

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART II, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: High Reach 2 Office and Maintenance Facility

Address: 260 Hickman Drive Sanford, FL 32771

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: Clark Stranahan

Applicant's Address: 4700 Millenia Blvd Suite 390 Orlando, FL 32839

Applicant's Telephone: 407-363-6136 **FAX:** N/A

Applicant's E-mail Address: CStranahan@C4Architecture.com

Relationship to Owner: Architect for Project

Owner's/Tenant's Name: RENZULLI PROPERTIES LLC

Owner's Address: 615 HICKMAN Circle SANFORD, FL 32771

Owner's Telephone: 321-275-2100

FAX: 321-832-0412

Owner's E-mail Address: x Lrenzulli@hr2fl.com

Signature of Owner: x 

3. Please check one of the following:

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

Two story office space (B occupancy) / Factory-Industrial shop space (F-1 occupancy) used for maintaining vehicles

Office – 11,630 SF / Factory – 29,765 SF

5. Project Construction Cost (Provide cost for new construction, the addition, or the alteration):

\$2,000,000.00

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

Upon preliminary review with the Seminole County plans examiner, it was recommended that we contact Mary-Kathryn Smith at the Department of Community Affairs to see if this project would be eligible for a waiver. Upon talking with Mary-Kathryn, she has agreed that the Florida Accessibility Code 206.7 states that in new construction platform lifts shall be permitted as a component of an accessible route. Seminole County building department has stated a platform lift will not meet the requirements of an elevator for the vertical accessibility requirements as the occupant load exceeds what is allowed for a lift & will need to provide an elevator designed to meet section 206.7 & chapter 30 of the 2010 FBC.

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: Ref: Section 206.7.1 thru 206.7.10 Florida Accessibility Code 2012 Edition. These codes outline specific situations where a platform lift may be used. The use of the platform lift in this project does not fit into any of these categories. However, this project meets the federal elevator exemption, as the facility is less than three stories. The intent of the Florida Accessibility Code is to allow a platform lift as a component of an accessible route for the second floor of the office area.

Issue

2: _____

Issue

3: _____

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner is willing to install a platform lift to meet the accessibility requirements, but the increase in cost to install an elevator will be unrecoverable.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where

appropriate, photographs. Cost estimates must include bids and quotes.

9. **Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates.** For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

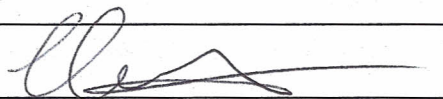
a. _____

b. _____

c. _____

10. **Licensed Design Professional:** Where a licensed design has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

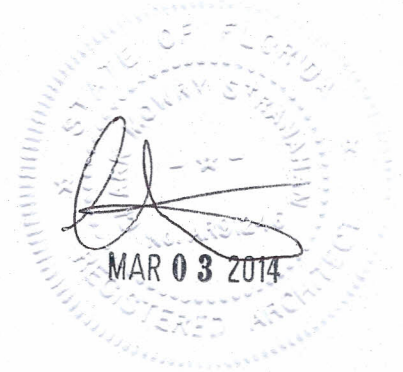
In my review of the requirements and the intent of the code, it is my professional opinion that a platform lift would be allowed to be used as a part of an accessible route to the second floor of the office area per 206.7 of the Florida Accessibility Code and the Federal Elevator Exemption.



Signature

CLARK STRANAHAN
Printed Name

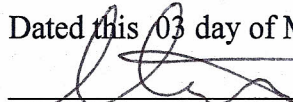
Phone number 407-363-6136
(SEAL)



CERTIFICATION OF APPLICANT:

I hereby declare that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 03 day of March, 2014



Signature

CLARK STRANAHAN

Printed Name

I understand that if I falsify, misrepresent, or omit any material information on this document, the Commission may revoke any order and will notify the building official of the permitting jurisdiction.

KNOWINGLY MAKING A FALSE STATEMENT IN WRITING WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OFFICIAL DUTY IS A MISDEAMEANOR OF THE SECOND DEGREE PURSUANT TO SECTION 837.06 F.S. AND SECTION 775.083, F.S.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

- a. Sec.206.6 states the requirements of an elevator, exception 1 permits platform lifts
- b. per section 206.7 but per 206.7 the size and use of the 2nd floor office space does
- c. not meet the uses allowed for a platform lift.

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

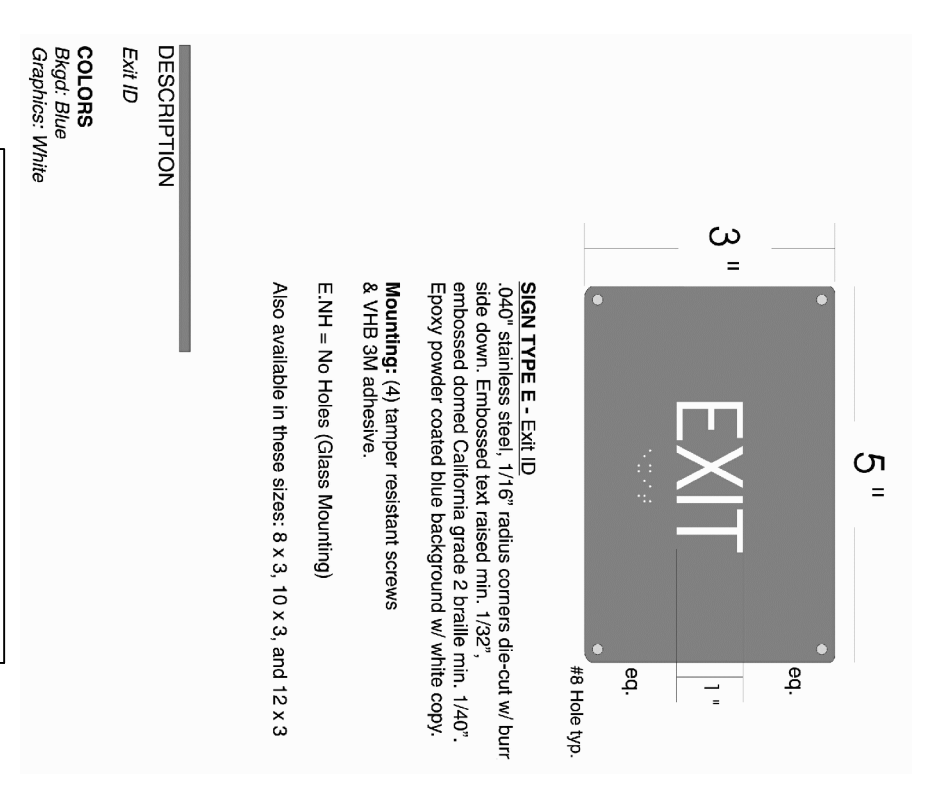
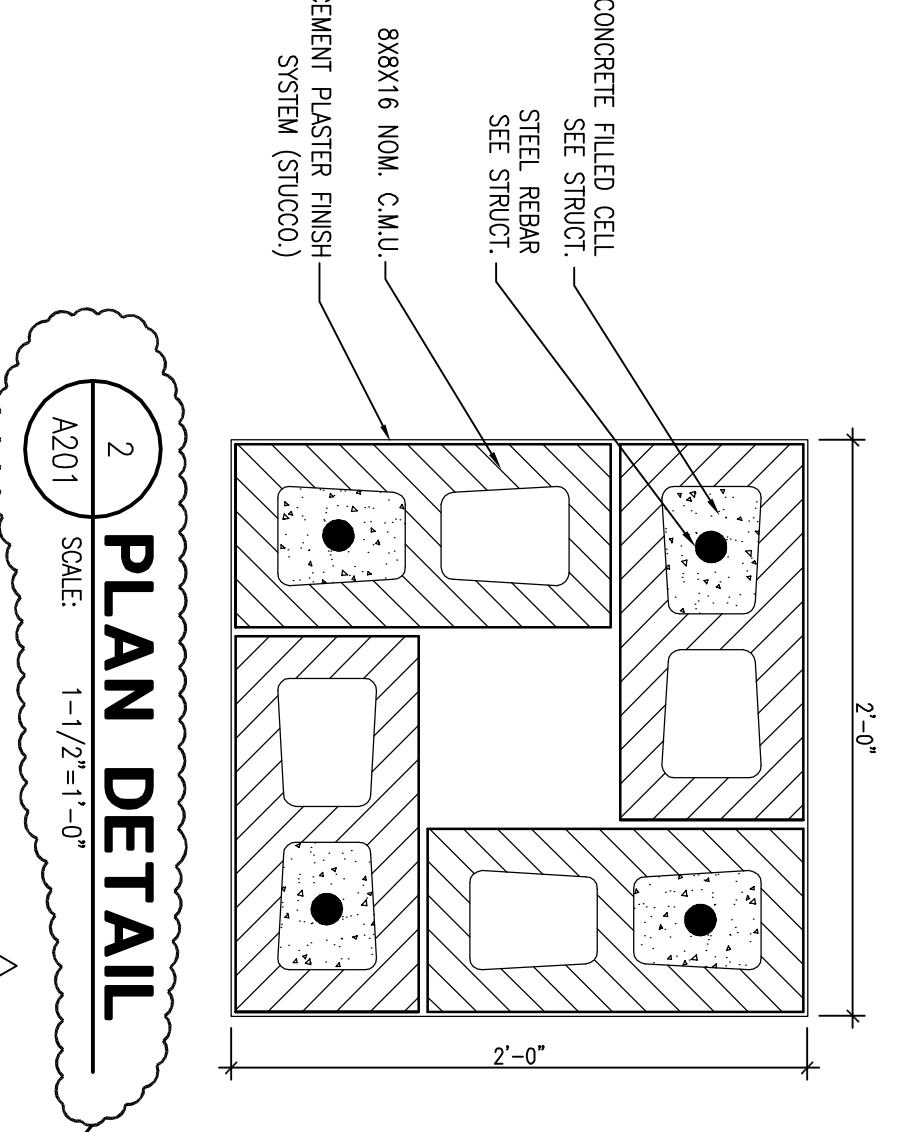
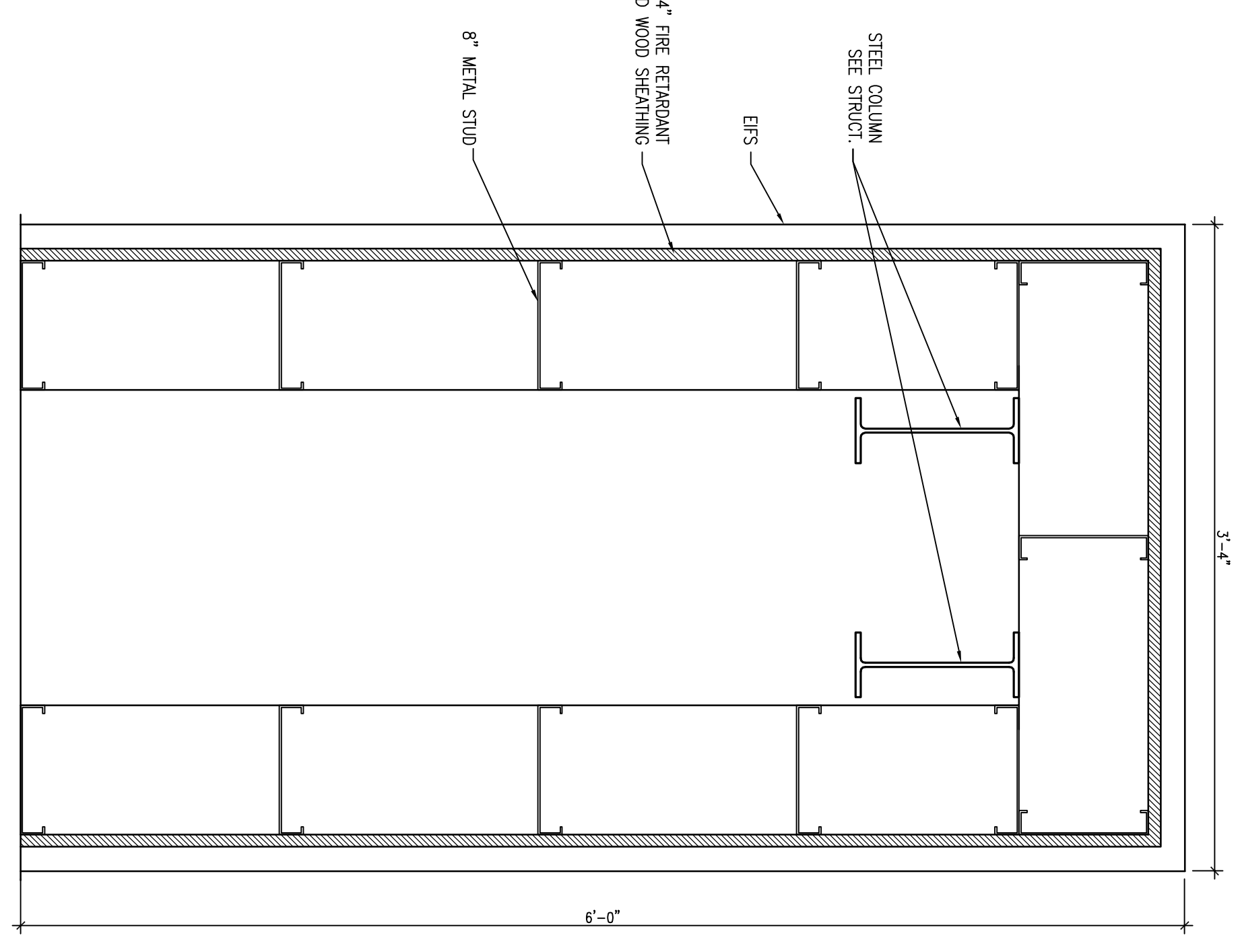
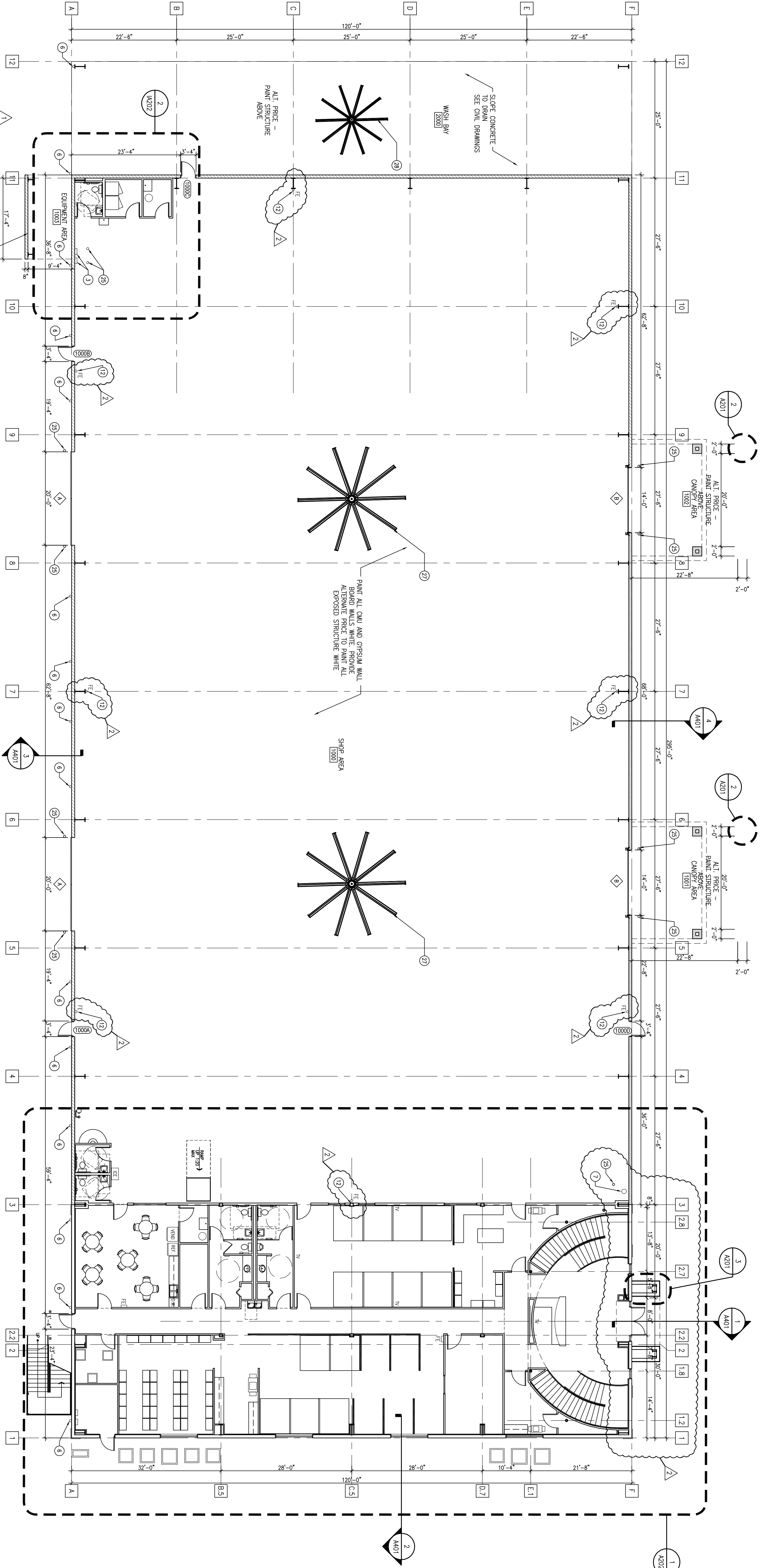
Yes No Cost of Construction _____

Comments/Recommendation We referred them to your board as we cannot find a
code path to allow the use of a platform lift for this project.

Jurisdiction: Seminole County

Building Official or Designee 
 Signature Ralph J Johnson
 Printed Name
PX2393
 Certification Number
407-665-7585
 Telephone/FAX
rjohnson02@seminolecountyfl.gov
 Email Address

Address: 1101 E. First Street Sanford Fl. 32771-1468



OVERHEAD DOOR NOTES:

- ◇ GATES SEPARATING STAIN STEEL DOORS - PANEL OF 10'-0" WIDE X 20'-0" TALL.
- ◇ OVERHEAD DOOR STEEL DOOR - 14'-0" WIDE X 14'-0" TALL, MANUAL.
- ◇ ELEVATION VIEW OF FRAME AND FINISH DETAILS. SEE INT-11/SEE FOR FLOOR AND WALL DETAILS.

ABBREVIATIONS (NOT ALL ARE USED)

A.A.C.	AGGREGATE AIR CONTENT	K.O.	WINDKNOT
A.C.	ALUMINUM CLADDING	L.B.	LOAD BEARING
A.I.C.	AIR CONDITIONING	M.K.	MANUFACTURER
A.L.T.	ALTERNATIVE	M.W.	MANUFACTURER
B.B.	BALANCE	M.S.	MANUFACTURER
B.O.	BOTTOM	M.O.	MANUFACTURER
B.P.	BENCH MARK	M.P.	MANUFACTURER
B.R.	BRAKE	M.S.P.	MANUFACTURER
B.S.	BENCH MARK	M.T.	MANUFACTURER
C.A.	CLEAR ANCHORED	N.C.	ON CENTER
C.C.	CONCRETE	O.C.	ON CENTER
C.O.	CLEARANCE	O.P.	OPPOSITE
C.P.	CENTRAL POINT	P.A.	PANEL JOINT
D.K.	DRAIN KNOCK	P.F.	PANEL FINISH
D.M.	DRAIN MANHOLE	P.H.	PANEL HEAD
D.N.S.	DRAIN NOT SHOWN	P.H.F.	PANEL HEAD FINISH
D.O.	DRAIN OPENING	P.L.	PANEL LINE
E.A.	ELECTRICAL	P.N.	PANEL NUMBER
E.C.	ELECTRICAL	P.R.	PANEL RISE
E.F.	ELECTRICAL	P.S.	PANEL SINK
E.H.	ELECTRICAL	P.T.	PANEL TYPE
E.L.	ELECTRICAL	R.F.	RAMP FACE
E.M.	ELECTRICAL	R.H.	RAMP HEAD
E.N.	ELECTRICAL	R.L.	RAMP LINE
E.O.	ELECTRICAL	R.P.	RAMP PANEL
E.P.	ELECTRICAL	R.S.	RAMP SINK
E.R.	ELECTRICAL	R.T.	RAMP TYPE
E.S.	ELECTRICAL	S.E.	SECTION
E.T.	ELECTRICAL	S.F.	SECTION FINISH
E.U.	ELECTRICAL	S.H.	SECTION HEAD
E.V.	ELECTRICAL	S.L.	SECTION LINE
E.W.	ELECTRICAL	S.P.	SECTION PANEL
E.X.	ELECTRICAL	S.R.	SECTION RISE
F.C.	FLOOR COVERING	S.S.	SECTION SINK
F.F.	FLOOR FINISH	S.T.	SECTION TYPE
F.G.	FLOOR GRASS	T.P.	TYPICAL
F.H.	FLOOR HEAD	T.R.	TYPICAL RISE
F.I.	FLOOR JOINT	U.A.	UNDER AREA
F.L.	FLOOR LINE	V.F.	VERTICAL FINISH
F.O.	FLOOR OPENING	W.C.	WATER CLOSET
F.P.	FLOOR PANEL	W.H.	WATER HEATER
F.R.	FLOOR RISE	W.M.	WATER MAIN
F.S.	FLOOR SINK	W.S.	WATER SUPPLY
F.T.	FLOOR TYPE	W.W.	WATER WOOD
F.U.	FLOOR UNDER	W.Y.	WATER YIELD
F.V.	FLOOR VENT	W.Z.	WATER ZONE
F.W.	FLOOR WALL	W.Y.	WATER YIELD
F.X.	FLOOR X	W.Z.	WATER ZONE
F.Y.	FLOOR Y	W.Y.	WATER YIELD
F.Z.	FLOOR Z	W.Z.	WATER ZONE

PLAN NOTES

- 1 MECHANICAL UNIT REFER TO MECHANICAL DRAWINGS
- 2 WATER LEAK - SEE PLUMBING DRAWINGS.
- 3 ELECTRICAL PANEL LOCATION, SEE ELECTRICAL DRAWINGS.
- 4 ELECTRICAL TRANSFORMER LOCATION, SEE ELECTRICAL DWGS.
- 5 METAL ROOF BY PRE-ENGINEERED METAL BUILDING MANUFACTURER
- 6 DOWN SPOUT LOCATION - SEE CIVIL DRAWINGS
- 7 CONCRETE U.I.D. CONNECT DOWN SPOUT TO STORM WATER SYSTEM
- 8 METAL ROOF BY PRE-ENGINEERED METAL BUILDING MANUFACTURER
- 9 THE DEPARTMENT LOCK BOX LOCATION
- 10 24 GAUGE STAINLESS STEEL ROOF W/ HIGH FLASHING
- 11 ALUMINUM FINISH FLOORS
- 12 CONTINUOUS GUTTER SEE (PEAK DIMS) IS OPEN 1/8" x 1/2" TO DRAIN
- 13 REFER CIVIL DRAWINGS FOR CONNECTION TO STORM WATER SYSTEM
- 14 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 15 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 16 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 17 26 GAUGE METAL WALL PANELS, COLOR = TO BE DETERMINED.
- 18 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 19 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 20 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 21 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 22 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 23 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 24 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 25 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 26 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 27 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 28 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 29 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 30 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 31 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
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- 49 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE
- 50 BRANCHED GUTTER SEE PLUMBING DRAWINGS - ONE DOWN TO BE ADA ACCESSIBLE

GENERAL NOTES:

- A. ALL DIMENSIONS ARE FROM FACE OF STUD OR FACE OF CALL.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- C. CONDUITE WORK OF THIS TRADE WITH OTHER TRADES.
- D. DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS, UNLESS INDICATED OTHERWISE.
- E. PROVIDE WELDED METAL SILL SHIPPER FOR ALL CEILING SUSPENDED TRAYS.
- F. WINDOWS AND DOOR.
- G. APPLY SEALANT AT ALL JOINTS BETWEEN DIFFERENT MATERIALS (IE. WINDOW AND WALL).
- H. APPLY SEALANT AT ALL JOINTS BETWEEN METALS (IE. WINDOW AND WALL).
- I. UNLESS NOTED OTHERWISE, ALL JOINTS ARE TO BE BRICKED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- J. ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING.
- K. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM CLEARANCE UNDER THE DOOR AS SHOWN.
- L. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM CLEARANCE UNDER THE DOOR AS SHOWN.
- M. PROVIDE THE FOLLOWING SHOP DRAWINGS FOR REVIEW BY THE ARCHITECT: DOOR FRAMES, DOOR AND WINDOW FRAMES AND HARDWARE, MILLWORK, TOILET PARTITIONS, PARTITIONS, CASEWORK, AND PAINT SWATCHES.
- N. SUE ALL REMOVED ITEMS FOR OWNER, PER OWNER'S DIRECTION, UNLESS OTHERWISE SPECIFIED.
- O. ALL FRAMING & WORK SHALL BE CLEANED & LEVEL FOR INSTALLATION OF FLOOR FINISHES AS SHOWN.
- P. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- Q. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- R. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- S. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- T. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- U. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- V. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- W. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- X. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- Y. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.
- Z. ALL EXPANSION JOINTS TO BE PATCHED BY CONTRACTOR TO MATCH EXISTING SURFACE.

GENERAL NOTES:

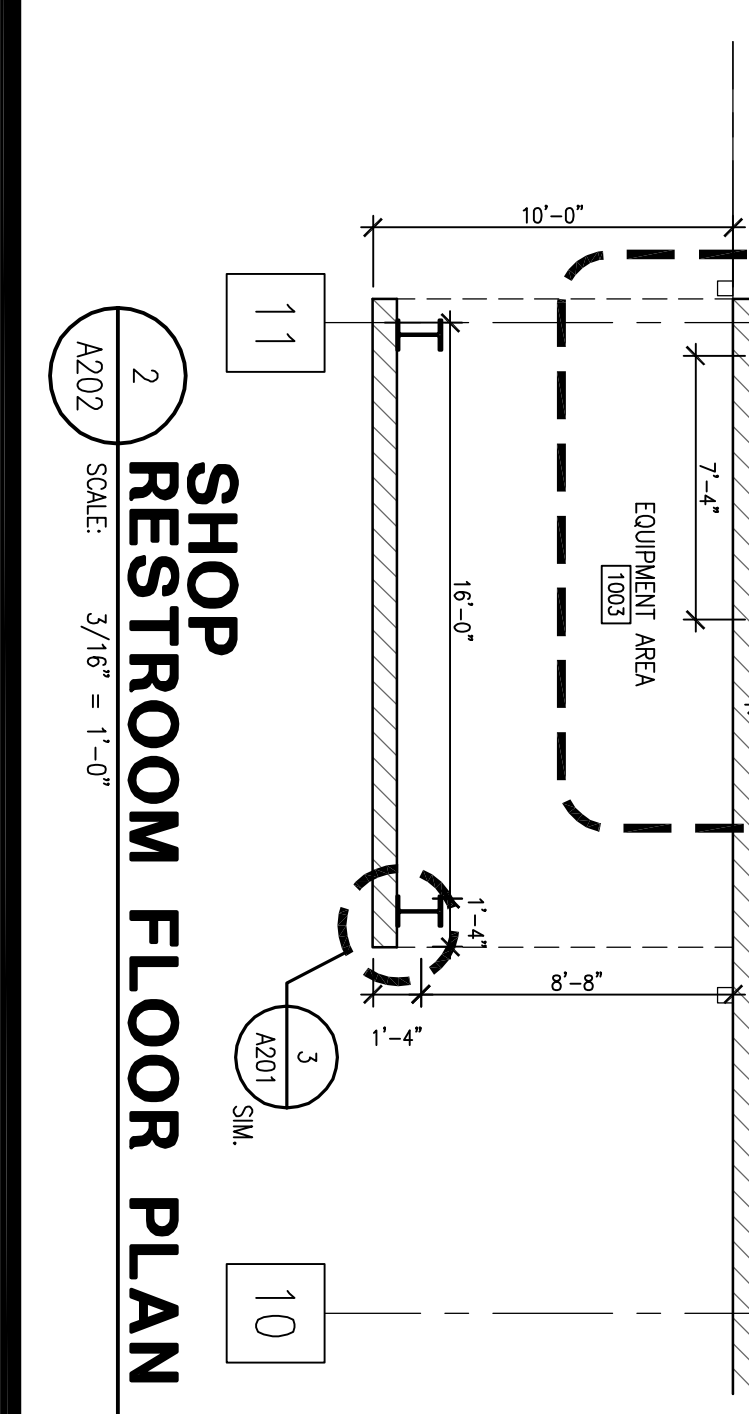
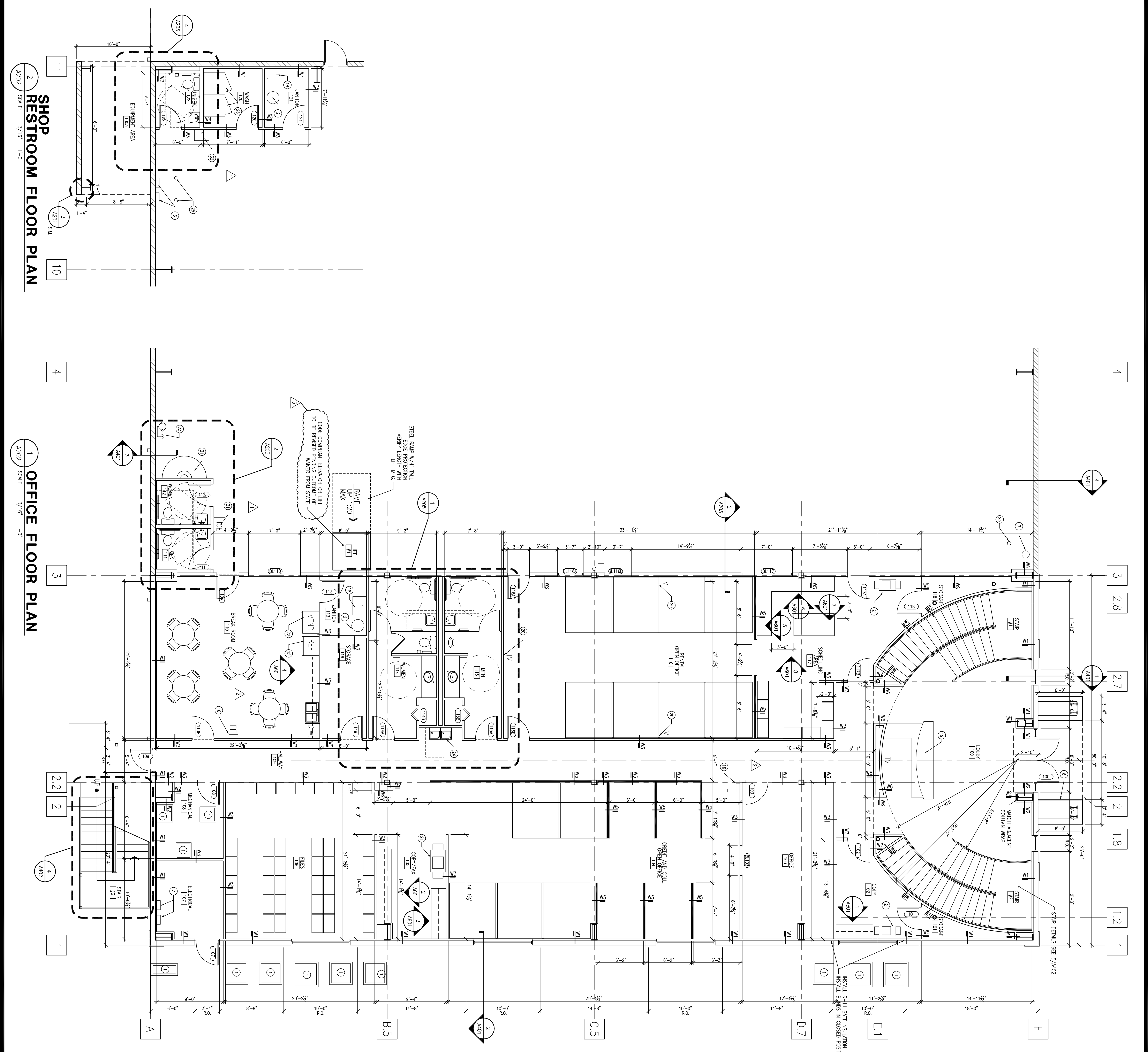
- A. ALL DIMENSIONS ARE FROM FACE OF STUDO, OR FACE OF CURB.
- B. PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- C. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- D. DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS, WHERE APPLICABLE. SEE SHEET 0202 DRAWING FOR DOOR SCHEDULE.
- E. PROVIDE INSTALLATIONS WITH SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- F. APPLY STAINMENT AT ALL JUNCTIONS BETWEEN DIFFERENT MATERIALS (I.E. APPLY STAINMENT AT ALL PLUMBING FINISHES AT JUNCTIONS WITH WALL, WITH FLOOR, WITH CEILING, WITH OTHER MATERIALS).
- G. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S REQUIREMENTS.
- H. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM CLEARANCE AT THE DOOR THRESHOLD PER THE ARCHITECT.
- I. PROVIDE THE FOLLOWING SHOP DRAWINGS FOR REVIEW BY THE ARCHITECT: DOOR FINISHES, DOOR AND WINDOW FRAMING AND HARDWARE, MILLWORK, TRAILER FINISHES, THE EXHIBITORS, THE BUILDING, MECHANICAL, ELECTRICAL, AND OTHER TRADES.
- J. FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES AS SHOWN.
- K. ALL FLOOR EXHIBITORS ARE TO BE PAINTED CONFORMING TO VERY HIGH GLOSS FINISH REQUIREMENTS. PROVIDE FINISHES TO BE VERY NEARLY IDENTICAL TO EXHIBITORS ARE REQUIRED LOCATIONS MUST BE IDENTIFIED AND WORK STATIONS PROVIDED & INSTALLED BY TRADE.
- L. ALL STEEL STUD RUMBER CHANNELS ATTACHED TO CONCRETE FLOORS SHALL BE INSTALLED WITH POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. UNLESS OTHERWISE SPECIFIED.
- M. ALL STEEL STUD RUMBER CHANNELS ATTACHED TO SUSPENDED CEILING SHALL BE INSTALLED WITH POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. UNLESS OTHERWISE SPECIFIED.
- N. ALL STEEL STUD RUMBER CHANNELS ATTACHED TO SUSPENDED CEILING SHALL BE INSTALLED WITH POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. UNLESS OTHERWISE SPECIFIED.
- O. ALL FINISHES & WORK STATIONS PROVIDED & INSTALLED BY TRADE.
- P. ALL STEEL STUD RUMBER CHANNELS ATTACHED TO CONCRETE FLOORS SHALL BE INSTALLED WITH POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. UNLESS OTHERWISE SPECIFIED.
- Q. ALL STEEL STUD RUMBER CHANNELS ATTACHED TO SUSPENDED CEILING SHALL BE INSTALLED WITH POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. UNLESS OTHERWISE SPECIFIED.
- R. METAL BUILDING JUNCTION PANELS AT ROOF AND WALLS TO BE WHITE.

WALL TYPES

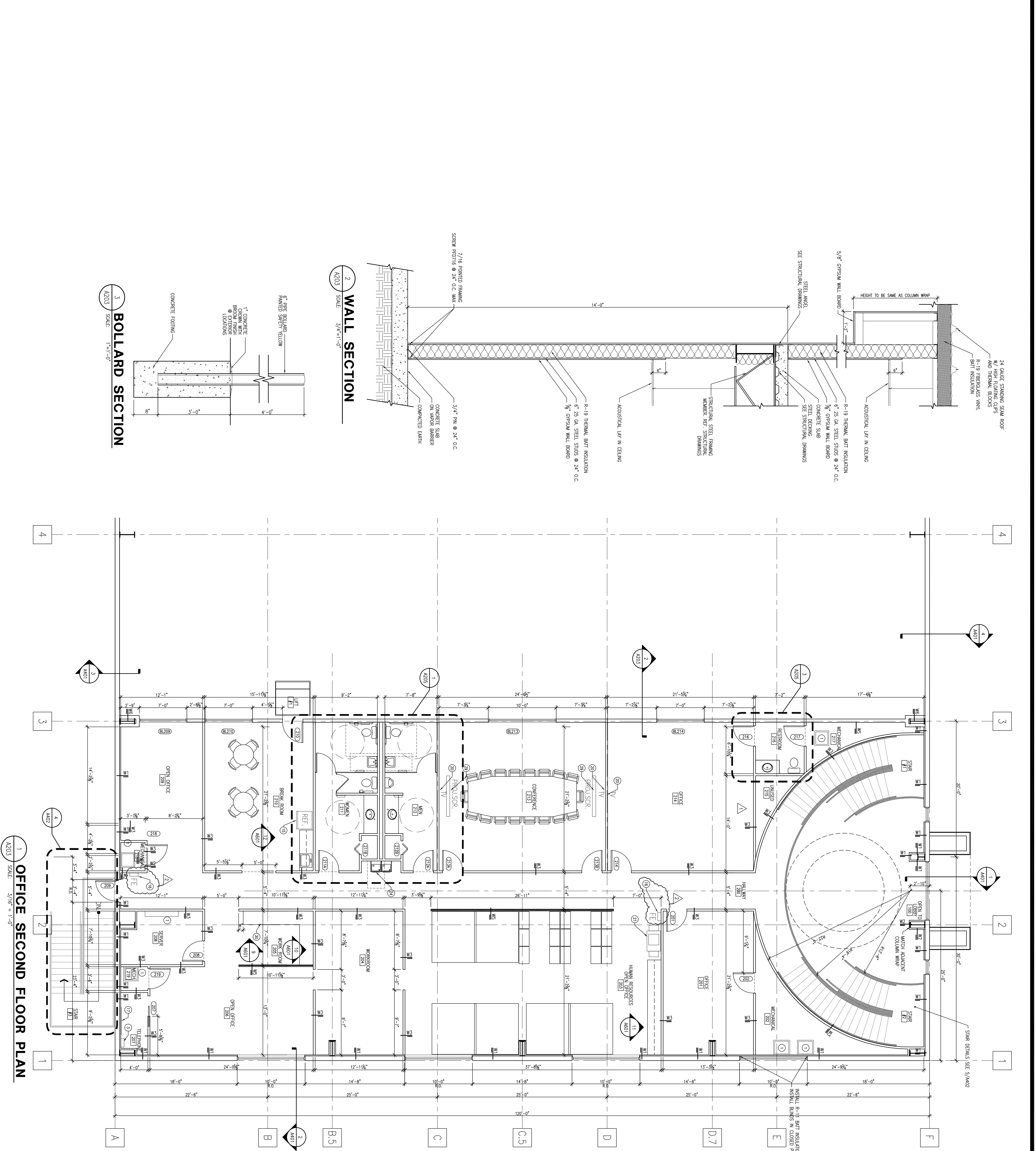
- W1 - 1-5/8" 25 GAUGE METAL STUDS @ 24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE.
- W2 - 1-5/8" 25 GAUGE METAL STUDS @ 24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.
- W3 - 1-5/8" 25 GAUGE METAL STUDS @ 24" O.C. WITH (1) LAYER 5/8" OPSIUM WALL BOARD EACH SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.
- W4 - 1-5/8" 25 GAUGE METAL STUDS @ 24" O.C. WITH (1) LAYER 5/8" OPSIUM WALL BOARD EACH SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.
- W5 - 1-5/8" 25 GAUGE METAL STUDS @ 24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE.
- W6 - 1-5/8" 25 GAUGE METAL STUDS @ 24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE.

PLAN NOTES

1. MECHANICAL UNIT REFER TO MECHANICAL DRAWINGS.
2. WATER HEATER - SEE PLUMBING DRAWINGS.
3. ELECTRICAL PANEL LOCATION - SEE ELECTRICAL DRAWINGS.
4. ELECTRICAL TRANSFORMER LOCATION - SEE ELECTRICAL DRAWINGS.
5. METAL ROOF BY PRE-ENGINEERED METAL BUILDING MANUFACTURER.
6. DOWN SPURT LOCATION - SEE CIVIL DRAWINGS.
7. FIRE RISK LOCATION - SEE FIRE PROTECTION DRAWINGS FOR MORE INFORMATION.
8. FIRE DEPARTMENT LOCK BOX LOCATION.
9. 24 GAUGE STANDING SEAM ROOF W/ HIGH FLOWING CLIPS AND THERMAL BREAKS.
10. ALUMINUM FINISH FACES.
11. CONTINUOUS CUTTER SEE (F&E) DRAWINGS SLOPED 1/8" - 1/2" TO DRAIN CENTER LINE DRAINAGE CONNECTION TO STORM WATER SYSTEM.
12. COLUMN OR WALL MOUNTED FIRE EXTINGUISHER - HARDER PATED W/ AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE INSTALLED WITH 5 FEET ABOVE THE FLOOR AND THE BOTTOM OF THE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES ABOVE THE FLOOR.
13. ALL EXISTING FANWOOD FINE-TREATED PHONE BOARD PAINT TO MATCH EXISTING FANWOOD FINE-TREATED PHONE BOARD.
14. PROVIDE NEW DRAINAGE CONNECTIONS TO PROVIDE DRAINAGE TO REAR OF SINK FROM TOP OF SINK TO BOTTOM OF FACET ON BOTH WALLS ADJACENT TO THE SINK. PROVIDE 3/4" LONG FLEXIBLE RECEPTION DESK - BY TRADE.
15. WALL MOUNTED TELEVISION, VERIFY HEIGHT WITH OWNER. PROVIDE WOOD BLOCKING AS REQUIRED.
16. COVERER LOCATION, VERIFY EXACT ELECTRICAL REQUIREMENTS WITH OWNER.
17. VENDING LOCATION, VERIFY EXACT ELECTRICAL REQUIREMENTS WITH OWNER.
18. EYE WASH LOCATION, SEE PLUMBING DRAWINGS FOR MORE INFORMATION.
19. H-10 DRINKING FOUNTAIN - SEE PLUMBING DRAWINGS.
20. ALL NEW DOORS SHALL BE BRACED IN PLACE PRIOR TO FINISHING.
21. ALL NEW DOORS SHALL BE BRACED IN PLACE PRIOR TO FINISHING.
22. PROVIDE THE FOLLOWING SHOP DRAWINGS FOR REVIEW BY THE ARCHITECT: DOOR FINISHES, DOOR AND WINDOW FRAMING AND HARDWARE, MILLWORK, TRAILER FINISHES, THE EXHIBITORS, THE BUILDING, MECHANICAL, ELECTRICAL, AND OTHER TRADES.
23. FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES AS SHOWN.
24. ALL FLOOR EXHIBITORS ARE TO BE PAINTED CONFORMING TO VERY HIGH GLOSS FINISH REQUIREMENTS. PROVIDE FINISHES TO BE VERY NEARLY IDENTICAL TO EXHIBITORS ARE REQUIRED LOCATIONS MUST BE IDENTIFIED AND WORK STATIONS PROVIDED & INSTALLED BY TRADE.
25. ALL STEEL STUD RUMBER CHANNELS ATTACHED TO CONCRETE FLOORS SHALL BE INSTALLED WITH POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. UNLESS OTHERWISE SPECIFIED.
26. ALL STEEL STUD RUMBER CHANNELS ATTACHED TO SUSPENDED CEILING SHALL BE INSTALLED WITH POWER-DRIVEN FASTENERS NOT EXCEEDING 24" O.C. UNLESS OTHERWISE SPECIFIED.
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<p>McKee GENERAL CONTRACTORS</p>	<p>4 architectures</p>	<p>4700 W. Alton Road, Suite 300 Ft. Lauderdale, FL 33309 TEL: 754.233.6170 FAX: 754.233.6170 WWW.4ARCHITECTURES.COM</p>	<p>Revisions: 1. PERMIT COMMENTS 10-25-13 2. PERMIT COMMENTS #12 12-03-13 3. PERMIT COMMENTS #3 01-09-14</p>	<p>Scale: AS NOTED</p> <p>Date: 09/24/13</p> <p>Drawn by: CMS</p> <p>Checked by: CMS</p>	<p>HIGH REACH2 OFFICE AND MAINTENANCE FACILITY</p> <p>260 HICKMAN DRIVE SANFORD, FLORIDA 32771</p> <p>OFFICE FLOOR PLAN</p>
<p>Contracted By: _____</p> <p>Drawing Number: A202</p> <p>Of _____ Sheets</p> <p>Contractor Job Number: 0000</p> <p>A/E Job Number: 08112</p>					



GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF STUD, OR FACE OF CURB.
2. PROVIDE MOOR, BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
3. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
4. DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS, UNLESS NOTED OTHERWISE. SEE SHEET A203 DRAWING FOR DOOR SCHEDULE.
5. PROVIDE MISCELLANEOUS METAL SPRAY FOR ALL CEILING SPRINKLER HEADS.
6. APPLY STAINLESS AT ALL JUNCTIONS BETWEEN DIFFERENT MATERIALS (I.E. APPLY STAINLESS AT ALL PLUMBING FINISHES AT JUNCTIONS WITH WALL, WITH STAINLESS AT ALL CORNERS AND BACK SPLASHES AT JUNCTIONS WITH WALL).
7. ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. BRACING SHALL BE INSTALLED IN PLACE PRIOR TO FINISHING WORK.
8. ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM CLEARANCE AT THE DOOR APPROACH PER THE ARCHITECT.
9. PROVIDE THE FOLLOWING SHOP DRAWINGS FOR REVIEW BY THE ARCHITECT: DOOR FINISHES, DOOR AND WINDOW FRAMING AND APPROXIMATE MILLWORK, METAL FINISHES, FIRE EXTINGUISHERS, ALL BUILDING MECHANICAL, ELECTRICAL, AND PLUMBING WORK.
10. UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 90B, 90A, AND 901.
11. ALL FIRE EXTINGUISHER CABINETS TO BE PAINTED CONSPICUOUS TO VERY RED FOR ANY ADDITIONAL FIRE EXTINGUISHER CABINET LOCATIONS. RECOMMENDED EXTINGUISHER CABINET LOCATIONS ARE REQUIRED AT THE MOST ACCESSIBLE LOCATIONS FOR THE BUILDING MECHANICAL, ELECTRICAL, AND PLUMBING WORK.
12. FLOOR SHALL BE CLEANED, SMOOTH AND LEVEL FOR INSTALLATION OF NEW FLOOR FINISHES AS SHOWN.
13. ALL FLOOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
14. ALL STEEL STUD RANMER CHANNELS ATTACHED TO SHERROD COLLARS SHALL BE FASTENED TO POWER-BRICKEN FASTENERS NOT EXCEEDING 24" O.C. AND NO MORE THAN 2" FROM EACH END.
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PLAN NOTES

1. MECHANICAL UNIT REFER TO MECHANICAL DRAWINGS
2. WATER HEATER - SEE PLUMBING DRAWINGS.
3. ELECTRICAL PANEL LOCATION. SEE ELECTRICAL DRAWINGS.
4. ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL DWS.
5. METAL ROBE BY FIRE ENGINEERED METAL BUILDING MANUFACTURER
6. DOWN SPOUT LOCATION - SEE ONE DRAWING
7. CONNECTOR TO KERRY EACH DOWN SPOUT IS IN THE WIDE OF THE TRANSPIRENT GUTTER AREA UNLESS OTHERWISE NOTED. CONNECT DOWN SPOUT TO STORM WATER SYSTEM.
8. FIRE RISER LOCATION - SEE FIRE PROTECTION DRAWINGS FOR MORE INFORMATION.
9. FIRE DEPARTMENT LOCK BOX LOCATION.
10. 24 GAUGE STANDING SEAM ROOF W/ HIGH FLASHING
11. CLIPS AND TRAPLINE ROADS.
12. DOWN SPOUT REFER SEE (6) LAB DWS SLOPES 1/4" - 1" TO DRAIN
13. DOWN SPOUT REFER SEE (6) LAB DWS SLOPES 1/4" - 1" TO DRAIN
14. REFER TO ONE DRAWING CONNECTION TO STORM WATER SYSTEM.
15. COLUMN OR WALL MOUNTED FIRE EXTINGUISHERS - ASSESS RATED MAX ACCESSIBLE.
16. 26 GAUGE METAL WALL PANELS. COLOR = TO BE DETERMINED.
17. RETROFITTING LOCATION - TO BE PROVIDED BY OWNER.
18. REMOVE 1/4" COLD WATER ONE - TO BE PROVIDED BY OWNER.
19. FLOOR FINISHES TO BE PROVIDED BY OWNER.
20. FIRE EXTINGUISHERS TO BE PROVIDED BY OWNER. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE COMPARTMENTED AND BEADY ACCESSIBLE. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE THE FLOOR AND THE EXTINGUISHER SHALL NOT BE LESS THAN 4 FEET ABOVE THE FLOOR.
21. 4.68x3.47" RAYWOOD FIRE-RESISTED PHONE BOARD. PAINT TO MATCH ADJACENT WALL.
22. JANITOR'S SINK. OWNER CONTRACTOR TO PROVIDE FIBERGLASS REINFORCED PLASTIC PANEL FROM TOP OF SINK TO BOTTOM OF FACET HOSE AND HOSE CLAMP. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
23. RECEPTION DESK - BY TENANT.
24. WALL MOUNTED TELEVISION. VERIFY HEIGHT WITH OWNER. PROVIDE WOOD BLOCKING AS REQUIRED.
25. COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
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WALL TYPES

- W1 - 1-5/8" 25 GAUGE METAL STUDS @24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.
- W2 - 1-5/8" 25 GAUGE METAL STUDS @24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.
- W3 - 1-5/8" 25 GAUGE METAL STUDS @24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.
- W4 - 1-5/8" 25 GAUGE METAL STUDS @24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.
- W5 - 1-5/8" 25 GAUGE METAL STUDS @24" O.C. WITH 5/8" OPSIUM WALL BOARD ONE SIDE AND (1) LAYER SOUND ATTENUATION BLANKETS EACH STUD CAVITY.

NEW DOOR AND FRAME REFER TO DOOR SCHEDULE

Scale: AS NOTED
Date: 09/24/13
Drawn by: CMS
Checked by: CMS

Revisions:
 1. PERMIT COMMENTS 10-25-13
 2. PERMIT COMMENTS #12 10-03-13

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OFFICE SECOND FLOOR PLAN

A203
 Drawing Number: A203
 Sheets: 0000
 Contractor Job Number: 08112
 A/E Job Number: 08112