



# Brickell Animal Hospital Interior Renovation

130 SW 8th Street,  
Suites 100 & 200  
Miami, FL 33130

## Drawing Index

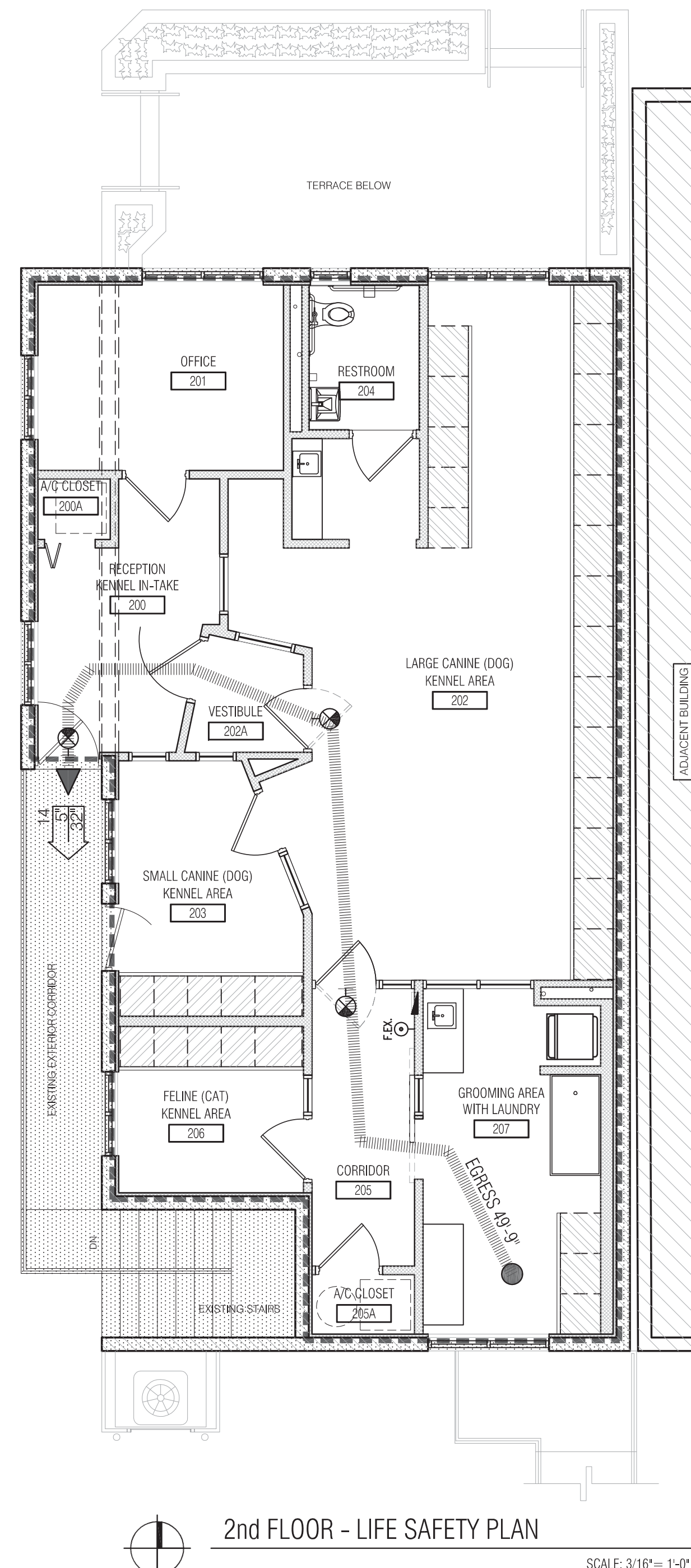
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carlos luis flores blancaneaux

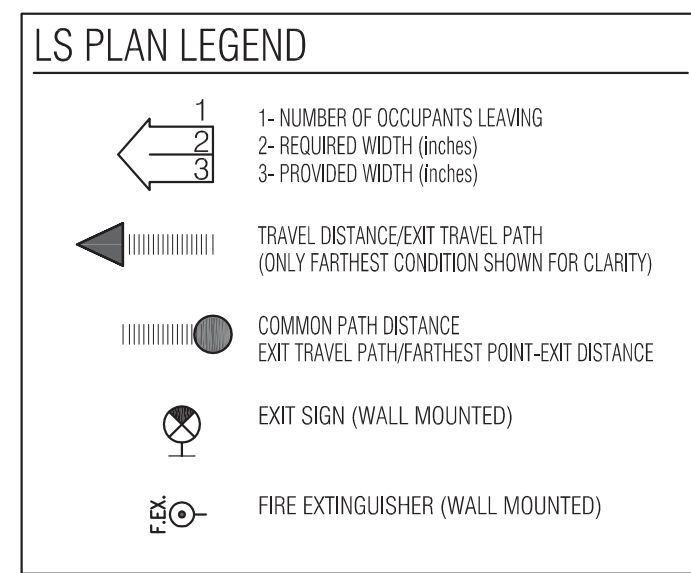
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2nd FLOOR - LIFE SAFETY PLAN  
SCALE: 3/16" = 1'-0"



**MEANS OF EGRESS**  
MAXIMUM COMMON PATH OF TRAVEL = 75 FT (PER FPPC 5th EDITION 101.39.2.5.3.3, 101.39.2.5 ARRANGEMENT OF MEANS OF EGRESS & 101.39.2.4 NUMBER OF MEANS OF EGRESS)

**FIRE EXTINGUISHER NOTE:**  
ONE FIRE EXTINGUISHER PER 1,500 SQ.FT. AT AN ORDINARY (MODERATE) HAZARD OCCUPANCY CLASS ABC SHALL BE PROVIDED AND BE INSTALLED BY CONTRACTOR AT LOCATIONS SHOWN ON PLAN WITH SYMBOL F.X. AND NOT TO EXCEED 75' BETWEEN EACH OTHER.  
PER FPPC 5th EDITION TABLE 13.6.8.2.1.1  
SUBMIT SPECS FOR APPROVAL BY ARCHITECT.

**FIRE ALARM NOTE:**  
NO FIRE ALARM REQUIRED PER FPPC 5th EDITION TABLE 13.7.2.20

**ACCESSIBILITY AND BARRIER REMOVAL**  
INTERIOR RENOVATION WORK IS IN COMPLIANCE WITH ADVISORY 202.3 ALTERATIONS AS PER FBC 5th EDITION (2014) ACCESSIBILITY. SPACE DESIGN IN COMPLIANCE WITH ACCESSIBLE REQUIREMENTS AND ACCESSIBLE WITHIN THE SCOPE OF ALTERATIONS. TO THE MAXIMUM EXTENT FEASIBLE.

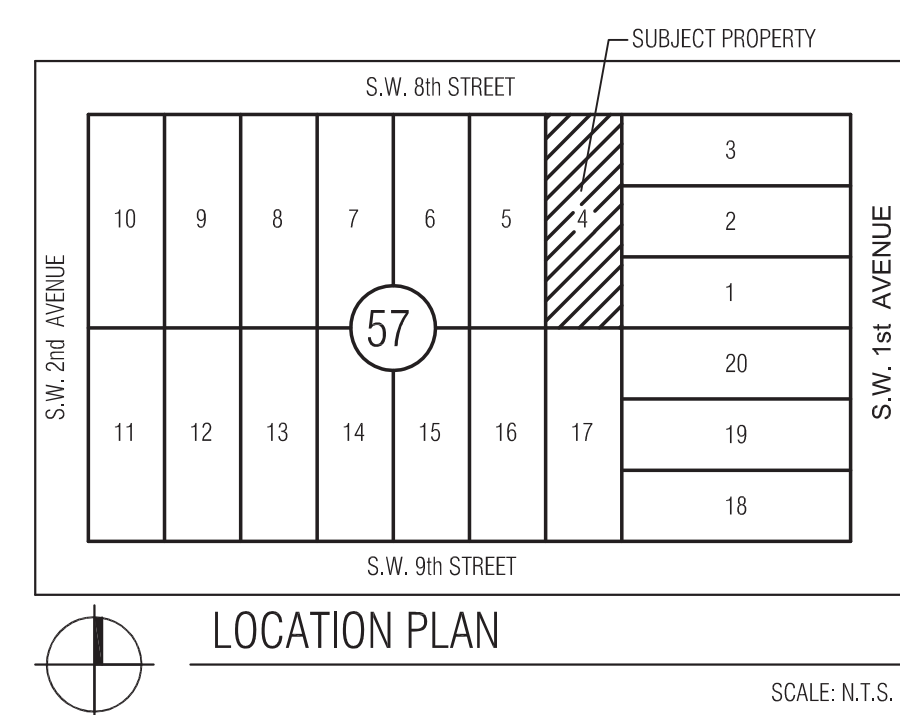
**ACCESSIBILITY NOTES**

- SWITCHES & OUTLETS TO BE SET AS LOW AS POSSIBLE TO COMPLY WITH NEC & ADA ACCESSIBILITY CODES.
- SWITCHES & THERMOSTATS SHALL BE LOCATED ADJACENT TO A WALL EDGE OR DOOR JAMB. THERMOSTAT AND KEY PAD SHALL BE INSTALLED SUCH THAT THE TOPMOST CONTROL BUTTONS ARE 48" ABOVE FINISHED FLOOR MAX.
- SWITCHES SHALL BE GANGED WHERE EVER POSSIBLE.
- ALL GRAB BARS SHALL COMPLY WITH ANSI STANDARDS FOR STRUCTURAL STRENGTH. BACKING FOR GRAB BARS SHALL BE MINIMUM 12 GA GALV. STEEL PLATE. GRAB BARS, MOUNTING DEVICES AND FASTENERS SHALL BE ABLE TO RESIST AN APPLIED FORCE OF 250LB-FT IN ANY DIRECTION. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS. GRAB BARS SHALL COMPLY WITH STRUCTURAL STRENGTH REQUIREMENTS OF FBC 5th EDITION (2014) ACCESSIBILITY, CHAPTER 6.
- ALL OUTLETS, LIGHT SWITCHES, THERMOSTATS, & OTHER ENVIRONMENTAL CONTROLS, WHICH ARE OPERATED ON A REGULAR OR FREQUENT BASIS IN THE DAILY USE OF A DWELLING UNIT, ARE TO BE IN ACCESSIBLE LOCATIONS.
- ALL BATHROOMS & KITCHENS MUST HAVE ALL SWITCHES AND ELECTRICAL OUTLETS IN ACCESSIBLE LOCATIONS, MOUNTED NO HIGHER THAN 48" A.F.F. (DEDICATED OUTLETS SERVING SPECIFIED EQUIPMENT ARE EXEMPT)
- ALL ACCESSORIES (TOWEL BARS, OUTLETS, SWITCHES, CONTROLS, ETC) ARE THE RESPONSIBILITY OF THE OWNER & THE CONTRACTOR TO MEET ALL ACCESSIBILITY BY COMPLYING W/ FBC 5th EDITION ACCESSIBILITY REQUIREMENTS.

**FIXTURE CALCULATIONS**  
PER TABLE 403.1 BUSINESS, FBC, 5th EDITION (2014) PLUMBING

	FIXTURES REQUIRED:		FIXTURES PROVIDED:	
	MEN/WOMEN	MEN/WOMEN	MEN/WOMEN	MEN/WOMEN
FIRST FLOOR	1	1	1	1
SECOND FLOOR	1	1	1	1

DRINKING FOUNTAIN - REQUIRED: 1  
PER FBC, 5th EDITION (2014) PLUMBING, SECTION 410.3 SUBSTITUTION  
DRINKING FOUNTAIN PERMITTED TO BE SUBSTITUTED WITH BOTTLE WATER DISPENSER



**ZONING INFORMATION**

**PARCEL INFORMATION**

LOT INFORMATION	
CITY:	CITY OF MIAMI
PROPERTY TAX FOLIO NO.	01-0205-070-1040
PROPERTY ADDRESS	130 S.W. 8th STREET, MIAMI, FL. 33130
PROPERTY OWNER	THOMPSON MARTIN ASSOCIATES INC.
LEGAL DESCRIPTION	LOT 4 BLOCK 57 OF CITY OF MIAMI SOUTH ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK B AT PAGE 41 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA
ZONING DESIGNATION	T6-24-O URBAN CORE TRANSECT (MIAMI21)
APPLICABLE CODES	FLORIDA BUILDING CODE 5th EDITION (2014) BUILDING / EXISTING / ACCESSIBILITY FLORIDA FIRE PREVENTION CODE 5th EDITION NFPA 101, 2012 CITY OF MIAMI ZONING CODE - MIAMI21
LOT AREA	
GROSS LOT AREA	8,755.49 S.F. (0.20 ACRE)
NET LOT AREA	7,005.49 S.F. (0.16 ACRE)
MINIMUM LOT SIZE	5,000 S.F.
LOT WIDTH	50 FT. (FRONT) X 140 FT. (WIDTH)
MINIMUM LOT WIDTH	50 FT.
EXISTING BUILDING AREA BREAKDOWN	
GROUND FLOOR (ANIMAL HOSPITAL - MINOR RENOVATION)	1,270 S.F.
STAIRWAYS	67.00 S.F.
SECOND FLOOR (ANIMAL KENNEL - FULL RENOVATION OF SPACE)	1,329 S.F.
STAIRWAYS	67.00 S.F.
CORRIDOR	71.00 S.F.
TOTAL	2,599.00 S.F. TOTAL 205.00 S.F.

**BUILDING DATA**

**STRUCTURE INFORMATION**

USES PROPOSED	BUSINESS COMMERCIAL	
BUILDING HEIGHT	ALLOWED 24 STORIES	PROVIDED 2 STORIES - 22'-5" (EXISTING)
SETBACKS		
FRONT	FEET 10'-0"	PROVIDED 12'-6" (EXISTING)
REAR	FEET 10'-0"	PROVIDED 73'-9" (EXISTING)
SIDE (EAST)	FEET 0'-0"	PROVIDED 0'-0"
SIDE (WEST)	FEET 0'-0"	PROVIDED 23'-5"
GROSS FLOOR AREA	2,599.00 S.F.	(2,804 S.F. - 205 S.F. = 2,599.00)
LOT COVERAGE	80 X LOT GROSS AREA	ALLOWED 7,004.40 S.F. PROVIDED 1,404.27 S.F.
OPEN SPACE (GREEN AREA)	10 X LOT GROSS AREA	REQUIRED 875.54 S.F. PROVIDED 1,059 S.F.
PARKING		PROVIDED 11 SPACES GRANFATHERED IN AS PER PERMIT # 81-4436

**TITLE / RIGHT OF WAY**

DEDICATIONS	
SPECIFY (STREET/FT)	
UNIT OF TITLE	
COVENANTS	
EASEMENTS	
ORDINANCES	EASEMENT AGREEMENT 16536 PC 4839
RESOLUTIONS	
VARIANCES	
SPECIAL PERMITS	INGRESS AND EGRESS TO LOT 5'S PARKING LOT

**PROJECT DESCRIPTION**

INTERIOR SPACE BUILT-OUT (RENOVATION) IN AN EXISTING BUILDING. NO DEMOLITION OF PERIMETER STRUCTURAL WALL OR EXTERIOR SCOPE OF WORK. THIS IS INTERIOR WORK ONLY. NO ALTERATIONS WILL BE MADE TO EXISTING FACADES OF THE BUILDING.

EXISTING BUILDING TYPE OF CONSTRUCTION

CONSTRUCTION TYPE = TYPE VB 2 STORY PER TABLE 601 FBC 5th EDITION (2014)

OCCUPANCY CLASSIFICATION  
GROUP B (BUSINESS) ANIMAL KENNEL / ANIMAL HOSPITAL PER 302.1(2) AND 304.1 FBC 5th EDITION (2014) - NO CHANGE

LIFE SAFETY OCCUPANCY PER NFPA 101: 6.1.11 & FPPC 5th EDITION - BUSINESS  
OCCUPANT LOAD PER TABLE 14.8.1.2 FPPC 5th EDITION - 1 PERSON PER 100 SQ.FT. OF GROSS FLOOR AREA

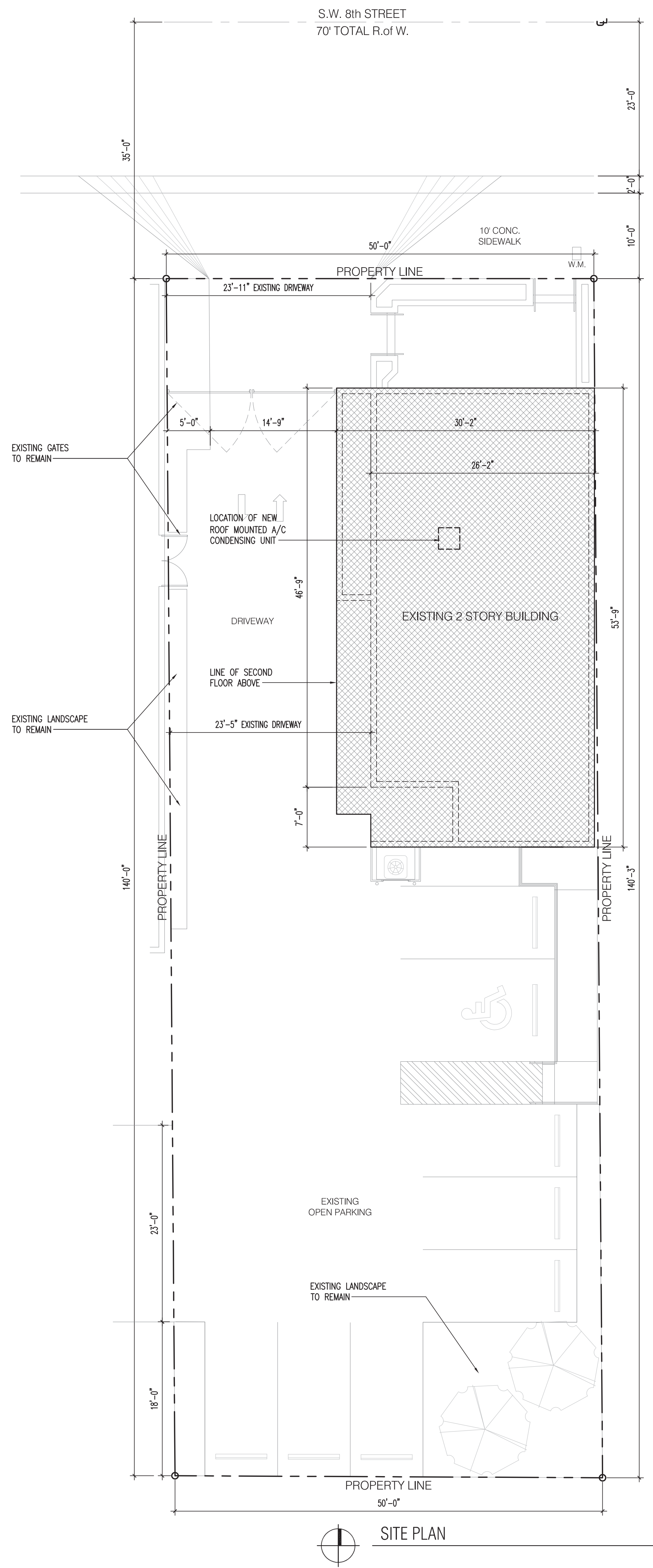
SECOND FLOOR: 1,329 SQ.FT. / 100 = 14 OCCUPANTS TOTAL

**WORK CLASSIFICATION**

PURSUANT TO CHAPTER 5, CLASSIFICATION OF WORK, SECTION 504 AND TO COMPLY WITH CHAPTER 8 ALTERATIONS FBC 5th EDITION (2014) EXISTING BUILDING

**LEVEL 2 ALTERATION**

WORK PROPOSED  
ON THE 2nd FLOOR OF 130 S.W. 8th STREET, WORK ENTAILS THE RECONFIGURATION (RENOVATION) OF 1,329 SQUARE FEET OF INTERIOR BUILT-OUT FOR NEW ANIMAL KENNEL AS PART OF BRICKELL ANIMAL HOSPITAL WITH THE ADDITION OF INTERIOR PARTITION WALLS, INTERIOR DOORS AND INTERIOR WINDOWS, THE RECONFIGURATION AND EXTENSION OF MECHANICAL ELECTRICAL AND PLUMBING SYSTEMS AS WELL AS THE INSTALLATION OF ADDITIONAL EQUIPMENT. ADDITIONALLY, ON THE 1st FLOOR, MINOR WORK ENTAILS THE RECONFIGURATION OF A PORTION OF EXISTING INTERIOR BUILT-OUT.



SITE PLAN  
SCALE: 1/8" = 1'-0"

Brickell Animal Hospital  
Interior Renovation  
130 SW 8th Street,  
Suites 100 & 200  
Miami, FL 33130



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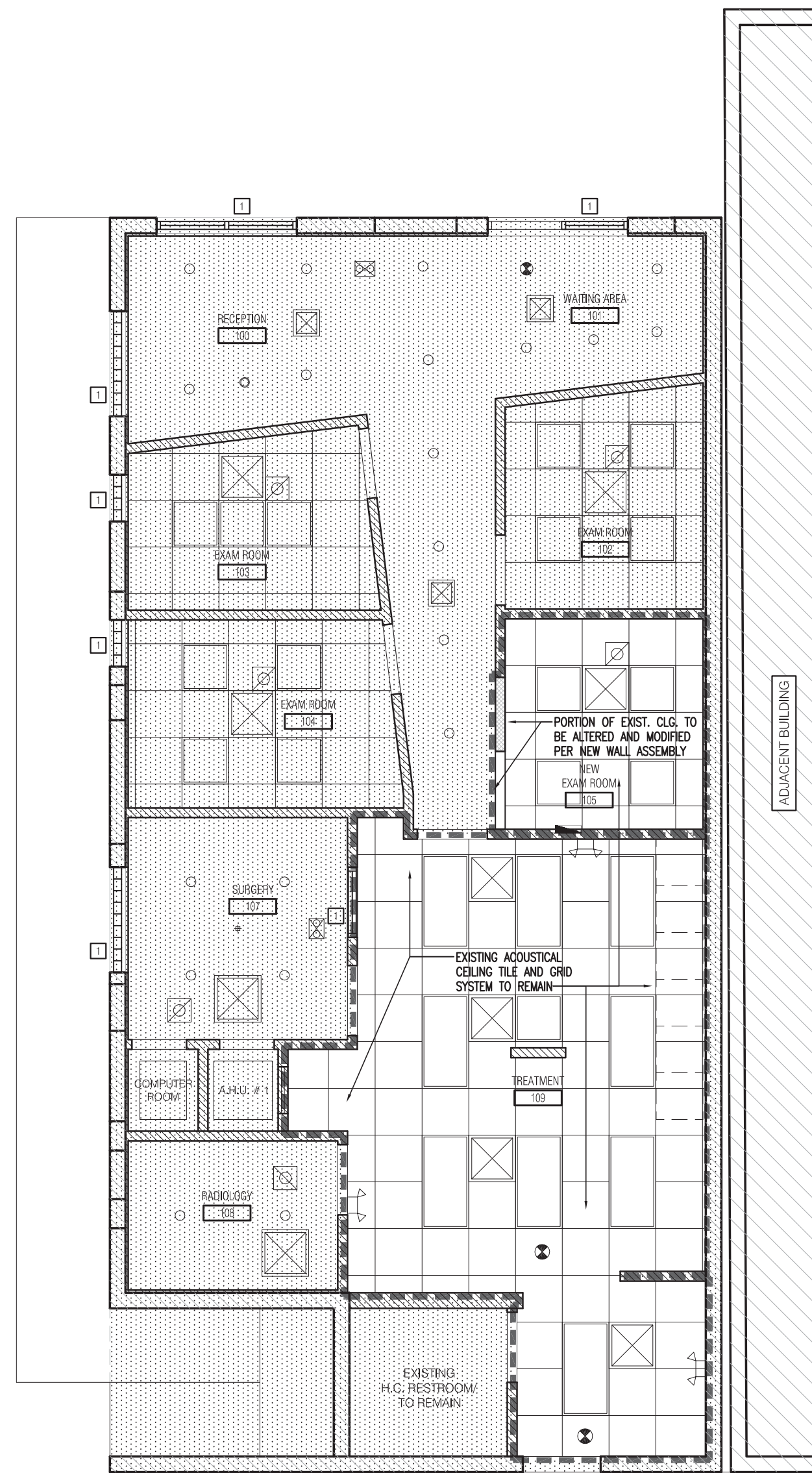
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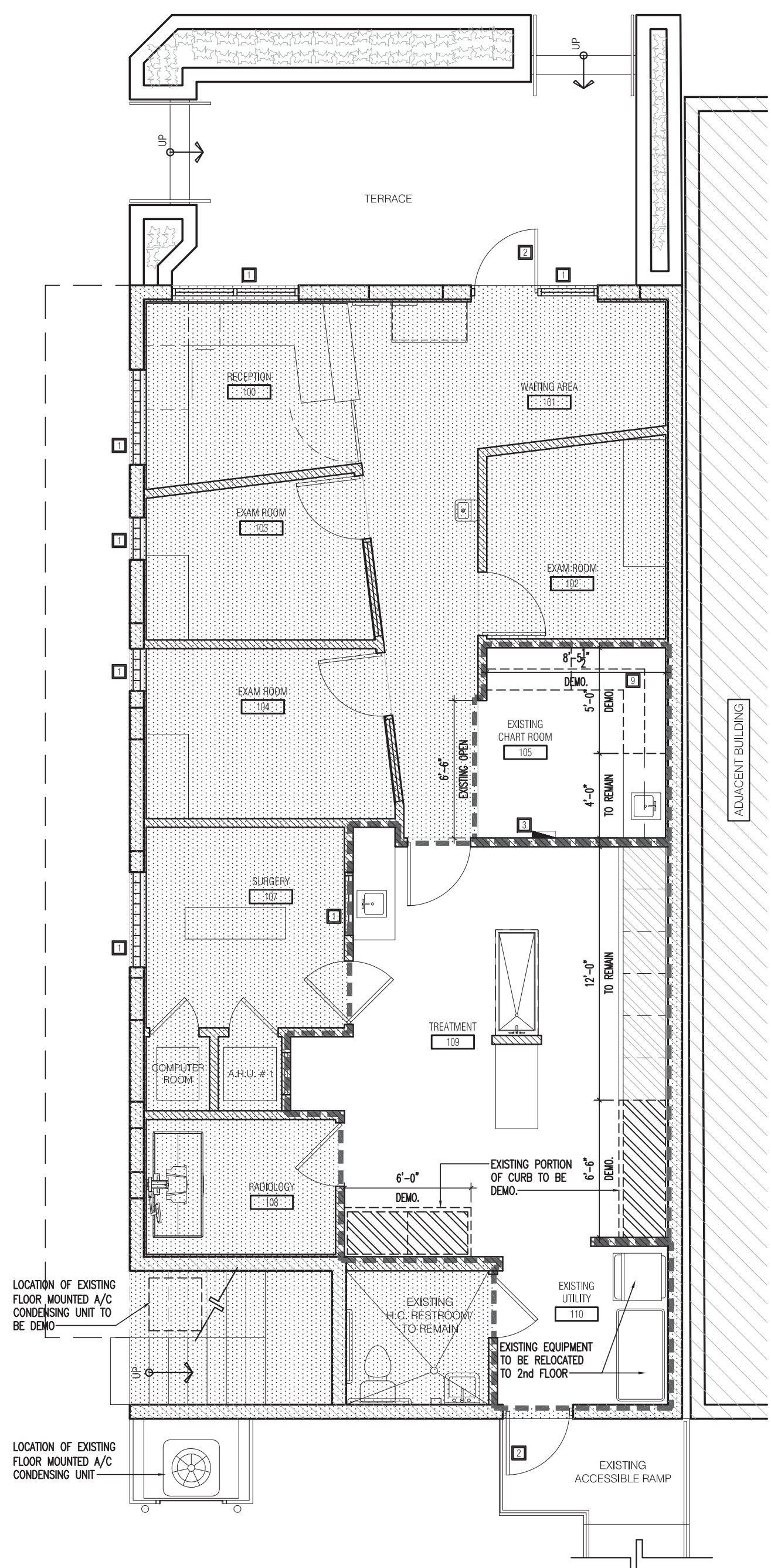
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SITE PLAN  
AND LIFE SAFETY PLAN

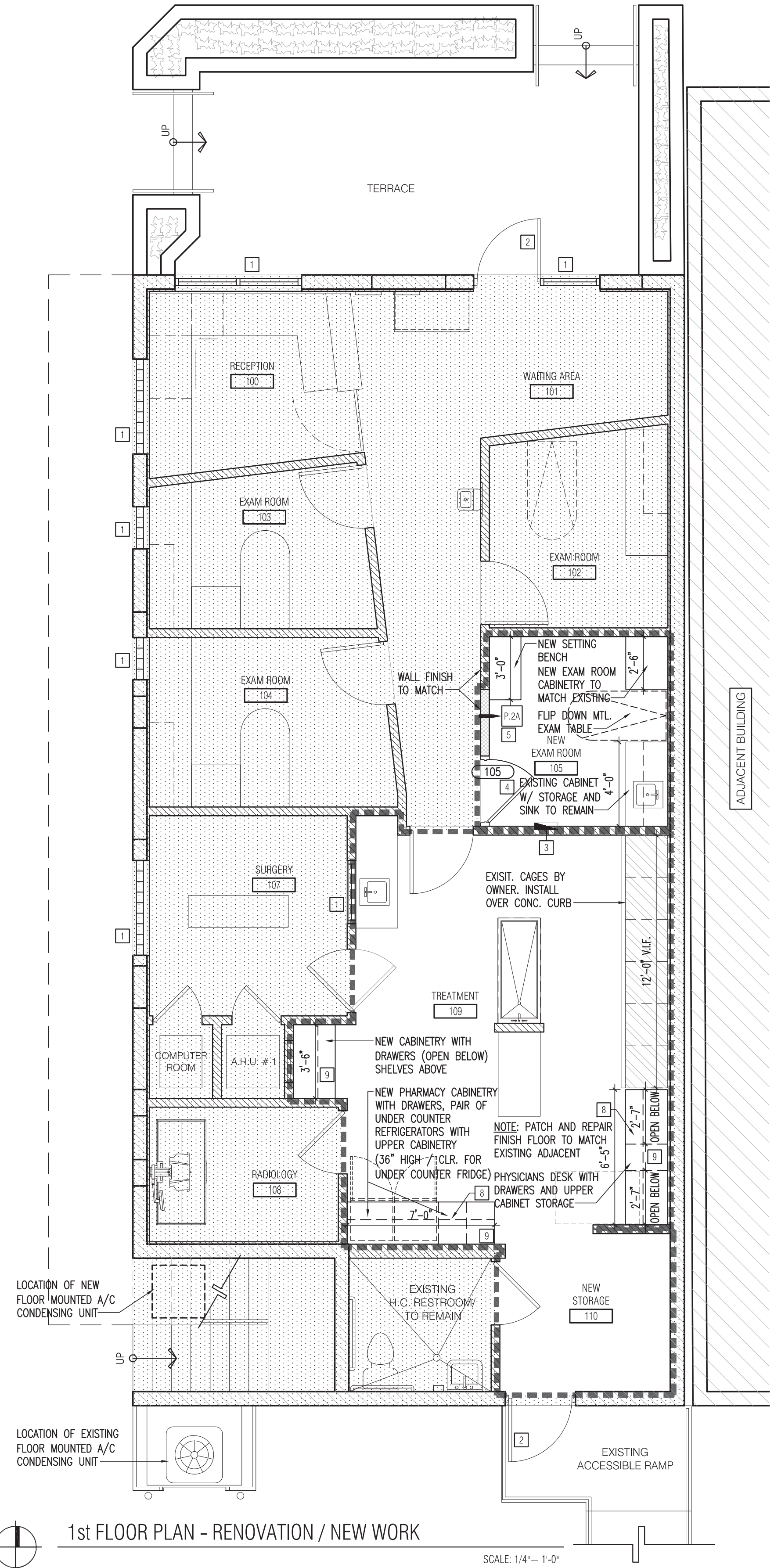
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1st FLOOR REFL. CLG. PLAN - EXISTING/ALTERED  
SCALE: 3/16" = 1'-0"



1st FLOOR PLAN - EXISTING / DEMOLITION  
SCALE: 3/16" = 1'-0"



1st FLOOR PLAN - RENOVATION / NEW WORK  
SCALE: 1/4" = 1'-0"

REFL. CLG. PLAN LEGEND	
	AREA OUTSIDE SCOPE OF WORK (EXISTING BUILT STRUCTURE)
	PROJECT LIMIT LINE
	EXIST. WALL TO REMAIN (REFER TO FLOOR PLAN)
	NEW GYP. BD. PARTITION WALL (REFER TO FLOOR PLAN)
	NOTED ITEM TO BE DEMOLISHED/REMOVED (REFER TO DEMO KEY NOTES)
	ROOM NAME TOP
	ROOM NAME BOTT.
	ROOM NUMBER
	CEILING TYPE (1): 2x2 ACOUSTICAL LAY-IN CEILING BASE OF DESIGN: ULTIMA+ SQUARE LAY-IN FINE TEXTURE FILED PANELS - WHITE (ITEM No. 1910) WITH CLEAN ROOM 15/16" SUSPENSION SYSTEM - WHITE
	CEILING TYPE (2): 2x2 ACOUSTICAL LAY-IN CEILING BASE OF DESIGN: CLEAN ROOM™ FL FILED PANELS - WHITE (ITEM No. 1715) WITH CLEAN ROOM 15/16" SUSPENSION SYSTEM - WHITE
	MOISTURE RESISTANT GYPSUM BOARD CEILING - EPOXY PAINT FINISH
	GYPSUM BOARD CEILING - PAINT FINISH

DEMOLITION FLOOR PLAN KEY NOTES	
1	EXISTING WINDOW TO REMAIN (PROTECT AS NEEDED).
2	EXISTING DOOR TO REMAIN (PROTECT AS NEEDED).
3	EXISTING ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR INFO.

NEW FLOOR PLAN KEY NOTES	
1	EXISTING WINDOW TO REMAIN (PROTECT AS NEEDED).
2	EXISTING DOOR TO REMAIN (PROTECT AS NEEDED).
3	ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR INFO.
4	NEW INTERIOR DOOR, FRAME AND ASSOCIATED HARDWARE. REFER TO SCHEDULE FOR TYPE.
5	NEW INTERIOR PARTITION WALL. REFER TO WALL TYPE.
8	NEW FLOORING TO MATCH EXISTING.
9	NEW BUILT-IN CASEWORK.

- ### FLOOR PLAN DEMOLITION GENERAL NOTES
- THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE WORK.
  - NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK THROUGH OF THE PROJECT TO IDENTIFY POSSIBLE CRITICAL ITEMS NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL / RELOCATION PRIOR TO SUBMITTING A BID TO THE OWNER.
  - CONTRACTOR IS TO COORDINATE LOCATION OF ALL TEMPORARY DUST AND PROTECTION BARRIERS TO MAINTAIN SAFE ACCESS TO EGRESS AT ALL TIMES. CONSTRUCTION IAO MANAGEMENT PLAN SHALL BE POSTED AT ALL TIMES.
  - CUT, REMOVE, PATCH, AND REFINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
  - CONTRACTOR IS TO PROTECT ALL CONCEALED UTILITIES. CONTRACTOR IS TO INSPECT CEILING AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES. MECHANICAL AND / OR ELECTRICAL CONTRACTOR ARE TO CAP THEM AS REQUIRED.
  - RENOVATION WORK MAY ENTAIL INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK IN VARIOUS AREAS WITHIN THE SCOPE. IT MAY REQUIRE WORK INVOLVING REMOTE UTILITY LINES (ELECTRICAL, COMMUNICATIONS, DATA, ETC.). ANY WORK IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK SHALL BE ALL-INCLUSIVE, PROVIDING ALL UTILITIES, FINISHES AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS.
  - CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.
  - CONTRACTOR IS TO PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND / OR INSTALLATION OF NEW MECHANICAL DUCT AND ELECTRICAL CONDUITS ETC. AS REQUIRED, TO MATCH ADJACENT SURFACES AND / OR AS REQUIRED FOR NEW SCHEDULED FINISHES.
  - FOR REMOVAL OF FIXTURES AND EQUIPMENT, REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF ANY ELECTRICAL PANELS, OUTLETS, ETC.
  - ALL AREAS OF DEMOLITION OPERATIONS SHALL BE PROPERLY POSTED WITH SIGNS WARNING OF DANGER. SUFFICIENT WATCH PERSONS SHALL BE PROVIDED TO WARN WORKERS OF IMPENDING DANGERS, AND ALL UNAUTHORIZED PERSONS SHALL BE EXCLUDED FROM PLACES WHERE DEMOLITION IS IN PROGRESS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS, CARPETS, WALLS, DOORS, ETC.
  - PROTECT ALL STRUCTURAL MEMBERS AS REQUIRED.

- ### FLOOR PLAN GENERAL NOTES
- CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE OWNER AND ARCHITECT IF ANY DISCREPANCIES ARE FOUND. DO NOT SCALE DRAWINGS.
  - CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES. ALL PERMITS, UTILITY AND METER CONNECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
  - ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
  - DIMENSIONS ARE TYPICALLY SHOWN FROM FACE OF PARTITION, UNLESS NOTED OTHERWISE CONTRACTOR SHALL NOTE SPECIAL LOCATIONS IN WHICH "CLEAR" DIMENSION IS SPECIFIED. THIS IS A DIMENSION FROM FINISH TO FINISH.
  - CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACT DOCUMENTS, ANY ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATIONS.
  - DISCREPANCIES  
A- IN DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS, THE MORE STRICT REQUIREMENTS WILL APPLY.  
B- THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH THE ARCHITECT PRIOR TO SUBMITTING A BID, OTHERWISE THE ARCHITECT'S INTERPRETATION SHALL BE FINAL.  
C- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING.
  - "DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. SHOP DRAWINGS WHICH ARE INCOMPLETE OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW.
  - ALL EXITS AREA TO BE MAINTAINED WHILE BUILDING IS IN OPERATION.
  - CONTRACTOR TO PROVIDE REQUIRED SAFETY PROVISIONS AT ALL TIMES.
  - CONTRACTOR TO MAINTAIN ALL EXISTING PROTECTED ASSEMBLIES AND OPENING RATINGS.
  - BEFORE INSTALLATION, CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATIONS OF ALL EQUIPMENT.
  - ALL WALLS WITHIN PROJECT LIMIT TO BE PATCHED WHERE DAMAGED TO MATCH EXISTING ADJACENT FINISH. ALL WALLS TO HAVE CONTINUOUS SMOOTH FINISH (TO MATCH ADJACENT EXISTING). ALL WALLS TO BE REPAINTED AT RENOVATED AREAS.
  - PROVIDE NEW FLOORING FINISH WITHIN PROJECT LIMIT WHERE NOTED.
  - CONTRACTOR IS TO COORDINATE LOCATION OF ALL TEMPORARY DUST AND PROTECTION BARRIERS TO MAINTAIN SAFE ACCESS TO EGRESS AT ALL TIMES. CONSTRUCTION IAO MANAGEMENT PLAN SHALL BE POSTED AT ALL TIMES.
  - ALL AREAS ARE TO BE REPAIRED TO LIKE NEW CONDITION. CONSTRUCTION STAGING, ACCESS AND DEMOLITION AREAS SHALL BE DOCUMENTED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO CONFIRM ALL REPAIR REQUIREMENTS. COORDINATE WITH OWNER PRIOR TO THE REMOVAL OR RELOCATION OF ANY EQUIPMENT, SYSTEM OR UTILITIES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
  - ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS SHALL MEET CODE REQUIREMENTS. PRESSURE TREATED WOOD SHALL BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY.
  - CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLACKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURE, MILLWORK, SHELVES, BATHROOM FIXTURES ACCESSORIES OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS.

PLAN LEGEND	
	AREA OUTSIDE SCOPE OF WORK (EXISTING BUILT STRUCTURE)
	PROJECT LIMIT LINE
	EXIST. WALL TO REMAIN (REFER TO FLOOR PLAN)
	NEW GYP. BD. PARTITION WALL (REFER TO FLOOR PLAN)
	NOTED ITEM TO BE DEMOLISHED/REMOVED (REFER TO DEMO KEY NOTES)
	DOOR NUMBER TAG
	WALL TYPE TAG
	ROOM NAME TOP
	ROOM NAME BOTT.
	ROOM NUMBER
	INTERIOR ELEVATION TAG (REFER TO FLOOR PLAN)
	FIRE EXTINGUISHER WALL MOUNTED (REFER TO FLOOR PLAN)

Brickell Animal Hospital  
Interior Renovation  
130 SW 8th Street,  
Suites 100 & 200  
Miami, FL 33130

Project \_\_\_\_\_

Consultant \_\_\_\_\_

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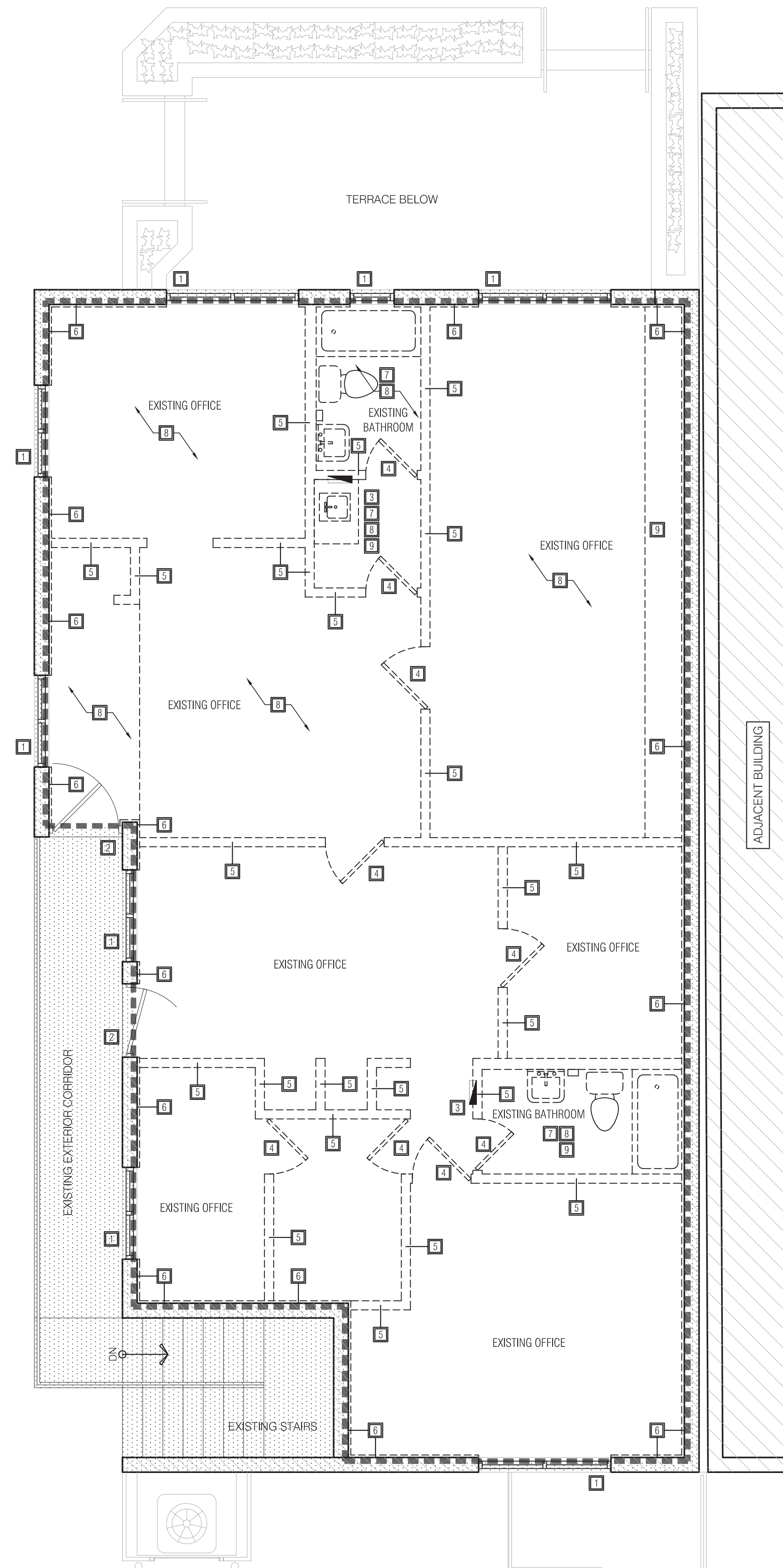
Date: 10/01/2015

FIRST FLOOR PLANS AND NOTES

Title \_\_\_\_\_

# A2.1

Sheet No. \_\_\_\_\_

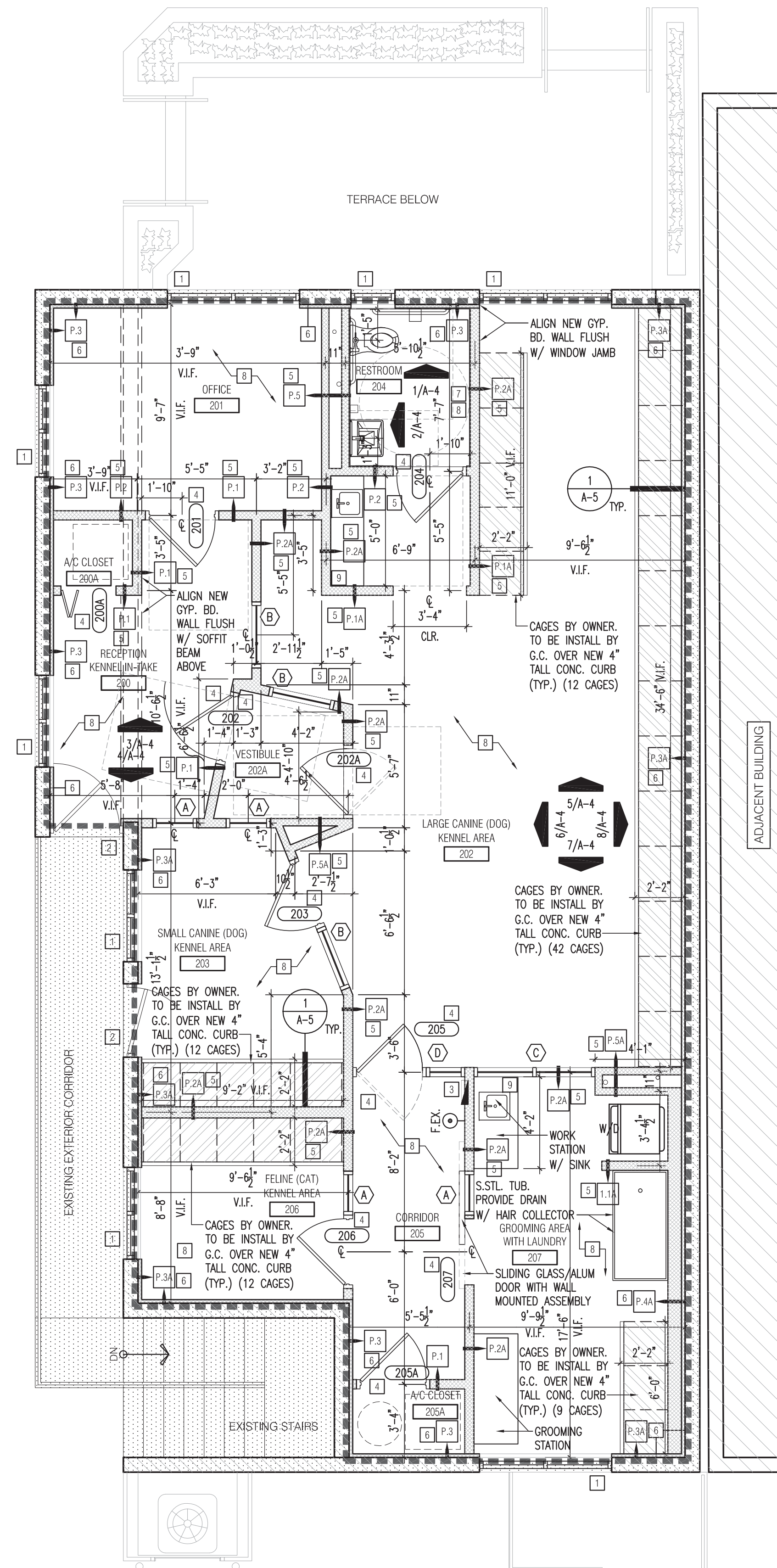


2nd FLOOR PLAN - EXISTING / DEMOLITION

SCALE: 1/4" = 1'-0"

**DEMOLITION FLOOR PLAN KEY NOTES**

- 1 EXISTING WINDOW TO REMAIN (PROTECT AS NEEDED).
- 2 EXISTING DOOR TO REMAIN (PROTECT AS NEEDED).
- 3 EXISTING ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR INFO.
- 4 EXISTING INTERIOR DOOR, FRAME AND ASSOCIATED HARDWARE TO BE REMOVED.
- 5 EXISTING INTERIOR GYP. BD. PARTITION WALL TO BE REMOVED.
- 6 EXISTING INTERIOR GYP. BD. FURRING WALL TO BE REMOVED.
- 7 EXISTING PLUMBING/BATHROOM FIXTURES TO BE REMOVED (SINK, TOILET AND TUB). CAP ALL WATER SERVICE AND DRAINAGE LINES. REFER TO PLUMBING DRAWINGS FOR INFO.
- 8 EXISTING FLOORING TO BE REMOVED. PREPARE AS NEEDED FOR NEW FLOOR SYSTEM.
- 9 EXISTING CASEWORK / BUILT-IN TO BE REMOVED.
- 10 REFER TO EXIST./DEMO. REF.. CLG. PLAN FOR ADDITIONAL INFORMATION.



2nd FLOOR PLAN - RENOVATION / NEW WORK

SCALE: 1/4" = 1'-0"

**NEW FLOOR PLAN KEY NOTES**

- 1 EXISTING WINDOW TO REMAIN (PROTECT AS NEEDED).
- 2 EXISTING DOOR TO REMAIN (PROTECT AS NEEDED).
- 3 ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS FOR INFO.
- 4 NEW INTERIOR DOOR, FRAME AND ASSOCIATED HARDWARE. REFER TO SCHEDULE FOR TYPE.
- 5 NEW INTERIOR PARTITION WALL. REFER TO WALL TYPE.
- 6 NEW FURRING WALL AT EXTERIOR WALL, INTERIOR PERIMETER. REFER TO WALL TYPE.
- 7 NEW PLUMBING FIXTURES, (SINK, TOILET AND ASSOCIATED HARDWARE). REFER TO INTERIOR ELEVATIONS AND PLUMBING DRAWINGS FOR INFO.
- 8 NEW FLOORING (REFER TO FINISH PLAN).
- 9 NEW BUILT-IN CASEWORK WITH SINK.

**FLOOR PLAN DEMOLITION GENERAL NOTES**

1. THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE WORK.
2. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK THROUGH OF THE PROJECT TO IDENTIFY POSSIBLE CRITICAL ITEMS NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL / RELOCATION PRIOR TO SUBMITTING A BID TO THE OWNER.
3. CONTRACTOR IS TO COORDINATE LOCATION OF ALL TEMPORARY DUST AND PROTECTION BARRIERS TO MAINTAIN SAFE ACCESS TO EGRESS AT ALL TIMES. CONSTRUCTION IAO MANAGEMENT PLAN SHALL BE POSTED AT ALL TIMES.
4. CUT, REMOVE, PATCH, AND REFINISH EXISTING CONSTRUCTION AS REQUIRED TO LEAVE WORK COMPLETE AND IN SATISFACTORY CONDITION.
5. CONTRACTOR IS TO PROTECT ALL CONCEALED UTILITIES. CONTRACTOR IS TO INSPECT CEILING AND CHASES TO ASSURE PROPER IDENTIFICATION OF UTILITIES. MECHANICAL AND / OR ELECTRICAL CONTRACTOR ARE TO CAP THEM AS REQUIRED.
6. RENOVATION WORK MAY ENTAIL INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK IN VARIOUS AREAS WITHIN THE SCOPE. IT MAY REQUIRE WORK INVOLVING REMOTE UTILITY LINES (ELECTRICAL, COMMUNICATIONS, DATA, ETC.). ANY WORK IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK SHALL BE ALL-INCLUSIVE, PROVIDING ALL UTILITIES, FINISHES AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS.
7. CONTRACTOR TO REMOVE, RELOCATE OR RE-ROUTE AS NECESSARY ELECTRICAL, WATER, GAS OR ANY OTHER UTILITY LINES ENCOUNTERED AND SHALL COORDINATE THIS WORK WITH ALL LOCAL UTILITY COMPANIES.
8. CONTRACTOR IS TO PATCH AND REPAIR ALL EXISTING SURFACES DAMAGED BY DEMOLITION AND / OR INSTALLATION OF NEW MECHANICAL DUCT AND ELECTRICAL CONDUITS ETC. AS REQUIRED, TO MATCH ADJACENT SURFACES AND / OR AS REQUIRED FOR NEW SCHEDULED FINISHES.
9. FOR REMOVAL OF FIXTURES AND EQUIPMENT, REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
10. REFER TO ELECTRICAL DRAWINGS FOR REMOVAL OF ANY ELECTRICAL PANELS, OUTLETS, ETC.
11. ALL AREAS OF DEMOLITION OPERATIONS SHALL BE PROPERLY POSTED WITH SIGNS WARNING OF IMPENDING DANGERS, SUFFICIENT WATCH PERSONS SHALL BE PROVIDED TO WARN WORKERS OF IMPENDING DANGERS, AND ALL UNAUTHORIZED PERSONS SHALL BE EXCLUDED FROM PLACES WHERE DEMOLITION IS IN PROGRESS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEBRIS AND CONSTRUCTION MATERIAL FROM THE SITE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROPERLY CLEANING ALL AREAS PRIOR TO FINAL ACCEPTANCE BY THE OWNER INCLUDING BUT NOT LIMITED TO WINDOWS, STOREFRONT, FLOORS, CARPETS, WALLS, DOORS, ETC.
13. PROTECT ALL STRUCTURAL MEMBERS AS REQUIRED.

**FLOOR PLAN GENERAL NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY THE OWNER AND ARCHITECT IF ANY DISCREPANCIES ARE FOUND. DO NOT SCALE DRAWINGS.
2. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL BUILDING CODES. PERMIT SHALL BE POSTED ON A VISIBLE PLACE AT ALL TIMES. ALL PERMITS, UTILITY AND METER CONNECTION FEES SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
3. ALL WORK FOR THIS PROJECT SHALL CONFORM TO STANDARDS PUBLISHED BY RECOGNIZED PROFESSIONAL AND INDUSTRY ORGANIZATIONS.
4. DIMENSIONS ARE TYPICALLY SHOWN FROM FACE OF PARTITION, UNLESS NOTED OTHERWISE CONTRACTOR SHALL NOTE SPECIAL LOCATIONS IN WHICH "CLEAR" DIMENSION IS SPECIFIED. THIS IS A DIMENSION FROM FINISH TO FINISH.
5. CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS AND CONTRACT DOCUMENTS, ANY ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATIONS.
6. DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS, THE MORE STRICT REQUIREMENTS WILL APPLY. A- IN DISCREPANCIES OR CONFLICTS IN THE CONTRACT DOCUMENTS, THE MORE STRICT REQUIREMENTS WILL APPLY. B- THE CONTRACTOR SHALL HAVE ALL ITEMS OR DETAILS CLARIFIED WITH THE ARCHITECT PRIOR TO SUBMITTING A BID, OTHERWISE THE ARCHITECT'S INTERPRETATION SHALL BE FINAL. C- ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING.
7. "DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS SHALL BE FOLLOWED.
8. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BEFORE COMMENCING FABRICATION AND/OR INSTALLATION OF ALL APPLICABLE ITEMS FOR CONSTRUCTION. ALL SHOP DRAWING DIMENSIONS SHALL BE FIELD VERIFIED, REVIEWED AND APPROVED BY CONTRACTOR BEFORE SUBMITTAL. SHOP DRAWINGS WHICH ARE INCOMPLETE OR LACKING SUFFICIENT INFORMATION WILL BE RETURNED WITHOUT REVIEW.
9. ALL EXITS AREA TO BE MAINTAINED WHILE BUILDING IS IN OPERATION.
10. CONTRACTOR TO PROVIDE REQUIRED SAFETY PROVISIONS AT ALL TIMES.
11. CONTRACTOR TO MAINTAIN ALL EXISTING PROTECTED ASSEMBLIES AND OPENING RATINGS.
12. BEFORE INSTALLATION, CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT THE EXACT MOUNTING LOCATIONS OF ALL EQUIPMENT.
13. ALL WALLS WITHIN PROJECT LIMIT TO BE PATCHED WHERE DAMAGED TO MATCH EXISTING ADJACENT FINISH. ALL WALLS TO HAVE CONTINUOUS SMOOTH FINISH (TO MATCH ADJACENT EXISTING). ALL WALLS TO BE REPAINTED AT RENOVATED AREAS.
14. PROVIDE NEW FLOORING FINISH WITHIN PROJECT LIMIT WHERE NOTED.
15. CONTRACTOR IS TO COORDINATE LOCATION OF ALL TEMPORARY DUST AND PROTECTION BARRIERS TO MAINTAIN SAFE ACCESS TO EGRESS AT ALL TIMES. CONSTRUCTION IAO MANAGEMENT PLAN SHALL BE POSTED AT ALL TIMES.
16. ALL AREAS ARE TO BE REPAIRED TO LIKE NEW CONDITION. CONSTRUCTION STAGING, ACCESS AND DEMOLITION AREAS SHALL BE DOCUMENTED PRIOR TO COMMENCEMENT OF CONSTRUCTION TO CONFIRM ALL REPAIR REQUIREMENTS. COORDINATE WITH OWNER PRIOR TO THE REMOVAL OR RELOCATION OF ANY EQUIPMENT, SYSTEM OR UTILITIES.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR THE REPLACEMENT OF ANY ITEMS DAMAGED DURING CONSTRUCTION OR CLEAN-UP. CONSTRUCTION PERSONNEL SHALL BE CONFINED TO THE LIMITS OF THE CONSTRUCTION AREA. ALL OSHA REGULATIONS FOR CONSTRUCTION AREAS SHALL BE STRICTLY FOLLOWED.
18. ALL WOOD FRAMING, INCLUDING PLYWOOD, WHICH IS CONCEALED WITHIN WALLS OR CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS OR USED FOR SUPPORT OF WALLS AND CEILINGS SHALL MEET CODE REQUIREMENTS. PRESSURE TREATED WOOD SHALL BE USED WHERE IN CONTACT WITH CONCRETE OR MASONRY.
19. CONTRACTOR TO FURNISH AND INSTALL ALL METAL AND WOOD BLACKING REQUIRED FOR WALL MOUNTED OR BRACED FIXTURE, MILLWORK, SHELVES, BATHROOM FIXTURES AN ACCESSORIES OR BY OTHER ITEMS DESCRIBED IN INTERIOR DESIGN AND ARCHITECTURAL DRAWINGS.

**PLAN LEGEND**

	AREA OUTSIDE SCOPE OF WORK (EXISTING BUILT STRUCTURE)		ROOM NAME TOP
	PROJECT LIMIT LINE		ROOM NAME BOT.
	EXIST. WALL TO REMAIN (REFER. TO FLOOR PLAN)		ROOM NUMBER
	NEW GYP. BD. PARTITION WALL (REFER. TO FLOOR PLAN)		INTERIOR ELEVATION TAG (REFER TO FLOOR PLAN)
	NOTED ITEM TO BE DEMOLISHED/REMOVED (REFER. TO DEMO KEY NOTES)		FIRE EXTINGUISHER WALL MOUNTED (REFER TO FLOOR PLAN)
	DOOR NUMBER TAG		
	WALL TYPE TAG		

Brickell Animal Hospital  
Interior Renovation  
130 SW 8th Street,  
Suites 100 & 200  
Miami, FL 33130

Project  
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Project No. -

File Name -

Drawn by CLF

Checked by CLF

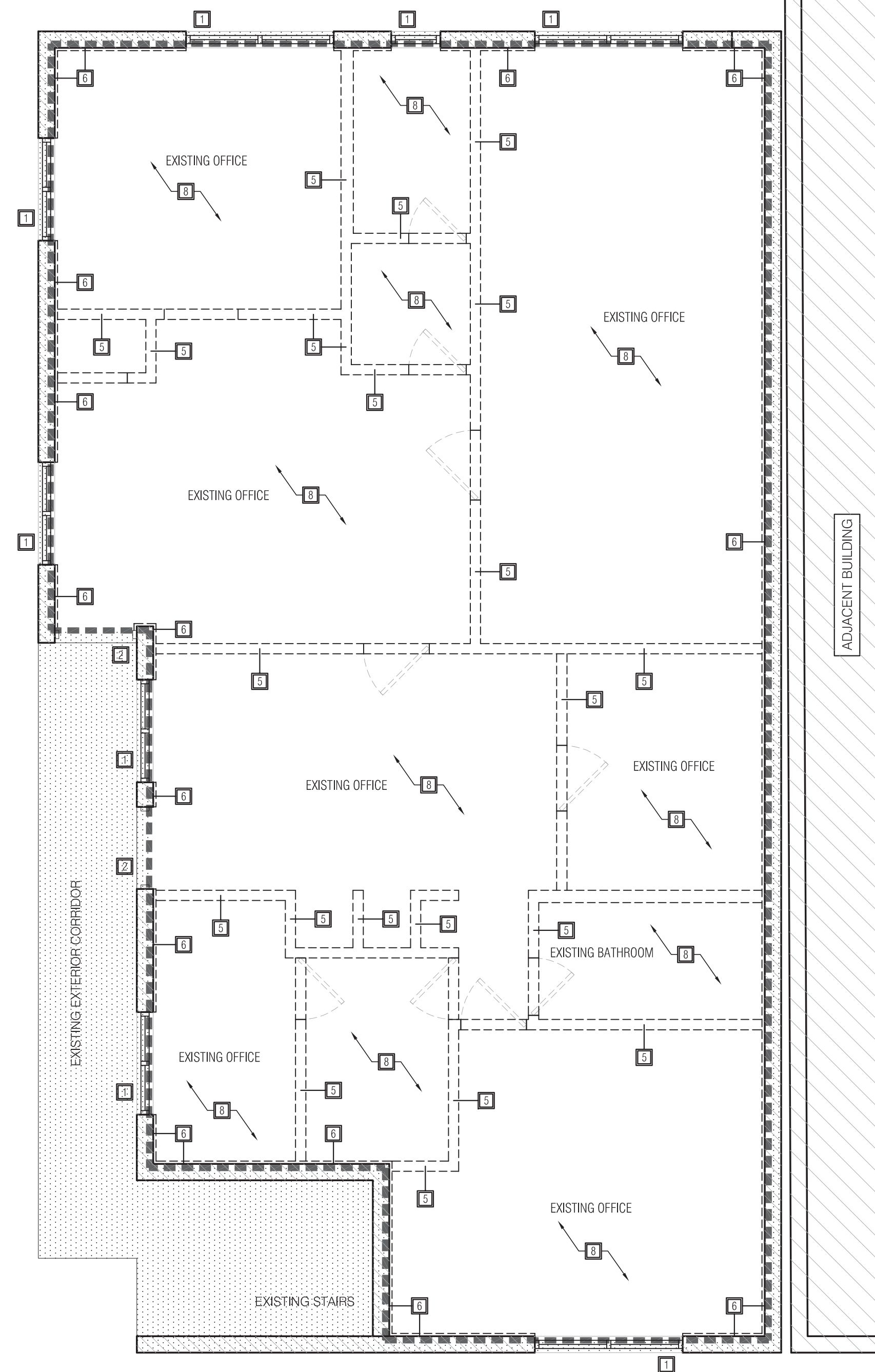
Scale NOTED

Date 10/01/2015

SECOND FLOOR PLANS AND NOTES

Title

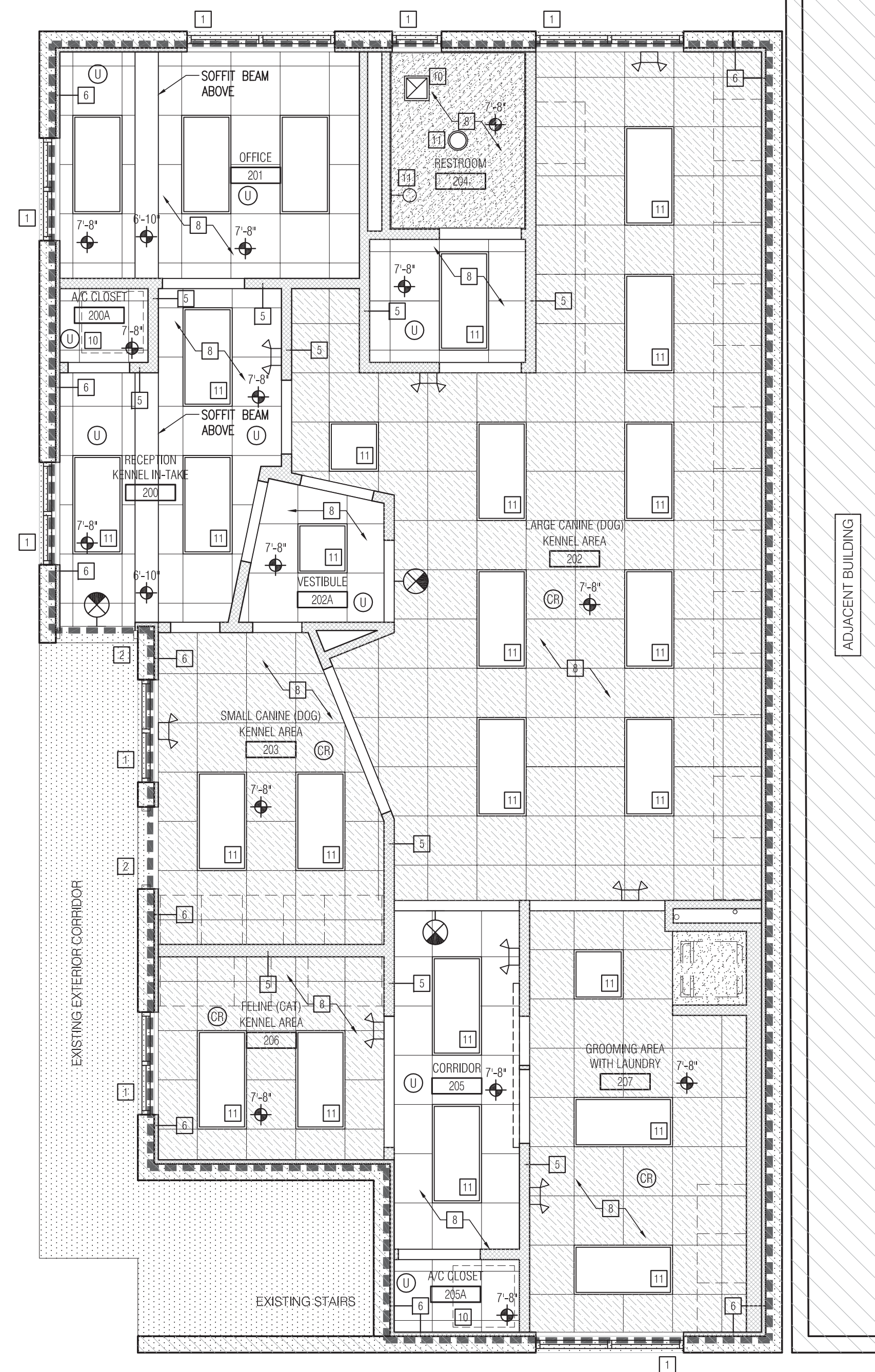
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2nd REFLECTIVE CEILING PLAN - EXISTING / DEMOLITION  
SCALE: 1/4" = 1'-0"

DEMOLITION REFL. CLG. PLAN KEY NOTES

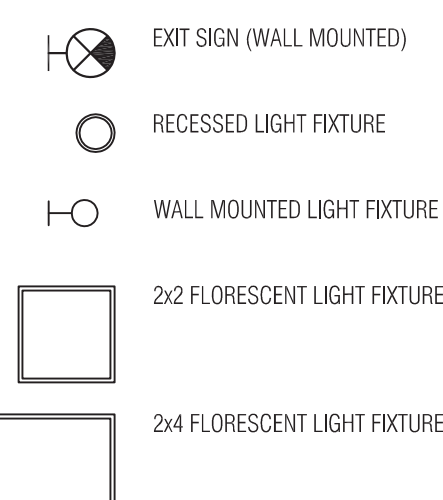
- 1 EXISTING WINDOW TO REMAIN (PROTECT AS NEEDED).
- 2 EXISTING DOOR TO REMAIN (PROTECT AS NEEDED).
- 3 N/A
- 4 N/A
- 5 EXISTING INTERIOR GYP. BD. PARTITION WALL TO BE REMOVED.
- 6 EXISTING INTERIOR GYP. BD. FURRING WALL TO BE REMOVED.
- 7 N/A
- 8 EXISTING CEILING SYSTEM TO BE REMOVED. PREPARE AS NEEDED FOR NEW WORK.
- 9 N/A
- 10 REFER TO EXIST./DEMO. FLOOR PLAN FOR ADDITIONAL INFORMATION.



2nd REFLECTIVE CEILING PLAN - RENOVATION / NEW WORK  
SCALE: 1/4" = 1'-0"

NEW REFL. CLG. PLAN KEY NOTES

- 1 EXISTING WINDOW TO REMAIN (PROTECT AS NEEDED).
- 2 EXISTING DOOR TO REMAIN (PROTECT AS NEEDED).
- 3 N/A
- 4 N/A
- 5 NEW INTERIOR PARTITION WALL. REFER TO WALL TYPE.
- 6 NEW FURRING WALL AT EXTERIOR WALL, INTERIOR PERIMETER. REFER TO WALL TYPE.
- 7 N/A
- 8 NEW CEILING SYSTEM (REFER TO CEILING TYPES).
- 9 N/A
- 10 NEW MECHANICAL SYSTEM. (REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION)
- 11 NEW LIGHTING FIXTURES. (REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION)



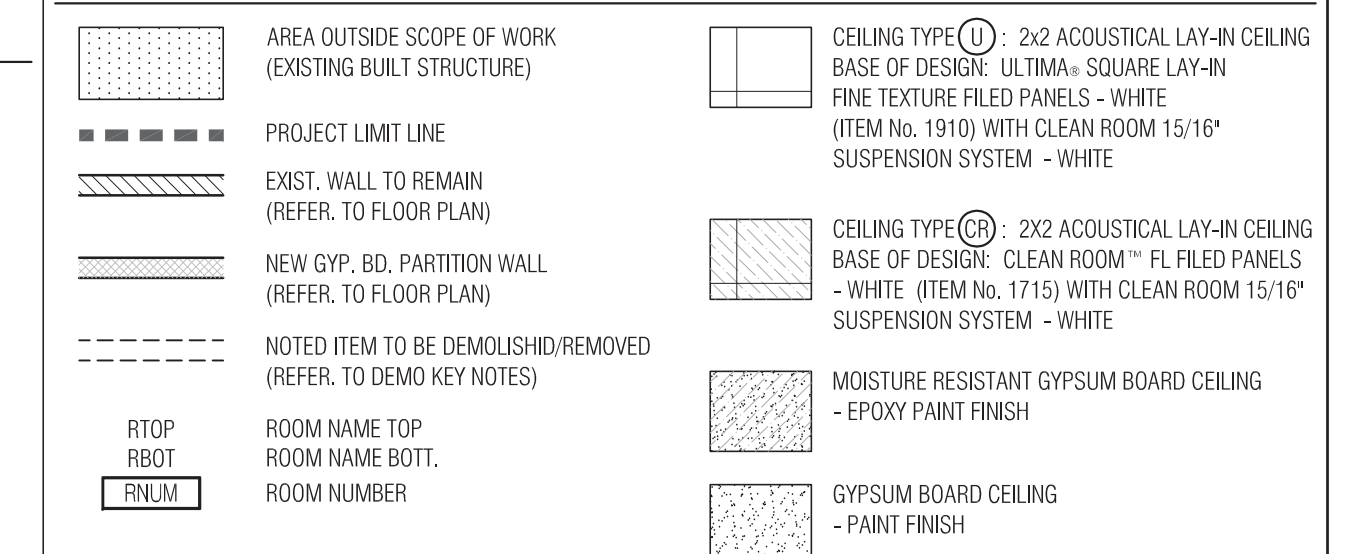
REFL. CEILING PLAN DEMOLITION GENERAL NOTES

1. THIS DRAWING IS ONLY TO ASSIST IN SHOWING THE SCOPE OF DEMOLITION WORK AND IT IS NOT INTENDED TO INDICATE ALL DEMOLITION. CONTRACTOR SHALL REMOVE ALL EXISTING ITEMS AS REQUIRED TO COMPLETE THE WORK.
2. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON THE PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A WALK THROUGH OF THE PROJECT TO IDENTIFY POSSIBLE CRITICAL ITEMS NOT OR INCORRECTLY ADDRESSED, WHICH REQUIRE REMOVAL / RELOCATION PRIOR TO SUBMITTING A BID TO THE OWNER.
3. CONTRACTOR IS TO COORDINATE LOCATION OF ALL TEMPORARY DUST AND PROTECTION BARRIERS TO MAINTAIN SAFE ACCESS TO EGRESS AT ALL TIMES. CONSTRUCTION IAO MANAGEMENT PLAN SHALL BE POSTED AT ALL TIMES.
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6. RENOVATION WORK MAY ENTAIL INTERVENTIONS IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK IN VARIOUS AREAS WITHIN THE SCOPE. IT MAY REQUIRE WORK INVOLVING REMOTE UTILITY LINES (ELECTRICAL, COMMUNICATIONS, DATA, ETC.). ANY WORK IN AREAS OUTSIDE OF THE IMMEDIATE SCOPE OF WORK SHALL BE ALL-INCLUSIVE, PROVIDING ALL UTILITIES, FINISHES AND EQUIPMENT REQUIRED TO RESTORE THE AREA TO FULLY OPERATIONAL CONDITIONS.
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REFL. CLG. PLAN LEGEND



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Revision

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File Name

Drawn by

Checked by

Scale

Date

10/01/2015  
SECOND FLOOR  
REFLECTIVE CEILING PLANS  
AND NOTES

Title

A3.2

Sheet No.

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Checked by CLF

Scale NOTED

Date 10/01/2015

FINISH FLOOR PLAN  
INTERIOR ELEVATIONS  
ALUM. STOREFRONT TYPES  
DOOR TYPES AND SCHEDULES

Title

A4

Sheet No.

**INTERIOR FINISH**

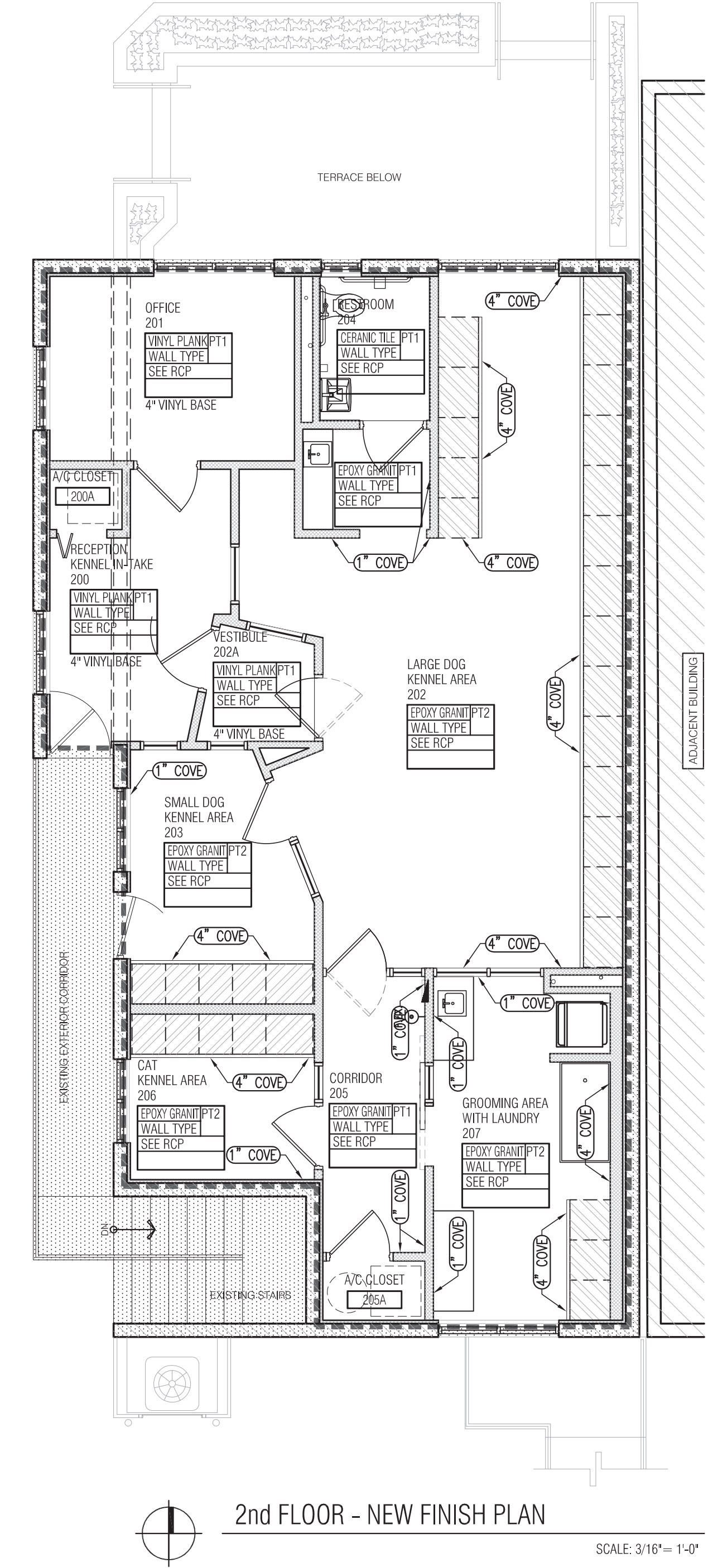
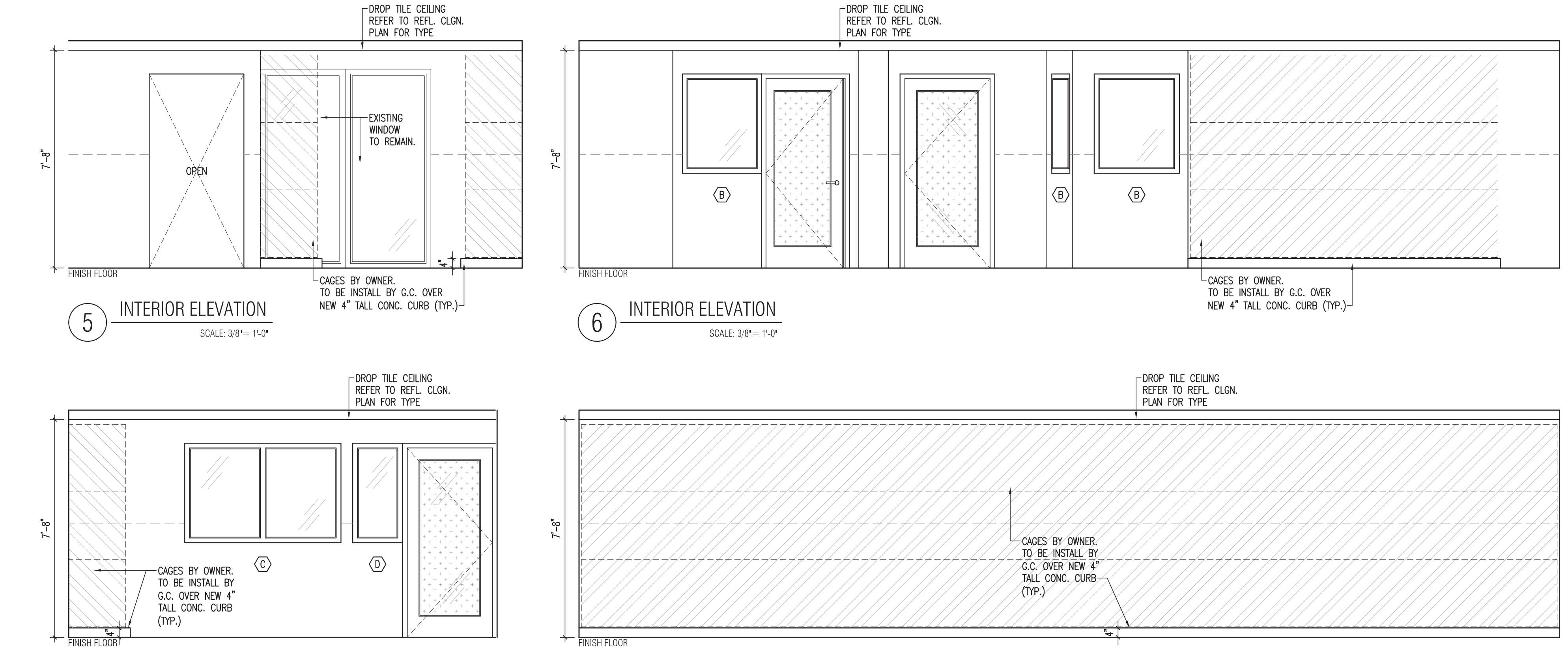
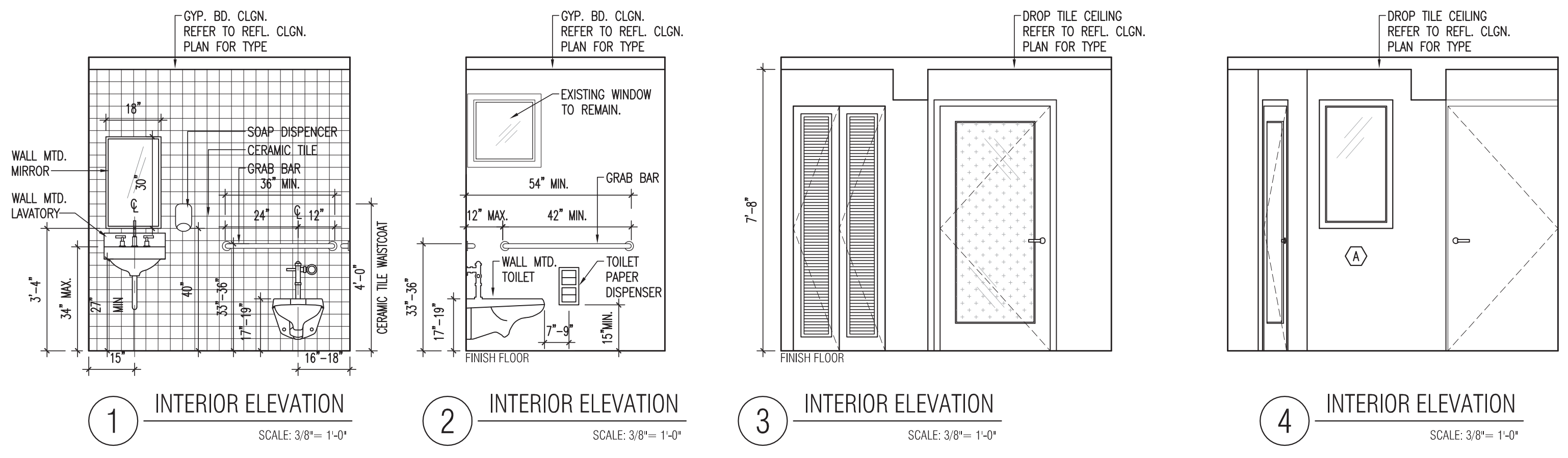
PT1 - PAINT FINISH  
(TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO APPLICATION).

PT2 - EPOXY PAINT - FOR HIGH ABUSE WALL, HIGH MOISTURE

EPOXY GRANITE - EPOXY GRANITE SYSTEM BY PROCRETE USA.  
COLOR TO BE SELECTED AND APPROVED BY OWNER AND ARCHITECT PRIOR TO APPLICATION.

**GENERAL NOTES:**

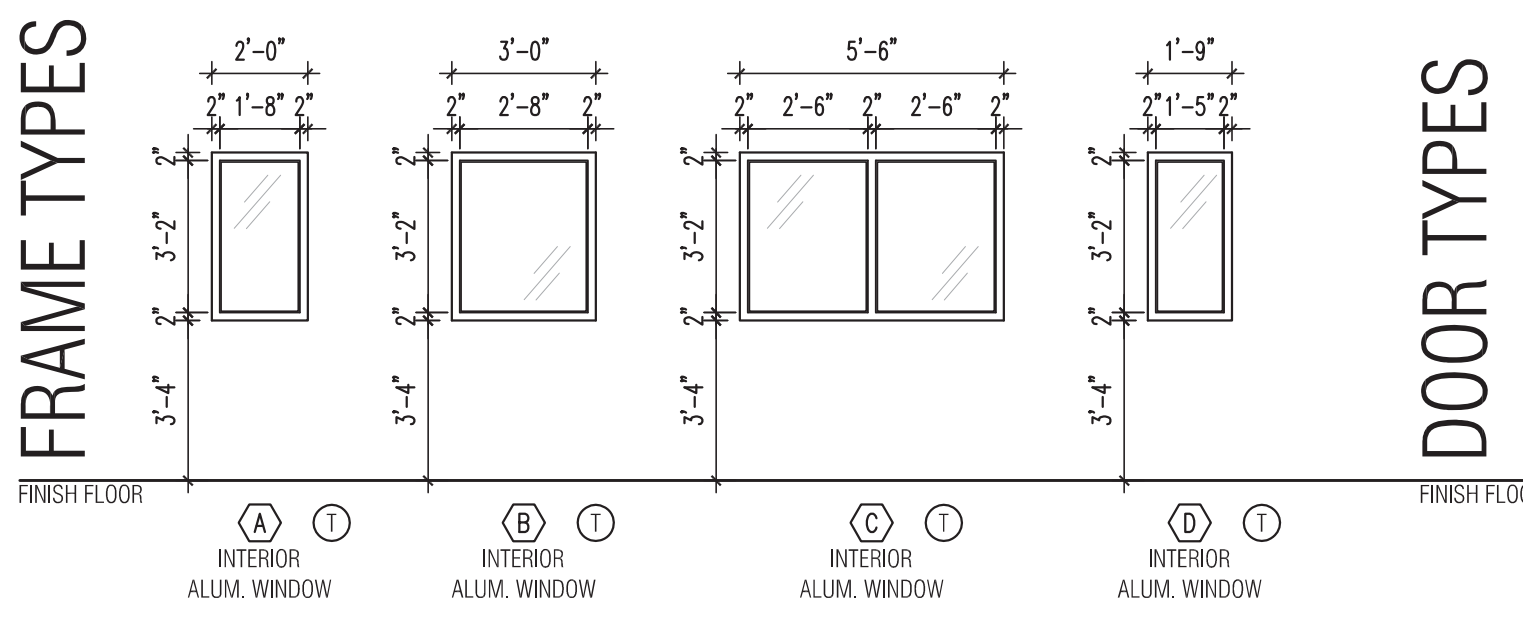
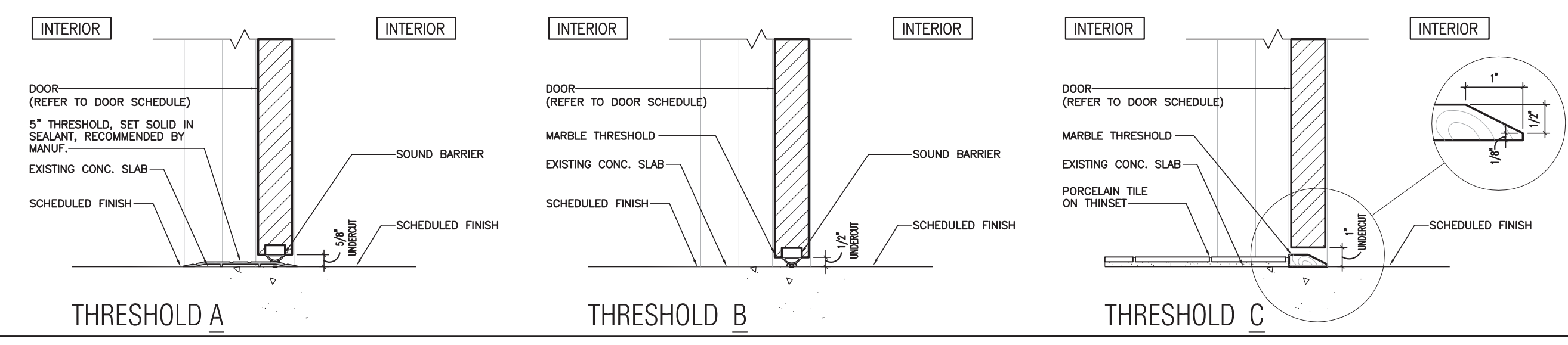
1. PROVIDE FULL HEIGHT 4"x4" WALL TILE AND 2"x2" FLOOR TILE. TYPICAL AT RESTROOM.
2. PROVIDE BULL NOSE TILE AT ALL TRANSITIONS FROM TILE TO VENEER PLASTER.
3. PROVIDE COVE BASE TILE ALL AROUND INTERIOR OF RESTROOM.
4. NO TILE PIECES LESS THAN 1/2" TILE WILL BE PERMITTED.
5. PROVIDE BLOCKING AS REQUIRED AT ALL PARTITIONS, EQUIPMENT AND ACCESSORY LOCATIONS INCLUDING THOSE LISTED AS N.I.C.
6. ALL DIMENSIONS ARE TO FINISH, CONTRACTOR TO CONFIRM ALL A.D.A. CLEARANCES AS PROVIDED.
7. INSTALL GRAB BARS AS PER FBC, 5th EDITION (2014) ACCESSIBILITY, CHAPTER 6. GRAB BARS TO RESIST LOAD OF 250 LBS. APPLIED IN ANY DIRECTION.
8. ALL WALL HUNG FIXTURES SHALL BE SUPPORTED IN CONFORMANCE WITH FBC, 5th EDITION (2014) PLUMBING, CHAPTER 4
9. GRAB BARS: 1-1/4" O.D. MAX. SIDE WALL GRAB BAR - 42" LONG MOUNTED 12" FROM REAR WALL. REAR WALL GRAB BARS TO BE 36" LONG MOUNTED 6" FROM SIDE WALL. GRAB BARS @ 33-36" AFF ELEVATION. AN 11-1/2" FLUSH VALVE SHALL BE USED AT ALL ADA ACCESSIBLE WATER CLOSETS. FLUSH VALVE AT ADA TOILETS SHALL BE ON OPPOSITE SIDE OF TOILET FROM SIDE WALL.
10. APPLY EPOXY PAINT FINISH ON WALLS PRIOR TO INSTALLATION OF EPOXY GRANITE FLOOR SYSTEM



No.	SIZE			TYPE	MATERIAL	FINISH	THRESHOLD	JAMB	REMARKS
	WIDTH	HEIGHT	THICK						
105	3'-0"	6'-8"	1-3/4"	SWING - (3)	WOOD/GLASS	PAINT	A	WOOD	PROVIDE FOR DOOR LEVER, PUSH PLATE AND PULL HANDEL
200A	2'-6"	6'-8"	1-3/8"	BI-FOLD - (1)	WOOD	PAINT	-	-	LOUVERED DOOR
201	3'-0"	6'-8"	1-3/4"	SWING - (3)	WOOD/GLASS	PAINT	B	WOOD	PROVIDE FOR DOOR LEVER AND KEYED LOCKSET
202	3'-0"	6'-8"	1-3/4"	SWING - (3)	WOOD/GLASS	PAINT	A	WOOD	PROVIDE FOR DOOR LEVER, PUSH PLATE AND PULL HANDEL
202A	3'-0"	6'-8"	1-3/4"	SWING - (3)	WOOD/GLASS	PAINT	B	WOOD	PROVIDE FOR DOOR LEVER, PUSH PLATE AND PULL HANDEL. DOUBLE ACTION SPRING-LOADED HINGE
203	3'-0"	6'-8"	1-3/4"	SWING - (3)	ALUM./GLASS	PAINT	B	WOOD	PROVIDE FOR DOOR LEVER, PUSH PLATE AND PULL HANDEL
204	3'-0"	6'-8"	1-3/8"	SWING - (2)	WOOD	PAINT	C	WOOD	PROVIDE FOR DOOR LEVER AND KEYED LOCKSET
205	3'-0"	6'-8"	1-3/4"	SWING - (3)	WOOD/GLASS	PAINT	B	WOOD	PROVIDE FOR DOOR LEVER, PUSH PLATE AND PULL HANDEL. DOUBLE ACTION SPRING-LOADED HINGE
205A	3'-0"	6'-8"	1-3/8"	SWING - (4)	WOOD	PAINT	-	WOOD	LOUVERED DOOR. PROVIDE FOR DOOR LEVER
206	3'-0"	6'-8"	1-3/4"	SWING - (3)	WOOD/GLASS	PAINT	B	WOOD	PROVIDE FOR DOOR LEVER, PUSH PLATE AND PULL HANDEL
207	3'-0"	6'-8"	1-3/4"	BARN - (3)	WOOD/GLASS	PAINT	-	-	PROVIDE FOR WALL MOUNTED SINGLE TRACK SYSTEM (BARN STYLE) BASE OF DESIGN: C-108 SIDE MOUNT COMPLETE KIT FOR 1 DOOR W/ FASCIA AND END CAP. K.N.CROWDER MFG. INC. www.kncrowder.com

**NOTES:**

1. OWNER SELECTED AND APPROVED HARDWARE. PROVIDE SUBMITTAL PACKAGE FOR ARCHITECT REVIEW AND APPROVAL.
2. EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT IT CAN BE OPENED FROM INSIDE THE CLOSET.
3. EVERY BATHROOM DOOR SHALL BE DESIGNED TO ALLOW OPENING FROM OUTSIDE DURING AN EMERGENCY WHEN LOCKED.
4. PROVIDE CATEGORY 2 SAFETY GLASS ON GLASS DOORS TO COMPLY WITH FLORIDA BUILDING CODE.



**GLASS TYPE**

(C) LAMINATED SAFETY GLASS - CLEAR  
(L) 1/4" TEMPERED GLASS - CLEAR

SHOP APPLIED GRAPHIC FILM ADHERED TO GLASS FOR SAFETY. TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO APPLICATION. BASE OF DESIGN: 3M™ PASKATA™ GLASS FINISH SH2FGKN KANON 3M ID JH451041198

**GENERAL NOTES:**

1. ALL DIMENSIONS ON PLANS INDICATES OPENINGS REQUIRED WITH DETAIL SHOWN.
2. LAMINATED SAFETY GLASS TO MEET SAFETY IMPACT REQUIREMENTS. ALL GLAZING MATERIALS TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS FOR ARCHITECT REVIEW PRIOR TO FABRICATION.
3. ALL INTERIOR STOREFRONT SYSTEMS TO BE ALUMINUM FABRICATION. ALL MATERIAL FINISH AND COLORS TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS FOR ARCHITECT REVIEW PRIOR TO FABRICATION.
4. PROVIDE FOR SHOP APPLIED GRAPHIC FILM ADHERED TO GLASS FOR SAFETY. TO BE APPROVED BY OWNER AND ARCHITECT PRIOR TO APPLICATION.
5. ALL THRESHOLDS AT OCCUPIED SPACES ARE LIMITED TO 1/2" IN HEIGHT.



Project  
  
  
  
Consultant

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[Seal]

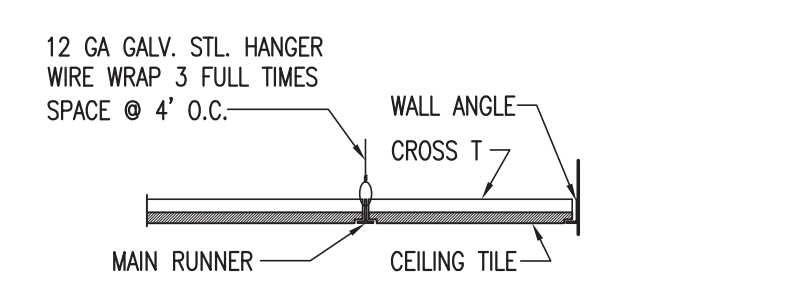
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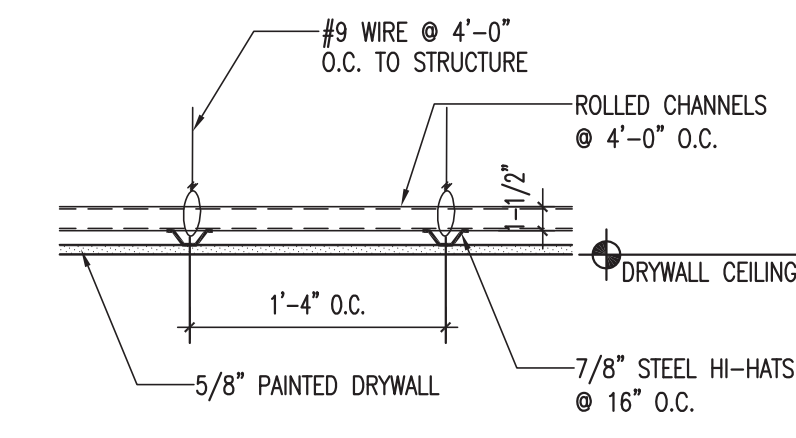
Revision  
Project No. -  
File Name -  
Drawn by - CLF  
Checked by - CLF  
Scale - NOTED  
Date - 10/01/2015

WALL TYPES  
DETAILS  
& NOTES  
Title

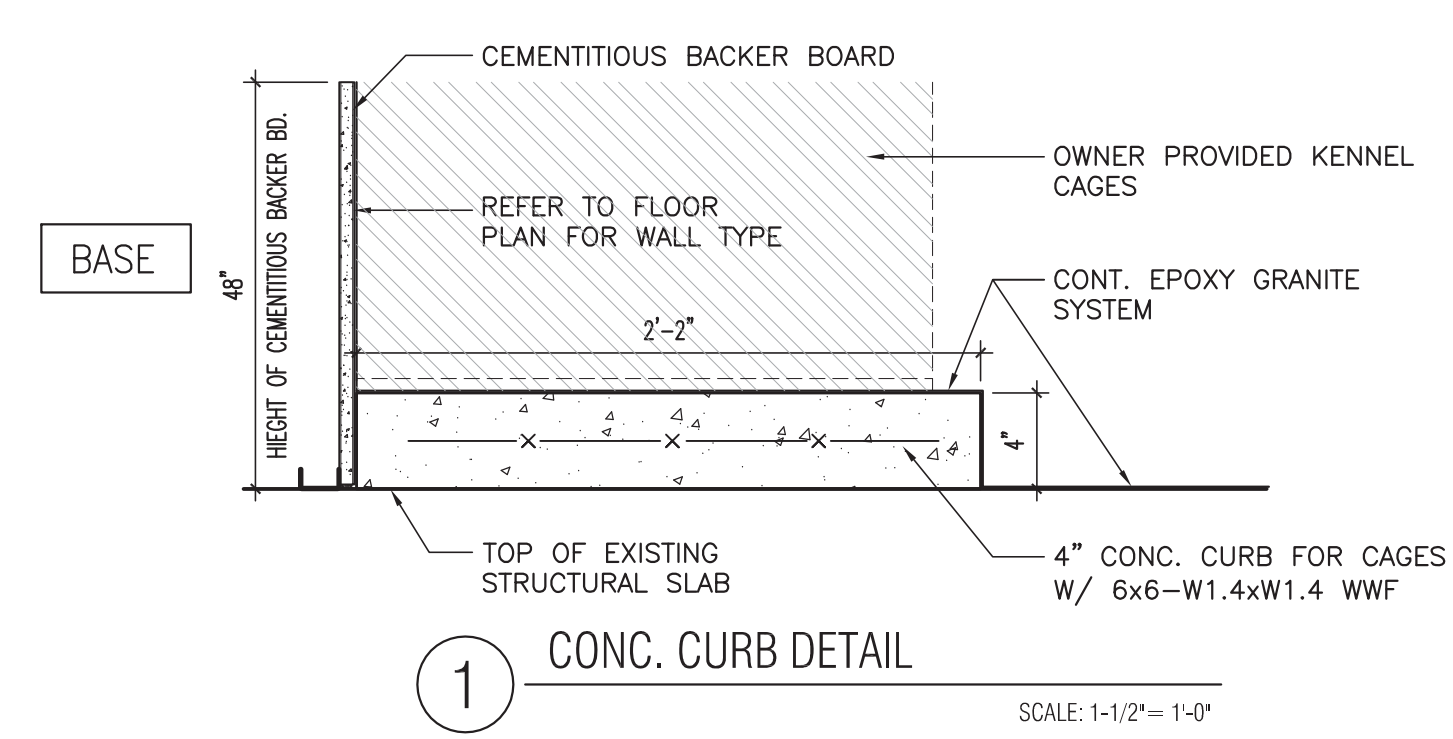
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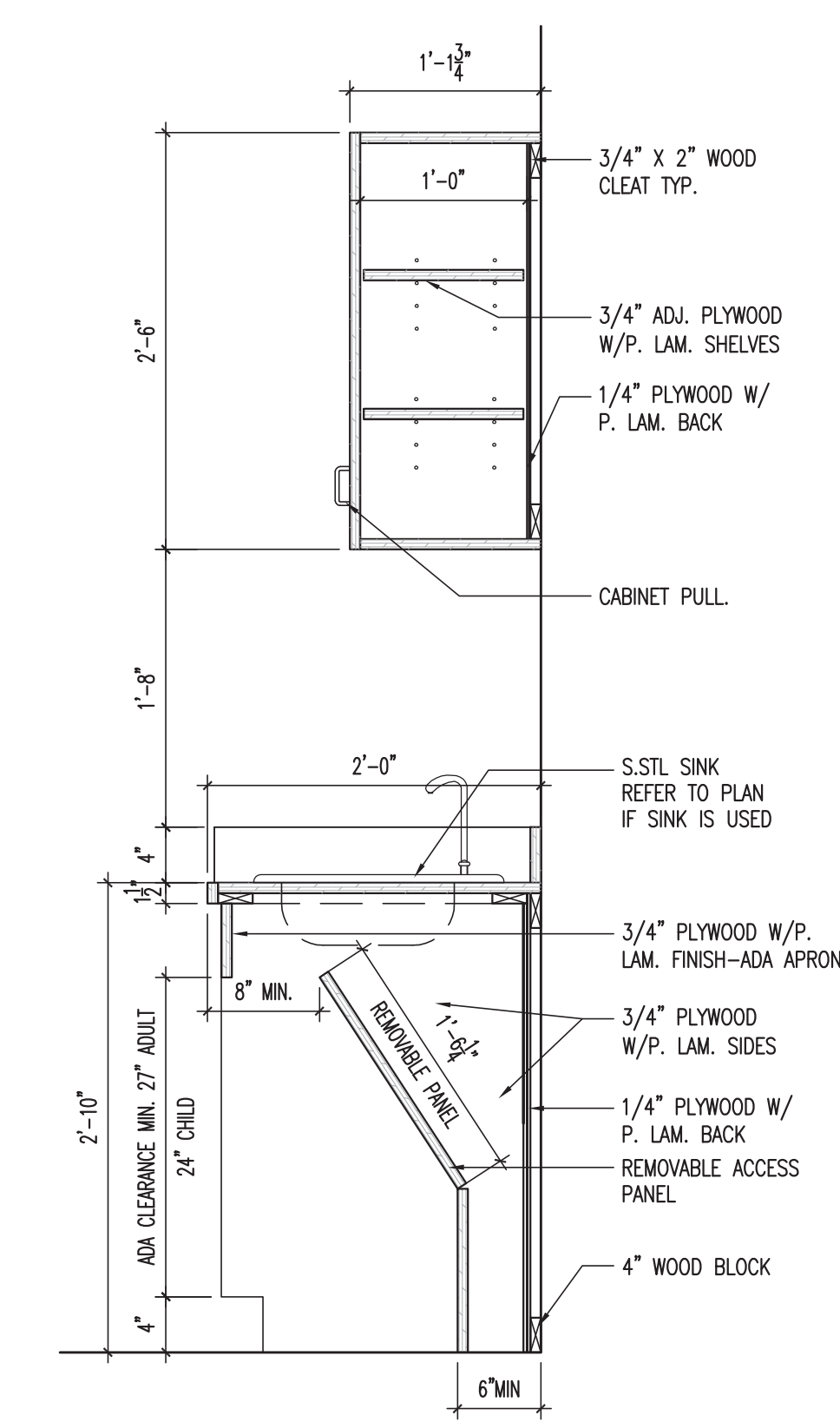
TYP. SUSPENDED CEILING FRAMING  
SCALE: N.T.S.



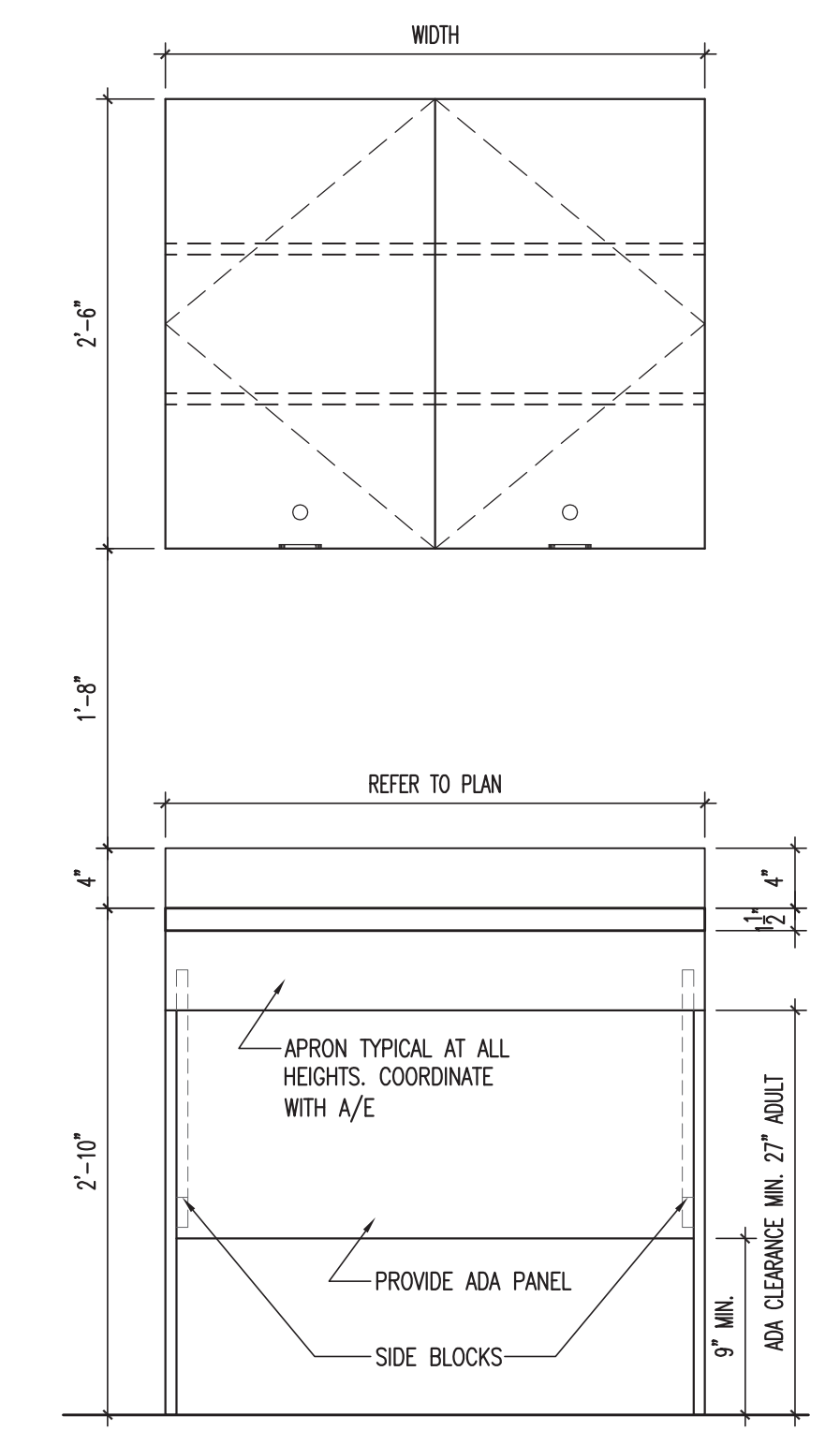
TYP. CEILING FRAMING  
SCALE: N.T.S.



1 CONC. CURB DETAIL  
SCALE: 1-1/2" = 1'-0"



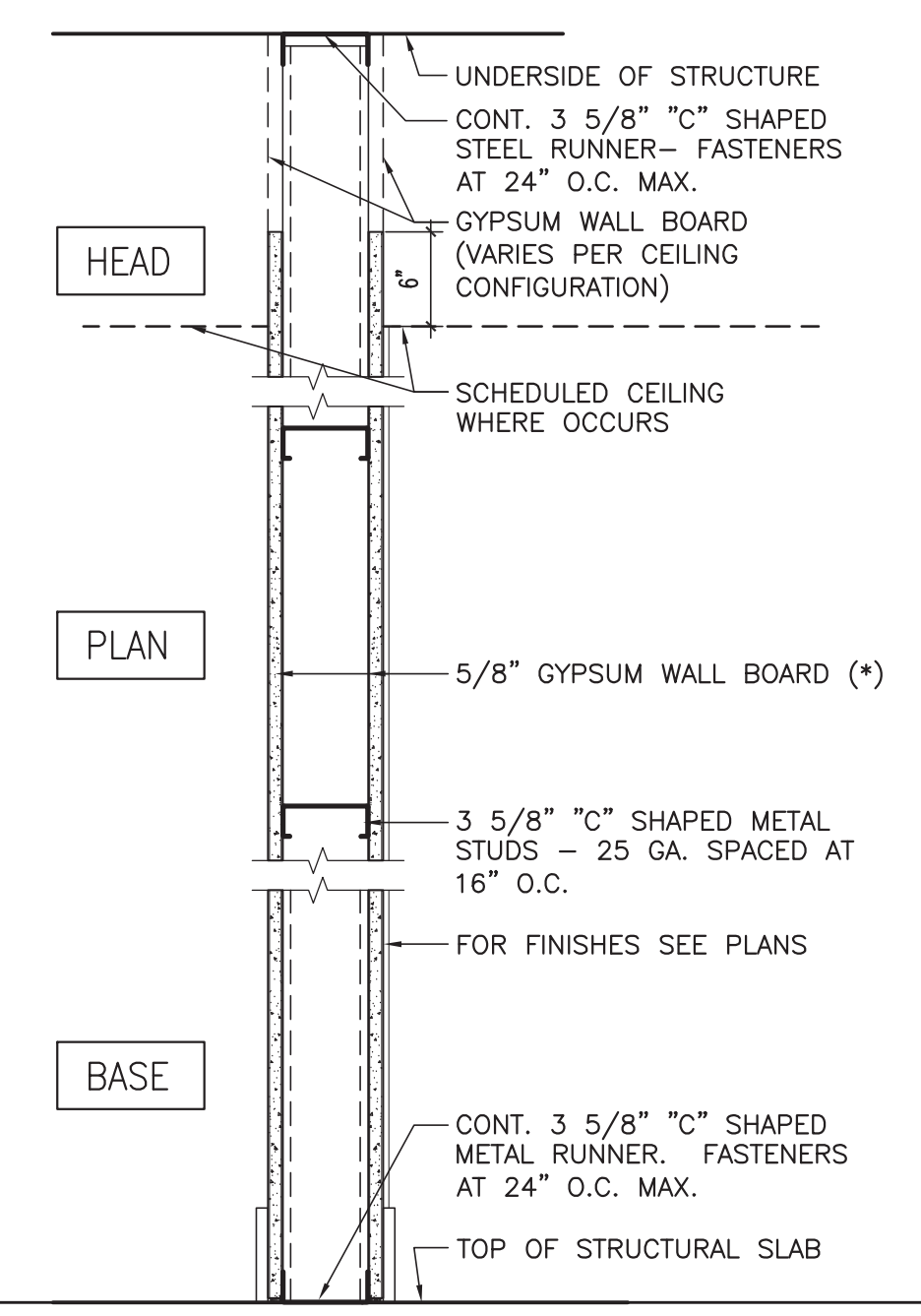
BUILT-IN CABINET DETAIL SECTION - TYP.  
SCALE: 1" = 1'-0"



BUILT-IN CABINET ELEVATION - TYP.  
SCALE: 1" = 1'-0"

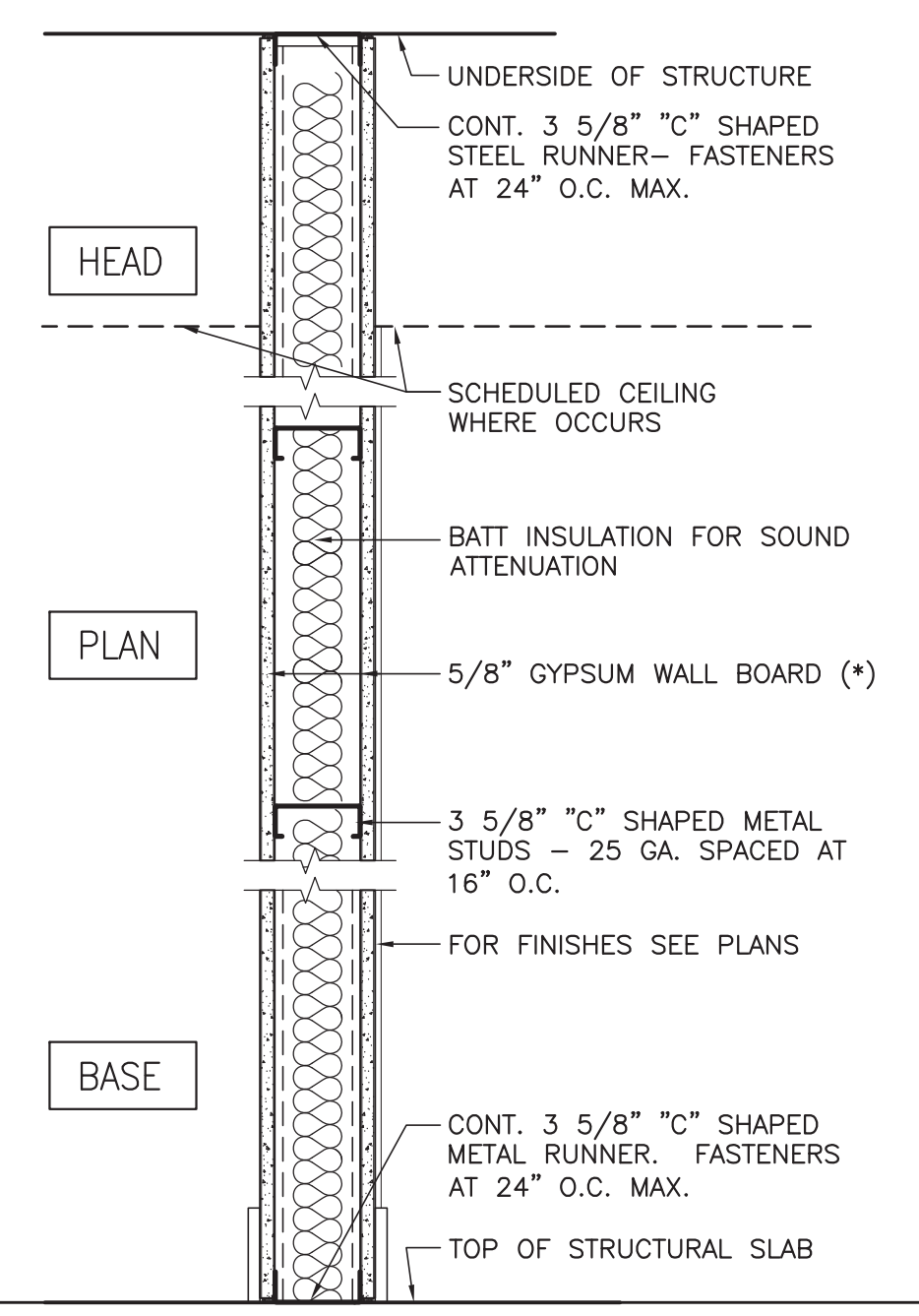
- WALL PARTITION NOTES**
- COORDINATE ALL INTERIOR FINISHES TO VERIFY EXTENTS OF FINISHES, COLORS AND PREPARATION OF WALL TO RECEIVE FINISH. INDIVIDUAL TOILET ROOM TO HAVE CERAMIC WALL TILE BEHIND FIXTURES FROM FLOOR (COVE BASE) TO CEILING (TYPICAL) UNLESS OTHERWISE NOTED.
  - DO NOT ALLOW G.W.B. TO TOUCH CONC. SLAB - STOP G.W.B. 1/4" ABOVE FLOOR SLAB AND FILL JOINT WITH SEALANT OR REQUIRED ACOUSTIC TREATMENT. USE FIRE RETARDANT SEALANT WHEN PARTITION IS FIRE AND/OR SMOKE RATED.
  - THE GAUGE OF METAL STUDS IS TO BE DETERMINED BY THE MANUFACTURER'S REQUIREMENTS FOR THE INSTALLED LENGTH, U.L. RATING ASSEMBLIES, AND PROJECT CONDITIONS UNLESS OTHERWISE NOTED. STUDS SHALL CONFORM TO ASTM C 645, APPROXIMATELY 25 GAUGE MINIMUM ROLL FORMED, ELECTRO-GALVANIZED OR HOT-DIPPED GALVANIZED STEEL CHANNELS IN REQUIRED WIDTHS, HAVING NOT LESS THAN 1-1/4 INCH WIDE FLANGES, PIERCED WEBS AND SECTION PROPERTIES EQUAL TO OR EXCEEDING U.S. GYPSUM METAL STUDS. IF STUD HEIGHT EXCEEDS MANUFACTURER'S RECOMMENDATIONS FOR INDICATED SIZE, SPACING OR SURFACE MATERIAL, PROVIDE HEAVIER GAUGE STUDS IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. PROVIDE 20 GAUGE STUDS AT PARTITIONS RECEIVING TILE FINISH. PROVIDE DOUBLE STUDS, 20 GAUGE EACH, AT EACH SIDE OF DOOR OPENINGS, AND AT EACH SIDE OF PARTITION OPENINGS EXCEEDING 32 INCHES IN WIDTH. SCREW FASTEN STUDS TOGETHER WITH 6 INCH LONG PIECES OF CHANNEL RUNNERS AT 1/4 POINTS OF FLOOR TO CEILING HEIGHT. FOUR (4) SCREWS MINIMUM. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - ALL DRAWINGS ON THIS SHEET ARE NOT TO SCALE.
  - CONTRACTOR MAY SUBSTITUTE CEMENTITIOUS BACKER BOARD AT ANY LOCATION REQUIRING MOISTURE RESISTANT G.W.B.
  - TILE FINISH ON PARTITION SHALL BE INSTALLED OVER 5/8" CEMENTITIOUS BACKER BOARD
  - ALL EXPOSED G.W.B. SHALL BE PAINTED UNLESS OTHERWISE NOTED OR FINISHED WITH OTHER MATERIAL. SEE FINISH SCHEDULE AND PLANS
  - PER FFPC 5th EDITION, SECTION 12.5.4.6 WHEREVER CLASS C INTERIOR WALL AND CEILING FINISH IS REQUIRED, CLASS A OR CLASS B SHALL BE PERMITTED.
  - ALL GYPSUM WALL BOARD MATERIAL IS TO BE TYPE "X" (FIRE RATED) AND 5/8" THICKNESS, U.O.N.
  - ALL SMOKE-STOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES, AND FIRE RATED WALLS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING ABOVE ANY DECORATIVE CEILING AND/OR CONCEALED SPACE WITH LETTERS A MINIMUM OF TWELVE (12") HIGH ON CONTRASTING BACKGROUND SPACED A MINIMUM OF ONE PER WALL OR BARRIER. THE TYPE OR HOURLY RATING SHALL BE INCLUDED AT ALL SIGN CONDITIONS. SUGGESTED WORDING: "(RATING TYPE AND HOUR) RATED BARRIER - PROTECT ALL OPENINGS". PROVIDE DESIGNATION AT 20'-0" O.C. MIN. CONTRACTOR TO COORDINATE WITH BUILDING INSPECTOR TO CONFIRM TYPE, LANGUAGE, SIZE AND LOCATION OF ALL DESIGNATIONS.
  - ALL VERTICAL PIPING EXPOSED IN ROOMS SHALL BE FURRED WITH SAME MATERIAL AS ADJACENT WALLS, WITH EXCEPTIONS FOR MECHANICAL, ELECTRICAL AND DATA/TELEPHONE ROOMS UNLESS OTHERWISE DESIGNATED.
  - CEMENTITIOUS WALL BOARD TO BE PROVIDED IN LIEU OF REGULAR GYPSUM WALL BOARD AT ALL SINK AREAS (IN OCCUPIED SPACES) TO A DISTANCE NOT LESS THAN 18" FROM EDGE OF SINK AT ALL BACK SPLASH AREAS.
  - CERAMIC TILE FINISHED AREAS SHALL EXTEND TO CEILING. ALL ACOUSTIC AND RATED WALLS SHALL BE TAPED AND FINISHED ABOVE CEILING.
  - ALL INTERIOR NONBEARING PARTITION WALLS SHALL BE PROTECTED IN ACCORDANCE WITH FBC 5th EDITION (2014) CHAPTER 6 TABLE 601 REQUIREMENTS FOR DESIGNATED TYPE OF CONSTRUCTION.
  - CONTRACTOR MAY PRESENT BID ALTERNATE WITH WALL BOARD EXTENDING TO UNDERSIDE OF ROOF WOOD TRUSS.

WALL TYPES



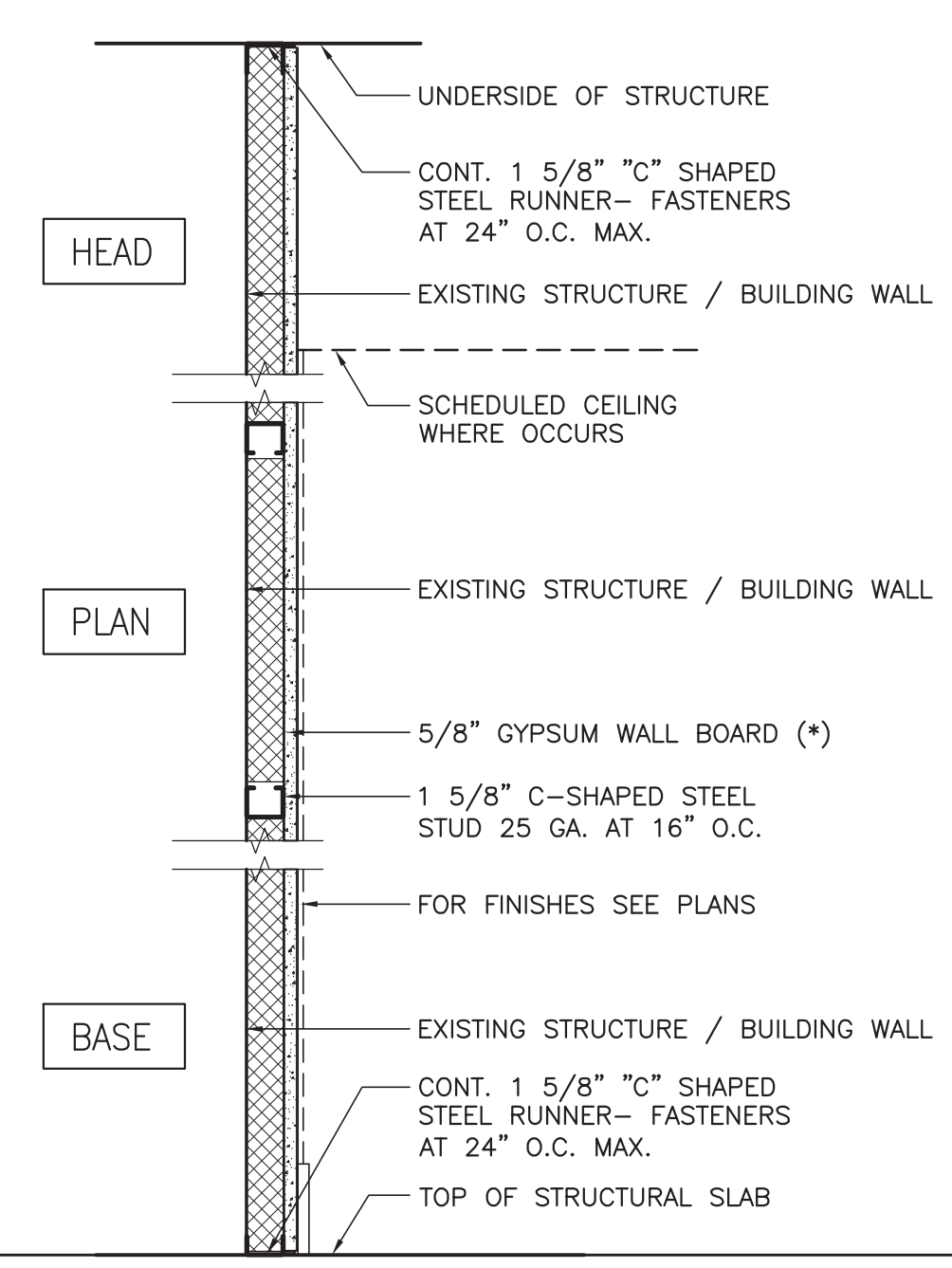
P.1 PARTITION NON-RATED

NOTE:  
WHERE "A" PROVIDED FOR 48 INCH CEMENTITIOUS BACKER BOARD LAYER IN CONTACT WITH FLOOR ON SIDE WHERE FLOOR FINISH IS NOTED AS EPOXY GRANITE.  
(\* PROVIDE CEMENTITIOUS BACKER BOARD AT RESTROOM AND WET AREAS.



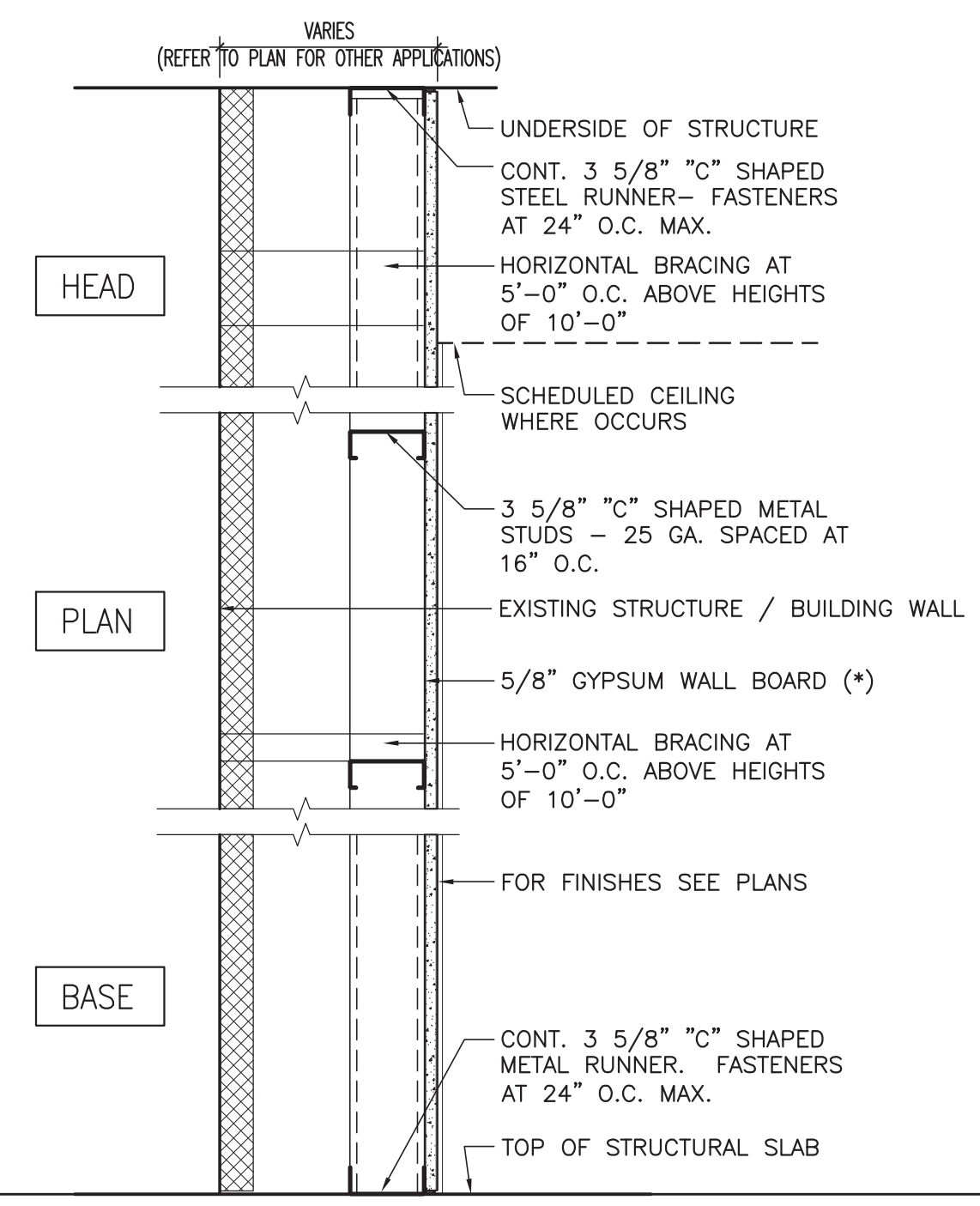
P.2 PARTITION NON-RATED

NOTE:  
WHERE "A" PROVIDED FOR 48 INCH CEMENTITIOUS BACKER BOARD LAYER IN CONTACT WITH FLOOR ON SIDE WHERE FLOOR FINISH IS NOTED AS EPOXY GRANITE.  
(\* PROVIDE CEMENTITIOUS BACKER BOARD AT RESTROOM AND WET AREAS.



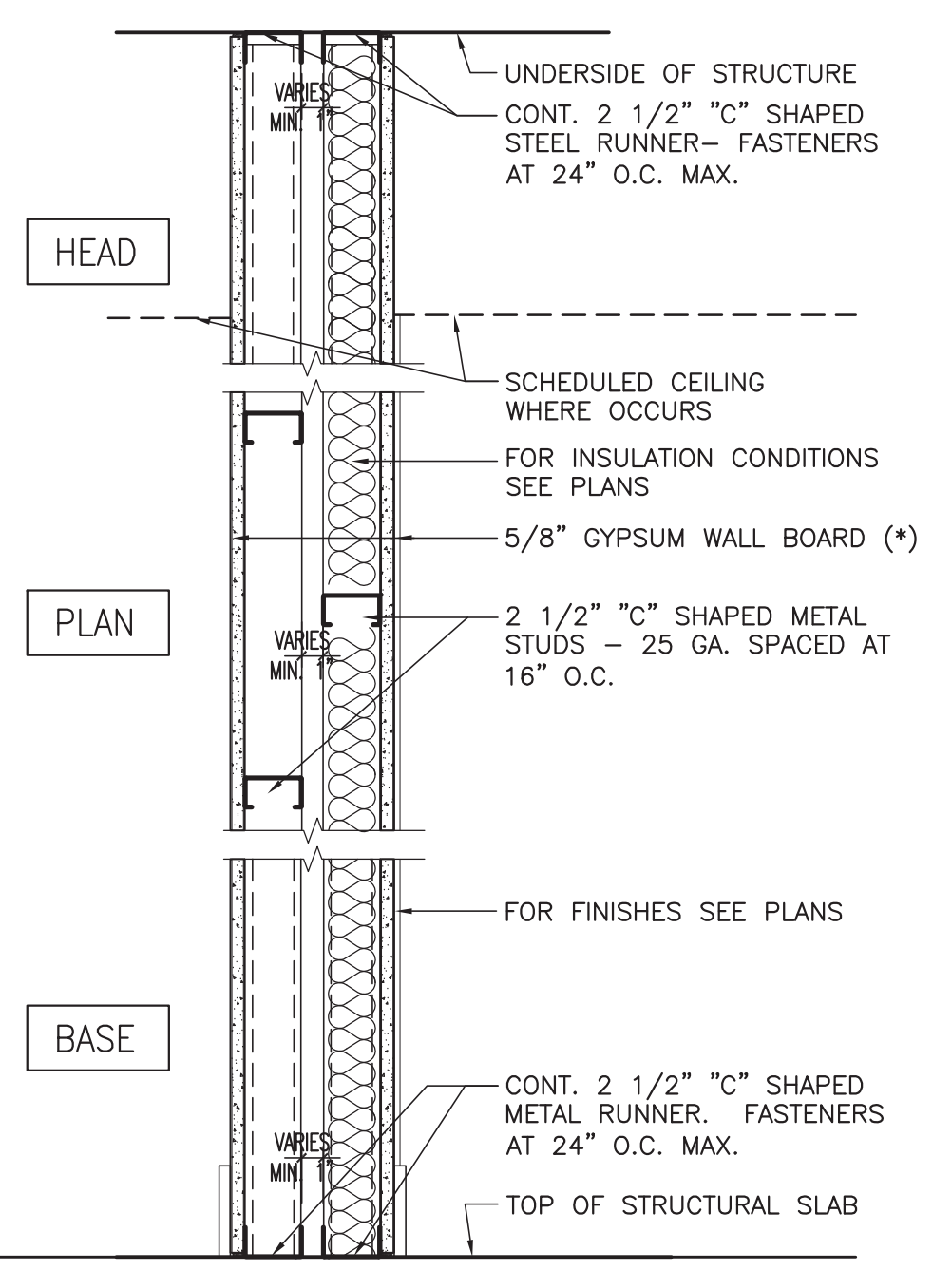
P.3 PARTITION NON-RATED

NOTE:  
WHERE "A" PROVIDED FOR 48 INCH CEMENTITIOUS BACKER BOARD LAYER IN CONTACT WITH FLOOR ON SIDE WHERE FLOOR FINISH IS NOTED AS EPOXY GRANITE.  
(\* PROVIDE CEMENTITIOUS BACKER BOARD AT RESTROOM AND WET AREAS.



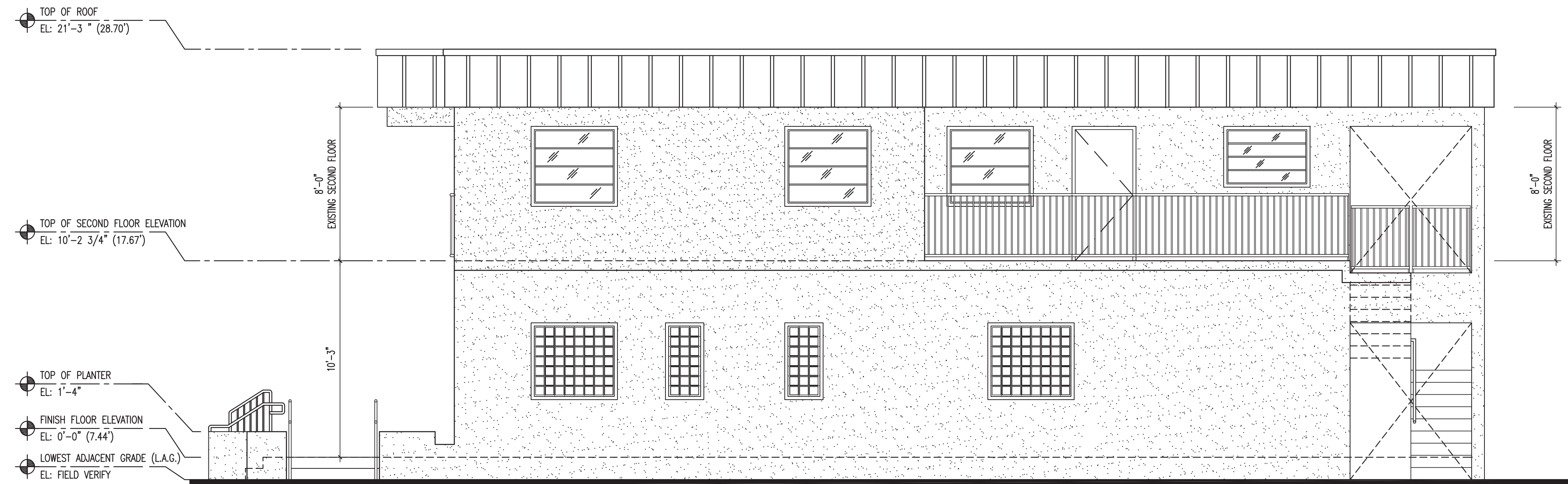
P.4 PARTITION NON-RATED

NOTE:  
WHERE "A" PROVIDED FOR 48 INCH CEMENTITIOUS BACKER BOARD LAYER IN CONTACT WITH FLOOR ON SIDE WHERE FLOOR FINISH IS NOTED AS EPOXY GRANITE.  
(\* PROVIDE CEMENTITIOUS BACKER BOARD AT RESTROOM AND WET AREAS.



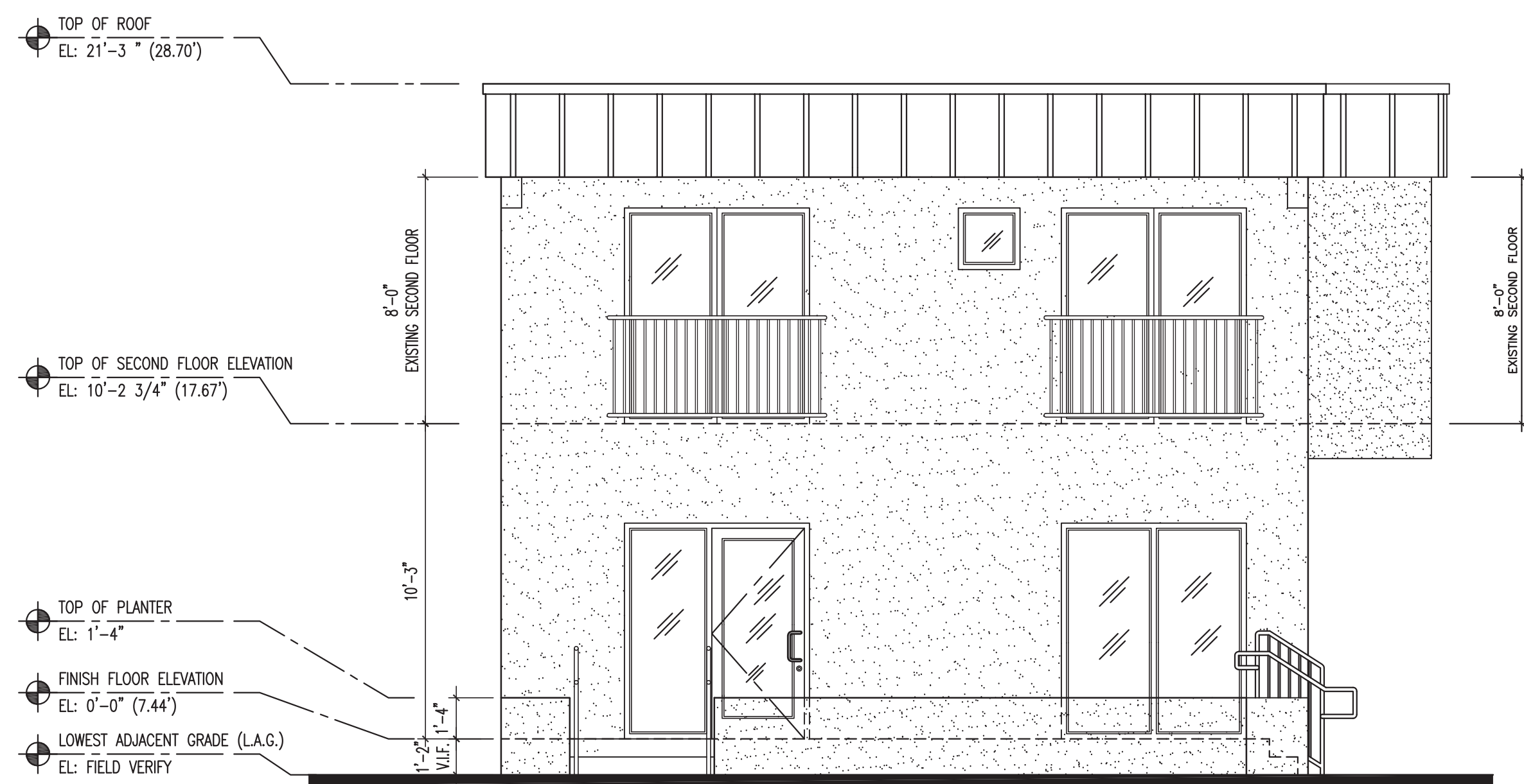
P.5 PARTITION NON-RATED

NOTE:  
WHERE "A" PROVIDED FOR 48 INCH CEMENTITIOUS BACKER BOARD LAYER IN CONTACT WITH FLOOR ON SIDE WHERE FLOOR FINISH IS NOTED AS EPOXY GRANITE.  
(\* PROVIDE CEMENTITIOUS BACKER BOARD AT RESTROOM AND WET AREAS.



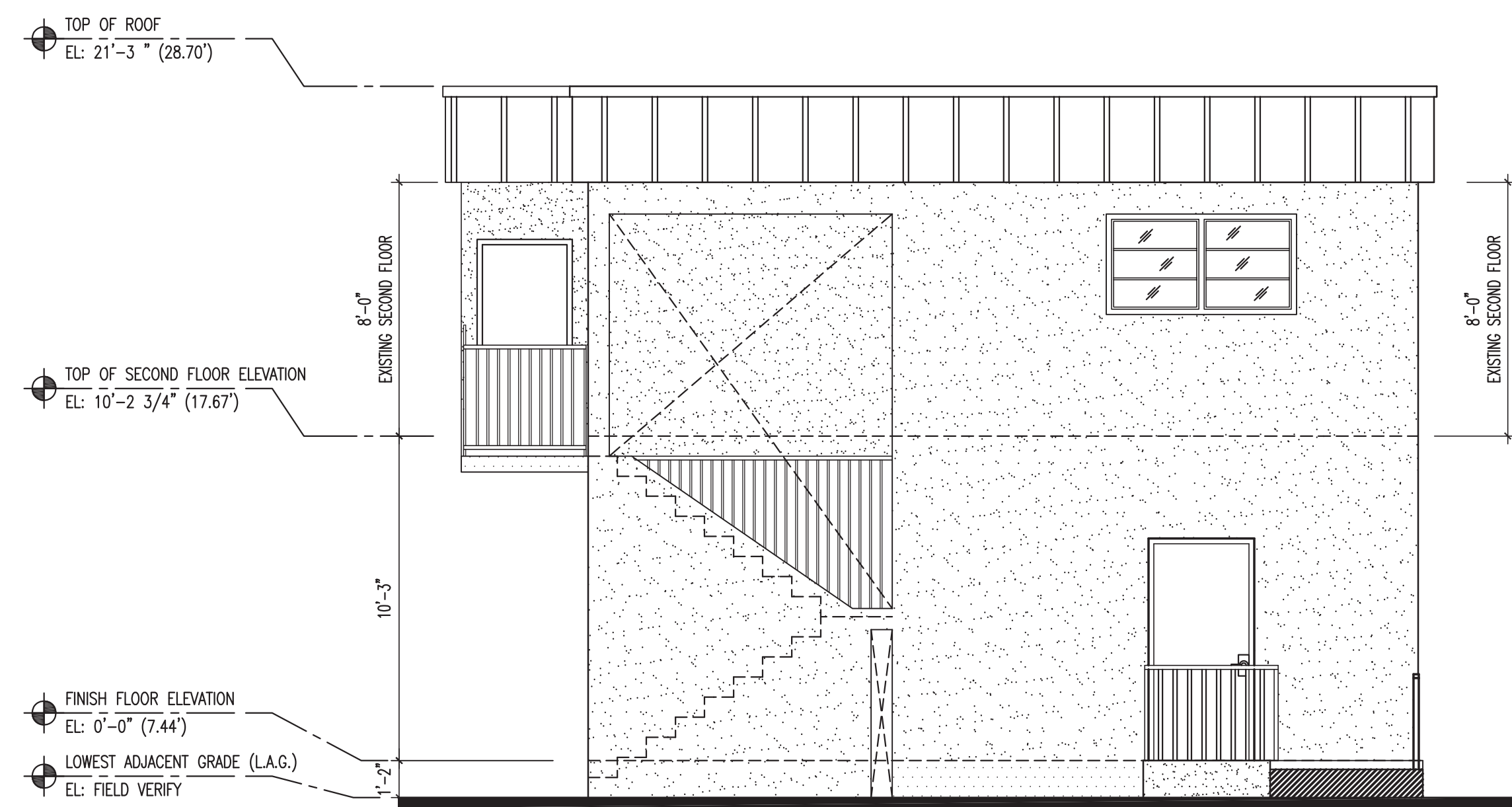
EXISTING - WEST ELEVATION (NO EXTERIOR WORK)

SCALE: 1/4" = 1'-0"



EXISTING - NORTH ELEVATION (NO EXTERIOR WORK)

SCALE: 1/4" = 1'-0"



EXISTING - SOUTH ELEVATION (NO EXTERIOR WORK)

SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY  
(NO EXTERIOR WORK)



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Revision

Project No.

File Name

Drawn by CLF

Checked by CLF

Scale NOTED

Date 10/01/2015

EXISTING BUILDING  
ELEVATIONS

Title

A6

Sheet No.