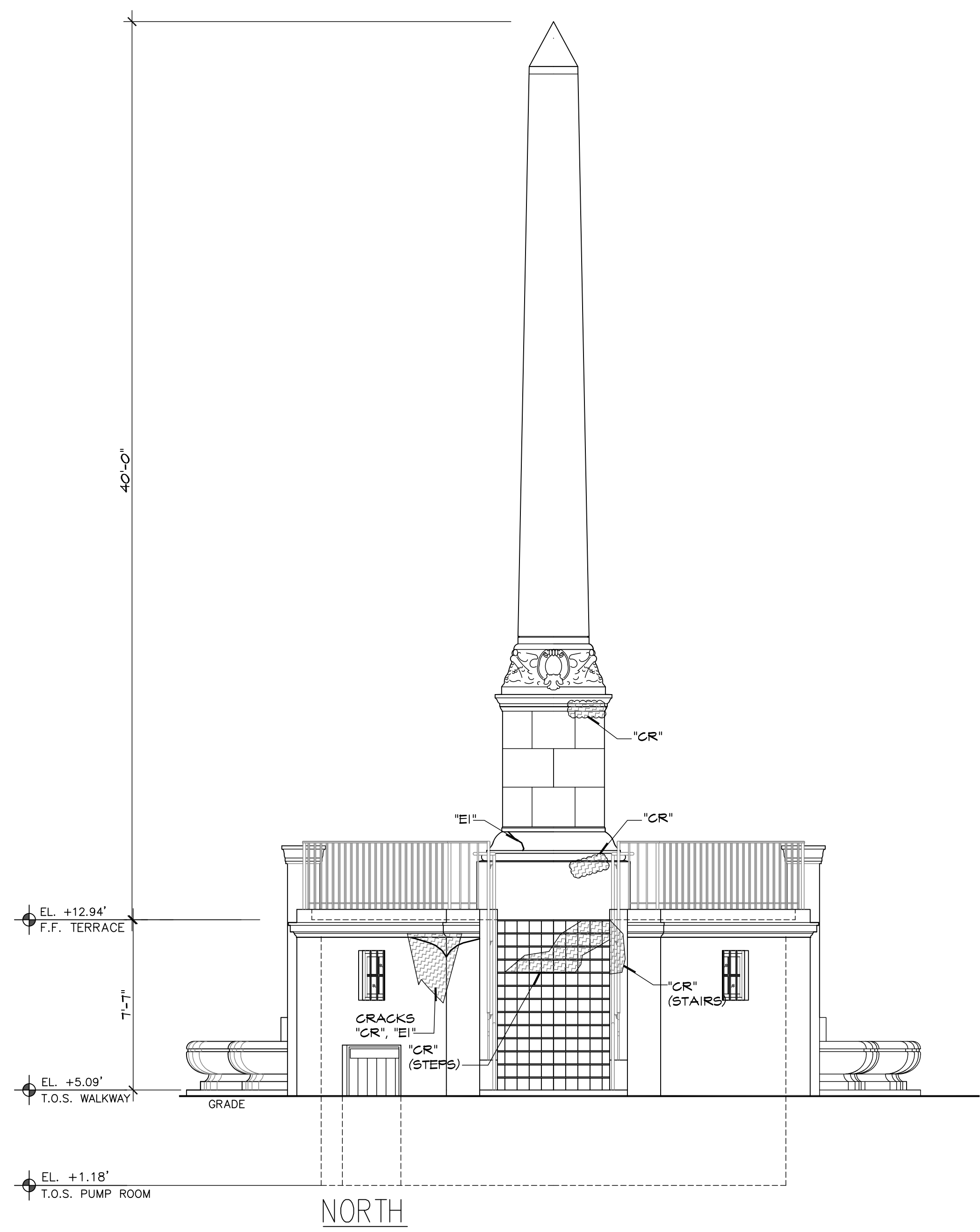
ISSUE DATE	ISSUE NO.
11/24/2017	01000
12/15/17	01001
1/2/18	01002
1/22/18	01003

DATE: 01/22/2018  
DRAWN BY: PAUL INGELMO PE  
CHECKED BY: PAUL INGELMO PE  
LICENSE NO. FE29310 CA 26864

S-1

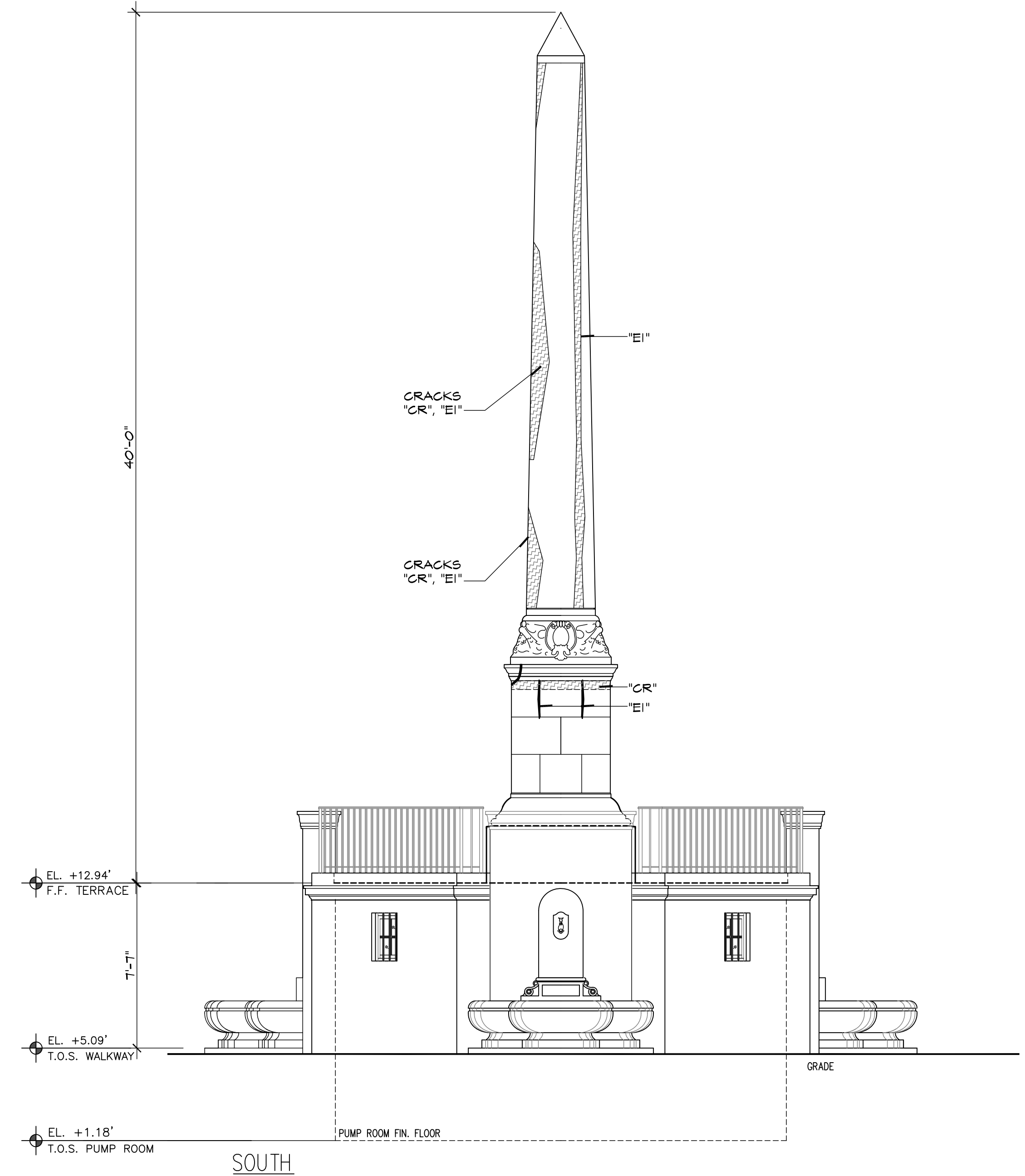
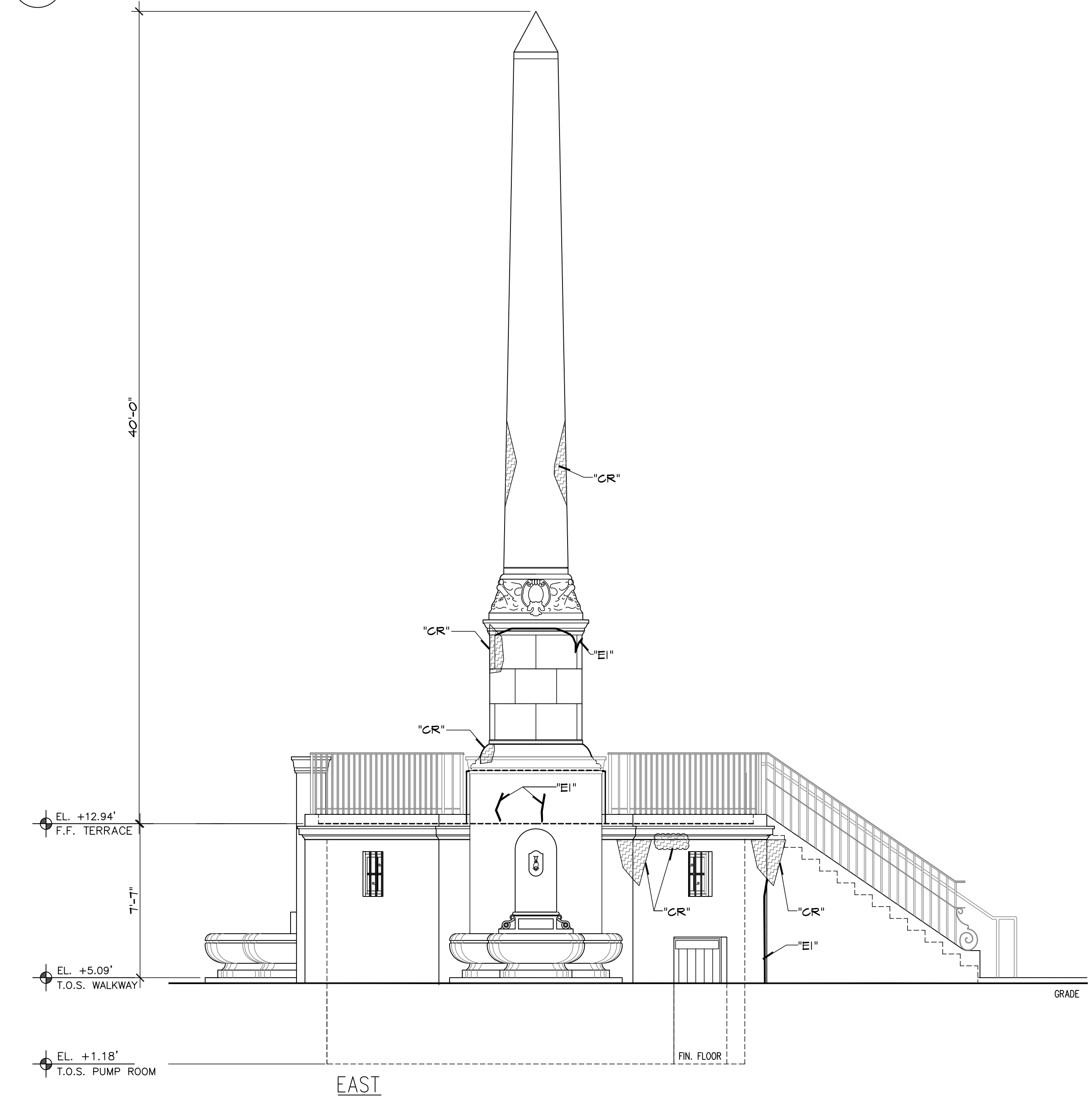






**REPAIR LEGEND**  
 "CR" - TYPICAL CONCRETE REPAIR PROCEDURE.  
 "SC" - SURFACE CRACKS; SEE ARCHITECTURAL.  
 "EI" - TYPICAL EPOXY INJECTION CRACK REPAIR

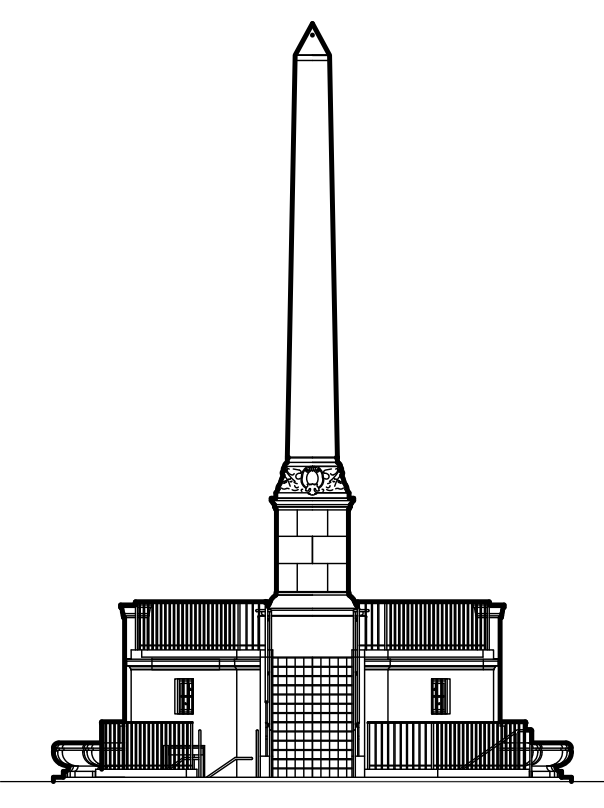
- S-4 ELEVATIONS - REFER TO SHEET S-5 AND GENERAL REPAIR NOTES FOR REMEDIATION REQUIREMENTS



- S-4 ELEVATIONS - REFER TO SHEET S-5 AND GENERAL REPAIR NOTES FOR REMEDIATION REQUIREMENTS

Scale: 1/4"=1'-0"

Scale: 1/4"=1'-0"



**28th STREET OBELISK AND PUMP STATION RESTORATION**

300 WEST 28th STREET  
 MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B. Medellin  
 Architect P.A.  
 www.wbmaarchitect.com

560 N.E. 71 STREET  
 MIAMI, FLORIDA 33138  
 305-672-8381  
 FL #A40003400 - FL #AR0013832

STRUCTURAL ENGINEER  
 INGELMO ASSOCIATES P.A.  
 250 CATALONIA AVENUE, SUITE 301  
 CORAL GABLES, FL 33134  
 305-461-6009

MEP ENGINEER  
 MAQUERA ENGINEERING CONSULTANTS  
 7220 S.W. 39th TERRACE  
 MIAMI, FL 33155  
 305-444-8210

SHEET TITLE

**ELEVATIONS**

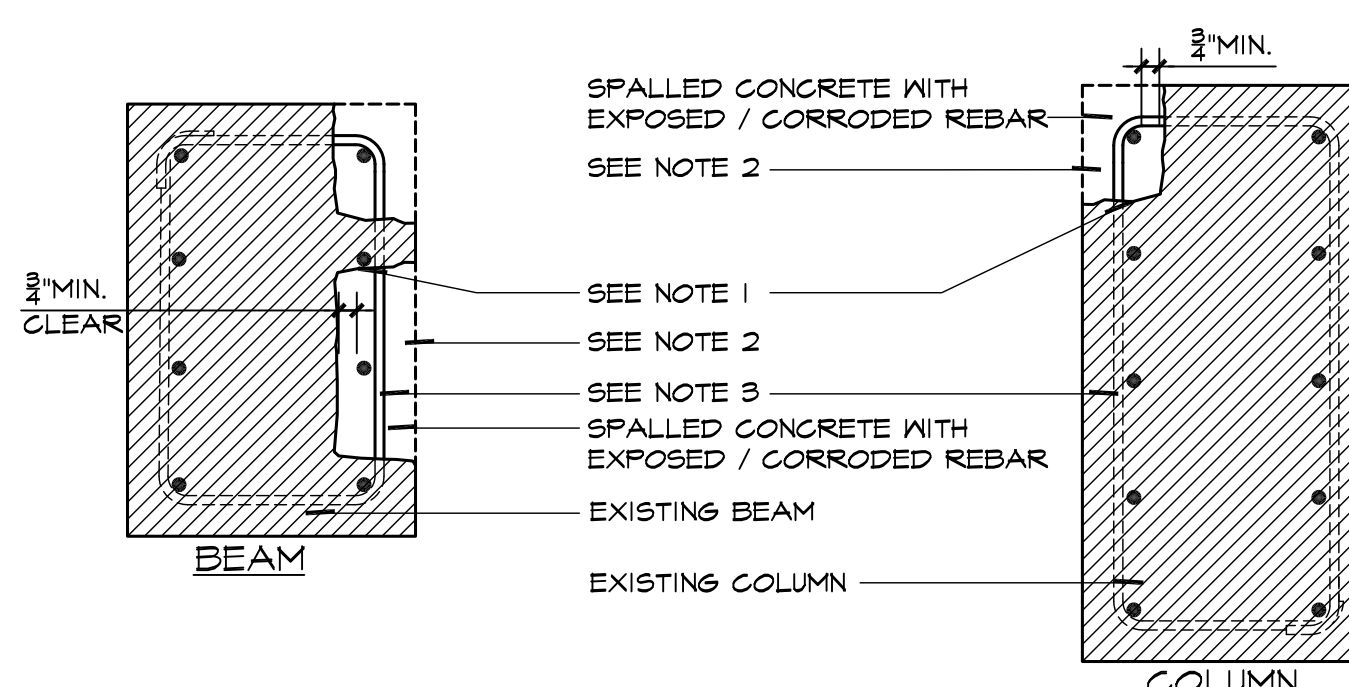
DATE:	ISSUE DATE:
PAUL INGELMO PE LICENSE NO. FE29310 CA 26864	11/24/2017
	PROJECT NO. 12189
	DRAWN BY L
	CHECKED BY R
	DRAWING NO.

**S-4**

**GENERAL CONCRETE REPAIR PROCEDURE**

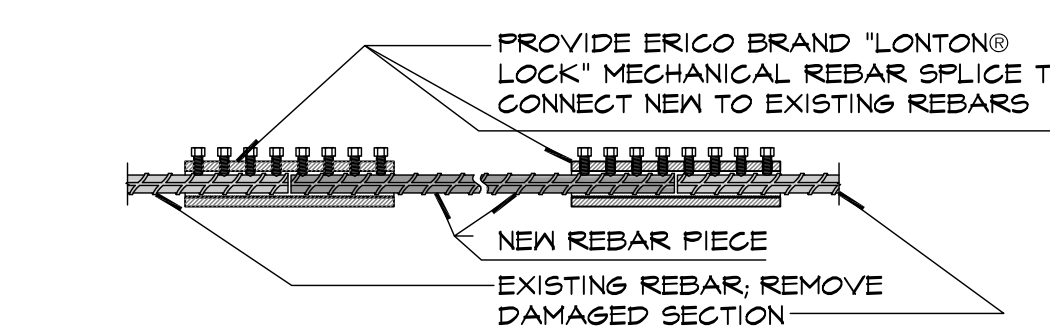
SPALLED AND DEFECTIVE CONCRETE - TYPICAL AT ALL BEAM AND SLAB SOFFITS, WALLS AND COLUMNS. REFER TO THE DRAWINGS. THE FOLLOWING SEQUENCE SHALL BE FOLLOWED. THE AREAS THAT REQUIRED REMOVAL ARE AS INDICATED ON THE DRAWINGS. HOWEVER, THE TOTALITY OF THE AREA TO BE REMOVED CAN ONLY BE DETERMINED AFTER THE GENERAL CONTRACTOR HAS BEGUN THE REMOVAL OPERATIONS. THE EXTENT OF DETERIORATION OF THE EXISTING CONCRETE AND THE REINFORCING STEEL WILL VARY DEPENDING ON THE INTERVAL DETERIORATION. THIS CAN ONLY BE DISCERNED BY REMOVING THE DAMAGED CONCRETE UNTIL SOUND CONCRETE AREAS ARE FOUND. PRIOR TO BEGINNING ANY CONCRETE REMOVAL OPERATIONS, GENERAL CONTRACTOR SHALL PROVIDE SHORING AS INDICATED AND / OR AS REQUIRED.

- REMOVE ALL LOOSE, CRACKED AND DETERIORATED CONCRETE TO A SOUND/SOLID CONCRETE BASE AT REINFORCING STEEL LOCATIONS AND AT SPALLED LOCATIONS. SOME CHIPPING OF SOUND CONCRETE WILL BE REQUIRED TO PROVIDE FOR ALL SQUARE EDGES. REMOVE A MINIMUM OF 1" OF CONCRETE ALL AROUND THE REINFORCING STEEL IN ORDER TO PROVIDE PROPER BONDING. (SEE DETAIL 1)
- CLEAN CONCRETE SURFACES AND REMOVE ALL RUST FROM REINFORCING STEEL BY SANDBLASTING AND/OR HEAVY WIRE BRUSHING. CONCRETE REMOVAL SHALL REGULARLY EXTEND ALONG THE BARS TO LOCATIONS ALONG THE BAR THAT ARE FREE FROM BOND INHIBITING CORROSION AND WHERE THE BAR IS WELL BONDED TO THE SURROUNDING CONCRETE.
- ANY REINFORCING STEEL BARS WHICH ARE LOOSE SHALL BE SECURED IN PLACE BY TYING TO OTHER SECURED BARS OR BY OTHER APPROVED METHODS.
- CAUTION BEFORE STARTING REMOVAL OPERATIONS, REVIEW THE EFFECT OF THE REMOVALS ON STRUCTURAL INTEGRITY. PROVIDE SHORING OF MEMBERS AS NECESSARY AND INDICATED. ALSO PROVIDE PROTECTION FROM FALLING DEBRIS. PARTICULAR CARE SHALL BE EXERCISED AT SLAB/BEAM AND CONNECTIONS TO WALLS/COLUMNS.
- COAT THE NEWLY CLEANED STEEL BARS WITH SIKA-ARMATEC 110 OR ACCEPTED EQUIVALENT. THIS COATING WILL ELECTRICALLY ISOLATE THE REBARS FROM THE NEW REPAIR CONCRETE MATERIAL WHICH WILL BE USED. SIKA-ARMATEC 110 IS AN ANTI-CORROSION COATING, 2-COMPONENT, POLYMER MODIFIED CEMENTITIOUS COATING FORMULATED TO INHIBIT THE CORROSION OF REINFORCING STEEL.
- WHERE EXISTING REINFORCING STEEL HAS BEEN REDUCED TO LESS THAN 75% OF ITS ORIGINAL EFFECTIVE AREA, CONTRACTOR IS TO PROVIDE NEW REINFORCING STEEL BY SPLICING SAME SIZE REINFORCING STEEL AT THESE LOCATIONS. (SEE DETAIL 2 AND 3)
- BEFORE APPLYING THE PATCHING MATERIAL, ALL EXISTING CONCRETE SURFACES SHALL BE MOISTENED AND ALLOWED TO DRY UNTIL DAMP.
- WE RECOMMEND TO USE STO OVERHEAD MORTAR WITH CI AS THE REPAIR MATERIAL FOR ALL PATCHING.
- RESTORE ALL DEFECTIVE CONCRETE AREAS TO PROVIDE A MINIMUM COVER OF 1" ON ALL NEW OR EXISTING REINFORCING STEEL.
- AFTER FORM REMOVAL AND CURING, ALL REPAIRED AND PATCHED AREAS SHALL BE WATERPROOF.
- CONTRACTOR SHALL STRICTLY FOLLOW THE MANUFACTURER'S RECOMMENDATIONS PERTAINING TO THE MIXING AND APPLICATION OF ALL OF THE PRODUCTS USED.
- TYPICAL REPAIRS DETAILS ARE AS INDICATED ON THE DRAWINGS AND AS PER 'GUIDE FOR SURFACE PREPARATION FOR THE REPAIR OF DETERIORATED CONCRETE RESULTING FROM REINFORCING STEEL CORROSION'.



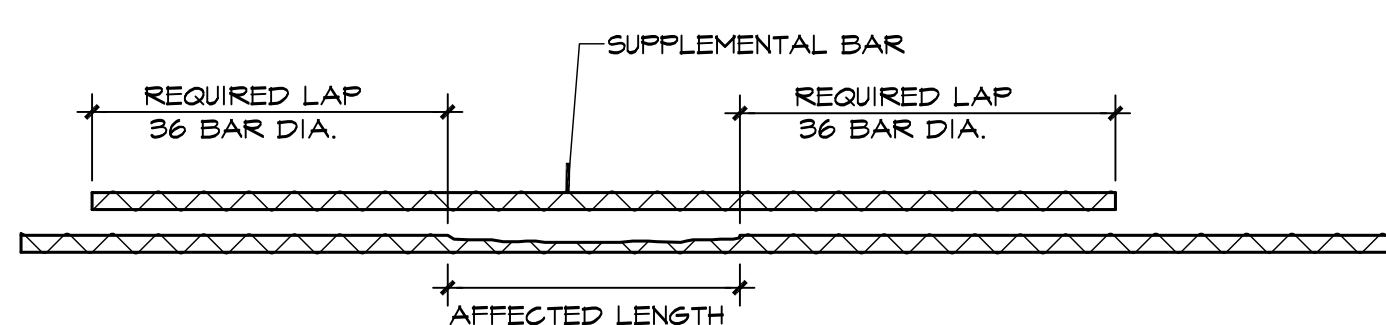
**1 TYPICAL BEAM/COLUMN SECTION**

Scale: N.T.S.



**2 TYPICAL REBAR SPLICE**

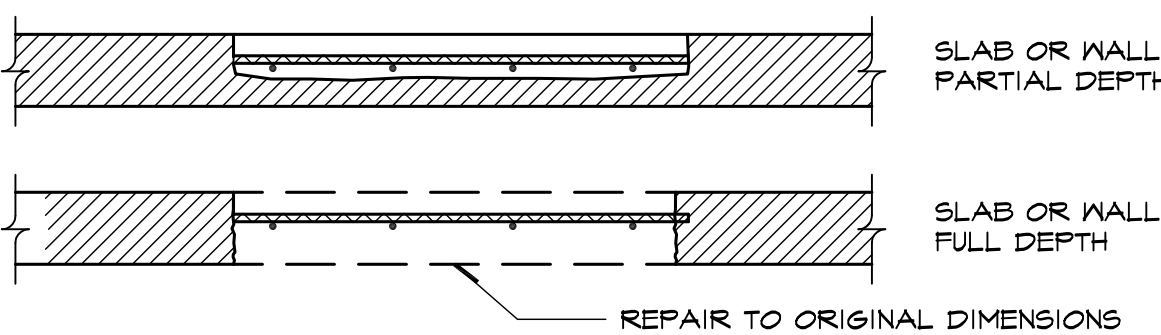
Scale: N.T.S.



NOTE:  
IF REINFORCING STEEL HAS LOST SIGNIFICANT CROSS SECTION, THE STRUCTURAL ENGINEER SHALL BE CONSULTED. IF REPAIRS ARE REQUIRED TO THE REINFORCING STEEL, ONE OF THE FOLLOWING REPAIR METHODS SHOULD BE USED:  
- COMPLETE BAR REPLACEMENT.  
- ADDITION OF SUPPLEMENTAL BAR OVER AFFECTED SECTION.  
NEW BARS MAY BE MECHANICALLY SPLICED TO OLD BARS OR PLACED PARALLEL TO AND APPROXIMATELY 3/4" FROM EXISTING BARS. LAP LENGTHS SHALL BE DETERMINATE IN ACCORDANCE WITH ACI 318; ALSO REFER TO CRSI AND AASHTO MANUAL.

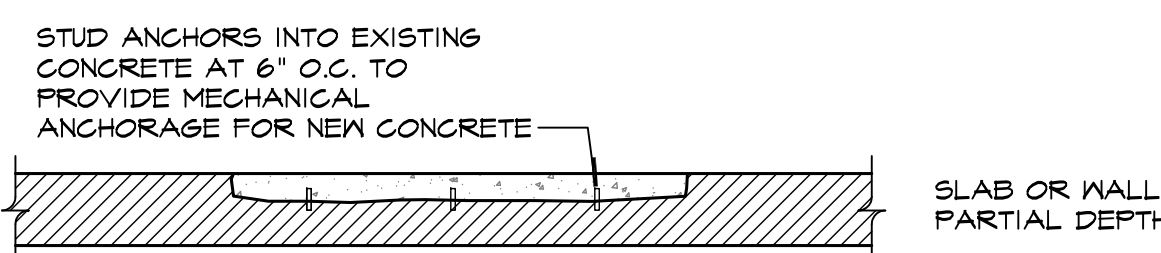
**3 REPAIR OF REINFORCING STEEL DUE TO LOSS OF SECTION**

Scale: N.T.S.



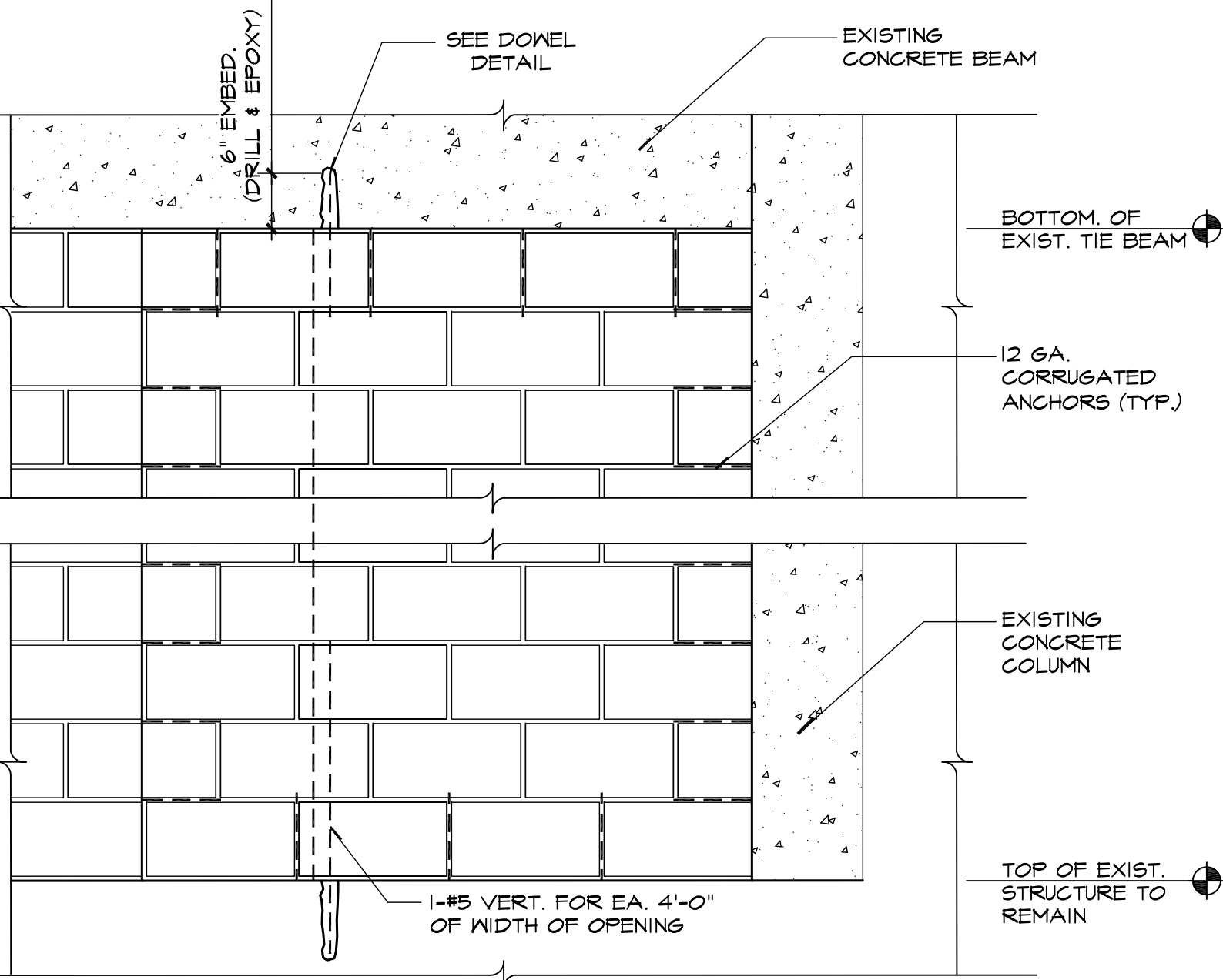
**4 CONCRETE REPAIR - FULL AND PARTIAL DEPTH**

Scale: N.T.S.



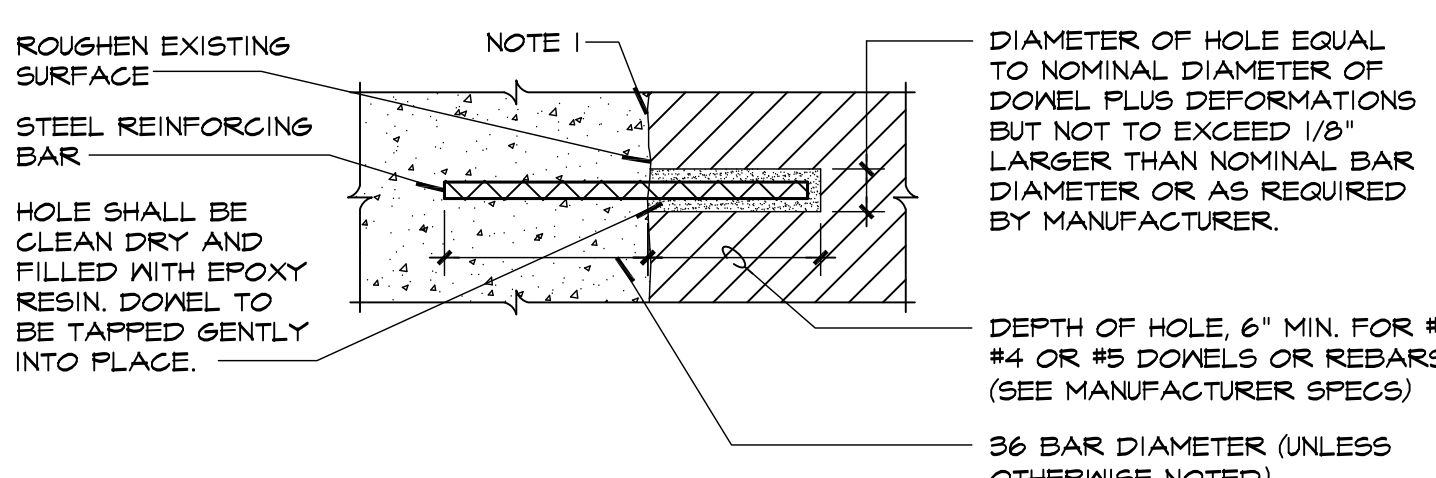
**5 CONCRETE REPAIR - PARTIAL DEPTH**

Scale: N.T.S.



**TYP. MASONRY WALL INFILL ELEVATION 3/4" = 1'-0"**

- NOTES:
- FILL ONE CELL AT EACH SIDE OF OPENING WITH #5 VERTICAL BAR AT EACH FILLED CELL.
  - CONNECT A 12 GA. CORRUGATED WALL ANCHOR TO EXISTING WALL FOR EACH MORTAR JOINT. USE HECKMAN 340-A ANCHORS. 1 1/4" WIDE X 3 1/2" LONG WITH A 3/16" DIA. TAPCON FASTENED TO EXISTING MASONRY OR CONCRETE.
  - PLACE 6 GA HORIZONTAL LADDER REINF. IN EACH NEW HORIZONTAL MASONRY JOINT LAPPING 3" MIN. W/ANCHORS.
  - FOR WIDTHS GREATER THAN 4'-0" AND LESS THAN 8'-0" ADD #5 VERTS @ 4'-0" O.C. MAX.
  - IF JAMB CONSISTS OF A CONCRETE COLUMN, CONNECT CORRUGATED ANCHOR DIRECTLY TO COLUMN.

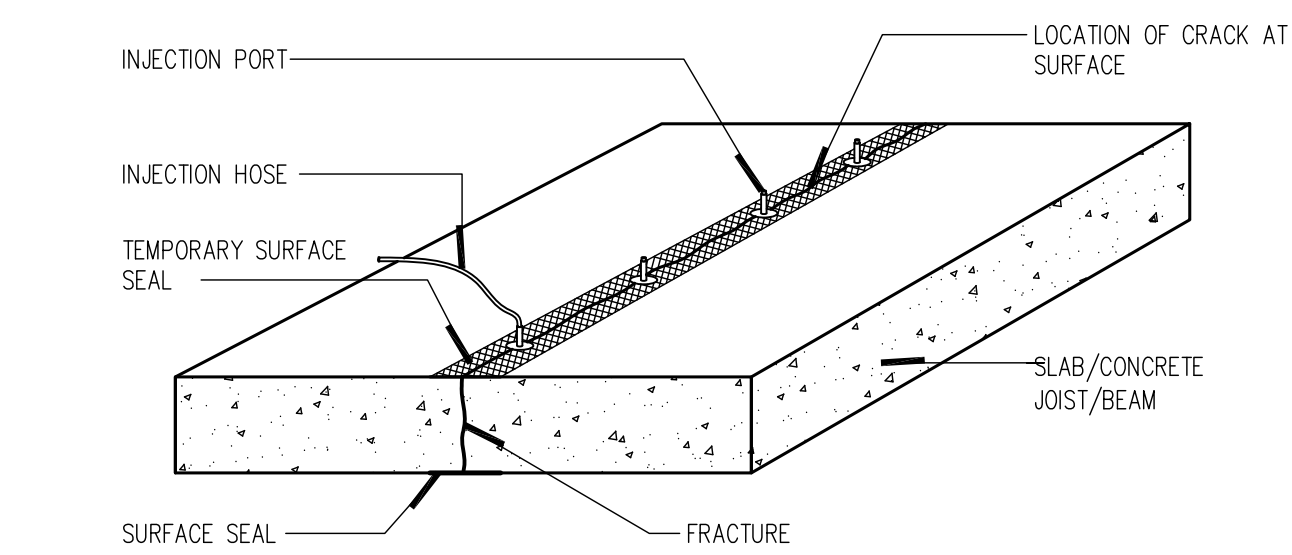


**DOWEL DETAIL N.T.S.**

- NOTES:
- EXISTING CONCRETE TO BE CLEANED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS BEFORE APPLYING EPOXY BONDING COMPOUND. USE 'DURAMELTD' BRAND OR ACCEPTABLE EQUIVALENT.
  - AT CONTRACTOR'S OPTION USE ITM-RAMSET/REDHEAD 'ERCON ACRYLIC T' ANCHORING ADHESIVE MIAMI DADE COUNTY N.O.A. # 06-0425.02, OR ALLIED FASTENER 4 TOOL INC. 'ALLIED + ADHESIVE' ANCHORING SYSTEM MIAMI DADE N.O.A. No. 05-0917.02 OR HILTI 'HIT HY200' ANCHORING ADHESIVES.

**6 CRACK REPAIR PROCEDURE**

Scale: N.T.S.



**REPAIR PROCEDURES**

- SURFACE SHALL BE CLEANED BY GRINDING, SANDBLASTING, OR WATERBLASTING TO ENSURE BOND OF SURFACE SEAL TO CRACK.
- INJECTION PORTS SHALL BE PLACED ACCORDING TO THE SPECIFICATIONS.
- THE SURFACE OF CRACK AND THE AREA AROUND EACH INJECTION PORT SHALL BE SEALED WITH AN EPOXY GEL OR HYDRAULIC CEMENT.
- THE CRACK SHALL BE INJECTED WITH A LOW VISCOSITY EPOXY RESIN, SUCH AS SIMPSON ETTI INJECTION EPOXY; ETTI-LV; SIKADUR B2 INJECTION RESIN, SIKADUR B5 HI-MOD LV INJECTION RESIN OR EQUIVALENT.
- AFTER COMPLETION OF INJECTION OPERATION, REMOVE SURFACE SEAL BY MECHANICAL MEANS.

**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2014 OR LATEST EDITION. ALL WIND LOADINGS ARE IN ACCORDANCE TO ASCE 7-10.
- TO THE BEST OF OUR KNOWLEDGE, THE STRUCTURAL DRAWINGS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE GOVERNING BUILDING CODE.
- THE STRUCTURAL DRAWINGS SHALL BE CONSIDERED TO BE IN CONJUNCTION WITH THE ARCHITECTURAL DOCUMENTS.
- DETAILS LABELED 'TYPICAL' APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION. ALL SECTIONS AND DETAILS SHALL BE CONSTRUCTED TO BE TYPICAL UNLESS ANOTHER SECTION OR DETAIL IS NOTED. QUESTIONS REGARDING THE APPLICABILITY OF TYPICAL DETAILS SHALL BE RESOLVED BY THE ARCHITECT.
- CONTRACTORS WHO DISCOVER DISCREPANCIES, OMISSIONS OR VARIATIONS IN THE CONTRACT DOCUMENTS DURING BIDDING SHALL IMMEDIATELY NOTIFY THE ARCHITECT. THE ARCHITECT WILL RESOLVE THE CONDITION AND ISSUE WRITTEN INSTRUCTIONS.
- THE GENERAL CONTRACTOR SHALL REVIEW AND DETERMINE THAT DIMENSIONS ARE COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO FABRICATION OR START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR STABILITY AND TEMPORARY BRACING, INCLUDING, BUT NOT LIMITED TO THE EXISTING PERGOLA ROOF AND TEA HOUSE WOOD STRUCTURE. WHENEVER THE CONTRACTOR IS UNSURE OF THESE REQUIREMENTS, THE CONTRACTOR SHALL RETAIN A FLORIDA LICENSED ENGINEER TO DESIGN AND INSPECT THE TEMPORARY BRACING AND STABILITY OF THE STRUCTURE.
- NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN STRENGTH UNLESS OTHERWISE NOTED.

**REINFORCED REPAIR CONCRETE:**

- ALL REBARS, INCLUDING FOOTINGS AND DOWELS MUST BE SECURED IN THE PROPER POSITION BY A POSITIVE BY A POSITIVE MEANS EXCEPT WHERE DIMENSIONS OTHERWISE. ALL HOOKS ON REBARS SHALL BE STANDARD ACI-318 HOOKS. REBAR ACCESSORIES TO HAVE UPTURNED LEGS PLACED AFTER FABRICATION.
- REINFORCING STEEL, NEW ASTM A-615, GRADE 60, FABRICATE AND DETAIL IN ACCORDANCE WITH ACI-318. SPLICES IN REBARS SHALL BE AS INDICATED ON THE DETAILS. CONCRETE COVER OVER THE REBARS SHALL BE AS DETAILED IN THE DRAWINGS. IF NOT DETAILED ON DRAWINGS, USE THE FOLLOWING: 3" FOR BOTTOM AND ENDS OF FOOTINGS; 1" AT THE SIDES FOR TIES OR STIRRUPS ON COLUMNS AND BEAMS (2" OVER MAIN REINFORCEMENT); 2" FORMED CONCRETE IN CONTACT WITH THE GROUND; 1" FOR INTERIOR SLAB REINFORCEMENT; 2" FOR EXTERIOR SLAB REINFORCEMENT.
- ALL CONCRETE FOR REPAIRS SHALL BE AS SPECIFIED ON THE CONCRETE REPAIR NOTES. ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 318, AMERICAN CONCRETE INSTITUTE 'BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY' AND WITH ACI 550. LOCATION OF CONSTRUCTION JOINTS NOT SHOWN ON DRAWINGS SHALL BE APPROVED BY THE ENGINEER. ALL CONSTRUCTION JOINTS FOR BEAMS AND SLABS SHALL BE KEYED.
- COMPLY WITH ACI 301 AND 318 AND SPECIFICATION SECTION AS APPLICABLE.

**CRACK REPAIR ADHESIVE SYSTEMS:**

- ALL CRACK REPAIRS SHALL BE ACCOMPLISHED USING SIMPSON BRAND STRONS TIE REPAIR ADHESIVES, 'ETI, INJECTION EPOXY' OR ACCEPTABLE EQUIVALENT.
- CRACK REPAIR SHALL BE REPLICATED USING THE ETTI-LV, LOW VISCOSITY INJECTION EPOXY.
- ALL WORK SHALL COMPLY AND ADHERE TO THE REQUIREMENTS AND SPECIFICATION OF THE EPOXY MANUFACTURER.
- SUBMIT FOR APPROVAL CATALOGUE LITERATURE OF MANUFACTURER'S INJECTION EQUIPMENT AND MATERIAL SPECIFICATIONS.
- SEE DRAWINGS FOR TYPICAL CRACK REPAIR PROCEDURE.

**EXPANSION/EPOXY ANCHORS:**

- USE WEDGE-TYPE EXPANSION ANCHORS SUCH AS THE HILTI KNAK BOLT II, ITM RAMSET RED HEAD TRIBOLT WEDGE, POWERS REBAR POWERED WEDGE ANCHORS, FOLLOW MANUFACTURER'S SPECIFICATIONS FOR USE AND INSTALLATION.
- USE SCREW ANCHORS SUCH AS THE HILTI HUS-EZ CARBON STEEL SCREW ANCHOR, POWER FASTENERS WEDGE BOLT SCREW ANCHOR AND/OR ACCEPTED EQUIVALENT. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR USE AND INSTALLATION.
- CONFIRM THE ABSENCE OF REINFORCING STEEL BY DRILLING A 1/4" DIAMETER PILOT HOLE FOR EACH ANCHOR. DO NOT CUT REINFORCING STEEL WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER.
- PROVIDE ANCHOR EMBEDMENT, SPACING AND EDGE DISTANCE AS SHOWN ON THE DRAWINGS.
- USE AN EPOXY, ACRYLIC OR POLYESTER RESIN ADHESIVE SYSTEM SUCH AS THE POWERS RAWL, POWER-FAST SYSTEM, HILTI HIT HY200, ALLIED FASTENER ALLIED GOLD A-1000 OR ACCEPTED EQUIVALENT. FOLLOW MANUFACTURER'S SPECIFICATION FOR USE AND INSTALLATION.

**STRUCTURAL STEEL:**

- FABRICATE AND ERECT STRUCTURAL STEEL AND CONFORMANCE WITH AISC 'SPECIFICATIONS' FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS' WITH COMMENTARY AND ALL OSHA REQUIREMENTS
- STRUCTURAL STEEL
  - STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATION:
    - ALL STIFFENER PLATES, CHANNELS ANGLES, PLATES AND BARS SHALL BE STAINLESS STEEL, ASTM T316.
    - MISCELLANEOUS METALS
      - ANCHOR BOLTS, BOLTS AND EXPANSION ANCHORS ON FORMING TO ASTM A 307.
      - COLD FORMED HOLLOW STRUCTURAL SECTIONS (HSS)
      - STEEL PIPE, STAINLESS STEEL, ASTM F 136, SCHEDULE 80
      - MISCELLANEOUS SHAPES AND PLATES, STAINLESS STEEL CONFORMING TO ASTM T316.
  - WELDING:
    - ALL WELDING IS TO BE PERFORMED BY CERTIFIED WELDERS.
    - ELECTRODES TO BE APPLICABLE TO STAINLESS STEEL AND IN ACCORDANCE WITH AWS REQUIREMENTS.
    - ALL FIELD WELDING SHALL BE INSPECTED BY AN INDEPENDENT TESTING LABORATORY RETAINED BY THE OWNER.
    - ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD CODE FOR WELDING BUILDING CONSTRUCTION IN ACCORDANCE TO THE AMERICAN WELDING SOCIETY.
  - ALL STEEL EXPOSED TO THE WEATHER SHALL BE STAINLESS STEEL.
  - ALL BOLTS, SCREWS, WASHERS AND OTHER FASTENERS AND MISCELLANEOUS METAL HARDWARE SHALL BE ASTM T316, STAINLESS STEEL.
- SETTING BASE, BEARING PLATES AND SUPPORTING ANGLES. CLEAN CONCRETE AND MASONRY BEARING SURFACE OF BOND-REDUCING MATERIALS AND CLEAN BOTTOM OF BASE AND BEARING PLATE.
  - SET BASE OR BEARING PLATE ON WEDGES OR OTHER ADJUSTING DEVICES.
  - TIGHTEN ANCHOR RODS AFTER STRUCTURAL STEEL FRAME HAS BEEN PLUMBED. DO NOT REMOVE WEDGES OR SHIMS BUT, IF PROTRUDING, CUT OFF FLUSH WITH EDGE OF BASE OR BEARING PLATE PRIOR TO PACKING WITH GROUT.
  - IF REQUIRED, PACK OR POUR NON-SHRINK GROUT SOLIDLY BETWEEN BEARING SURFACE AND BASE OF BEARING PLATE. ENSURE THAT NO VOIDS REMAIN. FINISH EXPOSED SURFACES, PROTECT GROUT AND ALLOW TO CURE.
  - FOR PROPRIETARY GROUT MATERIALS, COMPLY WITH MANUFACTURER'S INSTRUCTIONS.
  - BASE PLATES MUST BE GROUTED A MINIMUM OF 12 HOURS PRIOR TO PLACING CONCRETE SLABS ON SUPPORTING STEEL STRUCTURE.
- REFER TO ARCHITECTURAL DRAWINGS AND PROJECT SPECIFICATIONS FOR PAINTING AND CONCRETE OR COATINGS OF STRUCTURAL STEEL. DO NOT PAINT STEEL SURFACES IN CONTACT WITH CONCRETE.

**SHORING:**

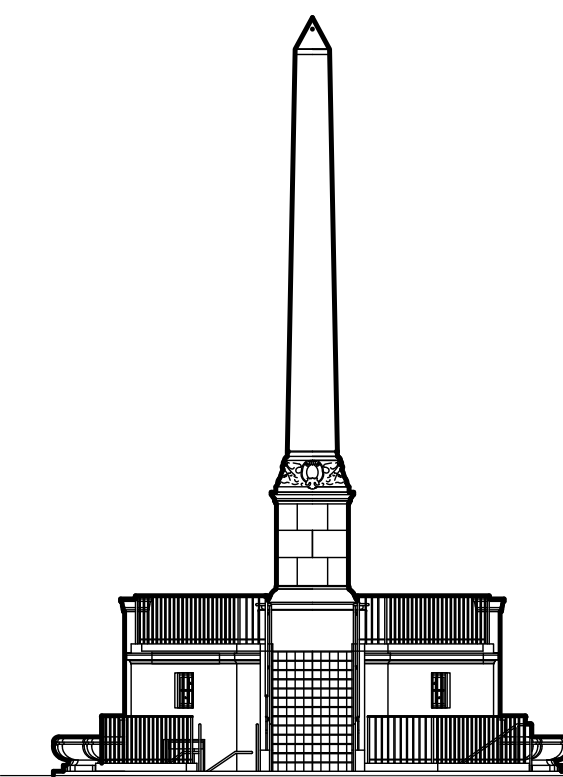
- SHORING REQUIREMENTS FOR THE EXISTING STRUCTURE INCLUDING THE OBELISK ARE NOTED ON THE DRAWINGS. HOWEVER, THE SHORING CONTRACTOR IS REQUIRED TO SUBMIT COMPLETE SHORING SHOP DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
- ADDITIONAL SHORING AS REQUIRED BY GC FOR REINFORCED CONCRETING SHALL BE DETAILED BY GC TO INCLUDE ANY TEMPORARY BRACING OF THE STRUCTURE.
- DO NOT REMOVE SHORING UNTIL CONCRETE STRENGTH HAS REACHED 2,800 PSI.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY SHORING, BARRICADES AND OTHER SAFETY PROCEDURES AS RECOMMENDED BY O.S.H.A. AND OTHER GOVERNING CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING PROPERTY FROM DAMAGE DURING CONSTRUCTION. REFER TO THE ARCHITECTURAL DRAWINGS FOR SPECIAL PROTECTION OF HISTORICAL ITEMS AND PROCEDURES DURING CONSTRUCTION.

**COORDINATION OF CONSTRUCTION PLANS:**

- DO NOT SCALE DIMENSIONS FROM DRAWINGS.
- THE CONTRACTOR SHALL VERIFY THAT ACTUAL FIELD MEASUREMENTS AND CONDITIONS COMPLY WITH CONTRACT DOCUMENTS AND SHALL BE RESPONSIBLE FOR IDENTIFYING ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS PRIOR TO SUBMITTAL OF SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW.
- STRUCTURAL DOCUMENTS MUST BE WORKED TOGETHER WITH ARCHITECTURAL DOCUMENTS IN ORDER TO:
  - CHECK AND COORDINATE ALL DIMENSIONS; ALL DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
  - CHECK ALL PLANS, THOROUGHLY AND BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.

**SUBMITTALS:**

- SUBMIT SHOP DRAWINGS FOR ALL SPECIFIED MATERIALS AND PROCEDURES FOR REPAIR AND INSTALLATION.
- SUBMIT SHORING SHOP DRAWINGS.



**28th STREET OBELISK AND PUMP STATION RESTORATION**

300 WEST 28th STREET  
MIAMI BEACH, FL. 33139

NO.	REVISIONS/SUBMISSIONS (*)	DATE
-	PERMIT SET	01/22/2018

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT OF THE ARCHITECT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS, SPECIFICATIONS, AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S PERMISSION.



William B Medellin  
Architect P.A.  
www.wbmarcitect.com

560 N.E. 71 STREET  
MIAMI, FLORIDA 33138  
305-672-8381

FL #A00003400 - FL #A00013832

**STRUCTURAL ENGINEER**

INGELMO ASSOCIATES P.A.  
250 CATALONIA AVENUE, SUITE 301  
CORAL GABLES, FL 33134  
305-461-6009

**MEP ENGINEER**

MAQUERA ENGINEERING CONSULTANTS  
7220 S.W. 39th TERRACE  
MIAMI, FL 33155  
305-444-8210

SHEET TITLE

**NOTES AND DETAILS**

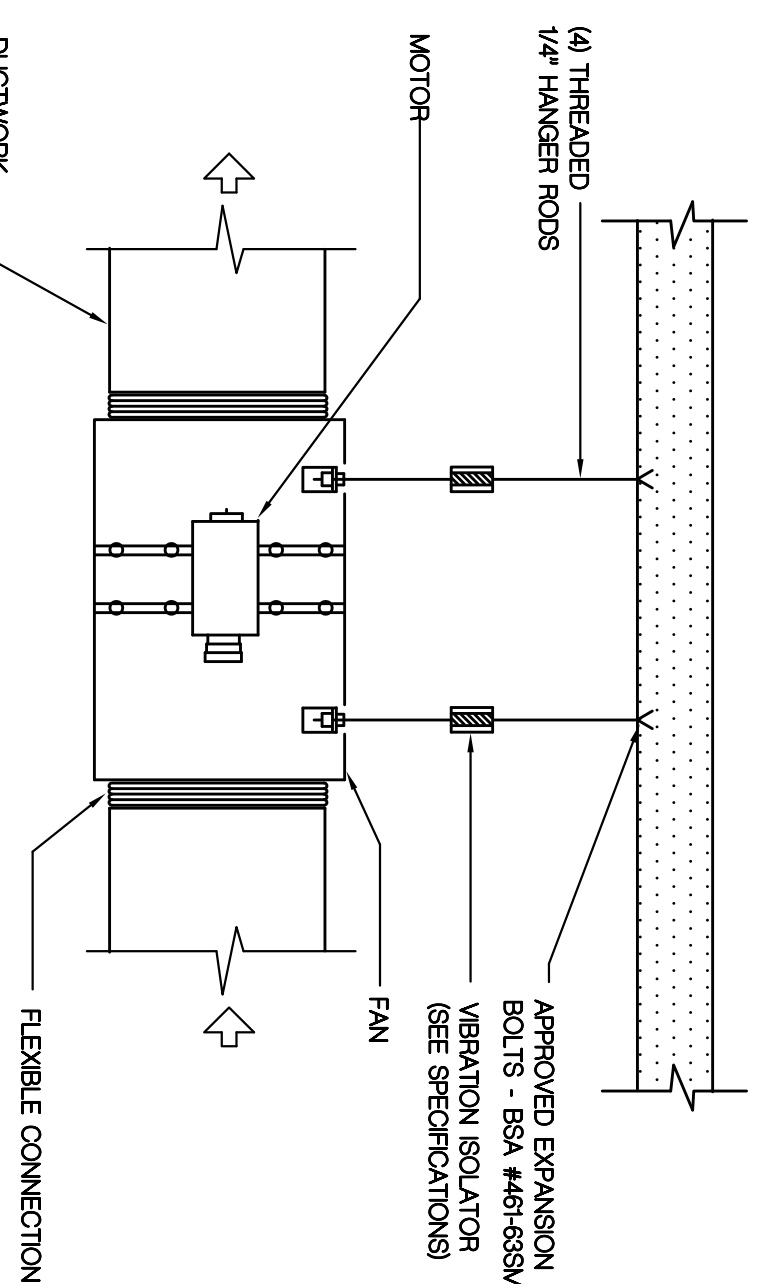
SEAL	ISSUE DATE	PROJECT NO.	DRAWN BY	CHECKED BY	DRAWING NO.
	11/24/2017	12189	L	R	

**S-5**

DATE: 01/18/2018  
DRAWN: INGLMO PE  
LICENSE NO. FE29310 CA 28864

**GENERAL HVAC NOTES**

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE FOLLOWING REGULATIONS: THE FLORIDA BUILDING CODE 2014 AND THE LATEST EDITION OF THE ASHRAE 90.1-2013 ENERGY EFFICIENCY DESIGN STANDARD FOR BUILDINGS OF 100,000 SQ FT OR MORE. MECHANICAL REFRIGERATION (B) NEMA PANELS 90A & 91 (C) ASHRAE 90.1-2013 ENERGY EFFICIENCY DESIGN STANDARD FOR BUILDINGS OF 100,000 SQ FT OR MORE.
2. ALL EXHAUST DUCTWORK SHALL BE CODE GAUGE GALVANIZED SHEET METAL.
3. DUCT SIZE SHOWN ARE NET FREE AREA INSIDE.
4. ALL AIR DEVICES (DIFFUSERS, REGISTERS, AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION WITH EXPOSED SURFACE CHEMICALLY TREATED TO RECEIVE PAINT TO MATCH COLOR OF AIR GUIDE OR APPROVED EQUAL.
5. PROVIDE OPERED BLADE DAMPERS AT ALL DIFFUSERS AND REGISTERS.
6. GENERAL CONTRACTOR IS TO USE AN INDEPENDENT TEST AND BALANCE COMPANY WHICH SHALL PROVIDE A SET OF THE REPORT SIGN AND SEALED BY THE PROFESSIONAL ENGINEER FROM THE COMPANY PRIOR OF ACCEPTANCE OF WORK.
7. MECHANICAL CONTRACTOR IS TO PROVIDE TURNING VANE AT ALL CHANGE OF DIRECTIONS OR TO PROVIDE TURNING ROAD. ALL OUTLETS SHALL HAVE EXTRACTORS OR EQUIPMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.
8. DUCT INSTALLATION AND SUPPORTS TO BE PROVIDED IN ACCORDANCE WITH 2014 FBCLM SEC. 650.038.

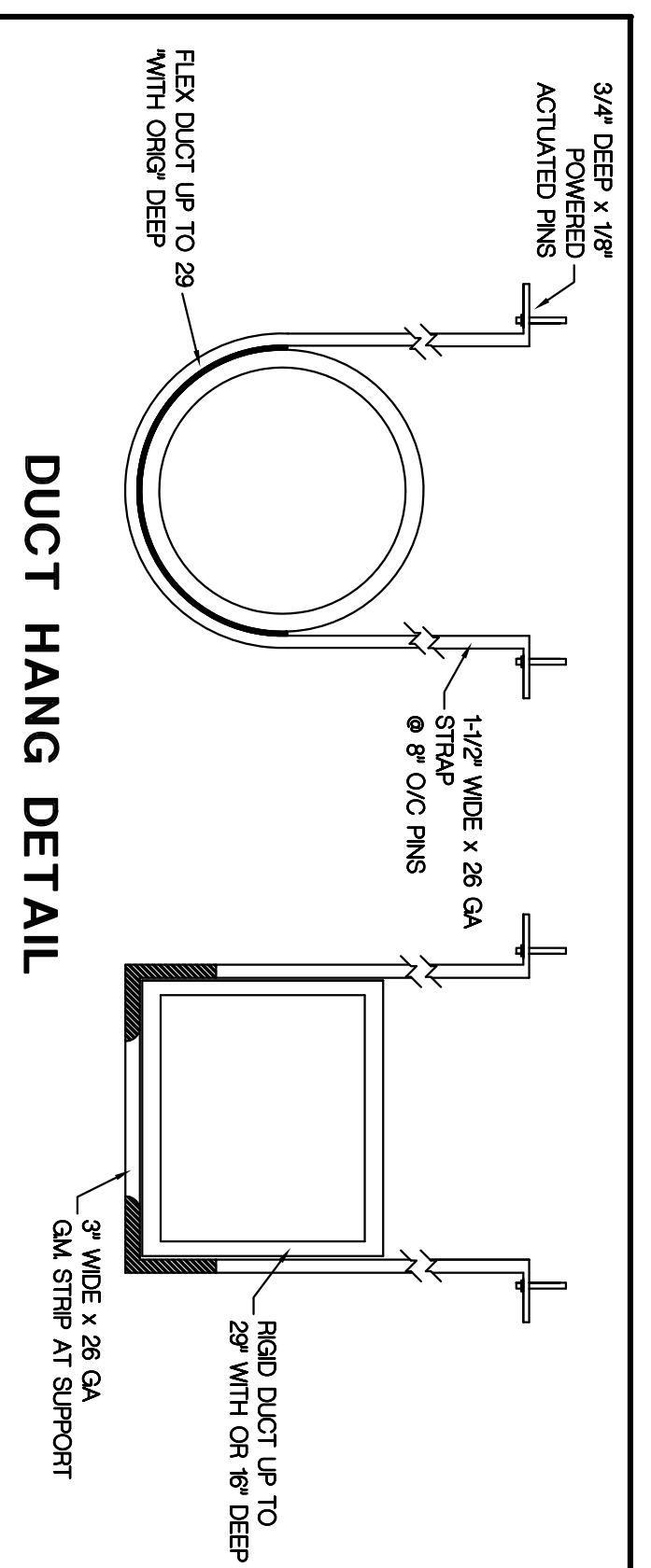


INLINE FAN HANGING SUPPORT DETAIL  
NO SCALE

**AIR DISTRIBUTION SCHEDULE**

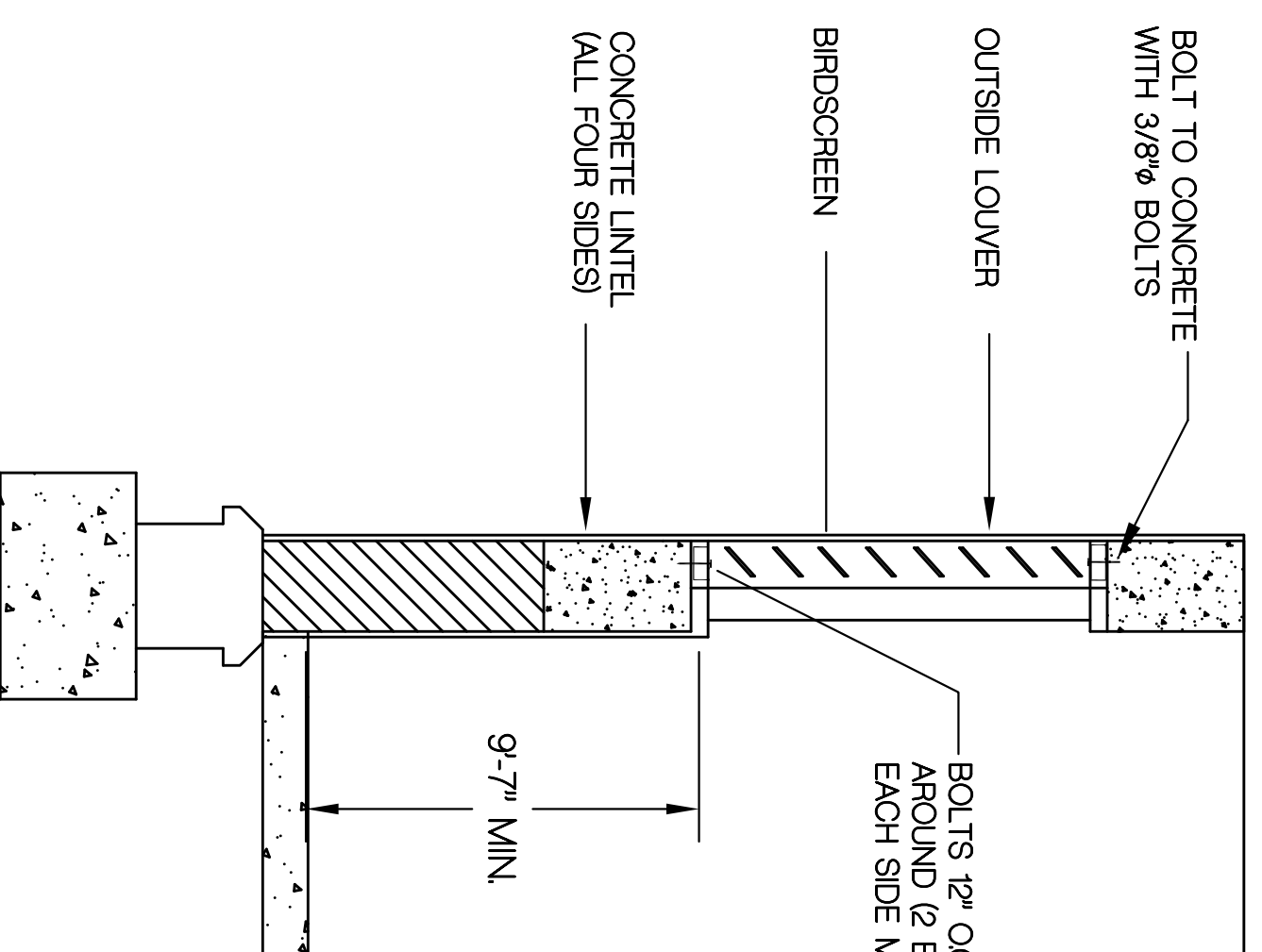
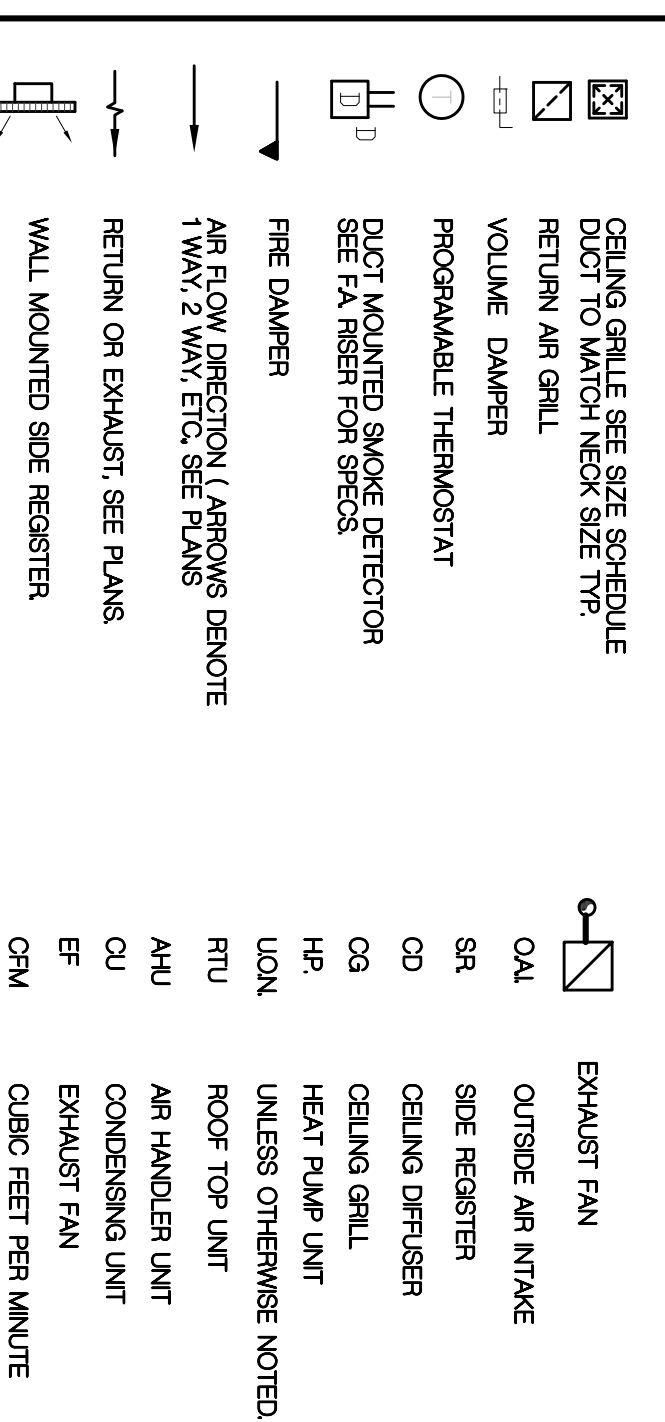
SYMBOL	USE	TYPE	ACCESSORIES	MFG. & MODEL NO.
(A)	FAN LOUVER	WALL LOUVER	RAIN PROOF	RAIN PROOF

NOTE: 1. ALL AIR DISTRIBUTION DEVICES SHALL BE ALUMINUM CONSTRUCTION (UNLESS OTHERWISE NOTED).  
2. COMPONENTS COLOR FINISH WITH MATCHES.



DUCT HANG DETAIL

**LEGEND**



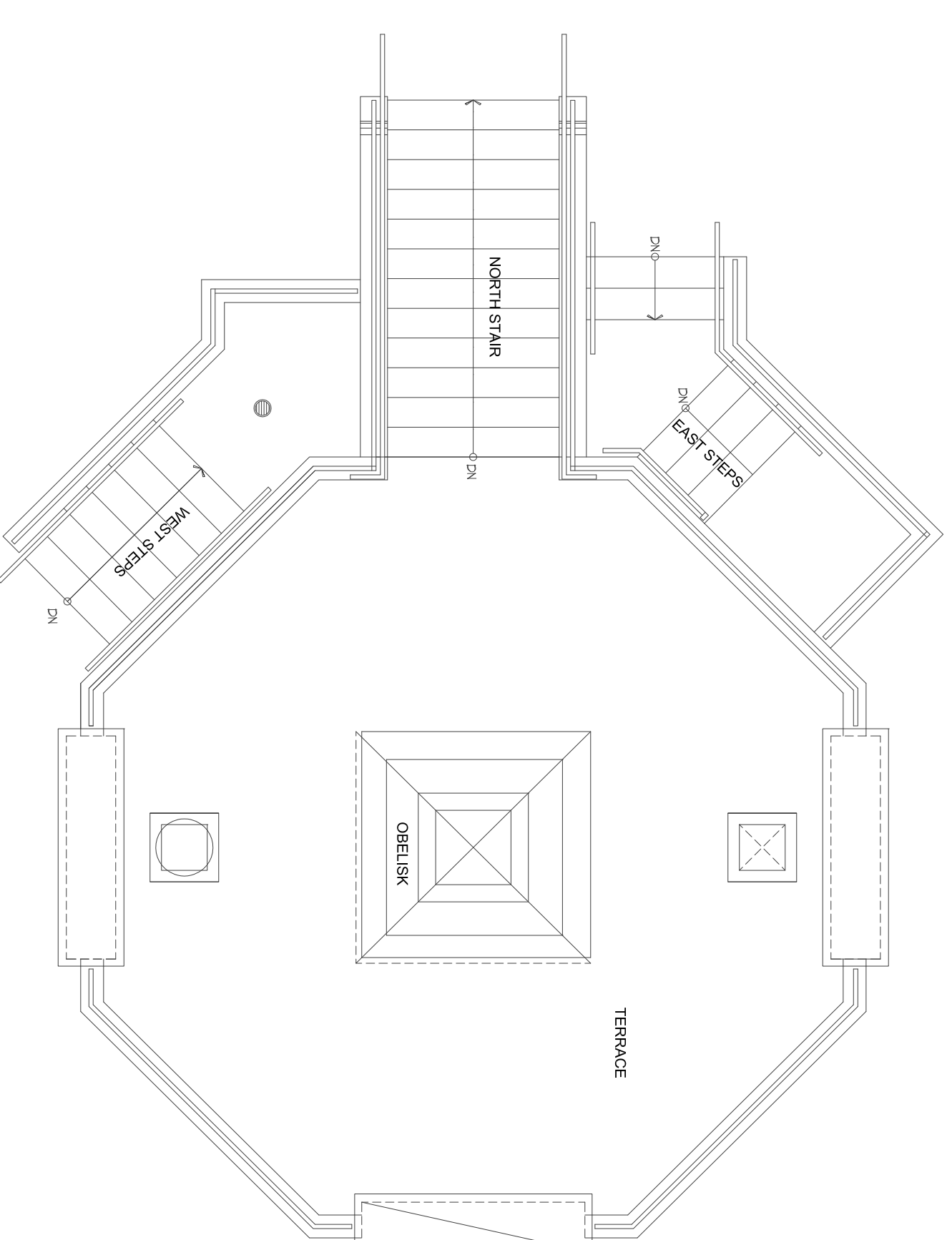
LOUVER MOUNTING DETAIL

**FAN SCHEDULE**

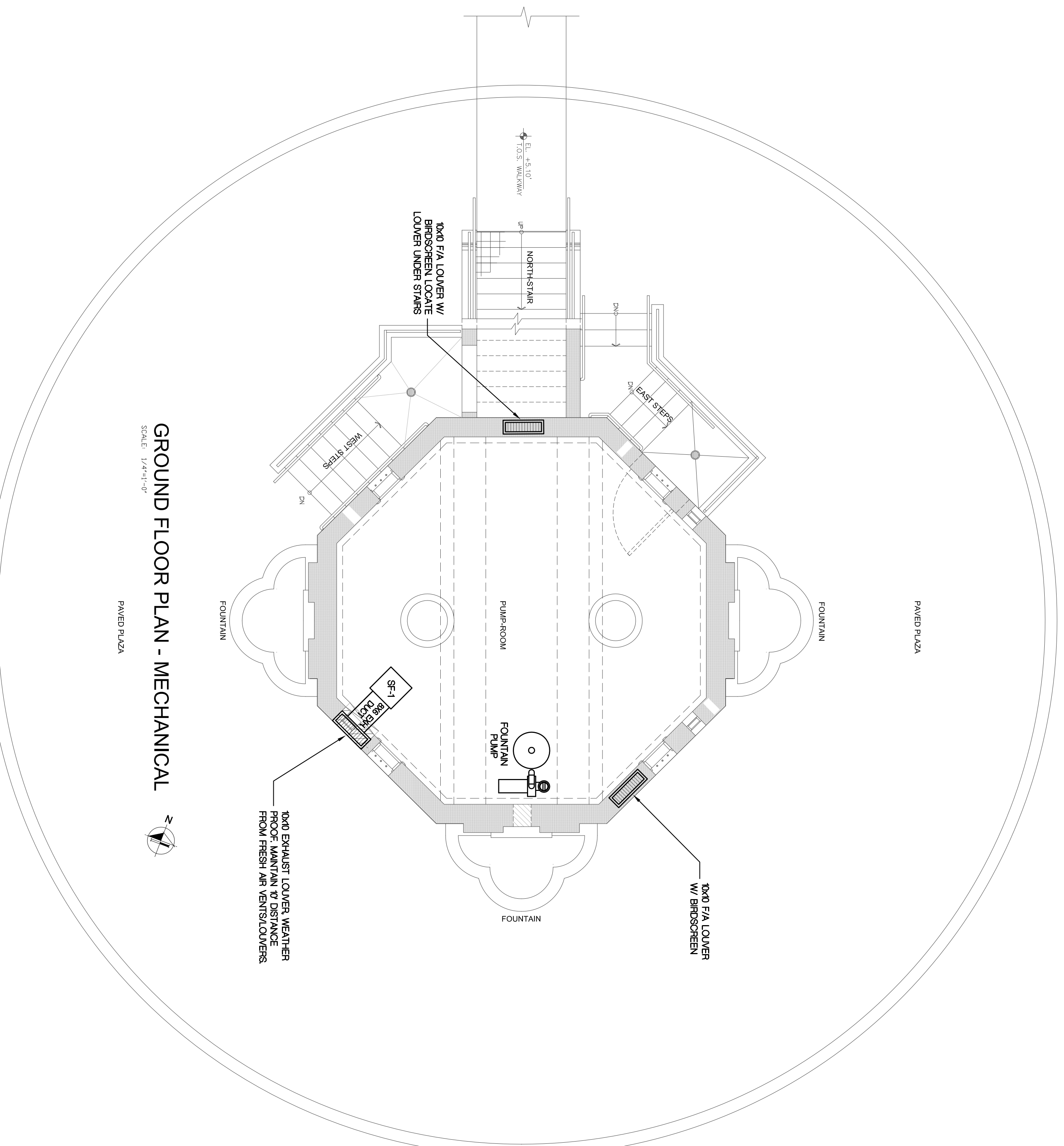
DESIGNATION	AREA SERVED
EF-1	RESTROOMS / KITCHEN
L-COOK	
INLINE	
90SNDTDC	
CEILING	
AREA SERVED	RESTROOMS / KITCHEN
C.F.M.	200
E.S.P. (INCHES OF WATER)	0.5
R.P.M.	1464
H.P. (A-AMP W-H/WATTS)	1/6 HP
VOLT - PH - HZ	115 / 1 / 60
DRIVE	DIRECT
BACKDRIFT DAMPER	YES
NOTES	1, 2, 3, 4

NOTES:  
1. ALL FANS SHALL BE EQUIPPED WITH FACTORY WOUND (BUNA) SHEET METAL DISCONNECT SWITCH.  
2. SPEED CONTROL SHALL BE FACTORY (WOUND) MOTOR IN THE FAN.  
3. PROVIDE SPRING STAYS IN COILS. (IF SCS IS PROVIDED IN THE FAN).  
4. PROVIDE A 600 HOUR AND SPRAY METAL COATING applied and tested per the coating MFG. CO. LOUVER RESISTANCE.

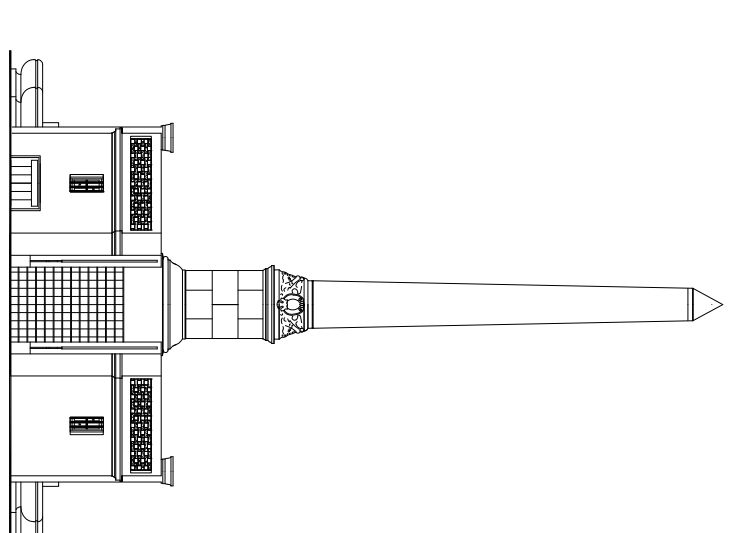
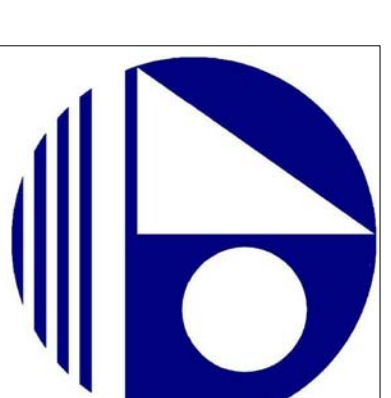
HVAC DESIGN REQUIRES:	YES	NO
DUCT SMOKE DETECTOR	-	X
FIRE DAMPERS	-	X
SMOKE DAMPERS	-	X
FIRE RATED ENCLOSURE	-	X
FIRE RATED ROOF FLOOR	-	X
CEILING SMOKE DETECTOR	-	X
FIRE STOPPING	-	X
SMOKE CONTROL	-	X



TERRACE ROOF PLAN - MECHANICAL  
SCALE: 1/4"=1'-0"



GROUND FLOOR PLAN - MECHANICAL  
SCALE: 1/4"=1'-0"



28th STREET OBELISK AND PUMP STATION RESTORATION  
300 WEST 28th STREET  
MIAMI BEACH, FL 33139

NO.	REVISION/DESCRIPTION (A)	DATE
1	PERMIT SET	01/22/2018

**William B. Magellan**  
Architect P.A.  
www.wbmagellan.com  
560 N.E. 7th STREET  
MIAMI, FLORIDA 33138  
305-672-8318  
305-461-8009  
FL #A0003400 - FL #A0013832

**MEP ENGINEER**  
MAQUERA ENGINEERING CONSULTANTS  
7720 S.W. 35th TERRACE  
MIAMI, FLORIDA 33154  
305-444-8710  
305-444-8710

SHEET TITLE  
GROUND FLOOR PLAN - MECHANICAL  
TERRACE FLOOR PLAN - ROOF PLAN

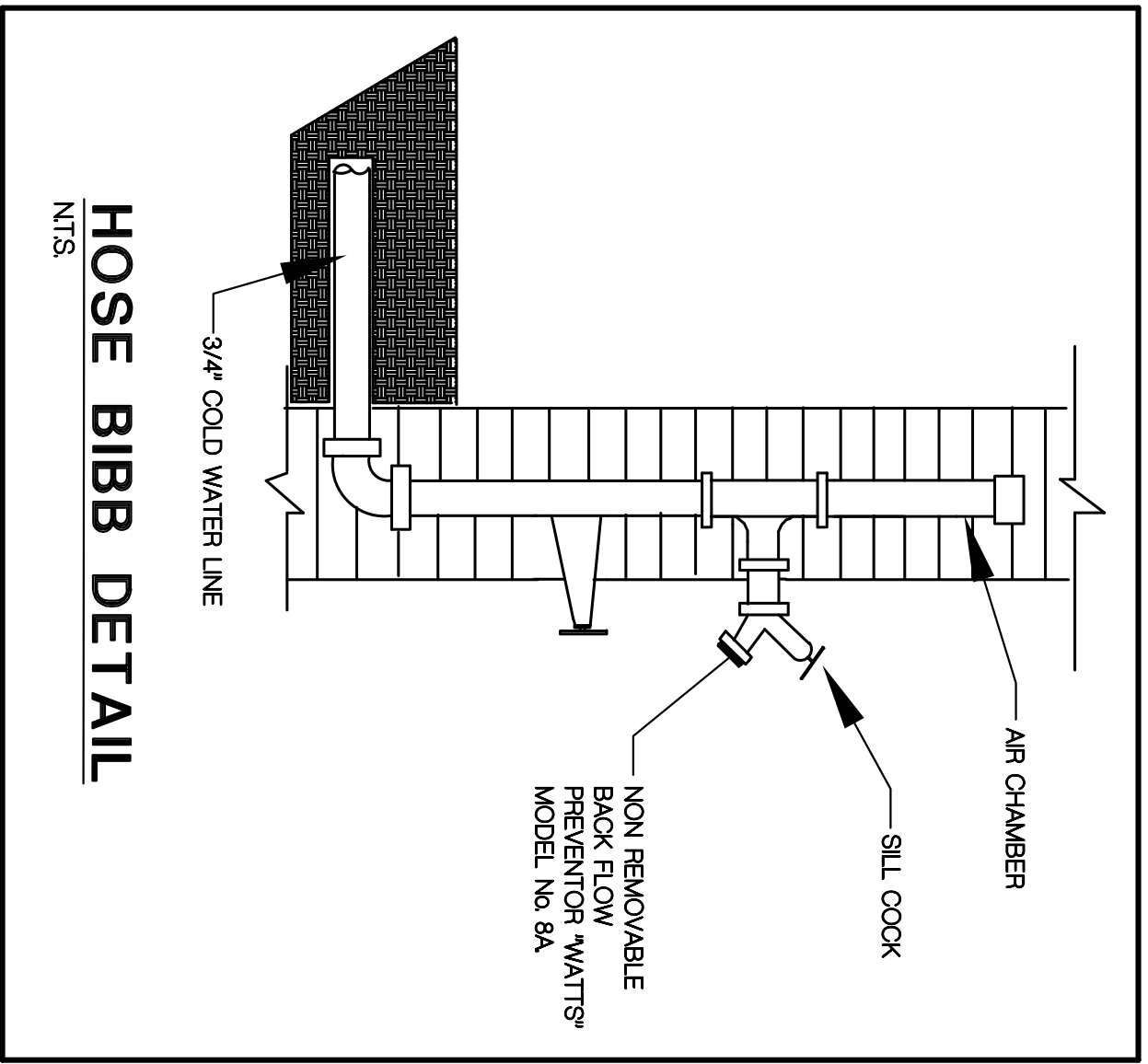
ISSUE DATE:	11/26/2017
DESIGNED BY:	N.A.
CHECKED BY:	R.M.
ISSUING NO.:	

**M-1**

REVISION NUMBER: 01  
FL REGISTRATION NO. 55442







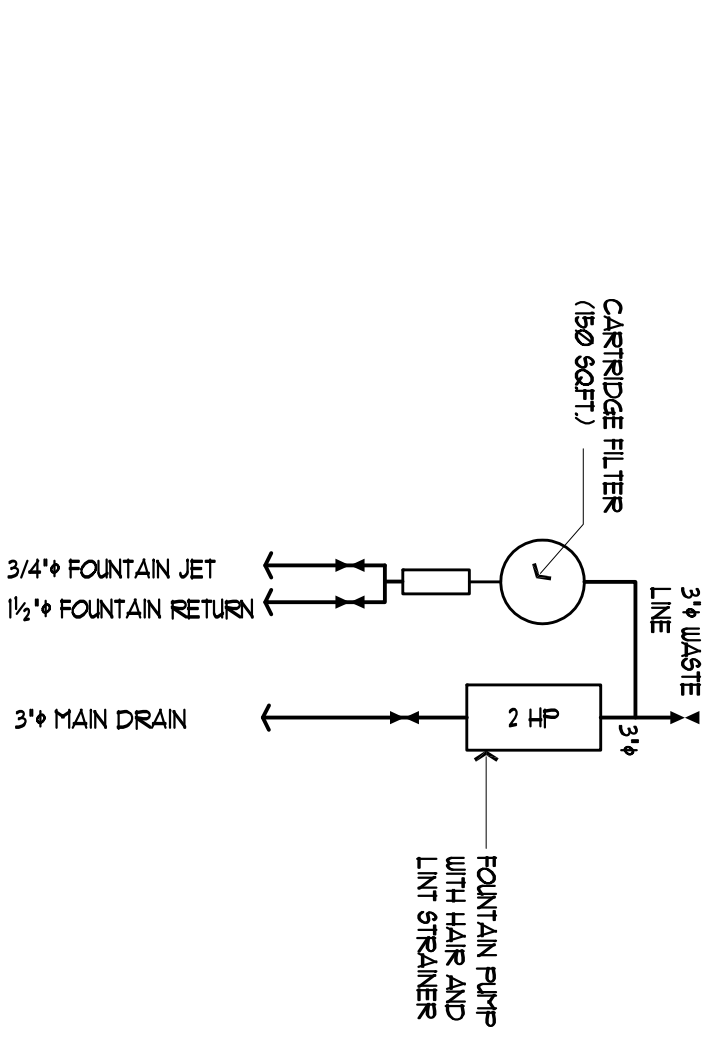
NOTE: ALL TRAPS SHALL BE CONSTRUCTED W/ PROPER OUTLET SIZE  
NOTE: ALL TRAPS SHALL COMPLY W/ BCD TABLE 504A

**FIELD COORDINATION NOTE**

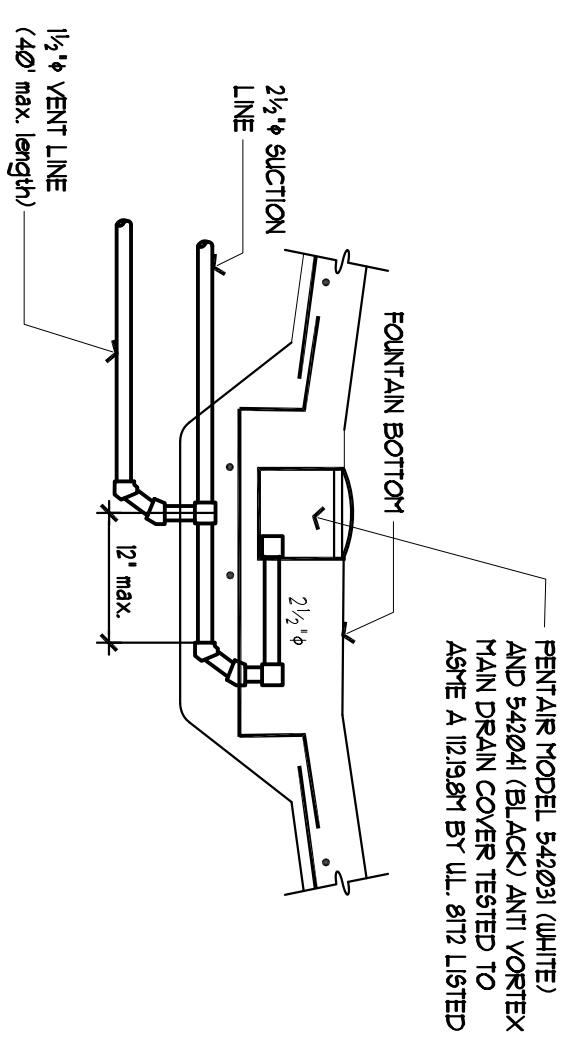
EVERY CONTRACTOR SHALL COORDINATE IN FIELD W/ OTHER TRADES PRIOR TO COMMENCEMENT OF WORK. ALL WORK SHALL BE IN ACCORDANCE WITH ARCHITECTURAL DETAILS AS THE 24\"/>

**WATER PIPING SIZE**

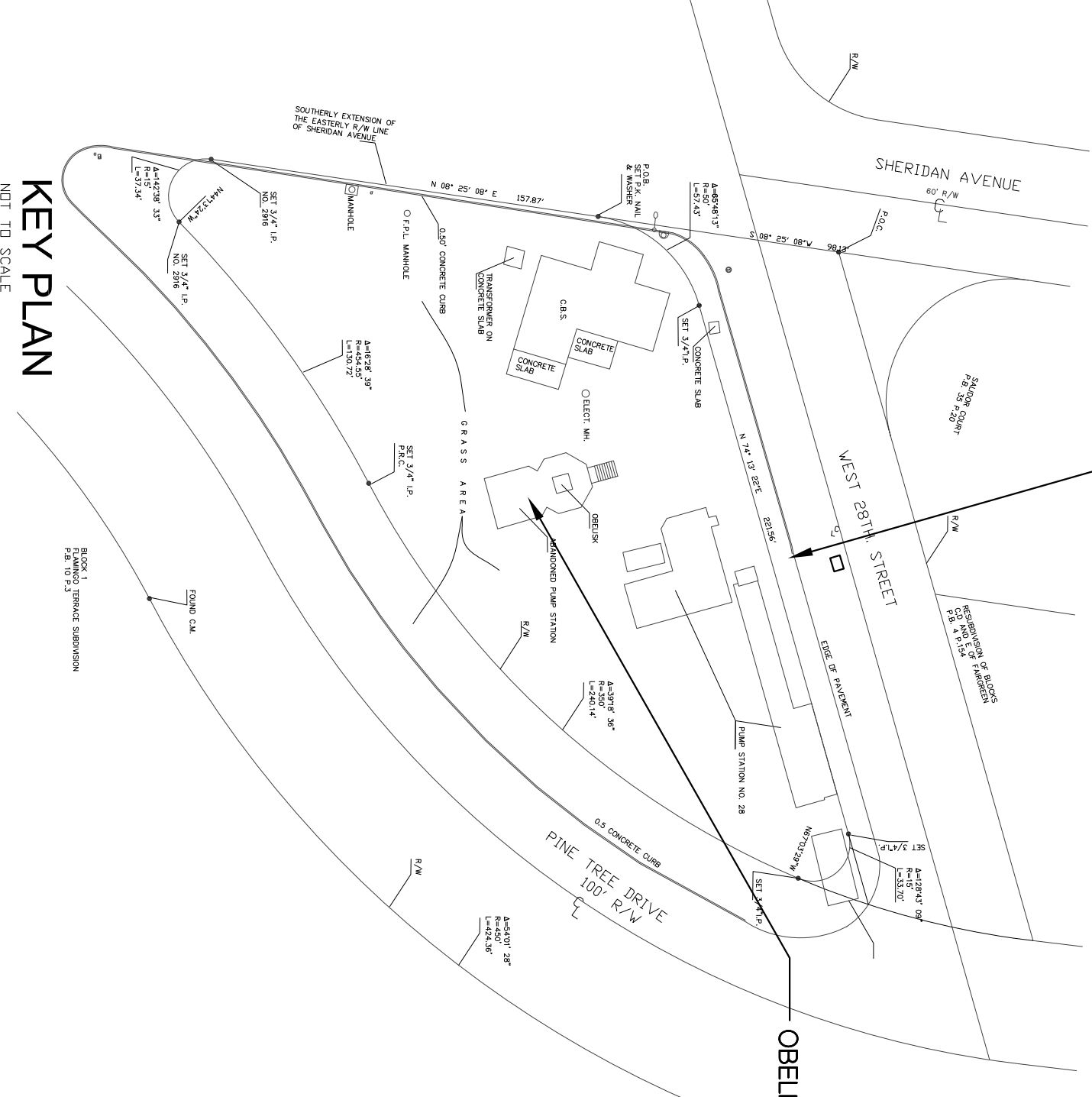
① 3/4\"/>



**MAIN DRAIN DETAIL**



REPAIR VERTICAL SLOTTED GUTTER AND SLOTTED GULLY UNIT TO EXISTING MAIN DRAIN COVER TESTED TO ADEQ. A. (MIN. 8\"/>

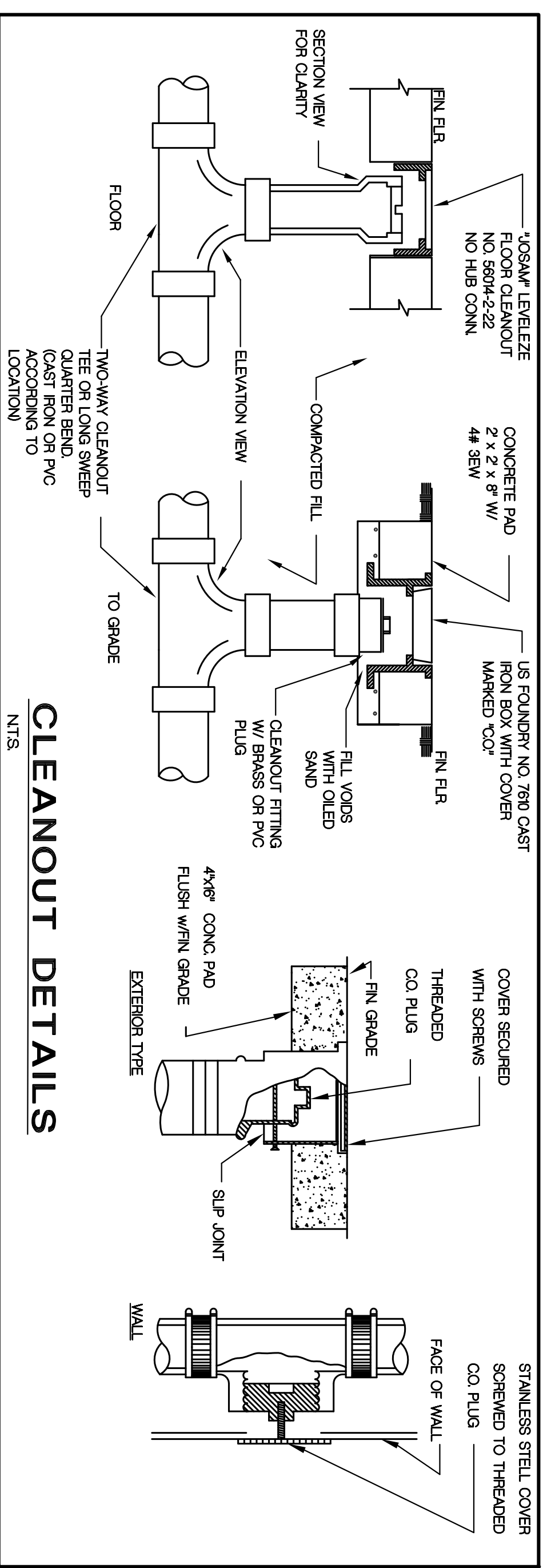


**GENERAL PLUMBING NOTES**

1. ALL WORK SHALL COMPLY WITH FLORIDA BUILDING CODE 200 EDITION (FBC 2001) GENERAL ORDINANCES GOVERNING THE OUTLINE OF THE PROJECT IS CONTRARY TO OR CONFLICTS WITH LOCAL ORDINANCES, BUILDING CODES AND REGULATIONS ARCHITECT/ENGINEER BEFORE SUBMITTING A BID. THE ARCHITECT/ENGINEER WILL THEN ISSUE INSTRUCTIONS AS HOW TO PROCEED.
2. THE DRAWINGS ARE TO BE CONSIDERED DIAGNOSTIC, NOT MINOR DETAILS UNLESS SPECIFIC DIMENSIONS ARE SHOWN. THE STRUCTURAL ARCHITECTURAL AND SITE CONDITIONS SHALL BE SHOWN IN LAYOUT OF WORK. CHECK DRAWINGS OF ALL TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED AT ALL POINTS WHERE HEAD ROOM OR SPACE CONDITIONS APPEAR INADEQUATE. ARCHITECT/ENGINEER SHALL BE RESPONSIBLE FOR VERIFYING ALL SPACE CONDITIONS. CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS PRIOR TO COMMENCEMENT OF WORK. MODIFICATION IN LAYOUT IS NEEDED TO PREVENT COLLISION OF THE WORK.
3. EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR WILL BE REQUIRED TO FURNISH INSTALL AND/OR CONNECT WITH APPROPRIATE SERVICES ALL PLUMBING ITEMS ELECTRICAL AND SPRINKLER DRAWINGS WITHOUT ADDITIONAL EXPENSE TO THE OWNER. IF DISCREPANCIES, CONFLICTS OR OMISSIONS ARE NOTED, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IN WRITING PRIOR TO PERMIT REVISIONS BEFORE THE BIDS ARE SUBMITTED.
4. INSTALL MATERIALS AND EQUIPMENT IN A NEAT AND FIRST CLASS WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO REMOVE ANY MATERIALS OR EQUIPMENT WHICH DOES NOT MEET THE QUALITY STANDARDS OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE APPEARANCE, REMOVAL AND REPAIRMENT IS TO BE DONE IN HIS OWNERSHIP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND EQUIPMENT IN THE SOLE EXPENSE OF CONTRACTOR.
5. START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO CONTRACTORS TO RECEIVE HIS WORK. THE CONTRACTOR SHALL REMOVE AND REPLACE AT HIS EXPENSE ALL PLUMBING INTERFERED WITH OTHER TRADES.
6. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
7. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
8. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
9. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
10. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
11. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
12. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
13. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
14. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
15. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
16. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
17. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
18. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
19. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.
20. THE CONTRACTOR SHALL OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES. WHOEVER CONTRACTOR SHALL APPLY TO THIS WORK HE SHALL ALSO OBTAIN AND PAY ALL NECESSARY FEES, PERMITS, ASSOCIATION DUES, FEES, AND TAXES.

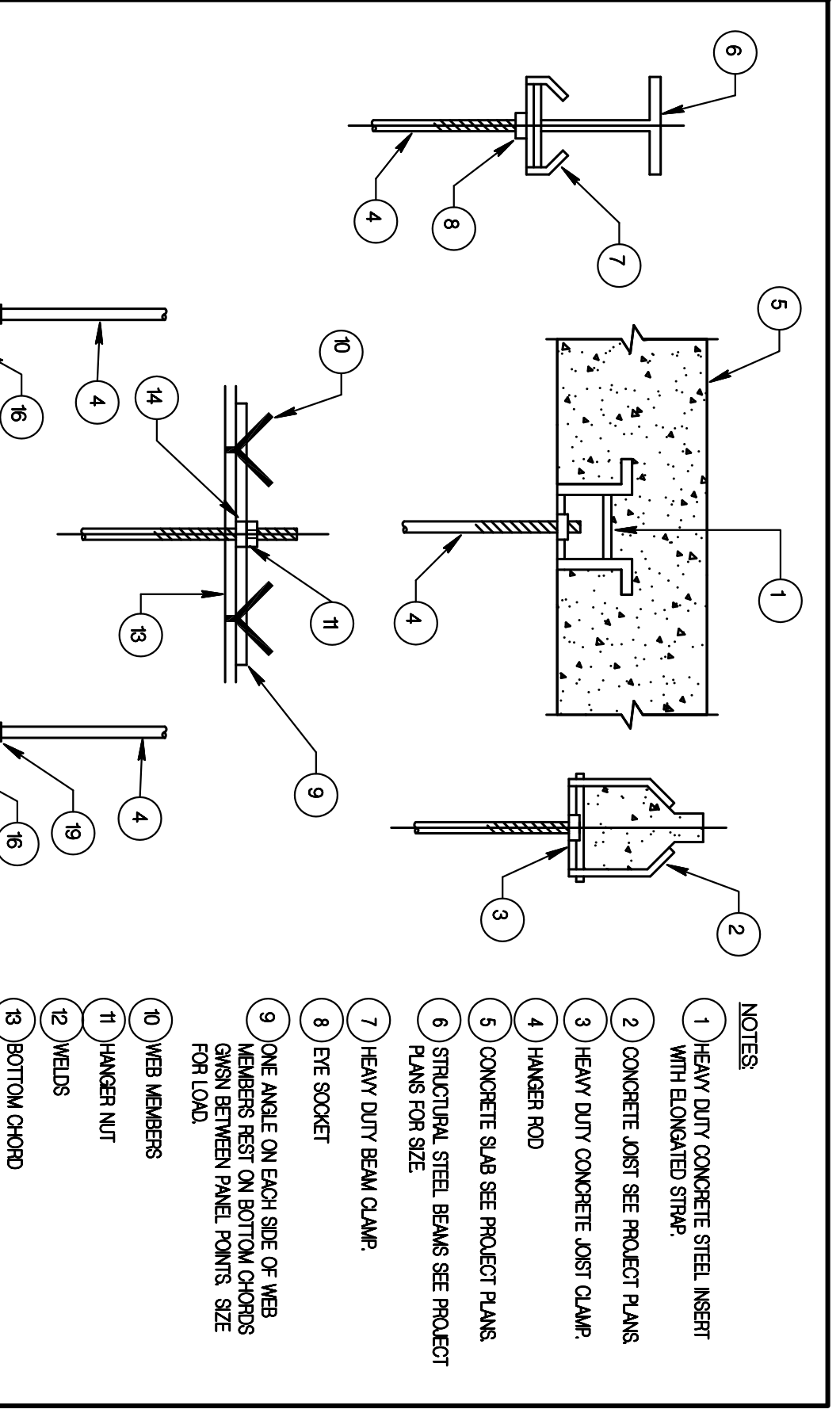
**PLUMBING LEGEND**

SYMBOL	DESCRIPTION
---	NEW SANITARY WASTE LINE
---	NEW VENT LINE
---	NEW COLD WATER LINE
---	NEW HOT WATER LINE
---	CONDEMNATE DRAIN LINE
---	GATE VALVE
---	P & T RELIEF VALVE
---	CLEANOUT
---	FLOOR DRAIN
---	PEE UP
---	POINT OF CONNECTION TO EXISTING
---	VENT THRU ROOF
---	ELECTRIC WATER HEATER
---	FLOOR DRAIN
---	COLD WATER
---	HOT WATER
---	HOSE BIBB
---	PICTURE LINTS



**CLEANOUT DETAILS**

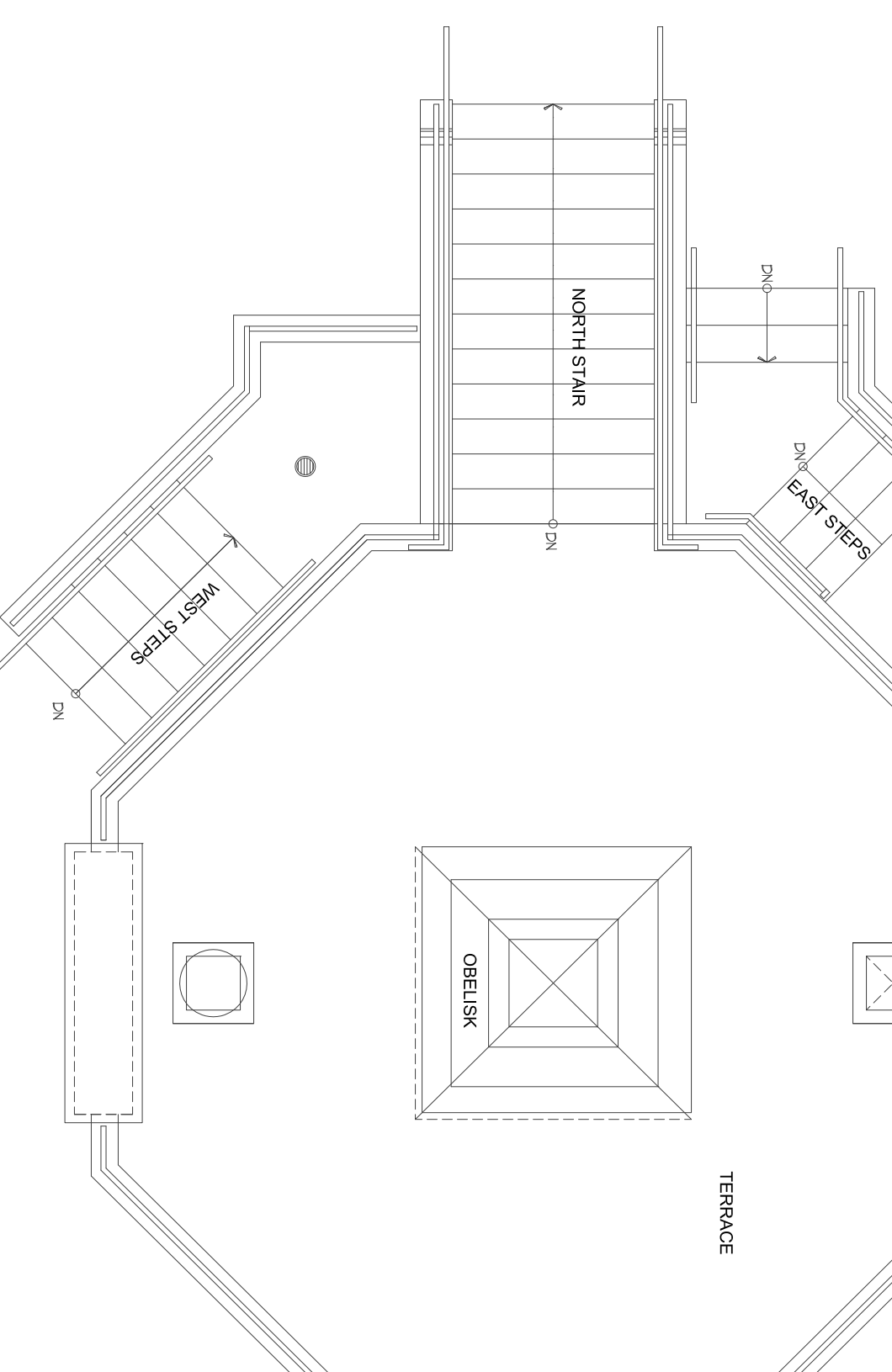
N.T.S.



**PIPE SUPPORT DETAIL**

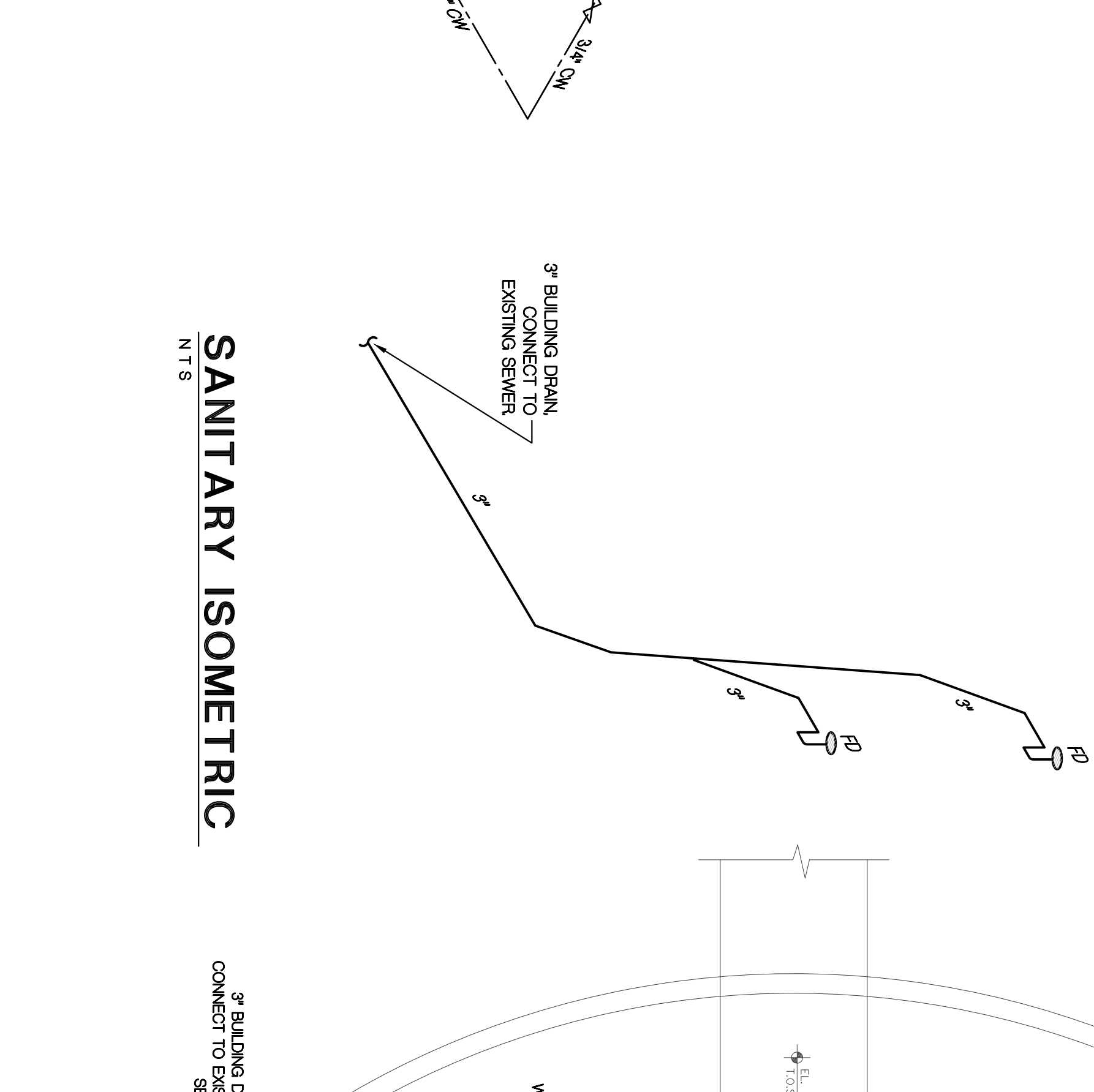
N.T.S.

DIAMETER	1 1/4"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	5"	6"	8"	10"	14"	18"	24"	30"	36"	42"	48"
MINIMUM PIPE SIZE	1 1/4"	1 1/2"	2"	2 1/2"	3"	3 1/2"	4"	5"	6"	8"	10"	14"	18"	24"	30"	36"	42"	48"
STEEL PIPE	7	9	10	11	12	13	14	16	17	19	20	23	25	27	29	31	33	35
PVC PIPE	9	9	11	13	14	15	16	17	19	21	24	26	30	32	35	37	40	42
RECOMMENDED DIAMETER	3/8"	1/2"	5/8"	3/4"	1"	1 1/8"	1 1/4"	1 1/2"	1 3/4"	2"	2 1/2"	3"	3 1/2"	4"	4 1/2"	5"	5 1/2"	6"
HANGER RODS MAX. WEIGHT LOAD	60	130	180	270	360	450	540	630	720	810	900	1080	1260	1440	1620	1800	2160	2520



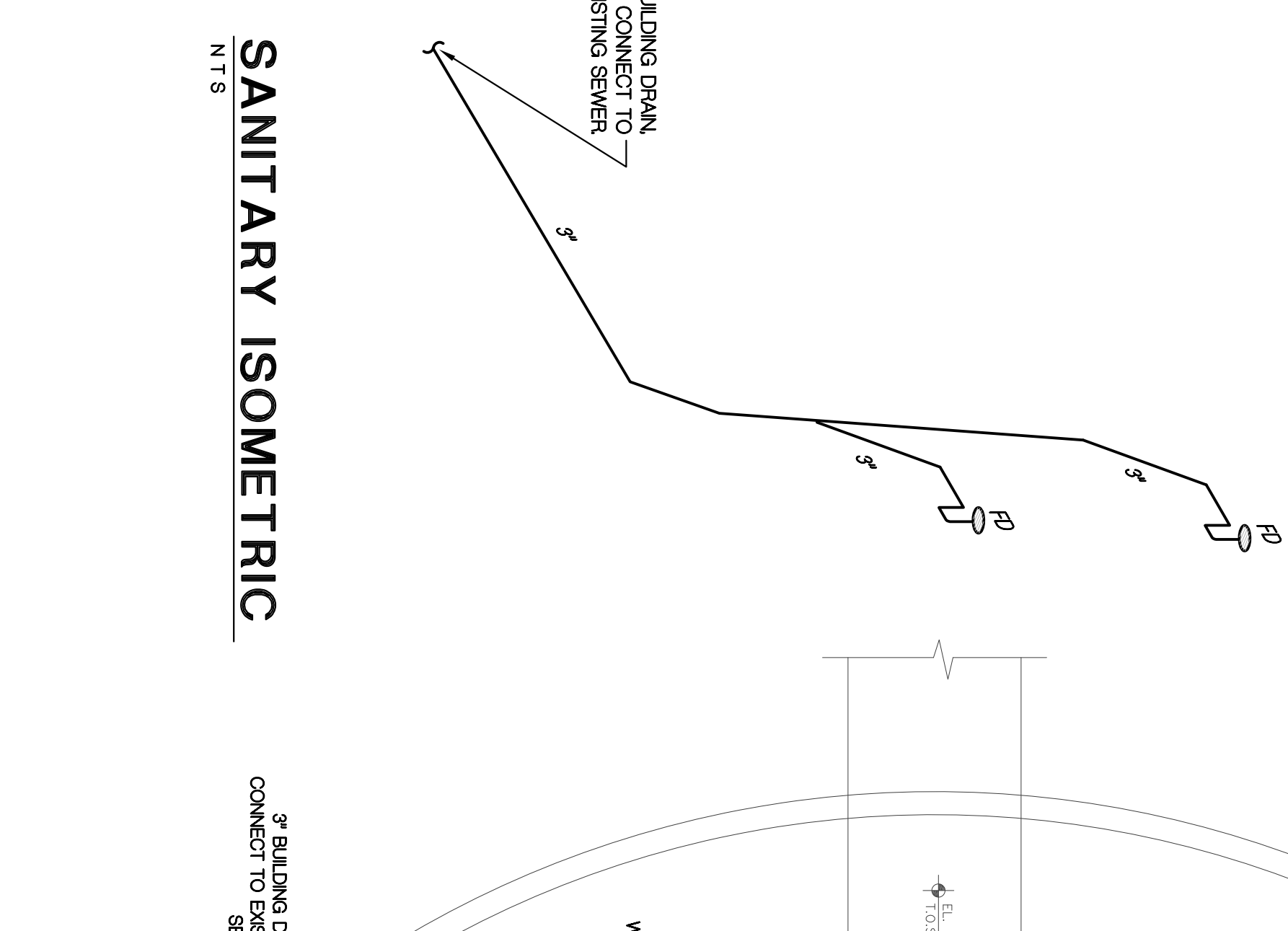
**TERRACE ROOF PLAN - PLUMBING**

SCALE: 1/4"=1'-0"



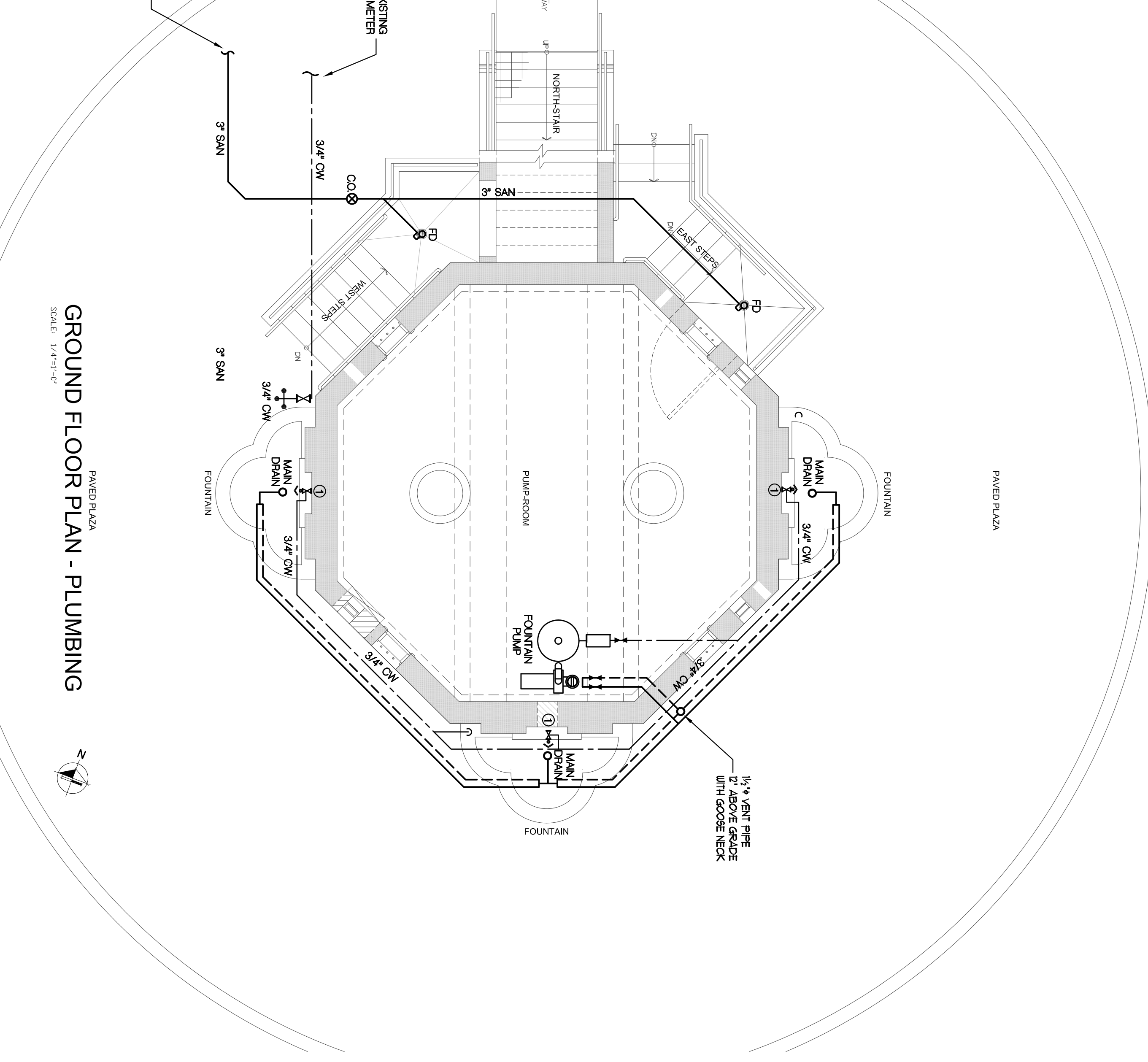
**WATER ISOMETRIC**

N.T.S.



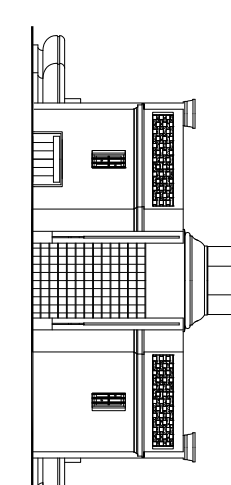
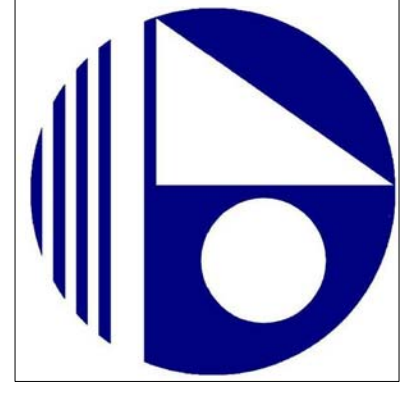
**SANITARY ISOMETRIC**

N.T.S.



**GROUND FLOOR PLAN - PLUMBING**

SCALE: 1/4"=1'-0"



**28th STREET OBELISK AND PUMP STATION RESTORATION**  
300 WEST 28th STREET  
MIAMI BEACH, FL 33139

NO.	REVISION/DESCRIPTION (V)	DATE
1	PREP SET	01/22/2018
2	REVISION/DESCRIPTION (V)	

**William B. Magellan**  
Architect P.A.  
www.wbmagellan.com

**STRUCTURAL ENGINEER**  
NEELMO ASSOCIATES, P.A.  
250 N.W. 35th Street  
MIAMI, FLORIDA 33138  
305-672-8318  
305-671-6009  
FL #A00003400 - FL #A00013832

**MEP ENGINEER**  
MAGUIRA ENGINEERING CONSULTANTS  
7720 S.W. 35th TERRACE  
MIAMI, FLORIDA 33156  
305-444-8310

**GROUND FLOOR PLAN - ROOF PLAN**

SHEET TITLE

ISSUE DATE	BY	CHECKED BY	ISSUING NO.
11/28/2017	N.A.	N.A.	

SCALE: 1/4"=1'-0"

**P-1**

REVISIONS: MAGUIRA, ME  
FL REGISTRATION NO. 55442