

**Department of Community Affairs
FLORIDA BUILDING COMMISSION
2555 Shumard Oak Boulevard
Tallahassee, Florida 32399-2100**

NOTICE TO WAIVER APPLICANTS

Please make certain you comply with the following:

- ☛ The person submitting the waiver request application as the Applicant **MUST** sign the application. Should you fail to do so, your application will be returned.
- ☛ If a licensed design professional (architect or engineer) has designed the project, his or her comments **MUST** be included as a part of this application.
- ☛ Be as explicit as possible. The more information provided to the Florida Building Commission, the more informed its decisions can be. If you are claiming financial hardship, please specify why and to what degree.
- ☛ If at all possible, **PLAN TO ATTEND the Accessibility Advisory Council and the Florida Building Commission meetings**. Sometimes pertinent facts are inadvertently omitted, or information provided/presented in the Request for Waiver application is not clear. Your attendance at the meetings to answer questions will enhance the possibility of the waiver being approved, since the Council and the Commission will receive the most complete information – from you. When we receive the completed application, we will send you a notice of the time, date, and place for both the Council and the Commission meetings.

Enclosed is a **List of Required Information** and the **Request for Waiver** application.

If you have any questions or would like additional information, please call the Codes and Standards Section at (850) 487-1824.

Please mail this application to the Department of Community Affairs at the address above. **As well as a hard copy, please include a copy of the application and drawings or plans on a CD in PDF format. NOTE: Please do not send CAD files, but rather scan the CAD files and save as a pdf. Must be in Microsoft Compatible format.**

NOTE: Failure to submit electronically will not have any bearing on whether your petition is heard by the Commission, however, electronic filing will facilitate the Commission's movement toward utilizing CD technology to display the waiver application and attached floor plans to the Counsel and Commission.

This application is available in alternate formats upon request.

LIST OF REQUIRED INFORMATION:

1. ☒ Drawings that will clearly present your project and that identify the issue(s) that relate to the waiver you are requesting. As a minimum, the following drawings must be submitted:
 - a. Project site plan
 - b. 24" x 36" minimum size drawings
 - c. Building/project sections (if necessary to assist in understanding the waiver request)
 - d. Enlarged floor plan(s) of the area in question
2. N/A One set of reduced scale (11" x 17") versions of the drawings submitted in item one above.
3. N/A One set of overhead transparencies (8 1/2" x 11") of the drawings submitted in item one above. When numerous features are shown on the drawings, please designate the location of the waiver items by highlighting or outlining in color the affected areas.
4. ☒ When substantial financial cost of compliance is alleged, supporting cost estimates with quotes from at least two vendors or contractors and catalog information.
5. N/A If you feel photographs and/or renderings are necessary for your presentation, provide 40 legible color photocopies of the photographs and/or renderings. If color photocopies of photographs are provided, use a minimum size of 4" x 6" photographs with a maximum of two photographs per photocopied page.
6. ☒ Please submit a hard copy of this application to the Department of Community Affairs. PLEASE NOTE: Although not required by Rule 9B-7, F.A.C., in addition to the hard copy please include a copy of the application and drawings or plans on a CD in PDF format.

General Information:

- a. **Equipment:** A CD projector is provided at the Accessibility Advisory Council and Florida Building Commission meetings. Any other equipment necessary for your presentation, such as an overhead projector, TV/VCR, slide or LCD projectors, etc., is the responsibility of the applicant.
- b. **Verbal Descriptions:** Presentations may be to sight or hearing impaired persons; visual presentations should consider adequate verbal and text descriptions of charts and pictures.

Your application will be reviewed by the Accessibility Advisory Council. You will have the opportunity to answer questions and/or make a short presentation **not to exceed 15 minutes**. The Council will provide recommendations to the Florida Building Commission. The Commission will review the application. You will have another opportunity to answer questions and/or give a short presentation **not to exceed 15 minutes**. The Commission will consider all information and the Council's recommendation before voting on the waiver.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: 7144 BYRON L.L.C. / AYUDA

Address: 7144 BYRON AV. MIAMI BEACH, FL.
33141

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: 7144 BYRON L.L.C. / AYUDA

Applicant's Address: 7144 BYRON AV. MIAMI BEACH, FL.

Applicant's Telephone: (305) 992-5439 FAX: _____

Applicant's E-mail Address: dianasusi@aol.com, dianasusi@gmail.com

Relationship to Owner: SELF

Owner's Name: DIANA SUSI, PRESIDENT / CEO,
GENERAL MANAGING PARTNER

Owner's Address: 7144 BYRON AV. MIAMI BEACH, FL.

Owner's Telephone: (305) 992-5437 FAX _____

Owner's E-mail Address: dianasusi@aol.com, dianasusi@gmail.com

Signature of Owner:  

Contact Person: LUCI FERNANDEZ

Contact Person's Telephone: (305) 275-6310 E-mail Address: LUCI@ARCBUILDERS
AND GROUP.COM

This application is available in alternate formats upon request.
Form No. 2001-01

3. Please check one of the following:

☐ New construction.

☐ Addition to a building or facility.

☒ Alteration to an existing building or facility.

☐ Historical preservation (addition).

☐ Historical preservation (alteration).

4. Type of facility. Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

2229.5 A.S.F. PER FLOOR, (T.T. 4,459 A.S.F.) 2 STORIES
EXISTING MULTI-FAMILY CONVERSION TO EDUCATIONAL USE.

5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):

ALTERATION COST \$66,567.00

6. Project Status: Please check the phase of construction that best describes your project at the time of this application. Describe status.

☐ Under Design ☐ Under Construction*

☒ In Plan Review ☐ Completed*

* Briefly explain why the request has now been referred to the Commission.

PLANS REVIEW BY BUILDING/ACCESSIBILITY SECTION
FINAL APPROVAL PENDING, WAIVER APPLICATION
APPROVAL BY THE STATE OF FLORIDA.

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: FLORIDA STATUTES 553.509 VERTICAL ACCESSIBILITY
to all levels requirement / 2007 F.B.C. 11-4.1.6(1)(K)(iii)

Issue

2: _____

Issue

3: _____

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

[] The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

☒ Substantial financial costs will be incurred by the owner if the waiver is denied.

THE COST OF PROVIDING VERTICAL ACCESSIBILITY TO THE
2ND FLOOR, WOULD EXCEED 20% OF THE PROPOSED COST OF
CONSTRUCTION.

☒ The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

PLEASE REFER TO THE COST ESTIMATE, SITE PICTURES,
ARCHITECTURAL DRAWINGS.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. PLEASE REFER TO ATTACHED, REVIEW AND RECOMMENDATION
BY LOCAL CITY OF MIAMI BEACH BUILDING DEPARTMENT

b. COST ESTIMATES FROM THE ELEVATOR CO.

CENTRELLX, ORACLE, GENERAL CONTRACTOR MODIFICATION/
REPAIRS.

c. _____

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

PLEASE REFER TO EXEMPTION 11-4.1.6 (F)(1) THE COST OF PROVIDING
VERTICAL ACCESSIBILITY TO THE 2ND FLOOR WILL EXCEED
THE 20% OF THE PROPOSED COST OF CONSTRUCTION.

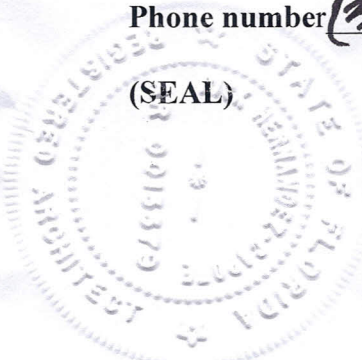
Signature

Phone number (305) 275-6310

(SEAL)

RICK L. HERNANDEZ-CAPOTE, R.A.

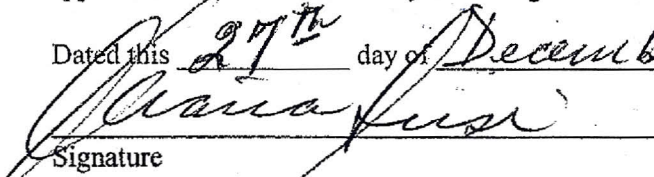
Printed Name ARCHITECT
LIC. NO. AE0013379
STATE OF FLORIDA.



CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 27th day of December, 2011


Signature

DIANA SUSI
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. Florida statutes 553.509 Vertical Accessibility to all levels requirement. /

2007 FBC 11-4.1.6(1) (k) (iii)

b. _____

c. _____

Has there been any permitted construction activity on this building during the past three years? If So, what was the cost of construction?

[x] Yes [] No

Cost of Construction: \$66,567.00 (Proposed Cost of Construction

Comments/Recommendation: We recommend that the vertical accessibility requirement be waived since the building has less than three stories and less than 3,000.00 sq ft per floor as included in Exemption 11-4.1.6(k)(i). Also, the cost of providing vertical accessibility to the 2nd floor will exceed the 20% of the proposed cost of construction.

Jurisdiction City Of Miami Beach

Building Official or Designee

Gladys N. Salas, PE (B.O. Designee)

Signature

Gladys N. Salas, PE

Printed Name

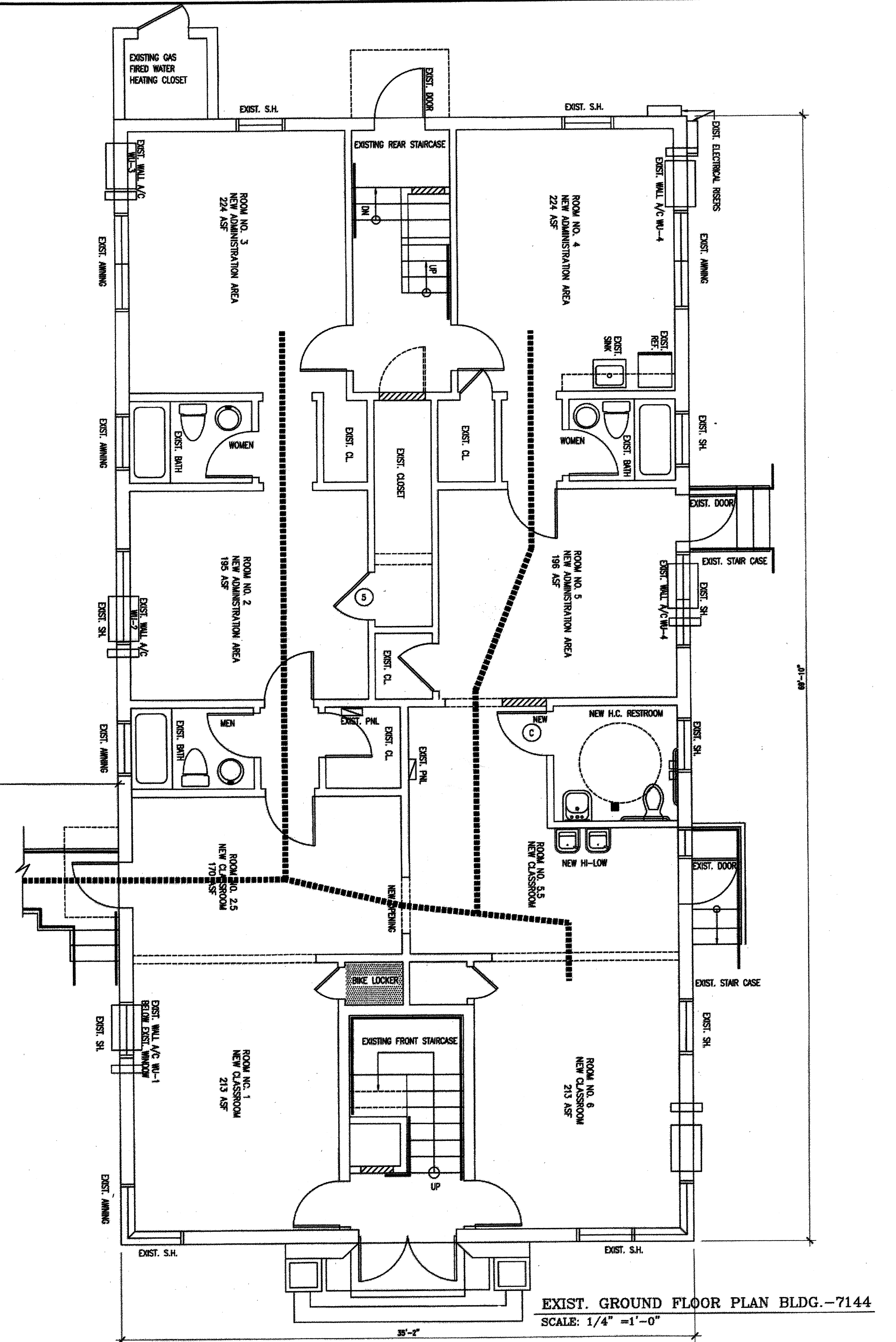
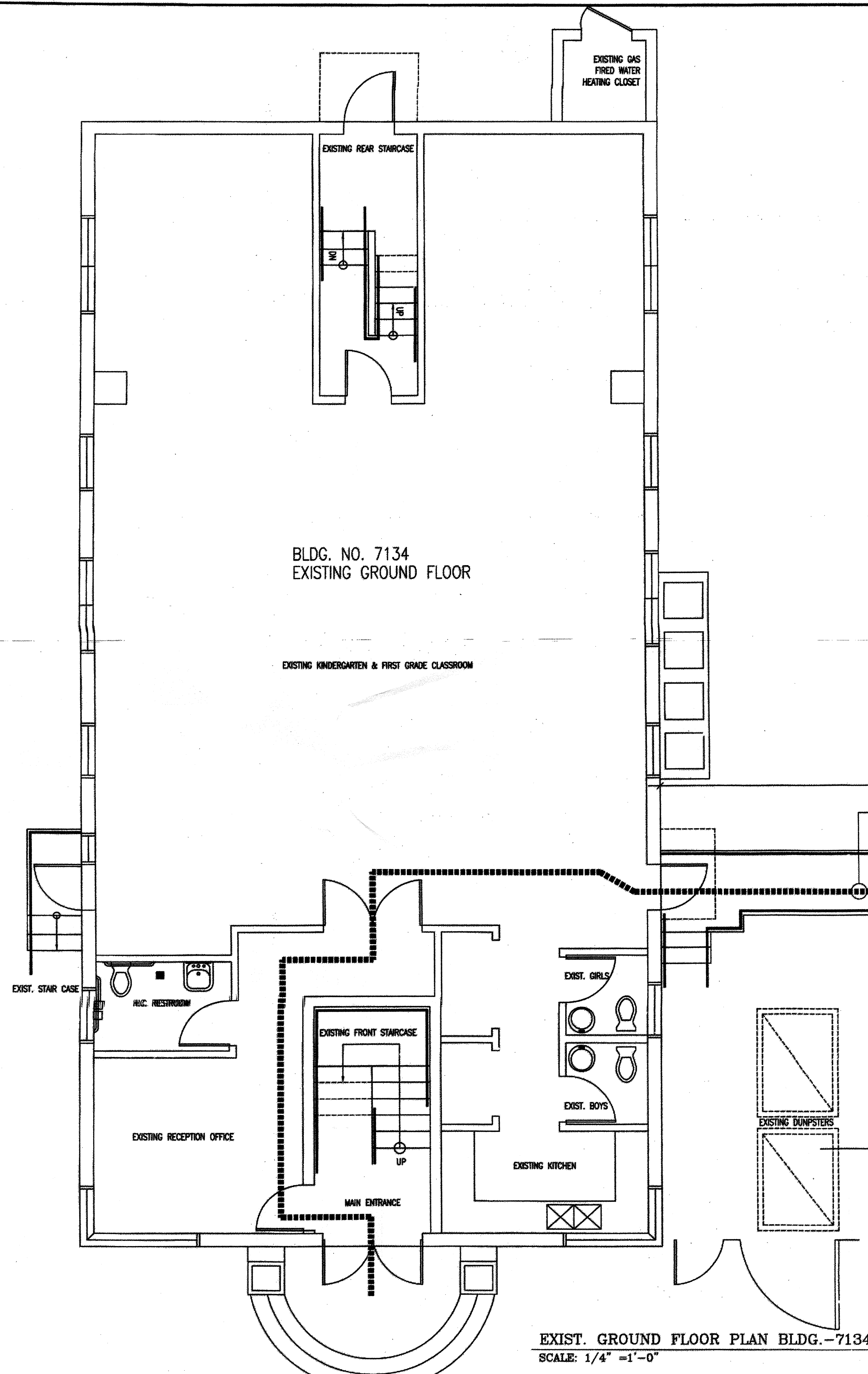
PX0001401

Certification Number

305-673-7610 ext. 6888/ 786-394-4087

Telephone/FAX

Address: 1700 Convention Center Dr. Miami Beach, FL 33139, 2ND Floor.



RICK HERNANDEZ CAPOTE, R.A.
ARC BUILDERS + GROUP, INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309

LIC. NO. AA 0001931, AR 13379, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0978 N.C.A.R.B. 45,895
A.C.F.E. FORENSIC ENGINEERING MEMBER ID:14739

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141

PROJECT NAME: EXISTING MULTI FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE
24 JAN. 2011 PRELIMINARY PLANNING MEETING
FEB. 2011 SUBMITTAL FOR CONDITIONAL USE
11 FEB. 2011 PLANNING MEETING REVIEW
21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN

DRAWN: A.S.

DESIGNED: R.H.

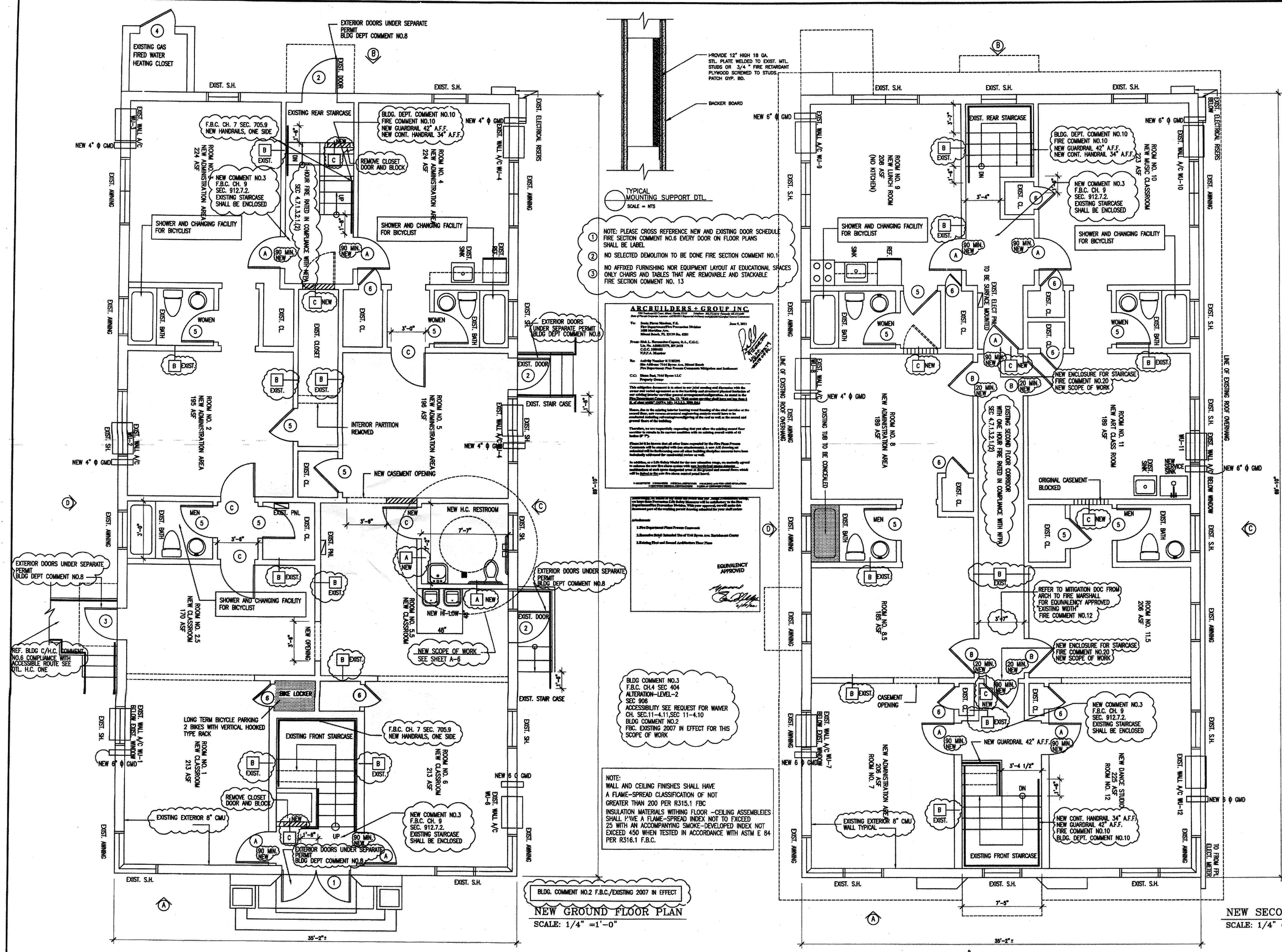
CHECKED BY: R.H.

APPROVED BY: R.H.C.

DRAWING NO.

FLOOR PLANS

A-12



PLUMBING/MECHANICAL COMMENTS NO.1

**7144 BYRON AVE MIAMI BEACH
OCCUPANT LOAD PER N.F.P.A.
CH 7 TABLE 7.3.12**

GROUND FLOOR

1. CLASSROOM
781 ASF
20 SF/PERSON=39

2. OFFICE/ADMINISTRATION
643 ASF
100 SF/PERSON=6.43

3. STORAGE/RECORDS
198 ASF
300 SF/PERSON=.65

SUMMATION AT GROUND LEVEL
39+6.43+.65=46 OCCUPANT LOAD

**7144 BYRON AVE MIAMI BEACH
OCCUPANT LOAD PER N.F.P.A.
CH 7 TABLE 7.3.12**

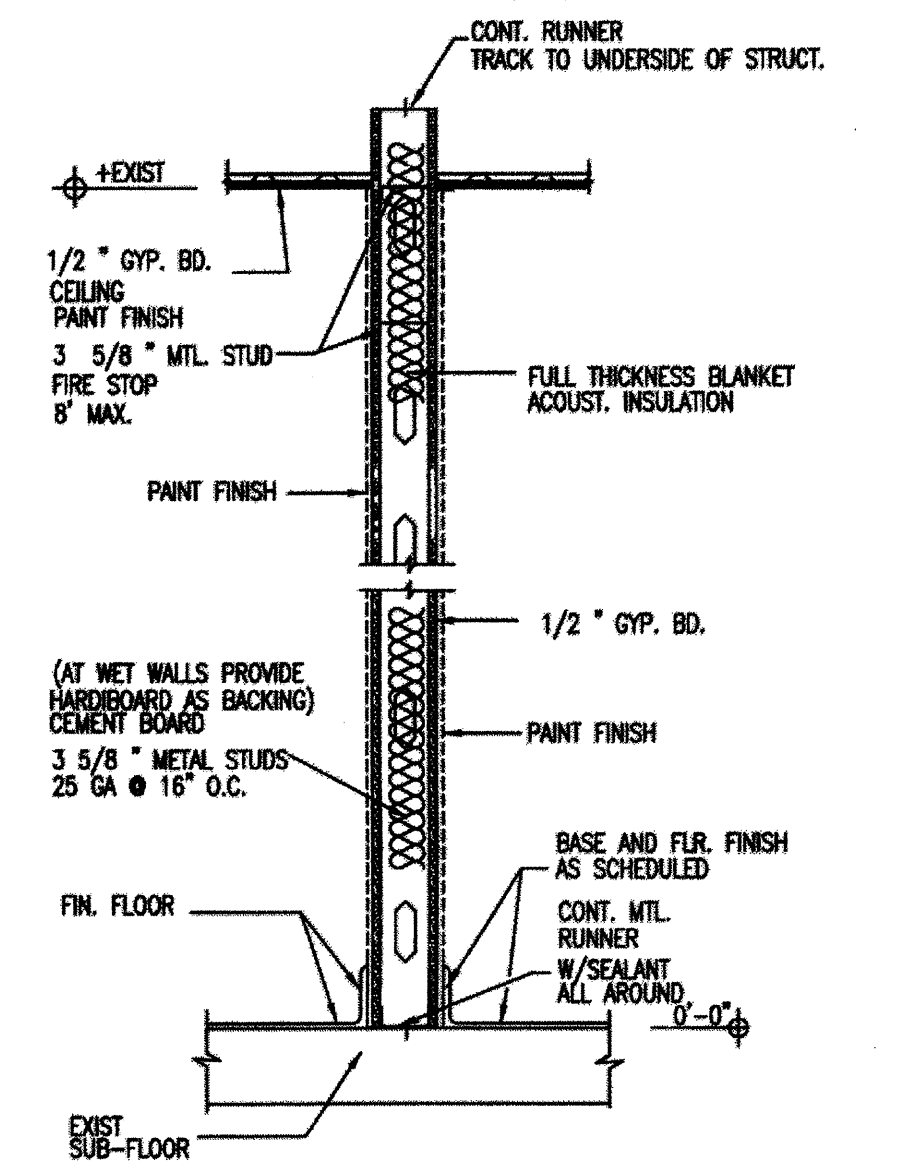
SECOND FLOOR

4. CLASSROOM
620 ASF
20 SF/PERSON=31

5. EXERCISE ROOM WITH/OUT EQUIP.
431 ASF
15 SF/PERSON=29

6. OFFICE/ADMINISTRATION
580 ASF
100 SF/PERSON=5.8

SUMMATION AT GROUND LEVEL
31+29+5.8=66 OCCUPANT LOAD



**TYPICAL PARTITION
NEW SCOPE OF WORK**

FIRE COMMENT NO. 17
REFER TO WALL LEGEND, DETAILS FINISH SCHEDULE
DRAWING NO. A-5
CROSS REFERENCE WITH FLOOR PLANS

RICK HERNANDEZ CAPOTE, P.A.
ARCBUILDERS + GROUP, INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309

LIC. NO. AA 0001831, AR 13379, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0078 N.C.A.R.B. 45,585
A.C.F.E. FORENSIC ENGINEERING MEMBER ID:14739

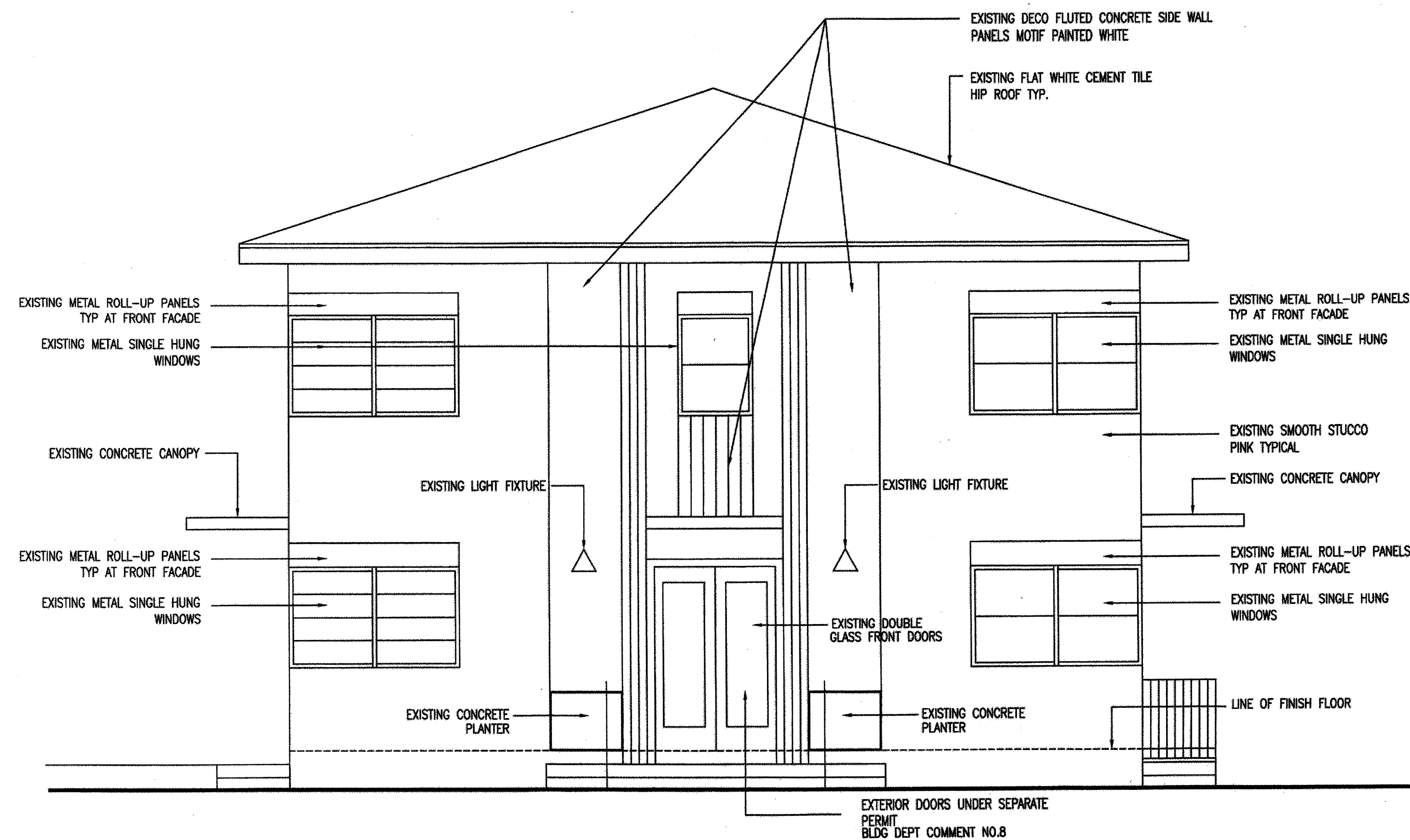
CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL 33141

PROJECT NAME: EXISTING MULTI FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

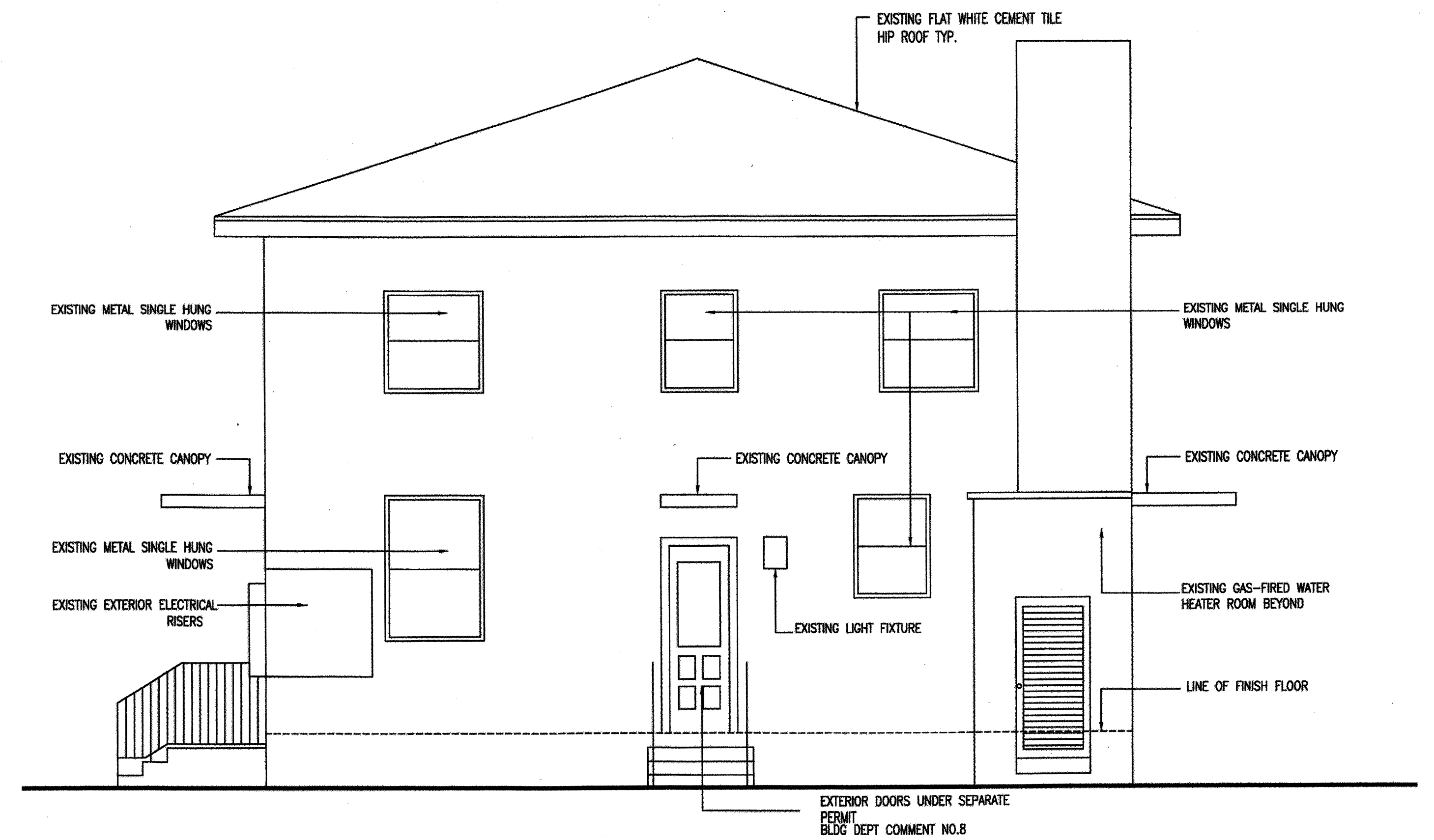
NO. DATE REVISION / ISSUE
24 JAN. 2011 PRELIMINARY PLANNING MEETING
FEB. 2011 SUBMITTAL FOR CONDITIONAL USE
11 FEB. 2011 PLANNING MEETING REVIEW
21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN
DRAWN: A.S.
DESIGNED: R.H.
CHECKED BY: R.H.
APPROVED BY: R.H.C.

DRAWING NO.
FLOOR PLANS
A-1



EXISTING FRONT ELEVATION-A
SCALE: 1/4" = 1'-0"



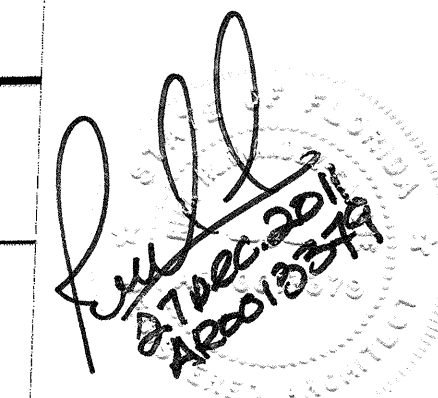
EXISTING REAR ELEVATION-B
SCALE: 1/4" = 1'-0"

RICK HERNANDEZ CAPOTE, P.A.
ARCHITECTS + GROUP, INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309

LIC. NO. AA 0001931, AR 13379, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 46,895
A.C.F.E. FORENSIC ENGINEERING MEMBER ID:14739

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141

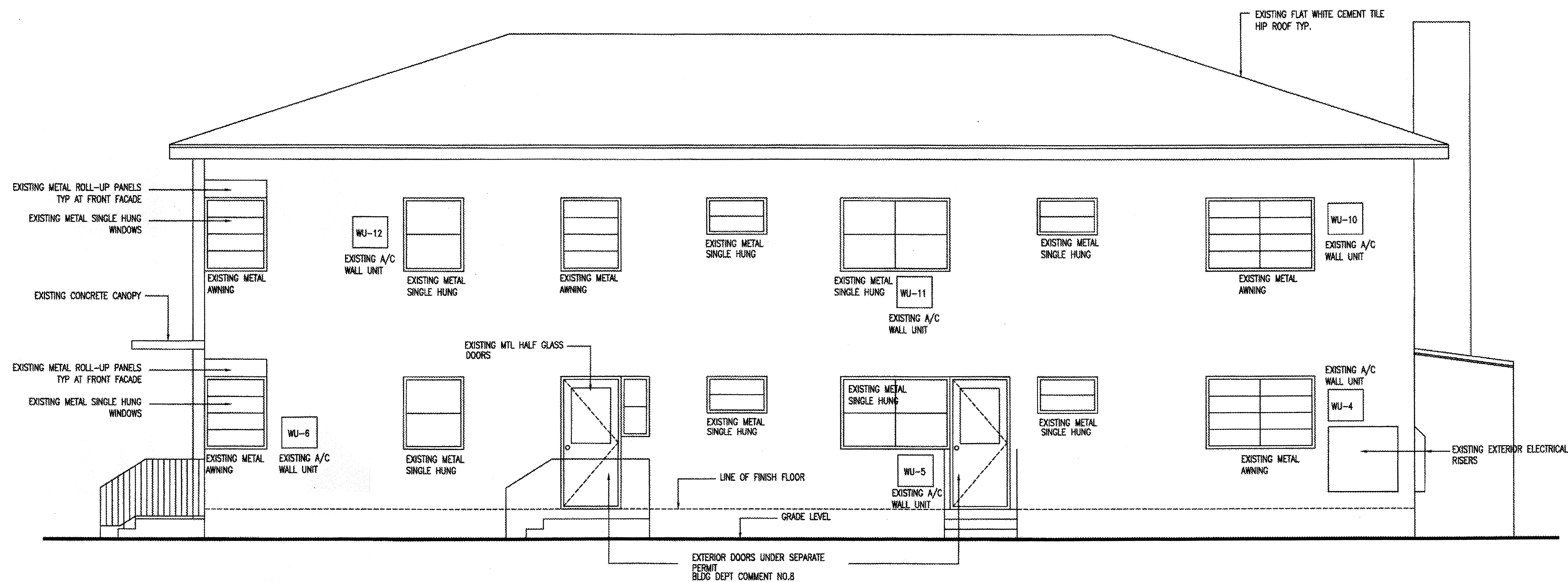
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PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE



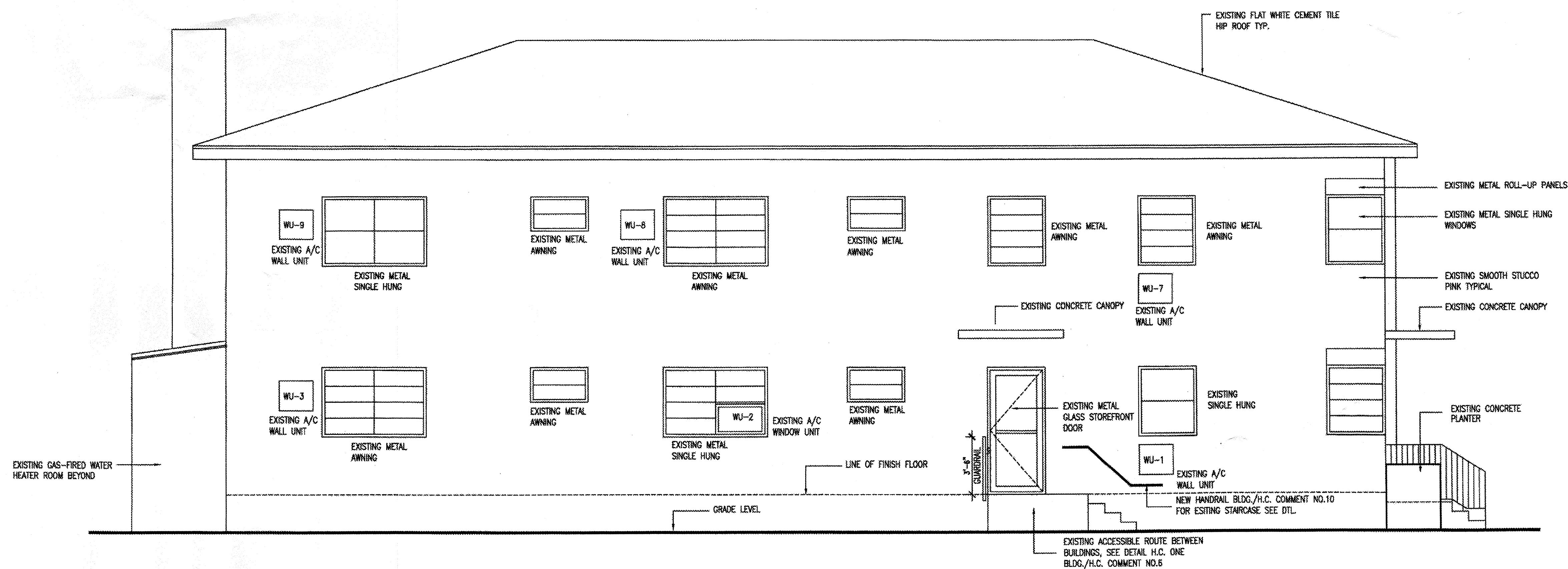
NO.	DATE	REVISION / ISSUE
24 JAN.	2011	PRELIMINARY PLANNING MEETING
FEB.	2011	SUBMITTAL FOR CONDITIONAL USE
21 JUL.	2011	BUILDING DEPARTMENT SUBMITTAL

SCALE:	AS SHOWN
DRAWN:	A.S.
DESIGNED:	R.H.
CHECKED BY:	R.H.
APPROVED BY:	R.H.C.

DRAWING NO.
ELEVATIONS
A-2



EXISTING SIDEWALK SIDE ELEVATION-C
SCALE: 1/4" = 1'-0"



EXISTING INTERIOR SIDE ELEVATION-D
SCALE: 1/4" = 1'-0"

RICK HERNANDEZ CAPOTE, P.A.
ARCHITECTS & GROUP, INC.
7301 S.W. 83RD.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309

LIC. NO. AA 0001931, AR 13372, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 09716 N.C.A.R.B. 45,895
A.C.F.E. FORENSIC ENGINEERING MEMBER ID.14739

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141

PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE
24 JAN. 2011 PRELIMINARY PLANNING MEETING
FEB. 2011 SUBMITTAL FOR CONDITIONAL USE
21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN
DRAWN: A.S.
DESIGNED: R.H.
CHECKED BY: R.H.
APPROVED BY: R.H.C.

DRAWING NO.
ELEVATIONS
A-3

PER FIRE DEPT. COMMENTS NO. 6, 7, 8/ BLDG. COMMENTS NO. 9

EXISTING DOOR SCHEDULE															
Ground Floor	Door						Frame			Details			Quantities	Remarks	
	Room No.	Door Type	Size WD x HT	Threshold	Material	Finish	Label Required	Frame Type	Material	Label Required	Head	Jamb			Sill
	Front Ext.	①	Pair 3 ⁶ X 6 ⁶	1 3/8"	Metal Clad	Painted	_____	Conc. Casement	C.M.U. Reinforced	_____	_____	_____	_____	1	
	Rear/Side Ext.	②	3 ⁶ X 6 ³	1 3/8"	Metal Clad	Painted	_____	Conc. Casement	C.M.U. Rsinforced	_____	_____	_____	_____	3	
	Side Ext.	③	3 ⁶ X 6 ³	1 3/8"	Storefront	Mill	_____	Metal	Metal	_____	_____	_____	_____	1	
	Central Boiler	④	3 ⁴ X 6 ⁶	_____	Metal	Painted	_____	Metal	Metal	_____	_____	_____	_____	1	
	2.0/2.5, 3, 4, 5	⑤	2 ⁴ X 6 ³	_____	Wood	Painted	_____	Wood Frame	Wood	_____	_____	_____	_____	8	
	Bike-Locker	⑥	2 ⁰ X 6 ⁶	_____	Wood	Painted	_____	Wood Frame	Wood	_____	_____	_____	_____	3	
Second Floor	8, 9, 10, 11.5	⑤	2 ³ X 6 ³	_____	Wood	Painted	_____	Wood Frame	Wood	_____	_____	_____	_____	5	
	7, 8, 9, 10, 12	⑥	2 ⁰ X 6 ⁶	_____	Wood	Painted	_____	Wood Frame	Wood	_____	_____	_____	_____	6	

Tremco Incorporated
3735 Green Road • Beachwood, OH 44122 • 888-209-2404

TREMCO

FACSIMILE

TO: RICH HERNANDEZ-CAPOTE R.A./ C.G.C.
ARC BUILDERS AND GROUP INC.
7301 S.W. 83 CT.
MIAMI, FL. 33143
Phone: 305-2756310
Fax: 305-2756309
E-mail: lool@arcbuildersandgroup.com
CC: Mike Buchholz, Darryl Lane

FROM: Rick Reuss
Tremco Incorporated
Integrated Technical Solutions
216-514-7575 (fax)
866-209-2404 (toll free phone)
firetech@tremcoinc.com

PAGES SENT: 1
(Including cover)

DATE: Apr 16, 2011

SUBJECT: Tremco Fire Protection Engineering Judgment FC-2381-038

Project: 7144 BYRON AV.
Location: Miami Beach, FL

Project Information
Project Name: 7144 BYRON AV.
Project City: miami-beach, FL
Date Required: 14 april 2011
General Data
Assembly: floor and walls (see below)
F Rating: one/two
Preferred Product: forming material/acrylic spray/acrylic sealant

Through Penetrations
Description of Penetration: wd. joist 2x10 12" o.c. pipe penetration 1/2" to 3" pvc or metal thru vert. wd. frame tremco system no. wd-1-1158 (similar)
Size of Opening: 16" o.c. studs
Annular Space Minimum: 1/2"
Annular Space Maximum: 3"
Sleeve Required: various

Joint Systems
Description of Joint: head/wall ceiling joint 2x8 16oc. wd. studs 2x4 16oc (2) 2x4 top plates/2x8 cont. between stud and wd. deck above.
item no. 2 head/wall 2x8 16oc. 8" c.m.u. vert. wall
Joint Width: 16" o.c. joint
Joint Reinforcement: 2x4 16oc. wd. studs 2x4 16oc (2) 2x4 top plates/2x8 cont. between stud and wd. deck above.

Notice: This communication is intended to be confidential to the person to whom it is addressed, and is subject to copyright protection. If you are not the intended recipient, or the agent of the intended recipient, or if you are unable to deliver this communication to the intended recipient, please do not read, copy, or use this communication, or show it to any other person, but notify the sender immediately.

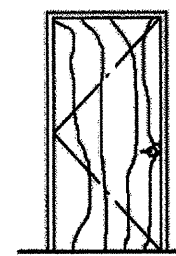
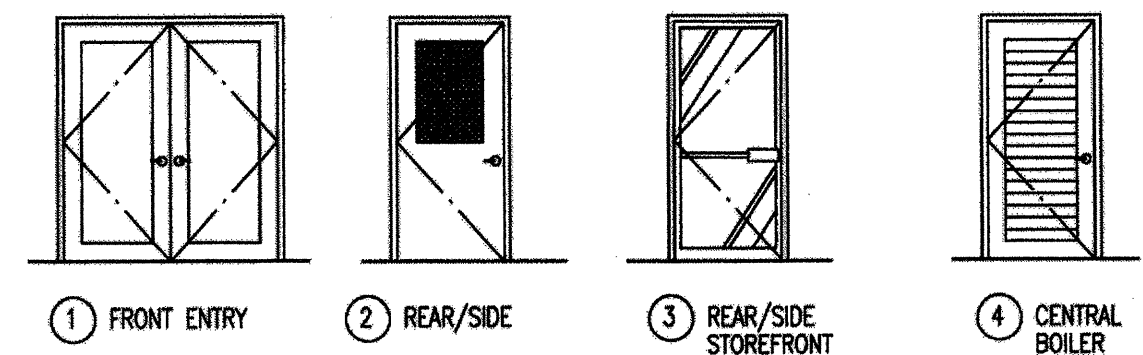
An RPM Company

FIRE COMMENT NO.5 PENETRATIONS OF FIRE RATED WALLS & OPENINGS

PER FIRE DEPT. COMMENTS NO. 6, 7, 8/ BLDG. COMMENTS NO. 9

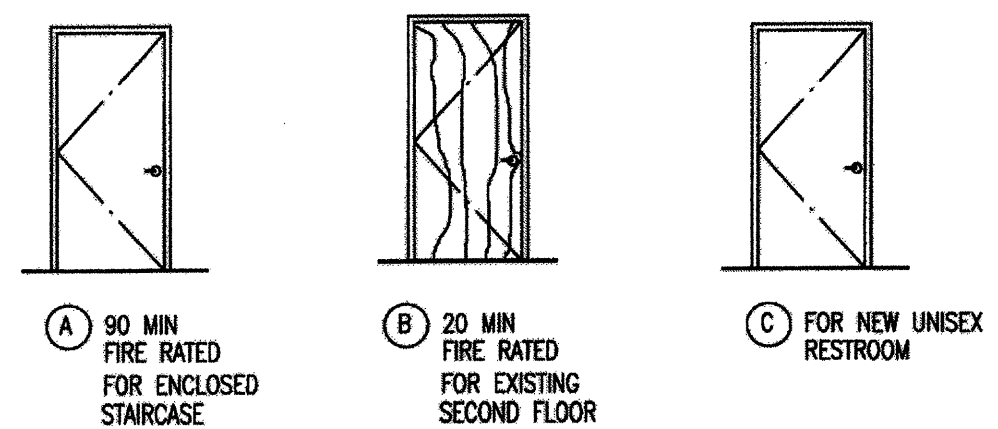
NEW DOOR SCHEDULE															
	Door						Frame				Details			Quantities	Remarks
	Room No.	Door Type	Size WD x HT	Threshold	Material	Finish	Label Required	Frame Type	Material	Label Required	Head	Jamb	Sill		
Ground Floor	1	A	3'0" X 6'	1 3/8"	Hollow Metal	Painted	90 min.	Det. 5	Hollow Metal	90 min.	Det. 4	Sim.	None	1	See Fire Protection Hardware
	2	REFER TO EXISTING DOOR SCHEDULE													
	2.5														
	3														
	4														
	5														
	5.5	C	3'0" X 6'	1/2"	Hollow Core	Painted	---	Det. 4	Hollow Metal	90 min.	Det. 4	Sim.	None	1	New H.C. Restroom
6	A	3'0" X 6'	1 3/8"	Hollow Metal	Painted	90 min.	Det. 5	Hollow Metal	90 min.	Det. 4	Sim.	None	1	See Fire Protection Hardware	
Second Floor	7	A	3'0" X 6'	1 3/8"	Hollow Metal	Painted	90 min.	Det. 5	Hollow Metal	90 min.	Det. 4	Sim.	None	1	See Fire Protection Hardware
	8	REFER TO EXISTING DOOR SCHEDULE													
	8.5														
	9	A	3'0" X 6'	1 3/8"	Hollow Metal	Painted	90 min.	Det. 5	Hollow Metal	90 min.	Det. 4	Sim.	None	1	See Fire Protection Hardware
	10	A	3'0" X 6'	1 3/8"	Hollow Metal	Painted	90 min.	Det. 5	Hollow Metal	90 min.	Det. 4	Sim.	None	1	See Fire Protection Hardware
	11	REFER TO EXISTING DOOR SCHEDULE													
	11.5														
	12	A	3'0" X 6'	1 3/8"	Hollow Metal	Painted	90 min.	Det. 5	Hollow Metal	90 min.	Det. 4	Sim.	None	1	See Fire Protection Hardware
Corridor	A	3'0" X 6'	1 3/8"	Hollow Metal	Painted	90 min.	Det. 5	Hollow Metal	90 min.	Det. 4	Sim.	None	2	See Fire Protection Hardware	
Corridor	B	3'0" X 6'	1 3/8"	Solid Wood	Painted	20 Min.	Det.	Hollow Metal	20 Min.	---	---	None	4	See Fire Protection Hardware	

EXISTING DOOR TYPES EXTERIOR



5 6
MSC. INT. R1.

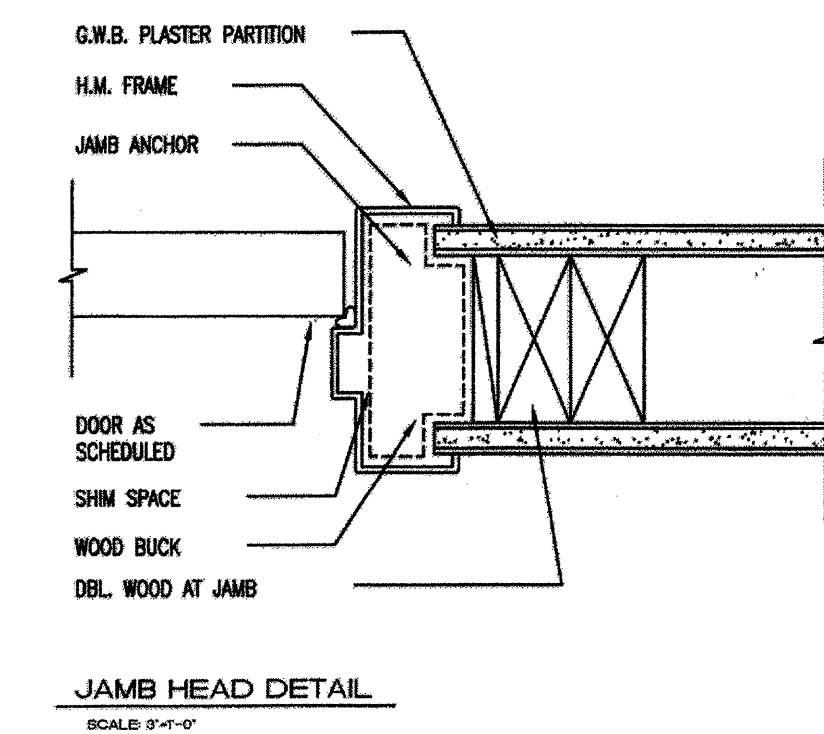
NEW DOOR TYPES INTERIOR



INTERIOR STAIRCASE

1 1/2 HOUR FIRE RATED
3000036 PANIC DEVICE 36" ALUMINUM
8000/ L KEY LOCK TRIM 260
430-P G2 REGULAR ARM PARALLEL ARM ALUM.
EACH BB-31 4-1/2" x 4-1/2" NRP USP PRIMED HINGE

1 1/2 HOUR FIRE RATED
430-P G2 REGULAR ARM/PARALLEL ARM ALUMINUM
3000036 PANIC DEVICE 36" ALUMINUM
8000/ PAS PASSAGE TRIM 260
8000/ L KEY LOCK TRIM 260
EACH BB-31 4-1/2" x 4-1/2" NRP USP PRIMED HINGE
SELF CLOSING DEVICE



RICK HERNANDEZ-CAPOTE, R.A.
ARC BUILDERS & GROUP, INC.
7301 S.W. 83 CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309
LIC. NO. AA C001931, AR 13379, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 45,895
A.C.F.E. FORENSIC ENGINEERING MEMBER ID.14739

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141

PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE
21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN

DRAWN: A.S.

DESIGNED: R.H.

CHECKED BY: R.H.

APPROVED BY: RHC

DRAWING NO.

DETAILS

A-4

INTENDED USE OF 7144 BYRON AVENUE ENRICHMENT CENTER
MIAMI BEACH, 33141

2011

First Floor

- Administrative offices for Ayuda, Inc. (a local 501 ©3) organization since 1977, in Miami Beach since 1985). Will occupy the first floor of the building.
- Ayuda employs 6 staff members: Executive Director and staff in the professions of Psychology, Social Work, Bookkeeping, Communications and Education.
- Afternoon and Evening Workshops to the community will be presented to 10-20 adults at a time.
- Family counseling and parenting classes will be offered to not more than 10 parents and 10 youth at a time. Youth do not attend unless they are accompanied by a parent.
- Miami Dade College will hold a series of 2-4 hour classes for adults – evenings and Saturdays. Groups will range from 10-20 attendees.
- Speech, Occupational and Physical Therapy will be offered to parents of children and youth with speech, developmental and cognitive delays. Child will attend with parent.
- A brochure is provided for your review.

FIRE SECTION COMMENT NO. 4 CLARIFICATION

Second Floor

- Will be occupied by Early Childhood Quality Consultants (ECQC), whose main program is called "Playing the Game of Life". Through Yoga and meditation, music and art, children, youth and their family members are taught to communicate, bond and resolve conflicts positively.
- Classes will be held by day or evening. Parents will attend with their children or youth. There will not be unsupervised children. Classes will be for individual families or in small groups of 2-3 families.
- Classes and workshops promote Eastern philosophies of healthy mind, body and spirit and encourage parents to be advocates and healthy examples for their children and youth.
- ECQC employs 6 Professional staff members: Director, Assistant Director, Public Relations, Web Manager, Bookkeeper and Secretary.

- A brochure is provided for your review.

FIRE SECTION COMMENT NO. 4 CLARIFICATION

BUILDING COMMENTS NO. 12 INTERIOR FINISH (WALL, FLOOR AND CEILING) PER F.B.C. 803 FIRE SECTION COMMENTS NO. 16, 18

ROOM FINISH SCHEDULE										
No.	Room Name	Floor Wood Framed	Walls				Remarks	Ceiling/Wood Framed		Remarks
			North	East	South	West		Material	Height	
1	New Classroom	Wood Laminate	Gypsum Lath/Plaster	Gypsum Lath/Plaster	Gypsum Lath/Plaster	Gypsum Lath/Plaster	See F.B.C. Table 720.1 (2) Partitions	Gypsum Lath/Plaster	8'-0"	See F.B.C. Table 720.1 (3) Floor No. 13 Ceiling No. 13-1.2
2	New Adm. Area	Wood Laminate					Material No. 12 Item No. 12-1.3		8'-0"	
2.5	New Classroom	Wood Laminate								
3	New Adm. Area	Linoleum Sheets								
4	New Adm. Area	Linoleum Sheets								
5	New Adm. Area	Wood Laminate								
5.5	New Classroom	Wood Laminate								
6	New Classroom	Wood Laminate								
7	New Adm. Area	Linoleum Sheets	Gypsum Lath/Plaster	Gypsum Lath/Plaster	Gypsum Lath/Plaster	Gypsum Lath/Plaster		Gypsum Lath/Plaster	8'-0"	
8	New Adm. Area	Linoleum Sheets								
8.5	New Adm. Area	Wood Laminate								
9	New Lunch Room	Linoleum Sheets								
10	New Music Classroom	Linoleum Sheets								
11	New Art Classroom	Linoleum Sheets								
11.5	New Dance Studio	Linoleum Sheets								
12	New Dance Studio	Linoleum Sheets								

FIRE-RESISTANCE-RATED CONSTRUCTION

Reference F.B.C. Building 8007 Applicable to Building 7144 Byron Ave. TABLE 720.1(2)-continued RATED FIRE-RESISTANCE PERIODS FOR VARIOUS WALLS AND PARTITIONS ^{a,b,c}			
Material	Item Number	Construction	Minimum Finished Thickness Face-to-Face ^b (Inches)
			1 Hour
12. Wood Studs interior partition with plaster each side	12-1.3 ^a	2" x 4" wood studs 16" on center with 3/8" perforated or plain gypsum lath and 1/2" gypsum plaster each side. Lath nailed with 1 1/8" by No. 13 gage by 19/64" head plasterboard blue nails, 4" on center. Plaster mixed 1:2 by weight, gypsum to sand aggregate.	5 1/4

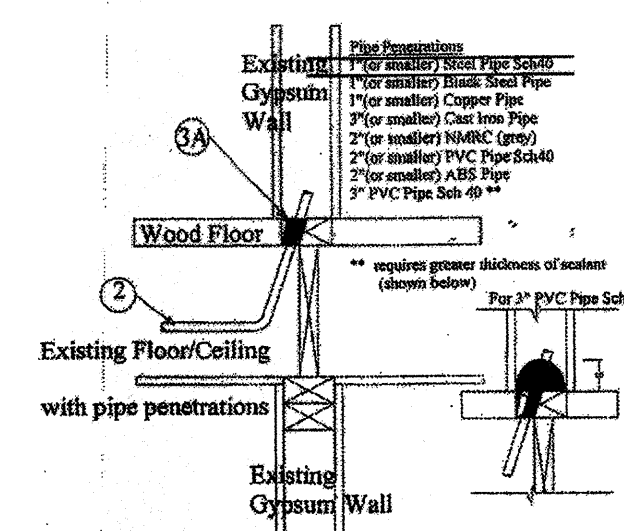
TABLE 720.1(3)-continued MINIMUM PROTECTION FOR FLOOR AND ROOF SYSTEMS ^{a,b}			
Floor or Roof Construction	Item Number	Ceiling Construction	Minimum Thickness of Ceiling (Inches)
			1 Hour
13. Double wood floor over wood joists spaced 16" on center. ^{a,b}	13-1.2	Cement or gypsum plaster on metal lath. Lath fastened with 1 1/2" by No. 11 gage by 7/16" head barbed shank roofing nails spaced 5" on center. Plaster mixed 1:2 for scratch coat and 1:3 for brown coat, by weight, cement to sand aggregate.	5/8

Please cross-reference with Finish Schedule
Fire Section comments No. 18
Building Department Comments No. 12

FIRE COMMENT NO.5 PENETRATIONS OF FIRE RATED WALLS & OPENINGS

System Number: FC-2381-038 (Engineering Judgment)
Project: 7144 BYRON AVE.
Location: Miami Beach, FL
F Rating: equal to the floor/ceiling assembly^a

TREMCO INC.®
3735 Green Road
Beachwood, Ohio 44122
www.tremcofirestop.com



Existing Conditions as reported by Rick L. Hernandez-Capote R.A., C.G.C.
1.A Wall Assembly * -- The 1 or 2 hr existing Wall which has been reviewed and fire rated by others.
1.B Floor Assembly * -- Existing wood floor assembly which has been reviewed and fire-rated by others for 1 or 2 Hr.
2. Penetrations * Pipes passing from the Floor/Ceiling Cavity into the Gypsum Wall (above) thru the non-2x4 wooden runner. One pipe per opening with the annular space min. 1/2 in to max 3 in. The following pipes are allowed:
A. 1" (or smaller) Steel Pipe Sch40 or Black Steel Pipe
B. 1" (or smaller) Copper Pipe (K&G)
C. 3" (or smaller) Cast Iron Pipe
D. 2" (or smaller) Non-Metallic Rigid Conduit (NMR) PVC Pipe (grey color)
E. 2" (or smaller) PVC Pipe Sch 40 (white color) (vented)
F. 2" (or smaller) ABS Plastic Pipe (black color) (vented)
G. 3" PVC Pipe Sch 40 (white color) (vented) ** see the special requirements for sealant in item 3A
3.A. Sealant TREMCO 1A+ Sealant non. 1-1/2 in. thickness in the non-2x4 wooden floor runner of the wall, to completely seal the annular space with sealant.
When the Penetration is 3" PVC Pipe (item 2.C) additional sealant is required to completely cover the pipe when it exits the floor runner to a min. thickness of 1-1/2" (cocoon around the pipe penetration where it exits the wood floor runner). So the total depth of sealant is min. 3" deep for the 3" PVC Pipe Penetration.
*Note: The firestop system is designed to provide the rating indicated, but is dependent upon the performance of components rated by others. The actual performance of the firestop system will not exceed the performance of the Wall or Floor Assemblies (Items 1 & 2).

Page 2 of 3
(incl. cover)
Date Created: 4/16/2011
Last Revised: 4/16/2011
File Name: K2381_038.doc
This Engineering Judgment represents a firestop system that would be expected to pass the stated ratings if installed.
Drawn by: R. Rosen
Approved by: R. Rosen
This information is intended for engineering purposes only and is based on internal and third party testing which we believe to be accurate. The user of this information must determine the suitability of the design in the application and the product to local building codes. Tremco Inc. shall not be liable for damages, direct or consequential, resulting from use of this material in design. Tremco Inc. shall only be responsible for replacing material found to be defective.

RICK HERNANDEZ-CAPOTE, R.A.
ARCBUILDERS + GROUP, INC.
7301 S.W. 83CT
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309
LIC. NO. AA C001931, AR 13379, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 45,895
A.C.F.E. FORENSIC ENGINEERING MEMBER ID:14739

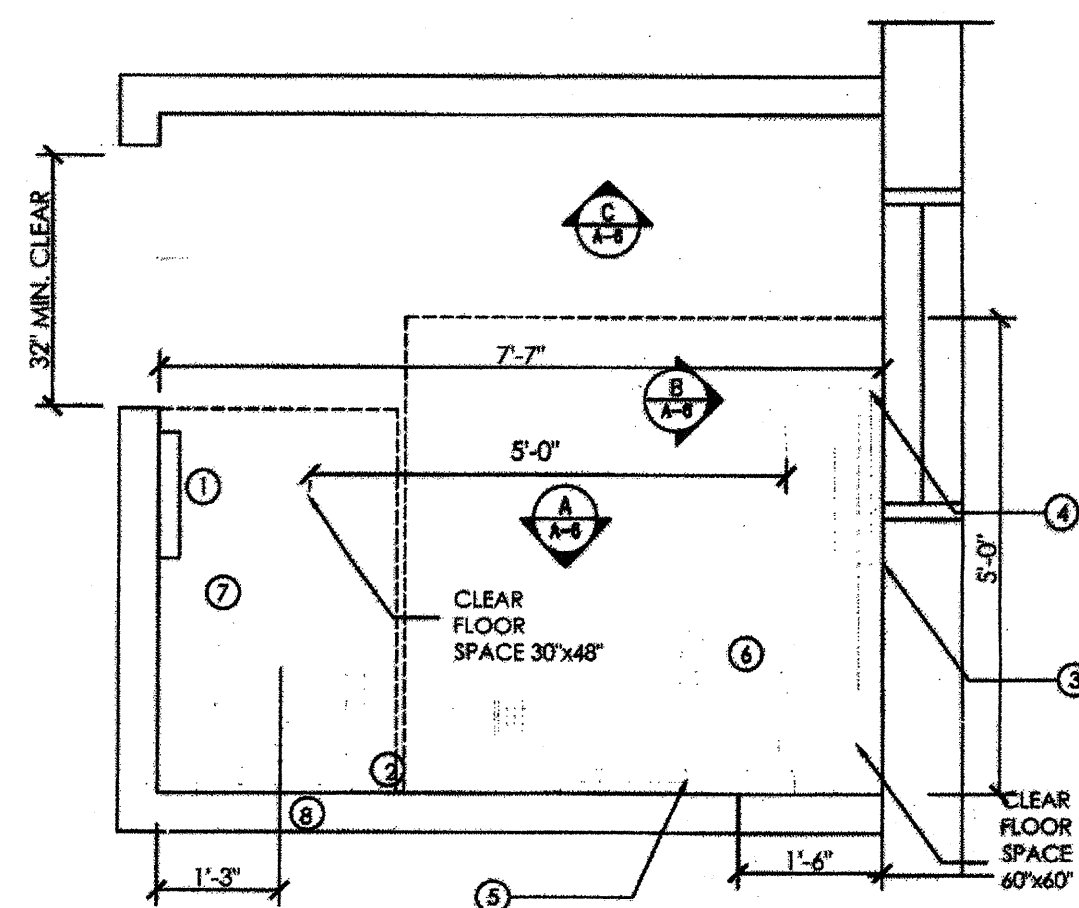
CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL 33141

PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

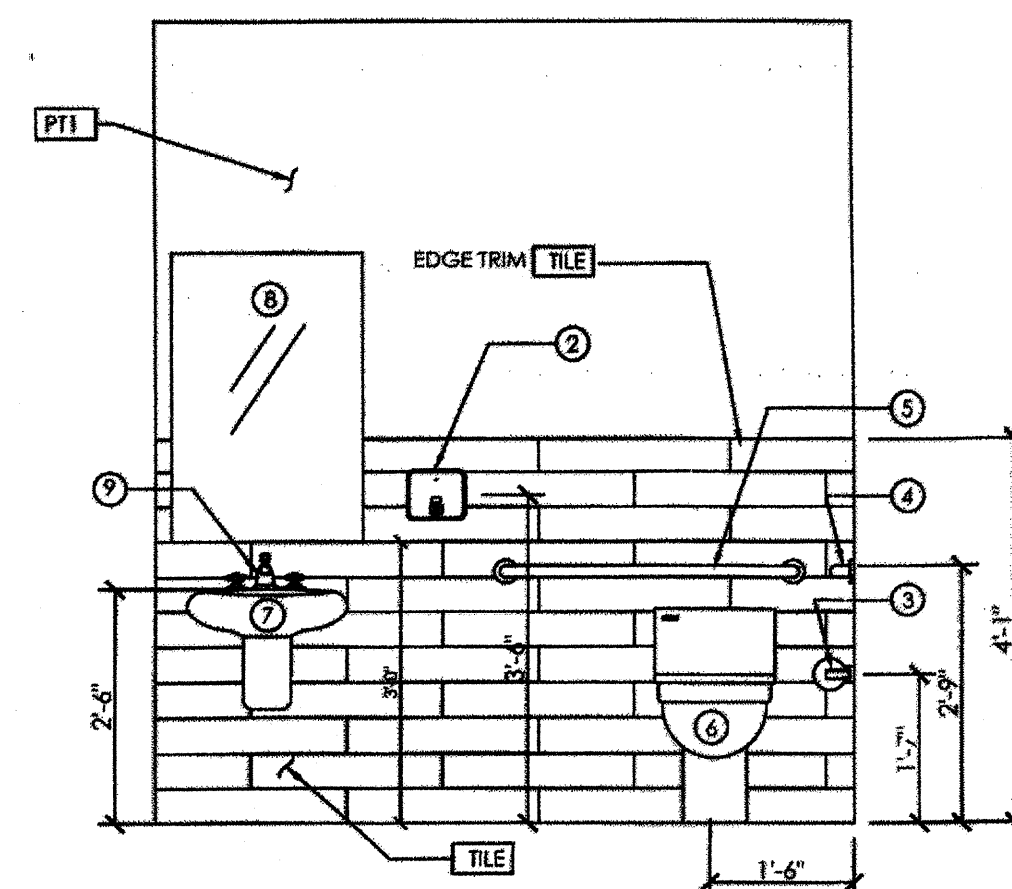
NO. DATE REVISION / ISSUE
21 JUL 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN
DRAWN: A.S.
DESIGNED: R.H.
CHECKED BY: R.H.
APPROVED BY: RHC

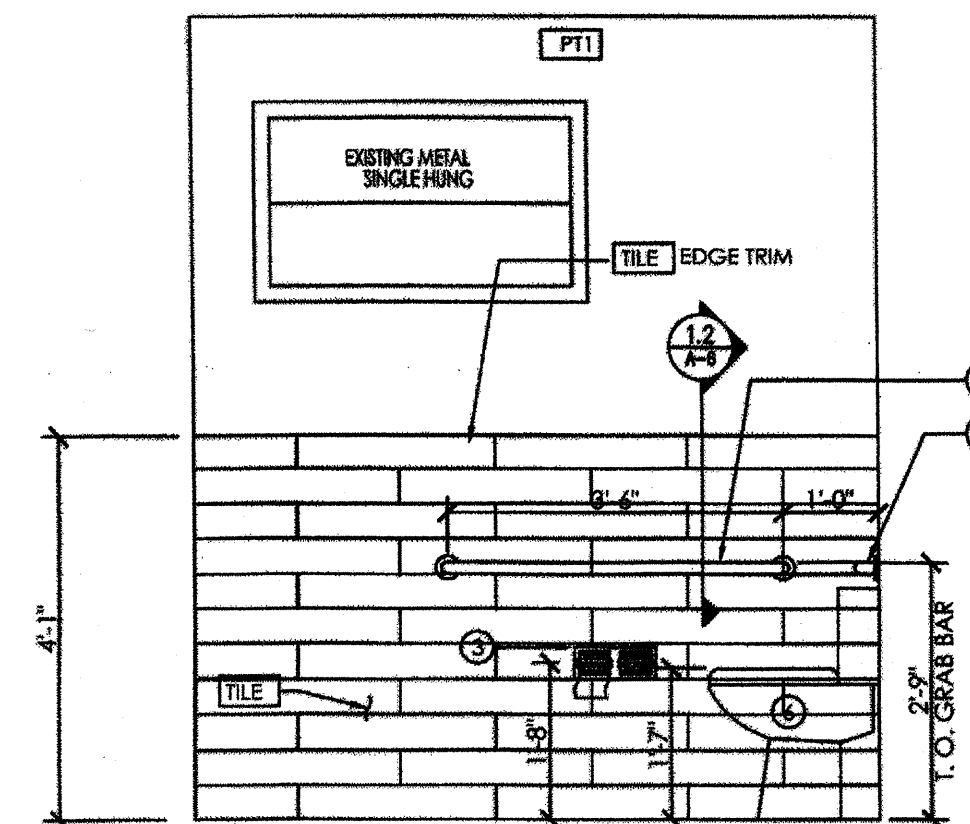
DRAWING NO.
FINISH
SCHEDULE
A-5



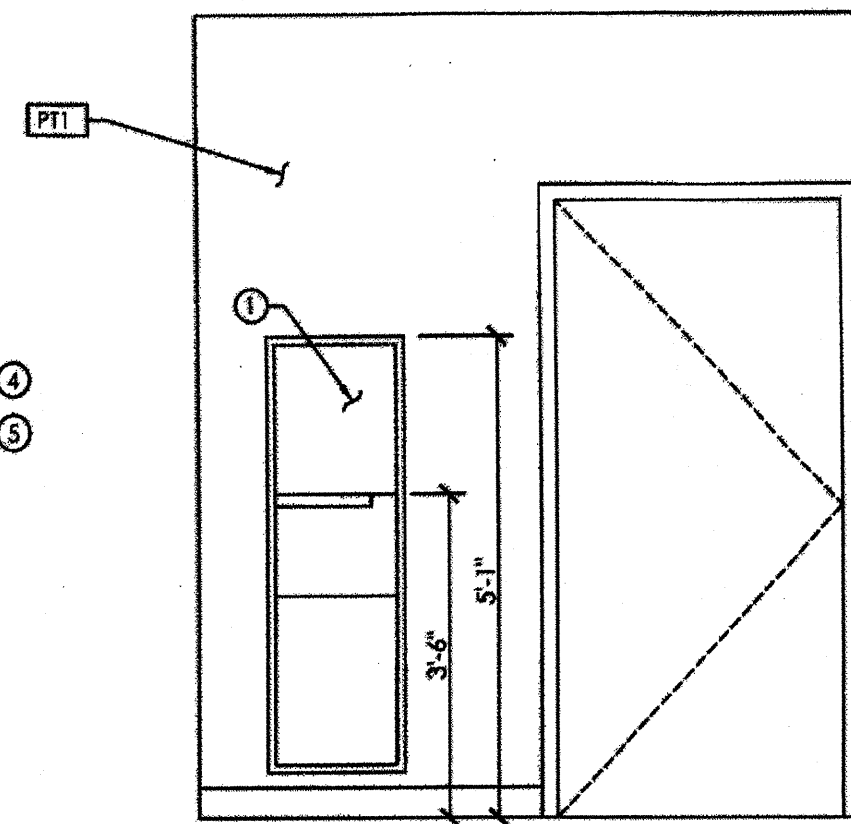
1-NEW ACCESSIBLE UNISEX RESTROOM
SCALE: 1/2" = 1'-0"



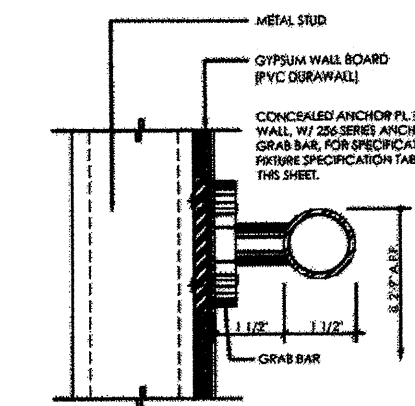
ELEVATION-A
SCALE: 1/2" = 1'-0"



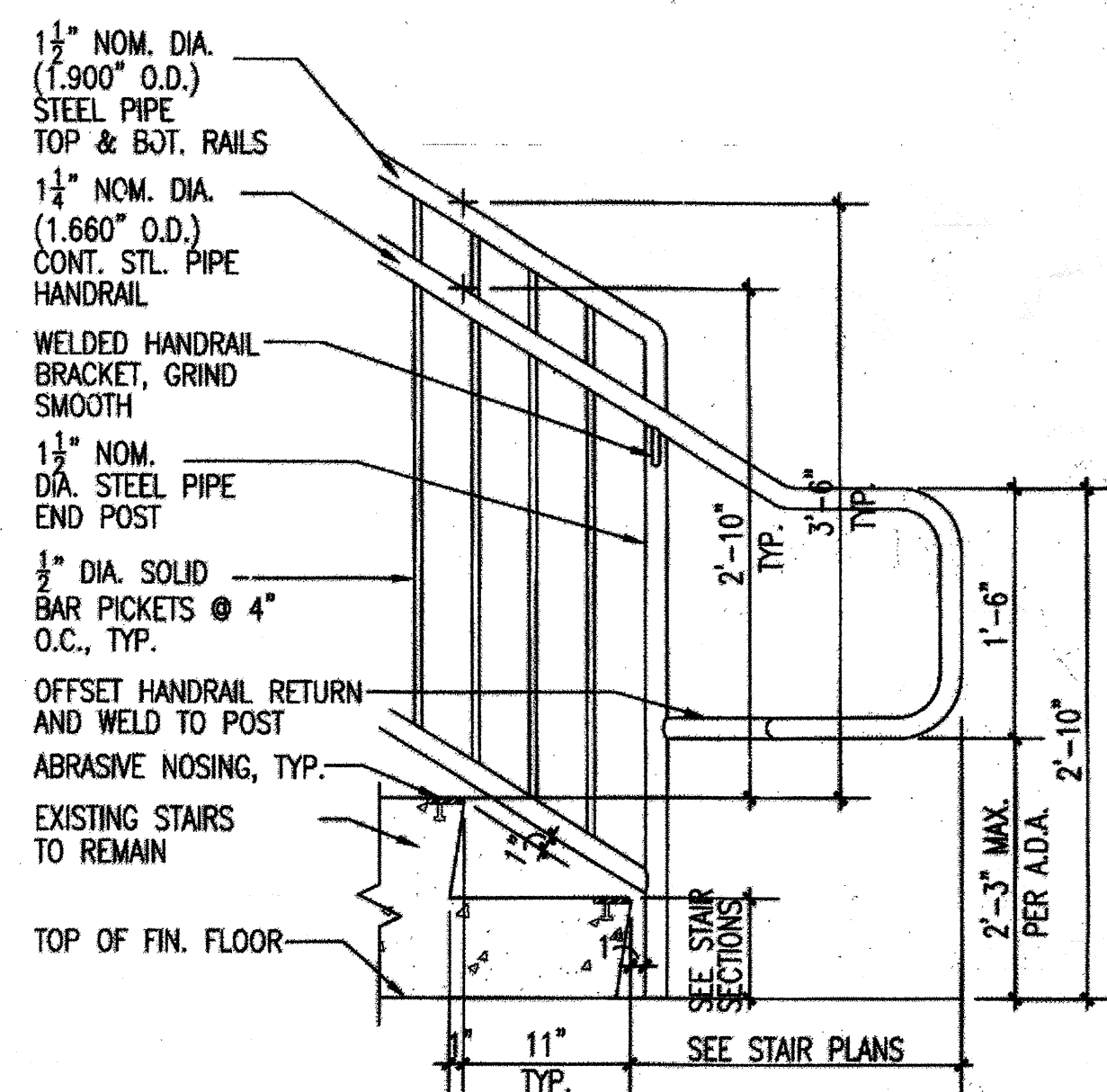
ELEVATION-B
SCALE: 1/2" = 1'-0"



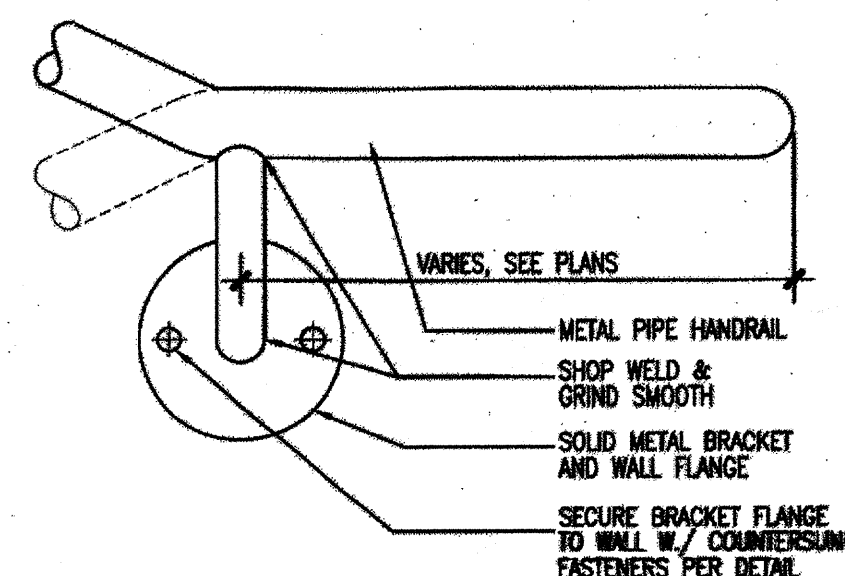
ELEVATION-C
SCALE: 1/2" = 1'-0"



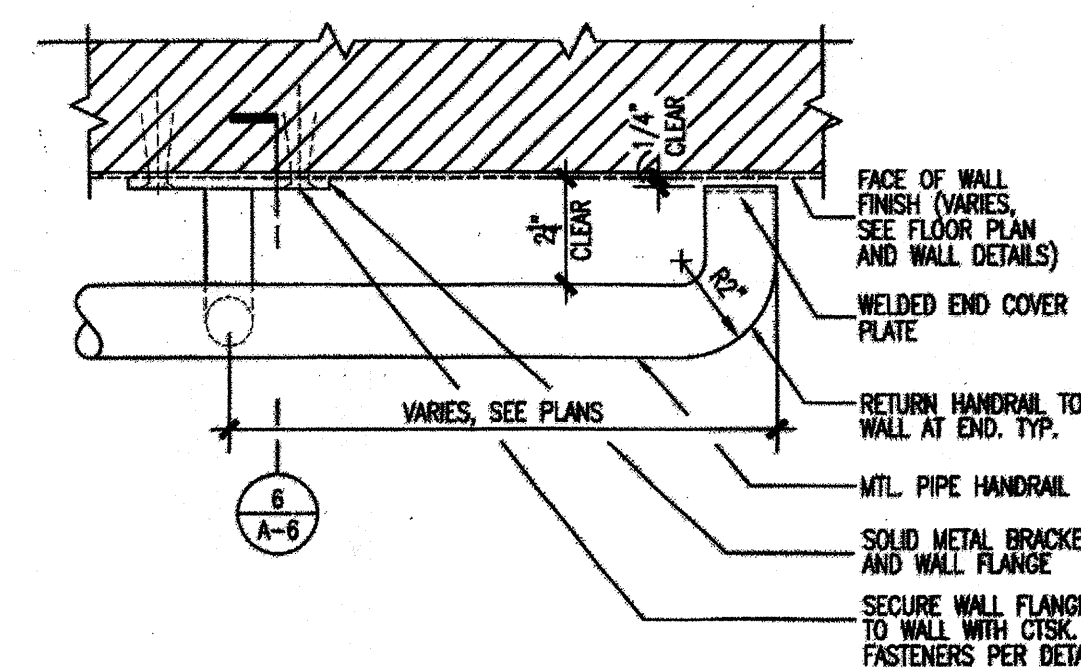
1.2-GRAB BARS MOUNTING DTL.
SCALE: 3" = 1'-0"



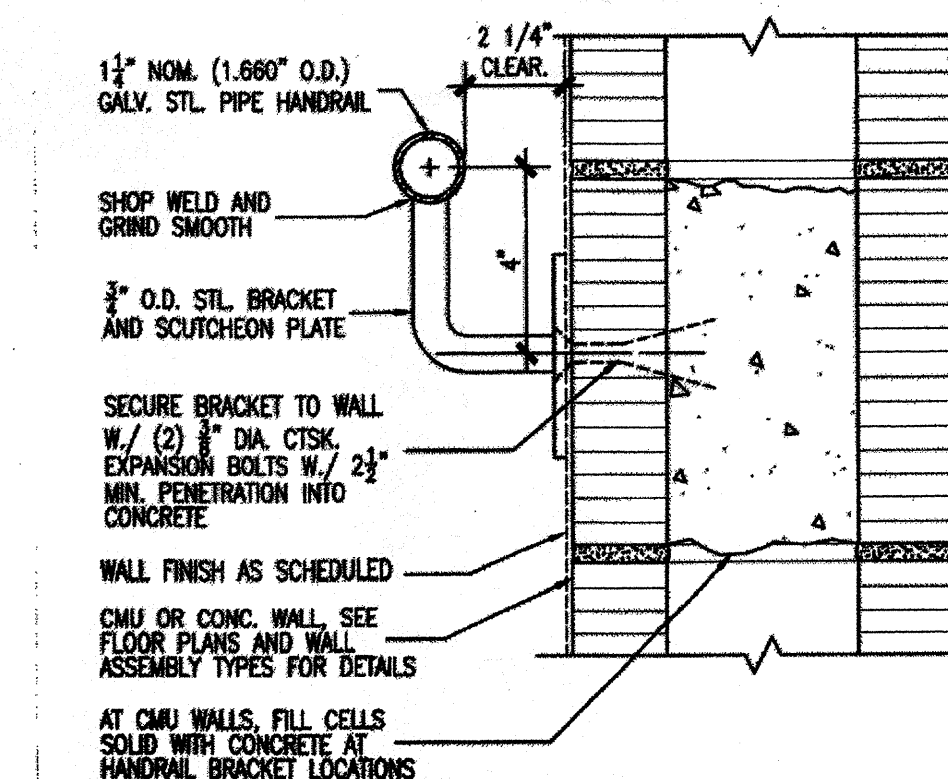
3 HANDRAIL / GUARDRAIL DETAIL
SCALE: 1" = 1'-0"



4 HANDRAIL DETAIL
SCALE: 3" = 1'-0"



5 HANDRAIL DETAIL
SCALE: 3" = 1'-0"



6 HANDRAIL SECTION/DETAIL
SCALE: 3" = 1'-0"

RICK HERNANDEZ CAPOTE, R.A.
ARC BUILDERS + GROUP, INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309

LIC. NO. AA 000931, AR 13379, BN 248, NFP.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 45,895
A.C.P.E. FORENSIC ENGINEERING MEMBER ID:14738

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141

PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE
24 JAN. 2011 PRELIMINARY PLANNING MEETING
FEB. 2011 SUBMITTAL FOR CONDITIONAL USE
21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN
DRAWN: A.S.
DESIGNED: R.H.
CHECKED BY: R.H.
APPROVED BY: R.H.C

DRAWING NO.
INTERIOR
ELEVATIONS
DETAILS
A-6



help in any language

President/CEO

Diana Susi

Executive Assistant

Jessica Delgado

Financial Advisor

Herman Rivas

CFO

Aimee Solis-Sobrinio

**Director of Development/
Corporate Sponsorships**

Cecilia De Loof

**Director of
Fundraising/Marketing**

Lisa Egozi

Director of Programs

Wilfredo Seda

Chair of Board

DeAnne Connolly Graham

Vice Chair of Board

Roberto Susi

Board Members

Rosa Delgado

David Dweck

Jacqueline Hertz

Elmase Hoffman

Saun Lightbourne

Tim Nardi

Elan Neuman

Karlene Palmer-McLeod

Galina Slavova

Valeriano Torres

Marjorie York

Yda Percal

Advisory Board

Michael Aller

Sabrina Anico

Carlos Delgado

Esther Dollar

Andy Fernandez

Michael Gongora

Andy Kane

Luz Marina Lim

Corey Narrson

Alexander Rodriguez

Angela Posillico

November 23, 2011

Dear Sirs/Madams:

As you review the attached documentation, please know that AYUDA has been in the Miami Beach community for the last 34 years delivering quality of services to parents and their children alike. We work with an underserved population and depend on grants, subsidies or donations to deliver our services, all of which have become less since the economy's downfall .

I am hereby respectfully asking for the approval of our waiver from accessibility requirements for 7144 Byron Avenue as installing an elevator or lift cost would put us at **a tremendous hardship** with their high costs and the loss of one of our structures on the ground floor. 7144 Byron Avenue will house 8 Administrative offices and 8 classrooms.

CPR and First Aid, Babysitting, Parenting Skills, Tutoring and Family Counseling will be conducted. These services will be provided on a one on one basis or in small groups no larger than 4 individuals at a time.

The building (7144 Byron Ave.) provides space on the ground floor to accommodate any person, regardless of the presenting disability and no one will be turned away if the service they are seeking are appropriate for their need.

Please consider our request as we are eager to obtain our Certificate of Use and begin delivering much needed services in our community.

Thank you so much for a decision on our behalf.

Sincerely,



Diana Susi

Social Worker, Counselor,
Educator, Rehabilitation Service Provider









ARCBUILDERS + GROUP INC.

7301 Southwest 83 Court, Miami, Florida 33143 Telephone 305.275.6310 Facsimile 305.275.6309
State of Florida Corporate Licenses. AAC001931 (Registered Architect) and/QB25067 (Certified General Contractor)

RE: Contract 7144 Byron LLC- Miami Beach -

Based on Design Development Drawings Dated October 27, 2011

I. SCOPE OF WORK-

	<u>EXTERIOR SITE/SP-1</u>	
1	REWORK EXISTING BRIDGE BETWEEN BLDG. NO. 7134 & 7144 TO MODIFY FOR HANDICAP ACCESSIBILITY REFER TO DETAIL. PROVIDE NEW GUARD RAILS FOR WALKWAY BRIDGE AND MODIFY EXTERIOR STAIRCASES HAND RAILS FOR HANDICAP ACCESS.	
2	PROVIDE SHORT-TERM BICYCLE PARKING STATION (PROVIDE SHOP DRAWINGS FOR OWNER SELECTION PROCESS)	
	<u>FLOOR PLANS A-1</u>	
3	NEW GROUND FLOOR PROVIDE NEW HANDICAP ACCESSIBLE RESTROOM AND HI/LO W.F.	
4	NEW HANDRAILS FOR EXISTING INTERIOR AND EXTERIOR STAIRCASES	
5	CLOSE/BLOCK CLOSETS UNDER STAIRCASES	
6	REWORK EXISTING DOORS AND FRAMES AND SWING FOR HANDICAP ACCESSIBILITY AT GROUND FLOOR BETWEEN ROOM NO. 2 AND ROOM 2.5	
7	NEW GROUND FLOOR 90 MIN. FIRE RATED DOORS AND FRAMES WITH HARDWARE AT ROOM NO. 3 AND NO. 4 (REAR) AND FRONT AT ROOM NO. 1 & 2 (T.T. 4 PLACES)	
8	BLOCK/SEAL/REFINISH MATCH EXISTING SURFACES EXISTING CLOSET DOOR	
8.1	BLOCK/SEAL/REFINISH MATCH EXISTING SURFACES PROVIDE NEW CASEMENT BETWEEN ROOM NO. 5 & NO. 5.5	
9	EXISTING EXTERIOR DOORS MAY BE REQUIRED TO BE CHANGED-OUT (SEPARATE PERMIT IS REQUIRED FROM THE BUILDING DEPARTMENT) AND NOT INCLUDED IN THE COST OF THIS PROPOSAL	
	<u>SECOND FLOOR</u>	
10	NEW 2 ND FLOOR 90 MINUTE FIRE RATED DOORS AND FRAMES WITH HARDWARE AT ROOM NO. 9, NO. 10 (REAR) AND CORRIDOR. FRONT END ROOM NO. 7 & NO. 12 (FRONT) AND CORRIDOR (T.T. 6 PLACES).	
10.1	REMOVE/REPLACE EXISTING CORRIDOR DOORS WITH NEW 20 MIN. FIRE-RATED DOORS AND FRAMES WITH HARDWARE (T.T. 4 PLACES)	
11	NEW GUARD RAILS AND HAND RAILS FOR FRONT AND REAR STAIRCASES.	
	<u>ELECTRICAL SCOPE: E-1/E-2</u>	
12	PENDING SITE INSPECTION BY CITY ELECTRICAL INSPECTOR POSSIBLE MODIFICATION TO OTHER ELECTRICAL COMPONENTS ARE NOT INCLUDED IN THE COST OF THIS PROPOSAL. NEW ELECTRICAL PANELS/MODIFIED FROM EXISTING AT ROOM 5.5 AND SECOND FLOOR REAR PORTION OF HALLWAY	

13	NEW EXIT AND EMERGENCY FIXTURES HARDWIRED TO NEW FIRE ALARM AT NEW SPACES.	
13.1	OVERALL COORDINATION WITH ELECTRICIAN SPECIALTY FIRE ALARM CONTRACTOR.	
	<u>MECHANICAL SCOPE: M-1</u>	
14	GROUND AND SECOND FLOOR, PROVIDE NEW GRAVITY MECHANICAL DUCTS WITH BIRD SCREEN ADJACENT TO EXISTING WALL AND WINDOW A/C UNITS. NEW WALL OPENINGS TO BE PROPERLY COORDINATED	Scope Deleted as Reflected In cost Below
	<u>PLUMBING SCOPE: P-1</u>	
15	NEW RE WORK HANDICAP ACCESSIBLE RESTROOM MODIFY RISERS, PROVIDE ALL NEW PLUMBING FIXTURES, NEW SERVICE SINK AND NEW HI/ LO WF., REQUIRED FIRESTOPPING FOR PENETRATIONS	
16	PENDING SITE INSPECTION, POSSIBLE SANITARY PIPING AT CRAWL SPACE WITH SEEPAGE DUE TO ANTIQUATED LINES AND CONNECTION, POSSIBLE ADDITIONAL REPAIRS NOT INCLUDED IN THE COST OF THIS PROPOSAL. NEW DETAILING FOR CLEAN-OUTS, AND NEW BACKFLOW PREVENTOR	
		Total Construction Cost
		\$66, 567

NOTES

1. Due to concealed work, additional unforeseen building elements which may require repair and or modification is not included in the cost of this Proposal/Contract.
2. Interior Painting of affected areas is included in the cost of this Proposal/Contract.
3. Flooring modifications to HC bathroom is included in the cost of this Proposal/Contract.
4. There may be additional detailing and or revisions for approved permit set, which require additional construction costs not detailed or included in this Proposal/Contract.
5. The General contractor's overhead and profit are included in the cost of this Proposal/Contract.

7144 BYRON AVE.
MIAMI BEACH
NEW A/E DRAWING SUBMITTAL FOR THE CITY OF MIAMI BEACH BUILDING DEPARTMENT

TABLE OF COTENTS WITH REVISIONS

DATE: October 11, 2011

DRAWING NO.	DESCRIPTION	COMMENTS
SP-1	SITE PLAN WITH ADDITIONAL NOTES, ACCESSIBLE ROUTE DETAIL	THESE CITED ARCHITECTURE DRAWINGS ARE FOR MITIGATION AND SUPPORT CLARIFICATION DOCUMENTS FOR VERTICAL ACCESSIBILITY WAIVER FROM THE STATE OF FLORIDA TO BE SUBMITTED FOR APPROVAL.
SP/H.C. 1	EXISTING COMPREHENSIVE SITE PLAN, ACCESSIBLE ROUTE FROM, NO. 7118 TO 7144	
A-3.5	EXISTING EAST ELEVATIONS NO. 7118, 7134, 7144 ACCESSIBLE ROUTE BETWEEN BUILDINGS, DECLARATION OF RESTRICTIVE COVENANTS BY OWNER AND CITY ATTORNEY	
A-1.2	EXISTING GROUND FLOOR PLAN BLDG. NO. 7134 AND 7144. EXISTING ACCESSIBLE ROUTE.	
D-1	SELECTIVE DEMOLITION FLOOR PLANS WITH NEW STRUCTURAL ENGINEERING ANALYSIS COMPLETED	
A-1	FLOOR PLANS WITH UPDATE BUILDING AND FIRE DEPARTMENT COMMENTS.	
LS-1	LIFE SAFETY FLOOR PLANS	
A-2	EXISTING FRONT AND REAR ELEVATIONS	
A-3	EXISTING SIDE ELEVATIONS DEPICTING NEW MG V AND EXTERIOR LOUVRE	
A-4	EXISTING DOOR SCHEDULE. NEW DOOR SCHEDULE. TREMCO FIRE-RATED WALLS AND OPENINGS ENGINEERING JUDGEMENT DOOR ELEVATION AND DETAILS	
A-5	DESCRIPTION NARRATIVE REQUESTED BY FIRE DEPT. ROOM FINISH SCHEDULE F.B.C. FIRE-RESISTANCE RATED CONTRUCTION TREMCO DETAILS FLOOR OPENING PENETRATIONS	
A-6	NEW H.C. ACCESSIBLE REST ROOM ELEVATIONS HAND RAIL/GUARD RAIL DETAILS.	
M-1	FIRST AND SECOND FLOOR PLAN MECHANICAL WINDOW, WALL UNITS WITH MODIFICATION GRAVITY METAL DUCTS	
E-1	ELECTRICAL GROUND SECOND FLOOR PLANS CLARIFICATION PNL. A, B	
E-2	ELECTRICAL EXTERIOR RISER AND PANEL BOARD SCHEDULE	
P-1	FIRST AND SECOND FLOOR PLANS NEW SCOPE OF WORK H.C. ACCESSIBLE RESTROOM AT GROUND LEVEL	
P-2	SANITARY RISER AND WATER DISTRIBUTION RISER MODIFICATION TO RISER FOR NEW H.C. RESTROOM NEW SCOPE OF WORK NEW REDUCE PRESSURE BACK FLOW PREVENTION DEVISE INSTALLATION, CLEAN-OUT INSTALLATION CONNECTION	
FA-1	NEW FIRE ALARM SYSTEM GENERAL NOTES FOR REFERENCE	
FA-2	FIRST AND SECOND FLOOR PLANS, FIRE ALARM RISER CALCULATIONS, F.A. RISER DIAGRAM FOR REFERENCE	

7144 BYRON AVE. MIAMI BEACH

HIGHLIGHTS SCOPE OF WORK TO COMPLY WITH CITED VIOLATIONS ONLY

DESIGN DEVELOPMENT DRAWINGS

DATE: OCTOBER 11, 2011 NOT CONSTRUCTION SET

EXTERIOR SITE/SP-1

- REWORK EXISTING BRIDGE BETWEEN BLDG. NO. 7134 & 7144 TO MODIFY FOR HANDICAP ACCESSIBILITY REFER TO DETAIL. PROVIDE NEW GUARD RAILS FOR WALKWAY BRIDGE AND MODIFY EXTERIOR STAIRCASES HAND RAILS FOR HANDICAP ACCESS.
- PROVIDE SHORT-TERM BICYCLE PARKING STATION (PROVIDE SHOP DRAWINGS FOR OWNER SELECTION PROCESS)

FLOOR PLANS A-1

- NEW GROUND FLOOR PROVIDE NEW HANDICAP ACCESSIBLE RESTROOM HI/LO W.F.
- NEW HANDRAILS FOR EXISTING INTERIOR AND EXTERIOR STAIRCASES
- CLOSE/BLOCK CLOSETS UNDER STAIRCASES
- REWORK EXISTING DOORS AND FRAMES AND SWING FOR HANDICAP ACCESSIBILITY AT GROUND FLOOR BETWEEN ROOM NO. 2 AND ROOM 2.5
- NEW GROUND FLOOR 90 MIN. FIRE RATED DOORS AND FRAMES WITH HARDWARE AT ROOM NO. 3 AND NO. 4 (REAR) AND FRONT AT ROOM NO. 1 & 2 (T.T. 4 PLACES)
- BLOCK/SEAL/REFINISH MATCH EXISTING SURFACES EXISTING CLOSET DOOR
- BLOCK/SEAL/REFINISH MATCH EXISTING SURFACES PROVIDE NEW CASEMENT BETWEEN ROOM NO. 5 & NO. 5.5
- EXISTING EXTERIOR DOORS MAY BE REQUIRED TO BE CHANGED-OUT (SEPARATE PERMIT IS REQUIRED FROM THE BUILDING DEPARTMENT)

SECOND FLOOR

- NEW 2ND FLOOR 90 MINUTE FIRE RATED DOORS AND FRAMES WITH HARDWARE AT ROOM NO. 9, NO. 10 (REAR) AND CORRIDOR. FRONT END ROOM NO. 7 & NO. 12 (FRONT) AND CORRIDOR (T.T. 6 PLACES).
- REMOVE/REPLACE EXISTING CORRIDOR DOORS WITH NEW 20 MIN. FIRE-RATED DOORS AND FRAMES WITH HARDWARE (T.T. 4 PLACES)
- NEW GUARD RAILS AND HAND RAILS FOR FRONT AND REAR STAIRCASES.

ELECTRICAL SCOPE: E-1/E-2

- PENDING SITE INSPECTION CITY ELECTRICAL INSPECTOR POSSIBLE MODIFICATION TO ELECTRICAL PANEL AT ROOM NO. 5.5, POSSIBLE VIOLATIONS AND ADDITIONAL REPAIRS TO OTHER PANEL BOARDS CIRCUITS AND WIRING INCLUDING EXTERIOR RISER.
- NEW EXIT AND EMERGENCY FIXTURES HARDWIRED SMOKE DETECTORS TIED TO NEW FIRE ALARM AT NEW SPACES.
- OVERALL COORDINATION WITH ELECTRICIAN SPECIALTY FIRE ALARM CONTRACTOR.

MECHANICAL SCOPE: M-1

- GROUND AND SECOND FLOOR, PROVIDE NEW GRAVITY MECHANICAL DUCTS WITH BIRD SCREEN ADJACENT TO EXISTING WALL AND WINDOW A/C UNITS. NEW WALL OPENINGS TO BE PROPERLY COORDINATED

PLUMBING SCOPE: P-1

- NEW WORK HANDICAP ACCESSIBLE RESTROOM MODIFY RISERS, PROVIDE ALL NEW PLUMBING FIXTURES.
- PENDING SITE INSPECTION, POSSIBLE SANITARY PIPING AT CRAWL SPACE WITH SEEPAGE DUE TO ANTIQUATED LINES AND CONNECTION, POSSIBLE ADDITIONAL REPAIRS. NEW DETAILING FOR CLEAN-OUTS AND REDUCED PRESSURE BACK FLOW PREVENTION DEVISE, COORDINATE WITH MASTER PLUMBER.

NOTE

OVERALL COORDINATION REQUIRED WITH FIRESTOPPING CONTRACTOR, MISCELLANEOUS SUBS INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING. DUE TO CONCEALED WORK, ADDITIONAL UNFORESEEN BUILDING, M.E.P. ELEMENTS WILL REQUIRE ADDITIONAL DETAILING, REVISIONS AND COORDINATION FROM ALL TRADE DISCIPLINES.

PERMIT WILL ALSO BE ADDRESSING THE CHANGES ALREADY IMPLEMENTED BY OWNER AND WHICH ARE PART OF THE SUBJECT VIOLATION. ACCORDINGLY, CONTRACTOR WILL BE RESPONSIBLE FOR ALL WORK COMPLETED IN THIS CHANGE OF USE OCCUPANCY.

7144 BYRON AVE. -2004 (CSI) LIST OF RELATED DIVISIONS FOR SCOPE OF WORK

DIVISION 03 00 00 CONCRETE
DIVISION 04 00 00 MASONRY
DIVISION 05 00 00 METALS
DIVISION 06 00 00 WOOD, PLASTIC AND COMPOSITES
DIVISION 08 00 00 OPENINGS
DIVISION 09 00 00 FINISHES
DIVISION 21 00 00 FIRE SUPPRESSION
DIVISION 22 00 00 PLUMBING
DIVISION 23 00 00 HEATING, VENTILATING AND AIR CONDITIONING (HVAC)
DIVISION 26 00 00 ELECTRICAL

RICK HERNANDEZ CAPOTE , R.A.
ARCBUILDERS + GROUP , INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309

LIC. NO. AA C001831, AR 13379 , BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 45,895
A.C.F.E. FORENSIC ENGINEERING MEMBER ID.14739

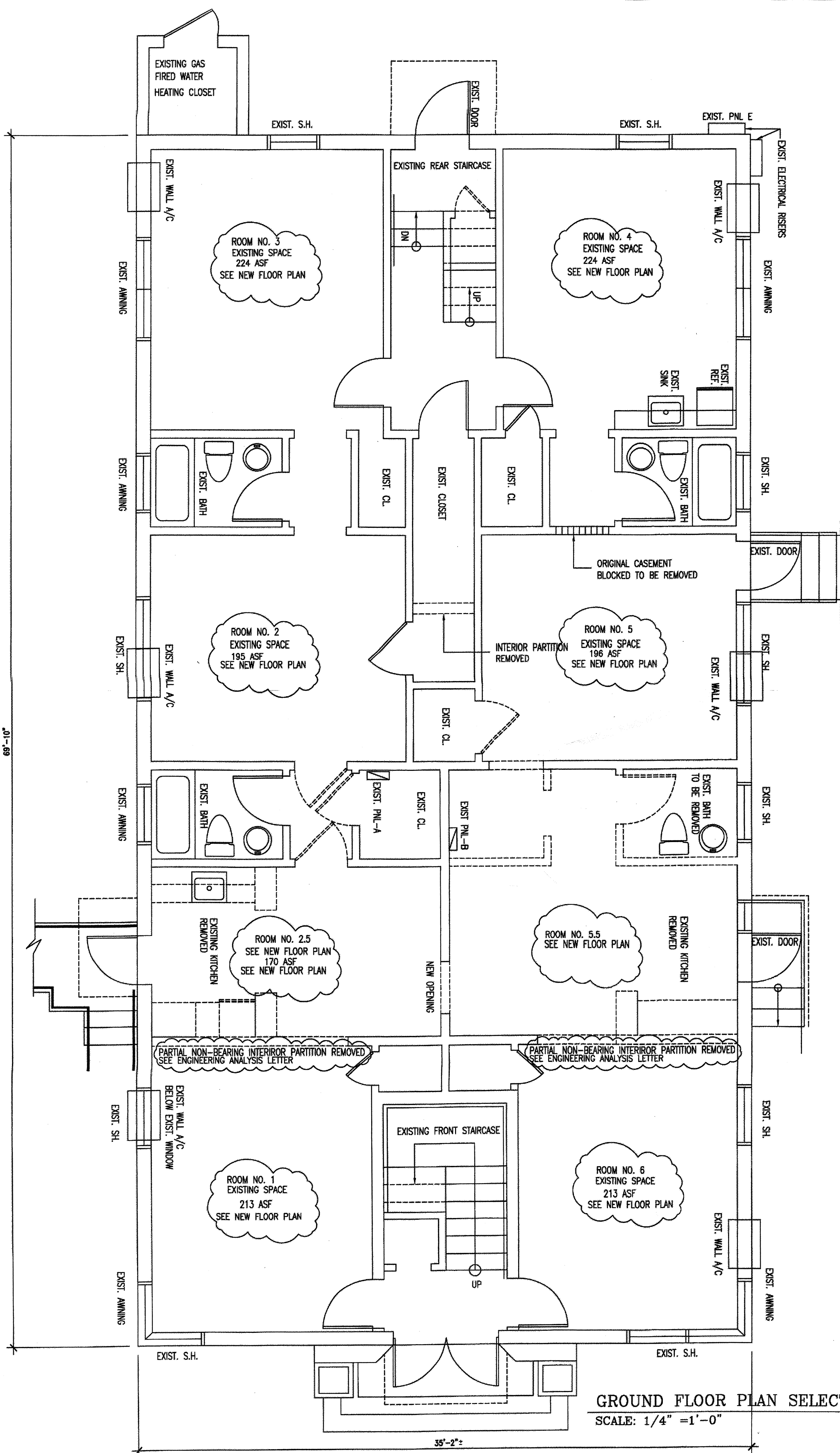
CLIENT : CLIENT/OWNER : 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141

PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE
24 JAN. 2011 PRELIMINARY PLANNING MEETING
FEB. 2011 SUBMITTAL FOR CONDITIONAL USE
21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN
DRAWN: S.Z.L.
DESIGNED: R.H.
CHECKED BY: R.H.
APPROVED BY: RHC

DRAWING NO.
COVER SHEET



GROUND FLOOR PLAN SELECTED DEMO.
SCALE: 1/4" = 1'-0"

ARCBUILDERS + GROUP INC.
 7301 Southwest 83 Court, Miami, Florida 33143 Telephone: 305.275.6310 Facsimile: 305.275.6309
 State of Florida Corporate License: AIC001931 (Registered Architect) and Q025067 (Certified General Contractor)

To: Richard McConachie
 Building Official
 Building Department
 City of Miami Beach, FL

From: Rick L. Hernandez-Capote, R.A.
 President
 Lic. No. AR0013379, BN 2418

RE: 7144 Byron Ave., Miami Beach
 Permit No. B1103387, Structural
 Verification and confirmation of wood framing second floor layout for +40
 year Procedural Guidelines for Recertification and Process Drawings.

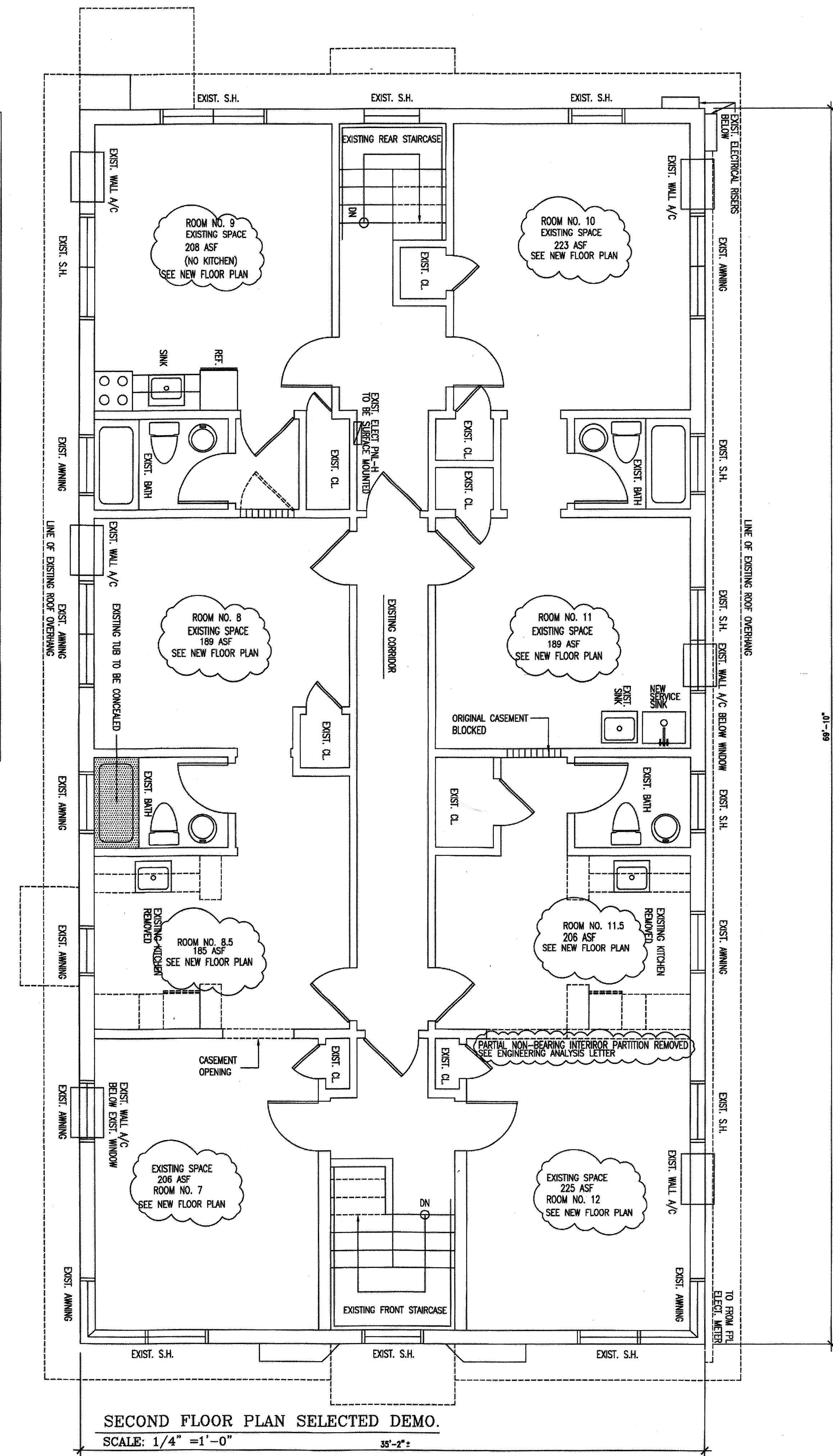
A selected 2'x2' sheetrock/plaster portion of the existing head wall detail was removed for structural integrity analysis located at the ground floor ceiling adjacent to the exterior bearing wall.

Per observations, all structural elements observed are as cited: second floor wood framing joist 2" X 10" Southern Pine Grade #1, span of (11'-6") 16" O.C. (adequate per F.B.C. Table 2308.8 (2), Table Span 16'-4").

Per examination, all connections are secured with well-fitted joint, the flooring framing system is intact including the exterior bearing wall.

This document statement will be attached to the cited process drawings and forthcoming recertification records.

ARCHITECTS ENGINEERS SPECIAL INSPECTORS BUILDING AND FIRE CODE MITIGATORS
 CERTIFIED GENERAL CONTRACTORS LEAD AP CERTIFIED (ASCB)



SECOND FLOOR PLAN SELECTED DEMO.
SCALE: 1/4" = 1'-0"

RICK HERNANDEZ CAPOTE, R.A.
 ARCBUILDERS + GROUP, INC.
 7301 S.W. 83CT.
 MIAMI, FLORIDA 33143
 305-275-6310 / FAX: 305-275-6309

LIC. NO. AA 0001831, AR 18379, BN 2418, N.F.P.A. MEMBER
 SPECIAL INSPECTOR 0676 N.C.A.R.B. 45,895
 A.C.F.E. FORENSIC ENGINEERING MEMBER ID:14739

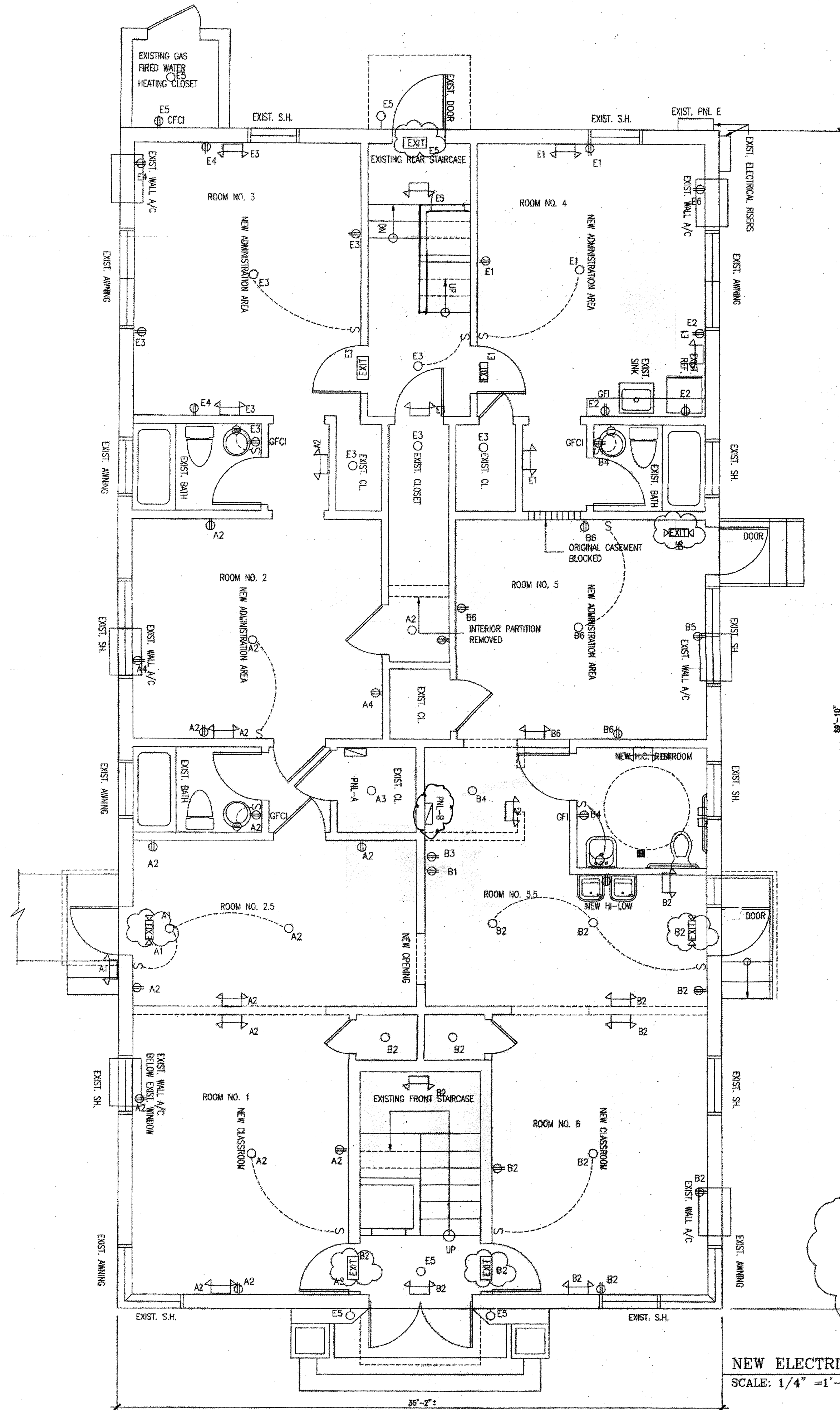
CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
 PROPERTY ADDRESS: 7144 BYRON AVENUE
 MIAMI BEACH FL. 33141

PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
 PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE
 24 JAN. 2011 PRELIMINARY PLANNING MEETING
 FEB. 2011 SUBMITTAL FOR CONDITIONAL USE
 21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN
 DRAWN: A.S.
 DESIGNED: R.H.
 CHECKED BY: R.H.
 APPROVED BY: RHC

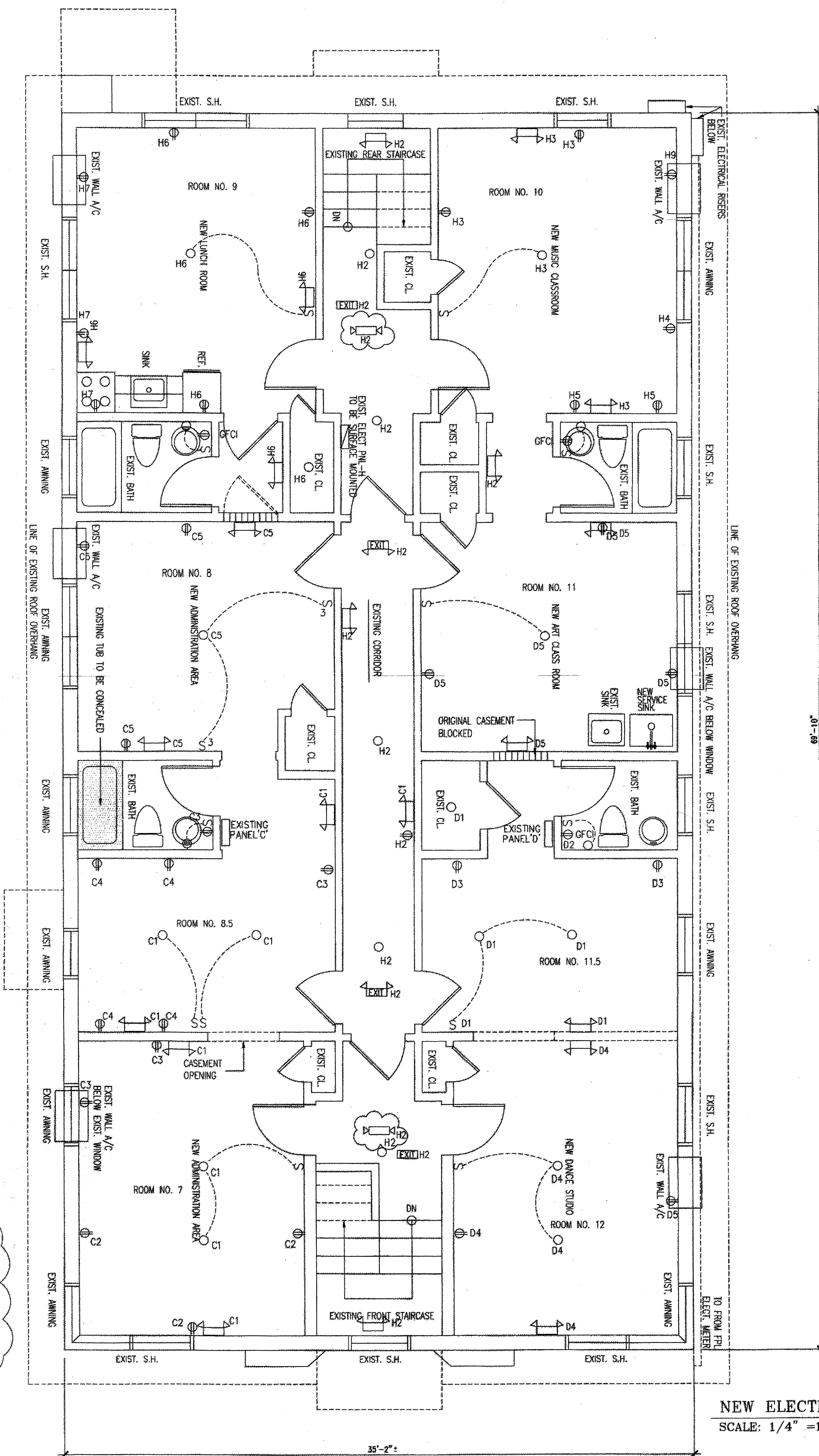
DRAWING NO.
 EXISTING
 FLOOR PLANS
 AND DEMO
 D-1



NEW ELECTRICAL GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXIT LIGHT W/ BATTERY BACK UP
- EXIT EMERGENCY AND EXIT COMBO W/ BATTERY BACK UP
- S SWITCHES
- 120V OUTLET
- LIGHT FIXTURE



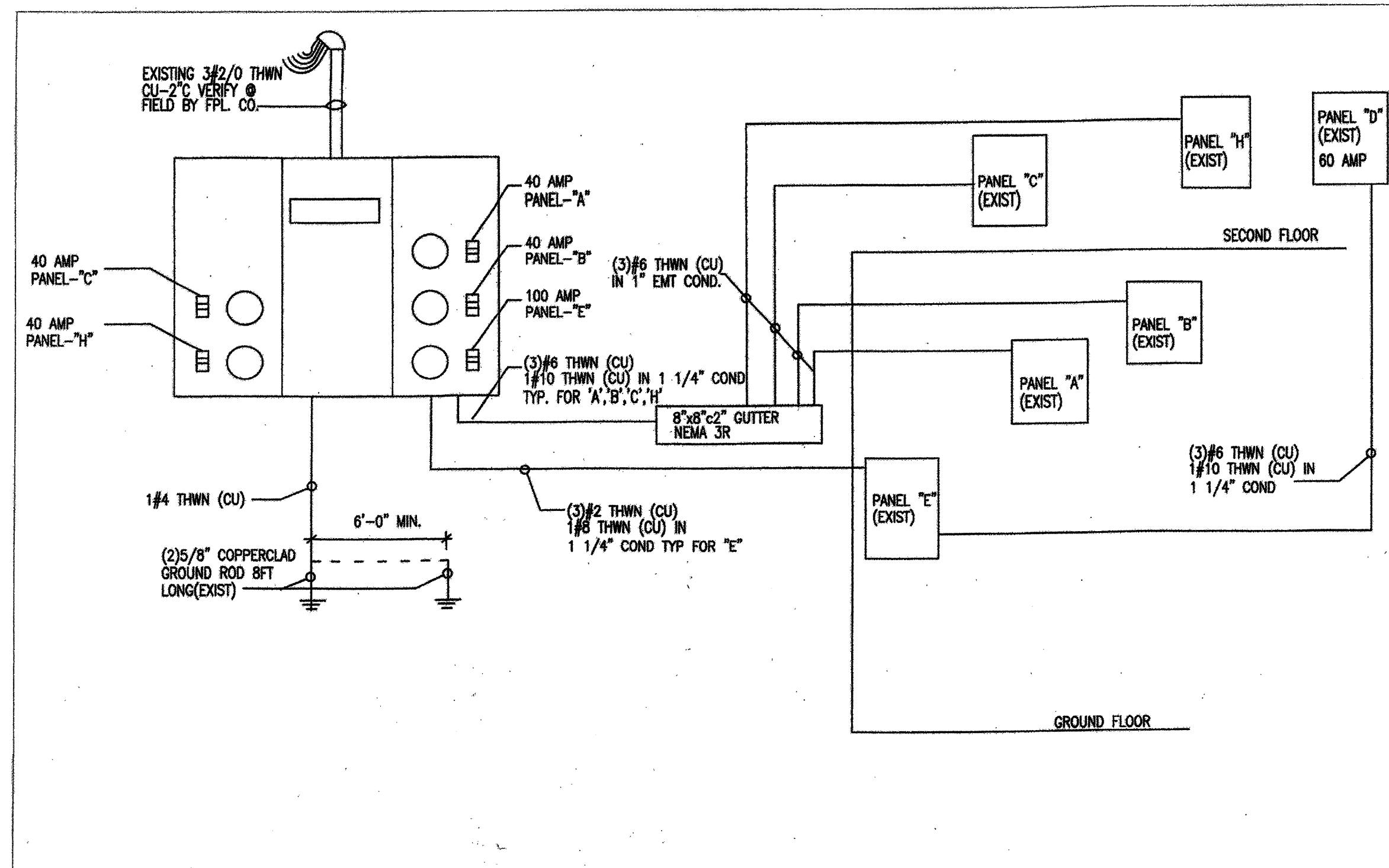
NEW ELECTRICAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

RICK HERNANDEZ CAPOTE, R.A.
ARC BUILDERS + GROUP, INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309
LIC. NO. AA 0001831, AP 13378, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0078 N.C.A.A.R.S. 45,595
A.C.F.E. FORENSIC ENGINEER NO. MEMBER ID.14739

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141
PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO.	DATE	REVISION	ISSUE	SCALE:	AS SHOWN
24 JAN.	2011	PRELIMINARY PLANNING MEETING		DRAWN:	A.S.
FEB.	2011	SUBMITTAL FOR CONDITIONAL USE		DESIGNED:	R.H.
21 JUL.	2011	BUILDING DEPARTMENT SUBMITTAL		CHECKED BY:	R.H.
				APPROVED BY:	RHC

DRAWING NO.
ELECTRICAL
FLOOR PLANS
E-1



TYPE : SQUARE "D" or APPROVED EQUAL SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE						PANEL "A" (EXISTING)						MAIN BUS : 40 AMPS NEUTRAL : 40 AMPS MANS : NLO A/C : 10,000 A/C			
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.		CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS	
20	1	1500	12"	12	GEN. LIGHTING	1	●	2	A/C WALL UNIT	12	12"	1500	1	20	
20	1	1500	12"	12	GEN. LIGHTING	3	●	4	GEN. RECEPT	12	12"	1500	1	20	
						5	●	6							
						7	●	8							

★ - 750 S.F. * 3.5 VA= 2,625.0 VA
DEMAND LOAD: 6,000 W

FEEDER: SEE RISER
FED FROM: SEE RISER

ELECT. LOAD CALC.

PANEL-A _____ 8,000.0

TOTAL _____ 6,000.0

6,000.0/240= 25 AMPS

SERVICE= 40 AMPS

TYPE : SQUARE "D" or APPROVED EQUAL SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE						PANEL "B" (EXISTING)						MAIN BUS : 40 AMPS NEUTRAL : 40 AMPS MANS : NLO A/C : 10,000 A/C			
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.		CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS	
20	1	1200	12"	12	GEN. RECEPT	1	●	2	A/C WALL UNIT	12	12"	1200	1	20	
20	1	1200	12"	12	GEN. RECEPT	3	●	4	GEN. LIGHTING	12	12"	1200	1	20	
20	1	1500	12"	12	A/C WALL UNIT	5	●	6	GEN. LIGHTING	12	12"	1500	1	20	

★ - 750 S.F. * 3.5 VA= 2,625.0 VA
DEMAND LOAD: 8,400 W

FEEDER: SEE RISER
FED FROM: SEE RISER

ELECT. LOAD CALC.

PANEL-B _____ 8,400.0

TOTAL _____ 8,400.0

8,400.0/240= 35 AMPS

SERVICE= 40 AMPS

TYPE : SQUARE "D" or APPROVED EQUAL SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE						PANEL "C" (EXISTING)						MAIN BUS : 40 AMPS NEUTRAL : 40 AMPS MANS : NLO A/C : 10,000 A/C			
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS		
20	1	1500	1/2"	12	GEN. LIGHTING*	1	2	GEN. RECEPT	12	1/2"	1200	1	20		
20	1	1500	1/2"	12	A/C WALL UNIT	3	4	GEN. LIGHTING*	12	1/2"	1500	1	20		
20	1	1500	1/2"	12	A/C WALL UNIT	5	6								
						7	8								

★ - 750 S.F. * 3.5 VA= 2,625.0 VA
DEMAND LOAD: 7,200 W

FEEDER: SEE RISER
FED FROM: SEE RISER

ELECT. LOAD CALC.	
PANEL-C	7,200.0
TOTAL	7,200.0
7,200.0/240= 30 AMPS	
SERVICE= 40 AMPS	

TYPE : SQUARE "D" or APPROVED EQUAL SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE						PANEL "D" (EXISTING)						MAIN BUS : 40 AMPS NEUTRAL : 40 AMPS MANS : NLO A/C : 10,000 A/C			
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS		
20	1	1500	1/2"	12	GEN. LIGHTING*	1	2	GEN. RECEPT	12	1/2"	1200	1	20		
20	1	1200	1/2"	12	GEN. RECEPT	3	4	GEN. LIGHTING*	12	1/2"	1500	1	20		
20	1	1500	1/2"	12	A/C WALL UNIT	5	6								
						7	8								

★ - 750 S.F. * 3.5 VA= 2,625.0 VA
DEMAND LOAD: 6,900 W

FEEDER: SEE RISER
FED FROM: SEE RISER

ELECT. LOAD CALC.	
PANEL-D	6,900.0
TOTAL	6,900.0
6,900.0/240= 28.75 AMPS	
SERVICE= 40 AMPS	

TYPE : SQUARE "D" or APPROVED EQUAL						PANEL "H" (EXISTING)						MAIN BUS : 60 AMPS NEUTRAL : 60 AMPS MANS : NLO A/C : 10,000 A/C									
SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE																					
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS								
20	1	1200	12"	12	GEN. LIGHTING	1	2	GEN. LIGHTING	12	12"	1200	1	20								
20	1	1200	12"	12	GEN. RECEPT	3	4	GEN. RECEPT	12	12"	1200	1	20								
20	1	1200	12"	12	GEN. RECEPT	5	6	GEN. RECEPT	12	12"	1200	1	20								
20	1	1200	12"	12	GEN. LIGHTING	7	8	GEN. LIGHTING	12	12"	1200	1	20								
20	1	1200	12"	12	A/C WALL UNIT	9	10														
						11	12														
* - 1000 S.F. * 3.5 VA= 3,500.0 VA DEMAND LOAD: 8,700 W						FEEDER: SEE RISER FED FROM: SEE RISER															

ELECT. LOAD CALC.	
PANEL-H	8,700.0
TOTAL	8,700.0
8,700.0/240= 36.25 AMPS	
SERVICE= 40 AMPS	

TYPE : SQUARE "D" or APPROVED EQUAL						PANEL "E"						MAIN BUS : 100 AMPS NEUTRAL : 100 AMPS MANS : NLO A/C : 16,000 A/C									
SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE																					
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS								
20	1	1200	12"	12	GEN. LIGHTING	1	2	GEN. RECEPT	12	12"	1200	1	20								
20	1	1200	12"	12	GEN. LIGHTING	3	4	A/C WALL UNIT	12	12"	1200	1	20								
20	1	1200	12"	12	GEN. LIGHTING	5	6	GEN. RECEPT	12	12"	1200	1	20								
20	1	1200	12"	12	A/C WALL UNIT	7	8	SUB-PANEL "D"	6	1"	8000	2	40								
20	1	1200	12"	12	A/C WALL UNIT	9	10														
						11	12														
						13	14														
						15	16														
* - 800 S.F. * 3.5 VA= 2,800.0 VA DEMAND LOAD: 17,400 W						FEEDER: SEE RISER FED FROM: SEE RISER															

ELECT. LOAD CALC.	
PANEL-E	17,400.0
TOTAL	17,400.0
17,400.0/240= 72.5 AMPS	
SERVICE= 100 AMPS	

TYPE : SQUARE "D" or APPROVED EQUAL SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE						PANEL "B" (EXISTING)						MAIN BUS : 40 AMPS NEUTRAL : 40 AMPS MANS : NLO A/C : 10,000 A/C					
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.				CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS	
20	1	1200	12"	12	GEN. RECEPT	1				2	A/C WALL UNIT	12	12"	1200	1	20	
20	1	1200	12"	12	GEN. RECEPT	3				4	GEN. LIGHTING	12	12"	1200	1	20	
20	1	1200	12"	12	A/C WALL UNIT	5				6	GEN. LIGHTING	12	12"	1200	1	20	
						7				8							
★ - 750 S.F. * 3.5 VA= 2,625.0 VA DEMAND LOAD: 8,400 W												FEEDER: SEE RISER FED FROM: SEE RISER					
ELECT. LOAD CALC.																	
PANEL-B ————— 8,400.0																	
TOTAL ————— 8,400.0																	
8,400.0/240= 35 AMPS																	
SERVICE= 40 AMPS																	

TYPE : SQUARE "D" or APPROVED EQUAL SERVICE : UNITS VOLTAGE : 240/120 V 1-3 W MOUNTING : SURFACE						PANEL "D" (EXISTING)						MAIN BUS : 40 AMPS NEUTRAL : 40 AMPS MANS : NLO A/C : 10,000 A/C				
AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.				CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS
20	1	1200"	12"	12	GEN. LIGHTING*	1				2	GEN. RECEPT	12	12"	1200	1	20
20	1	1200	12"	12	GEN. RECEPT	3				4	GEN. RECEPT	12	12"	1200"	1	20
20	1	1200	12"	12	A/C WALL UNIT	5				6						
						7				8						

* - 750 S.F. * 3.5 VA= 2,625.0 VA
DEMAND LOAD: 6,900 W

FEEDER: SEE RISER
FED FROM: SEE RISER

ELECT. LOAD CALC.	
PANEL-D	6,900.0
TOTAL	6,900.0
6,900.0/240= 28.75 AMPS	
SERVICE= 40 AMPS	

TYPE : SQUARE "D" or APPROVED EQUAL
 SERVICE : UNITS
 VOLTAGE : 240/120 V 1-3 W
 MOUNTING : SURFACE

MAIN BUS : 100 AMPS
 NEUTRAL : 100 AMPS
 MANS : NLO
 A/C : 10,000 A/C

PANEL "E"

AMPS	POLES	TOTAL VA	COND SIZE	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	COND SIZE	TOTAL VA	POLES	AMPS
20	1	1200	12"	12	GEN. LIGHTING	1	2	GEN. RECEPT	12	12"	1200	1	20
20	1	1200	12"	12	GEN. LIGHTING	3	4	A/C WALL UNIT	12	12"	1200	1	20
20	1	1200	12"	12	GEN. LIGHTING	5	6	GEN. RECEPT	12	12"	1200	1	20
20	1	1200	12"	12	A/C WALL UNIT	7	8	GEN. RECEPT	12	12"	1200	1	20
20	1	1200	12"	12	A/C WALL UNIT	9	10	SUB-PANEL "D"	12	12"	1200	2	40
20	1	1200	12"	12	A/C WALL UNIT	11	12	A/C WALL UNIT	12	12"	1200		
						13	14						
						15	16						

* - 300 S.F. * 3.5 VA= 2,625.0 VA
 DEMAND LOAD: 17,400 W

FEEDER: SEE RISER
 FED FROM: SEE RISER

ELECT. LOAD CALC.

PANEL-E
 TOTAL : 17,400.0
 17,400.0/240= 72.5 AMPS
 SERVICE= 100 AMPS

RICK HERNANDEZ CAPOTE, P.E.
ARC BUILDERS + GROUP, INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309
LIC. NO. AA 0001831, AR 18378, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 45,585
A.C.F.E. FORENSIC ENGINEERING MEMBER ID:14739

CLIENT : CLIENT/OWNER : 7144 BYRON LLC.
PROPERTY ADDRESS : 7144 BYRON AVENUE
MIAMI BEACH FL 33141

PROJECT NAME : EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE
24 JAN. 2011 PRELIMINARY PLANNING MEETING
FEB. 2011 SUBMITTAL FOR CONDITIONAL USE

SCALE: AS SHOWN
DRAWN: A.S.
DESIGNED: R.H.
CHECKED BY: R.H.
APPROVED BY: R.H.C

DRAWING NO.
ELECTRICAL
SCHEDULES

E-2

ARCBUILDERS + GROUP INC.

7301 Southwest 83 Court, Miami, Florida 33143 Telephone 305.275.6310 Facsimile 305.275.6309
State of Florida Corporate Licenses. AAC001931(Registered Architect) and/QB25067(Certified General Contractor)

To: Gladys Salas, P.E.
Building Department, Project Manager

July 27, 2011

From: Ric L. Hernandez-Capote, R.A.
Architect of Record for Drawing Submittal
General Contractor for New Master Permit

c.c: Richard McConachie
Building Official
City of Miami Beach Building Department

Re: Activity Number: B1102295
7144 Byron Ave. Miami Beach, FL 33141
2-Story Building
Request for Waiver from Additional Handicapped Requirements

Handwritten signature and date: 27 July 2011

Existing Items Provided for Accessibility to Building for Compliance with City of Miami

A

- 1. Please refer to the Comprehensive Site Plan depicting accessibility route from existing Happy Kids (71 to 7144 Byron Ave. Educational Use Building). Please refer to SP/H.C. One**
- 2. New modification walkway connection between Building No. 7134 and 7144 Byron Ave. for Handicapped Accessibility Route, please refer to Dwg. No. SP-1.**

B

Hardship clause new handicapped accessibility items that would exceed cost to the interior remodeling of the existing two story building.

OPTION NO. 1

1.1 New Elevator Cost Proposals

**1.2 Centrellex x Elevator Service Corp.
Cost: \$55,869 (Lowest Bid)**

1.3 Oracle Elevator: \$118,700

1.4 Modification to existing building envelope walls to accommodate new enclosure for elevator, electrical. New foundation and building shell enclosures for elevator.

General Contractor Cost: \$105,000

Summation for Option No. 1

•Elevator Cost: \$55,869

•Construction Cost: \$105,000

•Total Cost: **\$160,869.00**

OPTION NO. 2

**2.1 Oracle Elevator to install new vertical platform lift exterior enclosure
Cost: \$44,775**

**2.2 Install interior stairway inclined lift one turn
Cost: \$28,000**

**2.3 Interior building structure, electrical and existing staircase modifications to accommodate new interior H.C. lift equipment.
General Contractor Cost: \$70,000**

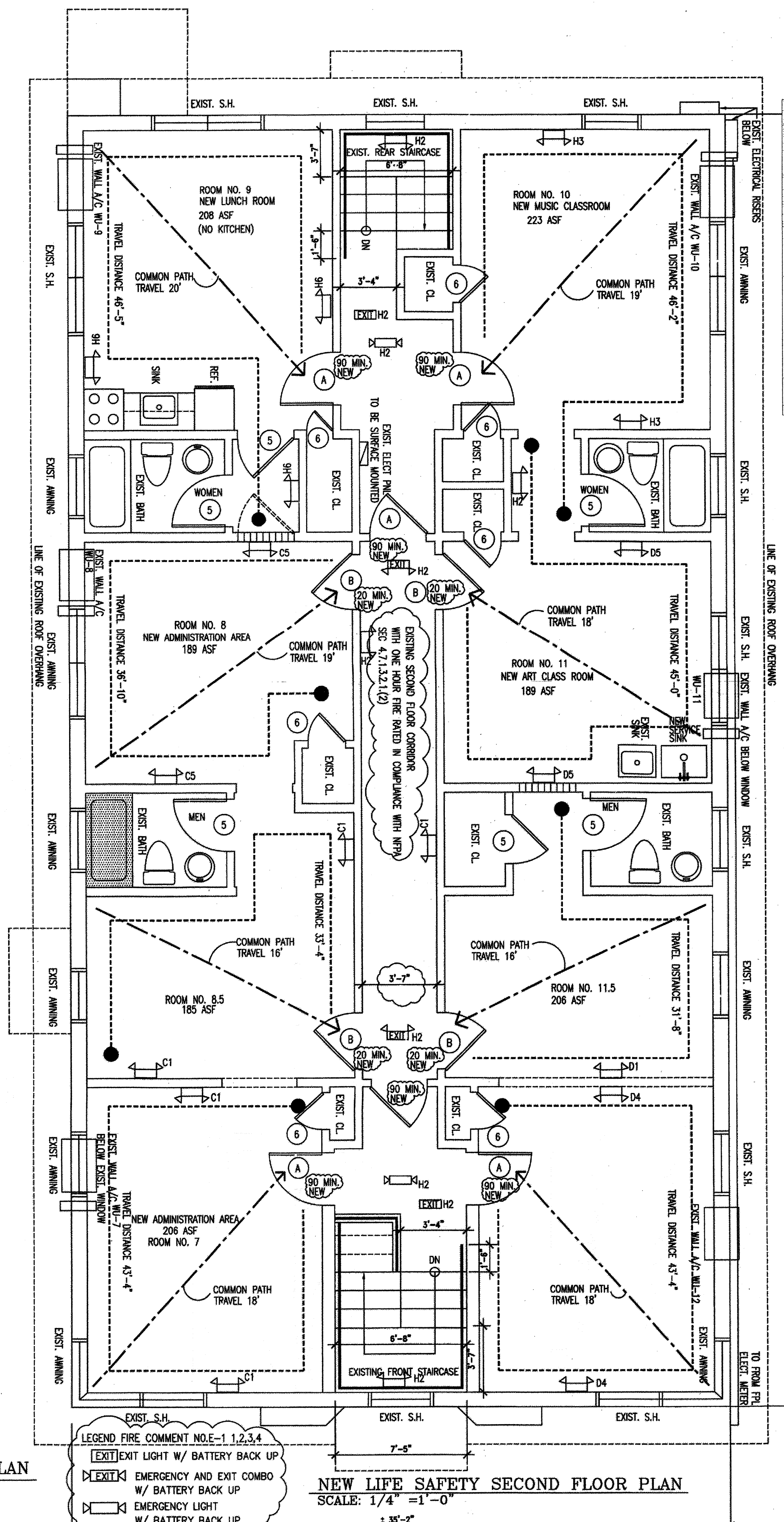
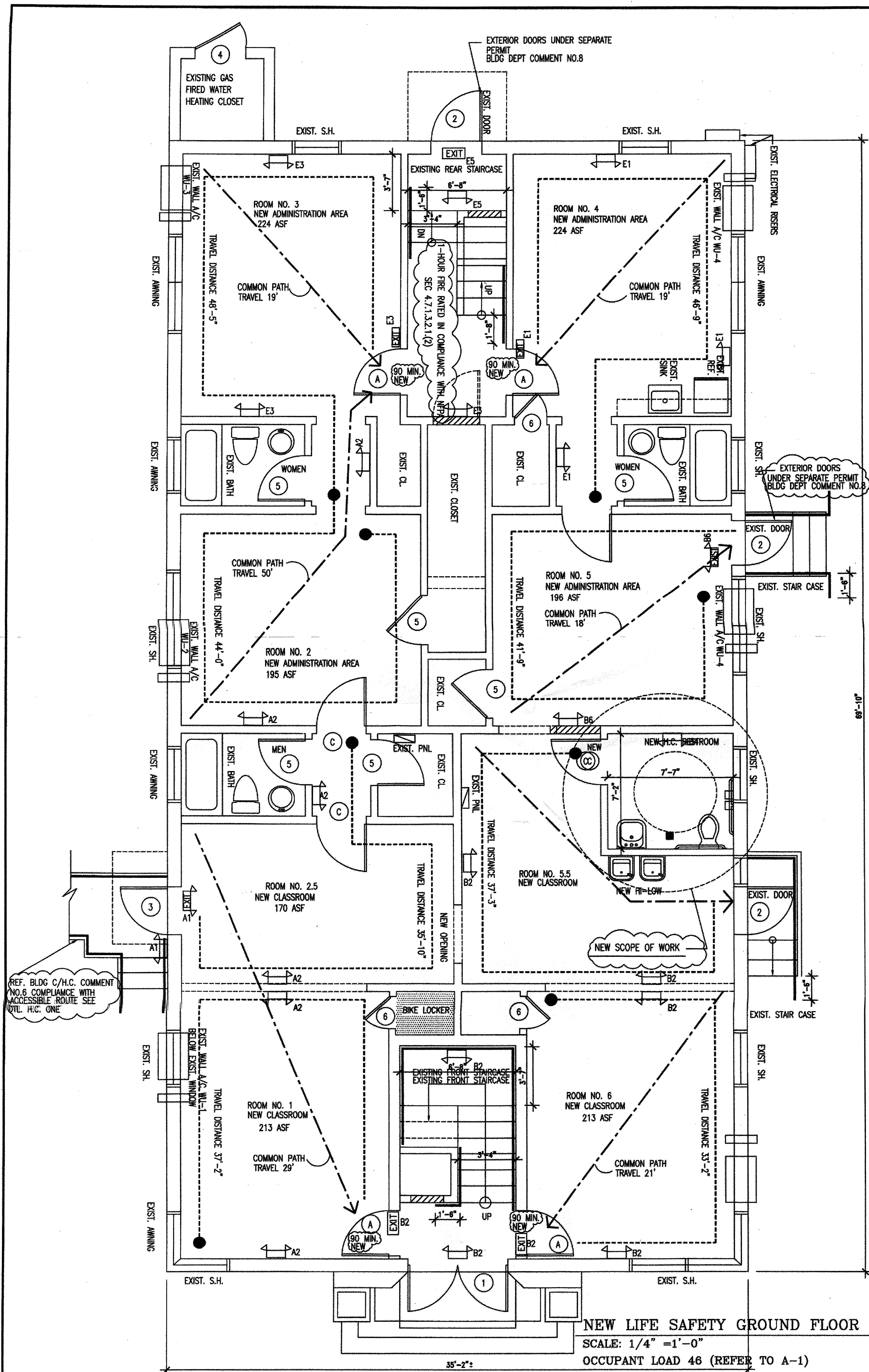
Summation for Option No. 2

- Exterior platform lift = \$44,775
- Interior stairway included lift = \$28,000
- Interior construction building/electrical modifications = \$70,000
- Total Cost:

\$142,775.00

GENERAL NOTE

This architectural cost documentation and graphic drawings depict the H.C. Accessibility scope of work with alternates and options. Also, it will serve as an attachment with the new legal covenant for mitigation with the local City of Miami Beach Building Official and the State of Florida Chapter II Florida Accessibility Code for Building Construction Officials.



FIRE COMMENT NO.13
NEW FIRE ALARM AND DETECTION SYSTEM WILL BE INSTALLED PER FBC-E
912.2.2 N.F.P.A. 101:14.34.11

GA FILE NO. WP 1072	GENERIC	1 HOUR FIRE	45 to 48 STC SOUND						
<p>GYPSUM WALLBOARD, STEEL STUDS</p> <p>One layer 5/8" type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 3/4" steel studs 24" o.c. with 1" Type S drywall screws 8" o.c. at vertical joints and 12" o.c. at floor and ceiling runners and intermediate studs.</p> <p>Joints staggered 24" on each side and on opposite sides. Sound tested with 3 1/2" glass fiber friction fit in stud space. (N.L.B.)</p> <p>FIRE COMMENT NO.19 EDGE CAPACITY OF STAIRCASES IN COMPLIANCE WITH TABLE 7.3.3.1 CAPACITY FACTOR (3 INCH W/PERSON TRAVEL DISTANCE PER TABLE A.7.6. EDUCATIONAL)</p> <div><p>LIFE SAFETY OCCUPANT LOAD 66 (REFER TO SHEET A-1 (N.F.P.A. 101 CHAPTER 6-1.127-1.7)) COMMON PATH PER N.F.P.A. 14/15.2.5.3</p><table><tr><th></th><th>TRAVEL DISTANCE UNSPRINKLERED</th><th>COMMON PATH 75'</th></tr><tr><td>EDUCATIONAL</td><td>150'</td><td>75'</td></tr></table></div>					TRAVEL DISTANCE UNSPRINKLERED	COMMON PATH 75'	EDUCATIONAL	150'	75'
	TRAVEL DISTANCE UNSPRINKLERED	COMMON PATH 75'							
EDUCATIONAL	150'	75'							
		Thickness: 5/8" Approx. Weight: 6 psf Fire Test: See WP 1350 (FM WP-45, 8-19-68; OSU T-1770, 8-61; ULC 79T484, 79T500, 79T497, 8-12-61, ULC Design W415) Sound Test: NRCC 616-NV, 2-3-61							

NEW WALL PARTITION AT STAIRCASE ENCLOSURES LOCATED AT SECOND FLOOR

DETAIL-C
FIRE COMMENT NO. 4

GA FILE NO. WP 3430	GENERIC	1 HOUR FIRE	40 to 44 STC SOUND
<p>GYPSUM LATH, GYPSUM PLASTER, WOOD STUDS</p> <p>1/2" 1:2 gypsum-sand plaster applied over 5/8" plain gypsum lath applied at right angles to each side of 2 x 4 wood studs 16" o.c. with 13 gage blue lath nails, 1 1/4" long, 0.0915" shank, 1 1/2" heads, 4" o.c. (LOAD-BEARING)</p> <p>Thickness: 5/8"</p> <p>Approx. Weight: 15 psf</p> <p>Fire Test: OSU T-948, 7-17-58; OSU T-1380, 7-8-60 Sound Test: RAL TL58-50, 6-7-58</p>			

WALL PARTITION DET.-B (EXISTING)
FIRE COMMENT NO. 4

FIRE COMMENT NO.19
DENOTES TRAVEL DISTANCE

FIRE COMMENT NO.19
COMMON PATH OF TRAVEL

RICK HERNANDEZ CAPOTE, R.A.
ARCHITECTS + GROUP, INC.
7301 S.W. 83RD
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309

LIC. NO. AA 000931, AR 13379, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 45,895
A.C.F.E. FORENSIC ENGINEERING MEMBER ID.14739

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141

PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO. DATE REVISION / ISSUE

24 JAN. 2011 PRELIMINARY PLANNING MEETING

FEB. 2011 SUBMITTAL FOR CONDITIONAL USE

11 FEB. 2011 PLANNING MEETING REVIEW

21 JUL. 2011 BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN

DRAWN: A.S.

DESIGNED: R.H.

CHECKED BY: R.H.

APPROVED BY: RHC

DRAWING NO. LIFE SAFETY FLOOR PLANS

LS-1

- GENERAL HVAC NOTES**
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL AND EQUIPMENT FOR A COMPLETE HVAC SYSTEM IN ACCORDANCE WITH THESE DRAWINGS. THE FLORIDA BUILDING CODE 2002 AND THE LATEST EDITION OF THE FOLLOWING PUBLICATIONS:
(A) ANSI B91 MECHANICAL REFRIGERATION (B) NFPA PAMPHLETS 90A & 91 (C) SMACNA (D) ASHRAE
 - ALL AIR CONDITIONING DUCTWORK SHALL BE 1-1/2" STANDARD DUTY FOIL REINFORCED FIBERGLASS (R-6) MANUFACTURED LOGO PRINTED ON THE VAPOR BARRIER WHEN IN UNCONDITIONED SPACE, AND 3/4" STANDARD DUTY FOIL REINFORCED FIBERGLASS (R-4) MANUFACTURED LOGO PRINTED ON THE VAPOR BARRIER IN CONDITIONED SPACE OR RETURN PLENUM SPACE.
 - ALL EXHAUST DUCTWORK SHALL BE CODE GAGE GALVANIZED SHEET METAL.
 - DUCT SIZE SHOWN ARE NET FREE AREA INSIDE.
 - ALL AIR DEVICES (DIFFUSERS, REGISTERS AND GRILLES) SHALL BE ALL ALUMINUM CONSTRUCTION, WITH EXPOSED SURFACE CHEMICALLY TREATED TO RECEIVE PAINT TO MATCH COLOR OR AIR GUIDE OR APPROVED EQUAL.
 - PROVIDE OPPOSED BLADE DAMPERS AT ALL DIFFUSERS AND REGISTERS.
 - THERMOSTATS SHALL BE COMBINATION COOLING / HEATING WITH SYSTEM COOL / AUTO / HEAT / OFF AND FAN ON / AUTO SELECTOR SWITCHES.
 - REFRIGERANT PIPING SHALL BE COPPER TYPE "L" WITH 1/2" ARMAFLEX INSULATION SHALL BE PROVIDED FOR SUCTION LINES.
 - PROVIDE NEW FILTERS FOR FAN COIL BEFORE STARTING. THESE FILTERS MUST ALSO BE REPLACED PRIOR TO FINAL ACCEPTANCE BY OWNER.
 - GENERAL CONTRACTOR IS TO HIRE AN INDEPENDENT TEST AND BALANCE COMPANY WHICH SHALL PROVIDE 3 SET OF THE REPORT SIGN AND SEALED BY THE PROFESSIONAL ENGINEER FROM THE COMPANY PRIOR OF ACCEPTANCE OF WORK.
 - MECHANICAL CONTRACTOR ITS TO PROVIDE TURNING VANE AT ALL CHANGE OF DIRECTIONS OR TO PROVIDE TURNING RADIO, ALL OUTLETS SHALL HAVE EXTRACTORS OR SCOPPERS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS.

MECHANICAL LEGEND

	CEILING GRILLE SEE SIZE SCHEDULE DUCT TO MATCH NECK SIZE TYPICAL	OAL	OUTSIDE AIR INTAKE
	RETURN AIR GRILL	SR	SIDE REGISTER
	VOLUME DAMPER	CD	CEILING DIFFUSER
	THERMOSTAT	CG	CEILING GRILL
	AIR FLOW DIRECTION (ARROWS DENOTE 1 WAY, 2 WAY, ETC. SEE PLANS)	UON	UNLESS OTHERWISE NOTED.
	RETURN OR EXHAUST, SEE PLANS	AHU	AIR HANDLER UNIT
	WALL MOUNTED SIDE REGISTER	CU	CONDENSING UNIT
	EF EXHAUST FAN	EF	EXHAUST FAN
		CFM	CUBIC FEET PER MINUTE
		TF	THERMOPIN
		UC	UNDERCUT
		UF	UNDERFLOOR
		TAG	TRANSFER AIR GRILLE

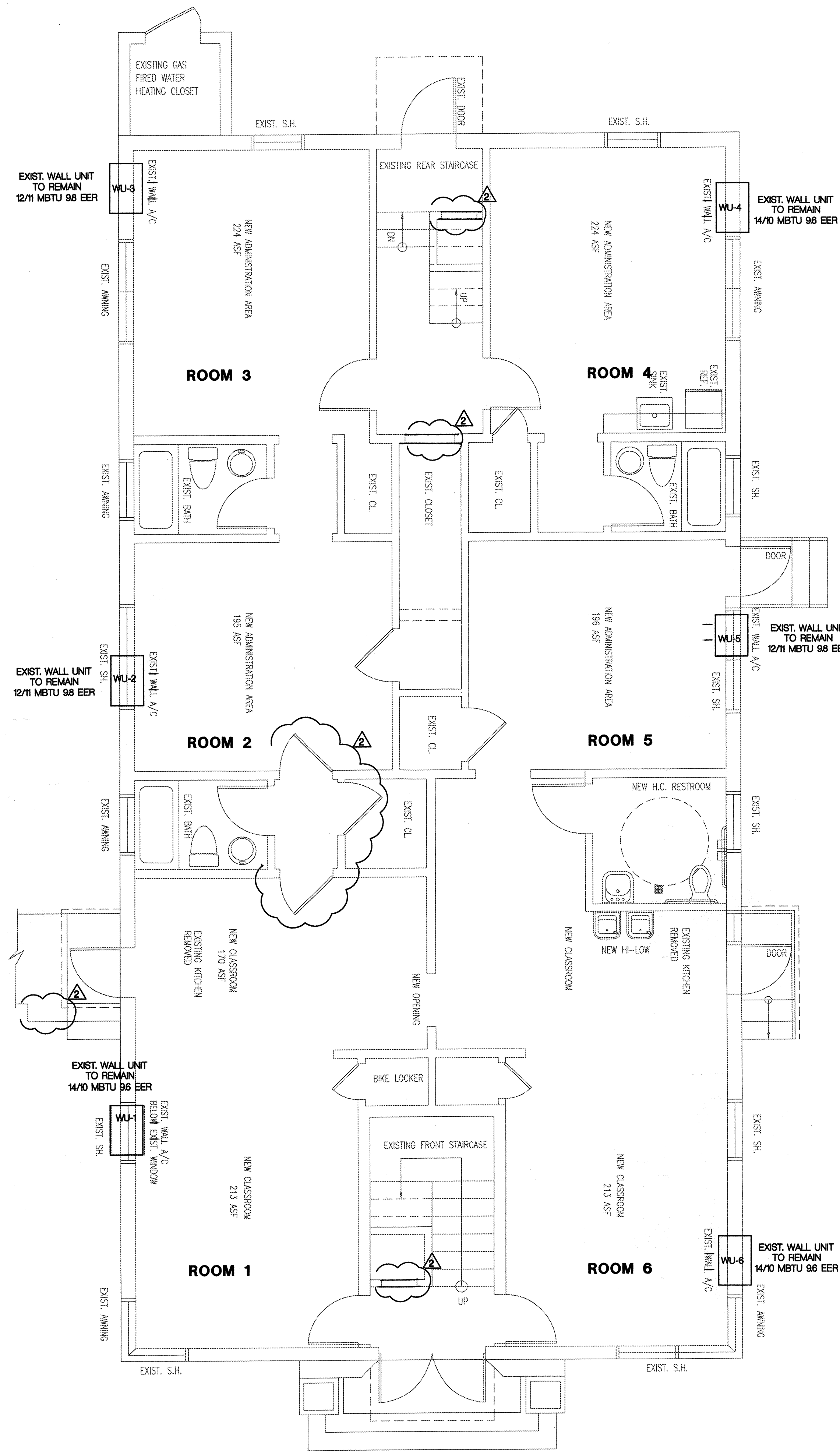
OUTDOOR AIR CALCULATIONS AS PER FBCM 2007 4022 NATURAL VENTILATION

AREA DESIGNATION	NET FLOOR AREA	PERSONS/1000/FT2	TOTAL OCCUPANCY	REQD FREE AREA (S/F)	FREE AREA PROVIDED (S/F)	OUTSIDE OPENING
CLASSROOM 1	350	50	18	14	24	EXIST. WINDOWS EXIST. DOOR
ROOM 2 OFFICE	190	7	2	8	24	EXIST. WINDOWS
ROOM 3 OFFICE	210	7	2	9	24	EXIST. WINDOWS
ROOM 4 OFFICE	216	7	2	10	18	EXIST. WINDOWS
ROOM 5 OFFICE	190	7	2	8	24	EXIST. WINDOWS
CLASSROOM 6	350	50	18	14	32	EXIST. WINDOWS
ROOM 7 OFFICE	350	7	3	14	18	EXIST. WINDOWS
ROOM 8 OFFICE	180	7	2	8	18	EXIST. WINDOWS
CLASSROOM 9	215	50	11	10	24	EXIST. WINDOWS
ROOM 10 MUSIC	215	50	11	10	18	EXIST. WINDOWS
CLASSROOM 11	190	50	10	8	24	EXIST. WINDOWS
CLASSROOM 12	350	50	18	14	18	EXIST. WINDOWS

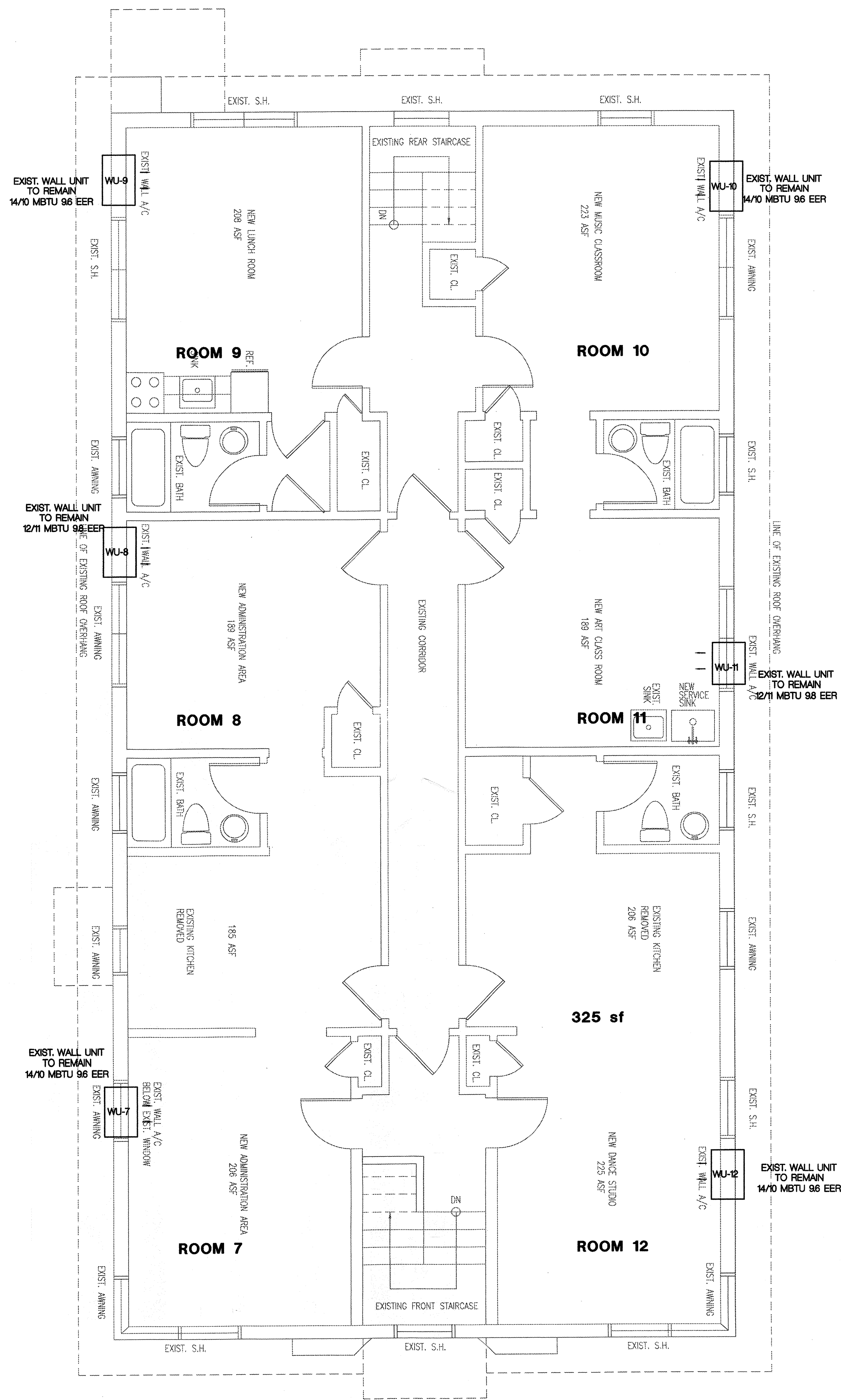
- SCOPE OF WORK**
- EXISTING ROOMS TO BE REMODELED FOR EDUCATIONAL PURPOSES. ALL EXISTING WINDOW AIR CONDITIONERS TO REMAIN.
 - NO NEW A/ EQUIPMENT TO BE INSTALLED.

HVAC DESIGN REQUIRE:

	YES	NO
DUCT SMOKE DETECTOR		X
FIRE DAMPERS		X
SMOKE DAMPERS		X
FIRE RATE ENCLOSURE		X
FIRE RATED ROOF/FLOOR CEILING ASSEMBLY		X
FIRE STOPPING		X
SMOKE CONTROL		X
THERMOSTAT (PROGRAMMABLE)		X



FIRST FLOOR PLAN - MECHANICAL
1/4"=1'-0"



SECOND FLOOR PLAN - MECHANICAL
1/4"=1'-0"

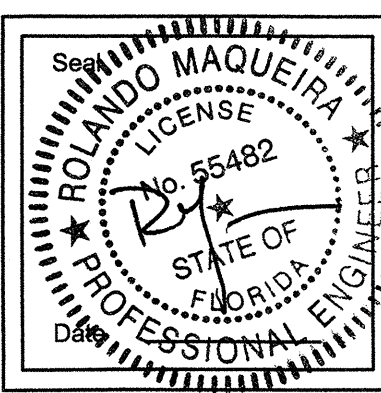


REVISIONS:

NO.	DATE	REVISION
1	07-21-11	BUILD. DEPT. COMMENTS 08-09-11
2	11-15-11	COORDINATION

EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

7144 BYRON AVENUE
MIAMI BEACH FL. 33141



Maquieira Engineering Consultants, Inc
MECHANICAL - PLUMBING - ELECTRICAL
7487 SW 50th Terrace Miami, Florida 33155
Office (305) 666-5595

DATE :	SCALE :
07-21-11	AS NOTED
PROJECT NO :	
11159	
DRAWING NO :	
M-1	
Sheets	

Oracle Elevator

Wheelchair Lift Installation Agreement

Customer:**ARC Builders + Group. Inc.**

Site – 7144 Byron Ave.
Miami Beach, FL 33141

Contact:

Rick Hernandez
7301 SW 83rd Ct.
Miami, FL 33143-3821
(305) 275-6309 O
(786) 256-6205 C

Oracle Elevator Company

2315 Stirling Road
Ft. Lauderdale, Florida 33312

Lowell I Dack
Service Sales Representative
Tel: 954-965-1508
Fax: 954-965-1520
Cell: 954-347-0063
Lowell.dack@oracleelevator.com

Oracle Elevator will provide the necessary labor and materials for the following work to be completed for one (1) wheelchair lift located at the above referenced address. Please see attached Terms and Conditions, Special Conditions, and Work not Included.

Description of Equipment:

TK Access PL-EZE model 144 w/ enclosure and vent package

Rated Load: 750 lbs
Rated Speed: 18-21 fpm
Maximum Travel: 136"
Number of Stops: 2

ACCESS FREE REQUIREMENTS

This proposal complies with the intent of the Architectural Barriers Free requirements and ADA as it relates to existing or altered elevators. The work proposed may not comply fully with ADA. It does, however, comply with all the other items, which are "readily achievable".

WARRANTY

We warranty all material and workmanship for 12 months on apparatus repaired or replaced under this proposal. No other work, except as detailed under "scope of work" is intended or implied. The equipment will still need to be serviced in accordance with a full maintenance contract during the warranty period.

RETAINED APPARATUS

Equipment not changed or repaired as detailed under "scope of work" is deemed retained apparatus and is not subject to any intended or implied warranty.

TAXES, PERMITS, TESTING, AND FEES

We included taxes where applicable, permits, testing requirements and testing fees.

WORKING HOURS

All work is based on the normal working hours of the elevator trade and no overtime hours are considered.

WORK BY OTHERS

Attached please find our standard "Work by Other Trades" list for your review. A meeting should be held before authorization of this proposal to define any other work that may have to be performed to comply with present code requirements.

COST: FOURTY-FOUR THOUSAND, SEVEN HUNDRED AND SEVENTY-FIVE 00/100 (\$44,775.00)

PAYMENT SCHEDULE

1. The first 33.33% of contract amount is to accompany a signed and dated copy of this proposal. No work will be scheduled or material ordered until the signed proposal and first payment are received.
2. The second 33.33% of the contract amount is due upon materials delivery either to an agreed upon staging/storage facility or to the job site.
3. The final 33.33% of the contract amount will be due upon job completion once the unit is inspected and approved for public use.

ACCEPTANCE

A returned copy of the proposal, properly signed and dated and approved by Oracle Elevator shall constitute the contract between us and will be our authorization to order materials and schedule the work

CONTACT

Please direct any questions or areas of concern to the undersigned.

Proposed:

Lowell I Dack
Miami-Dade County Sales Representative

Oracle Elevator

Date: _____

Accepted:

Name: _____

Title: _____

ARC Builders + Group. Inc.

Date: _____

GENERAL PLUMBING NOTES

- ALL WORK SHALL CONFORM WITH FLORIDA BUILDING CODE 2007 EDITION (FBC2007), FEDERAL ORDINANCES GOVERNING THE INSTALLATION OF THE PLUMBING SYSTEM IF WORK AS LAID OUT, INDICATED OR SPECIFIED IS CONTRARY TO OR CONFLICTS WITH LOCAL ORDINANCES, BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL REPORT IN WRITING TO THE ARCHITECT/ENGINEER BEFORE SUBMITTING A BID. THE ARCHITECT/ENGINEER WILL THEN ISSUE INSTRUCTIONS AS TO HOW TO PROCEED.
- THE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE ALL OF THE MINOR ITEMS UNLESS SPECIFIC DIMENSIONS ARE SHOWN. THE STRUCTURAL, ARCHITECTURAL AND SITE CONDITIONS SHALL GOVERN THE EXACT LOCATIONS. CONTRACTOR SHALL FOLLOW DRAWINGS IN LAYING OUT WORK. CHECK DRAWINGS OF ALL TRADES TO VERIFY SPACES IN WHICH WORK WILL BE INSTALLED AND MAINTAIN MAXIMUM HEAD ROOM AND SPACE CONDITIONS AT ALL POINTS WHERE HEAD ROOM OR SPACE CONDITIONS APPEAR INADEQUATE. ARCHITECT/ENGINEER SHALL BE NOTIFIED BEFORE PROCEEDING WITH INSTALLATION. THIS CONTRACTOR SHALL, WITHOUT EXTRA CHARGE, MAKE FIELD MODIFICATION IN LAYOUT AS NEEDED TO PREVENT CONFLICT WITH WORK OF VARIOUS TRADES OR FOR PROPER EXECUTION OF THE WORK.
- EXAMINE ALL DRAWINGS CAREFULLY PRIOR TO SUBMITTING A BID. CONTRACTOR WILL BE REQUIRED TO FURNISH, INSTALL AND/OR CONNECT WITH APPROPRIATE SERVICES ALL PLUMBING ITEMS SHOWN ON ANY OF THE ARCHITECTURAL, AIR CONDITIONING, ELECTRICAL WITHOUT ADDITIONAL EXPENSE TO THE OWNER IF DISCREPANCIES, CONFLICTS, INTERFERENCE OR OMISSIONS OCCUR BETWEEN DRAWINGS. NOTIFY IN WRITING THE ARCHITECT/ENGINEER IN AMPLE TIME TO PERMIT REVISIONS BEFORE THE BIDS ARE SUBMITTED.
- INSTALL MATERIALS AND EQUIPMENT IN A NEAT AND FIRST CLASS WORKMANLIKE MANNER. THE OWNER RESERVES THE RIGHT TO DIRECT REMOVAL AND REPLACEMENT OF ITEMS WHICH IN HIS OPINION DO NOT PRESENT A NEAT AND WORKMANLIKE APPEARANCE. REMOVAL AND REPLACEMENT IS TO BE DONE IMMEDIATELY WHEN DIRECTED BY THE OWNER IN WRITING, AT THE SOLE EXPENSE OF CONTRACTOR.
- START OF WORK BY CONTRACTOR SHALL BE CONSIDERED AS ACCEPTANCE BY HIM OF ALL CLAIMS OR QUESTIONS AS TO SUITABILITY OF THE WORK OF OTHER TRADES OR OTHER CONTRACTORS TO RECEIVE HIS WORK. THIS CONTRACTOR SHALL REMOVE AND REPLACE, AT HIS EXPENSE, ALL PLUMBING WORK WHICH MAY HAVE TO BE REMOVED BECAUSE OF INTERFERENCE WITH OTHER TRADES.
- THIS CONTRACTOR SHALL OBTAIN AND PAY ALL INSURANCE, FEES, PERMITS, ASSOCIATION DUES, ROYALTIES AND TAXES OF WHATEVER NATURE SHALL APPLY TO THIS WORK. HE SHALL ALSO PAID ALL THE INSPECTION FEES AS MAY BE REQUIRED BY LAW OR ORDINANCE AND SHALL KEEP THE OWNER HARMLESS FROM ANY DAMAGE AND EXPENSE ARISING FROM ANY VIOLATION OF LAWS.
- PROVIDE MEANS "FURNISH AND INSTALL".
- DO A COMPLETE JOB, EVERYTHING CONNECTED, READY FOR USE.
- SHOP DRAWINGS. CONTRACTOR SHALL FURNISH THE ENGINEER WITH SHOP DRAWINGS OF EQUIPMENT PRIOR TO PURCHASE FOR APPROVAL.
- AT COMPLETION OF JOB THE PLUMBING CONTRACTOR SHALL GIVE THE OWNER AN AS-BUILT SET OF REPRODUCIBLE SEPARATE SHOWING THE EXACT LOCATION OF ALL INSTALLATIONS.
- PLUMBING CONTRACTOR SHALL PRESSURE TEST ALL PIPING AS REQUIRED BY CODE. TEST SHALL BE WITNESSED AND APPROVED BY PROPER AUTHORITIES.
- THE PLUMBING CONTRACTOR SHALL WARRANT ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR FROM THE DATE OF FINAL WORK ACCEPTANCE BY OWNER. ANY BREAKDOWN OCCURRING IN FIRST YEAR SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER.
- PROVIDE BATHROOM FIXTURES AS SPECIFIED OR AS SELECTED BY OWNER.
- PROVIDE SHUTOFF VALVE FOR EACH FIXTURE.
- WHEREVER NOT SIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
- PLUMBING CONTRACTOR SHALL PROVIDE AIR CONDITIONING CONDENSATE DRAIN AND TRAP. SEE AIR CONDITIONING PLANS FOR LOCATION OF UNITS AND DRAINS.
- ALL SANITARY FITTINGS SHALL BE DIRECTIONAL TYPE.
- MATERIALS
 - COLD WATER PIPING DOWNSTREAM OF WATER METER SHALL BE TYPE 1/2" COPPER BELOW GROUND AND TYPE 1/2" COPPER ABOVE GROUND.
 - COLD WATER PIPES INSIDE OF SLAB SHALL BE TYPE 1/2" COPPER.
 - INSTALL INSIDE POLYETHYLENE CONDUIT, NO JOINTS PERMITTED INSIDE SLAB.
 - SANITARY WASTE AND VENT 4" AND SMALLER SHALL BE PVC, SCHEDULE 40.
 - STORM LINES INSIDE BUILDING SHALL BE PVC, SCHEDULE 40.
 - IN COASTAL AREAS ALL SANITARY AND STORM PIPING OUTSIDE OF BUILDING SHALL BE SCHEDULE 40, PVC.
 - CONDENSATE DRAIN PIPE SHALL BE SCHEDULE 40, PVC PIPE AND FITTINGS.
 - WATER HEATER RELIEF AND DRAIN LINE SHALL BE TYPE 1/2" COPPER, MIN 3/4" DIA.
- ALL CEILING PENETRATIONS, JOINTS, & CRACKS SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED TO AVOID ADDITIONAL CONDITIONED AIR TO GO INTO ATTIC SPACE. AS PER FBC 4061.
- PROVIDE SLEEVE OR PIPE PROTECTION AS PER SECTION 305 OF FBC 2004.

PLUMBING LEGEND

	BUILDING SANITARY SEWER LINE
	VENT LINE
	CLEAN OUT
	FLOOR CLEAN OUT
	CONDENSATE DRAIN
	COLD WATER DRAIN
	HOT WATER DRAIN
	GATE VALVE
	HOSE BIBB
	WALL CLEAN OUT
	PRESSURE-TEMPERATURE RELIEF VALVE
	VENT THRU ROOF
	CONTINUATION
	TYPICAL
	ABOVE FINISHED FLOOR
	WASTE AND VENT

FIRE COMMENT P-1

ALL SANITARY LINES RUN ALONG EXISTING BUILDING GROUND FLOOR CRAWL SPACE.

NOTE:
ALL SANITARY PIPE 2 1/2" OR SMALLER SHALL RUN @ 1/4" SLOPE PER LFT.
3" AND LARGER @ 1/8" SLOPE PER LFT.

NOTE:
ALL PIPES TO DISCHARGE MIN 12" FROM STRUCTURE

HAMMER ARRESTOR

- HAMMER ARRESTOR (HA) SHALL BE JOBAN ABSORPTION TYPE NO. 75001 OR APPROVED EQUAL.
- A WATER HA SHALL BE INSTALLED WHERE QUICK-CLOSING VALVES ARE UTILIZED, UNLESS OTHERWISE APPROVED.
- SHALL BE LOCATED WITHIN AN EFFECTIVE RANGE OF THE QUICK-CLOSING VALVE.

FIXTURE CONNECTION SCHEDULE

ITEM	WASTE & SOIL (AS PER TABLE 703.0)	WATER (AS PER TABLE 604.0)	
		COLD	HOT
WATER CLOSET	3"	1/2"	--
LAVATORY	1-1/4"	1/2"	1/2"
HOSE BIB	--	1/2"	--

NOTE: PROVIDE ANTI SCALD VALVE @ EACH SHOWER AND TUB
NOTE: ALL TRAPS SHALL BE CONSISTENT W/ FIXTURE OUTLET SIZE.
NOTE: ALL FIXTURE SHALL COMPLY W/ FBC TABLE 604.4.

NOTE:
NO SPLICE ALLOWED UNDER SLAB.

NOTE:
ALL PLUMBING WATER DEVICE PROVIDE SHUT-OFF VALVE.

LEGEND:
OH - OVER HEAD
US - UNDER SLAB
UG - UNDER GROUND
AAV - AIR ADMITTANCE VALVE
RW - RUN IN WALL

FIRST FLOOR PLAN - PLUMBING

1/4"=1'-0" 46 OCCUPANT LOAD

SCOPE OF WORK:

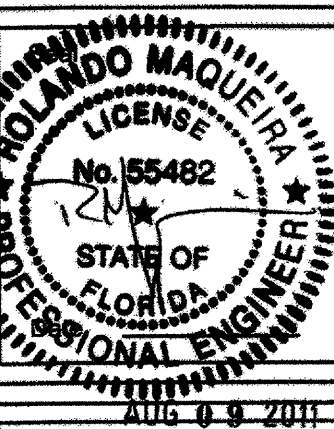
- REMOVE/DEMOLISH EXISTING KITCHEN FIXTURES AND APPLIANCES AS SHOWN ON SHEET A-2.
- CAP ALL EXISTING WATER AND GAS LINES SERVING DEMOLISHED FIXTURES AND APPLIANCES. REFER TO SHEET A-2 FOR LOCATION OF REMOVAL.
- PROVIDE BUILDING WITH NEW H/LO DRINKING FOUNTAIN, HANDICAPPED RESTROOM, AND SERVICE SINKS SHOWN THIS SHEET.
- EXISTING PLUMBING SHOWN FOR CLARIFICATION/LEGALIZATION PURPOSES. CONTRACTOR TO VERIFY ALL PIPE SIZES AND LOCATIONS PRIOR TO COMMENCING WORK.
- REFER TO ARCHITECTURAL SHEET A-1 FOR COMPLETE OCCUPANT LOAD CALCULATION.

SECOND FLOOR PLAN - PLUMBING

1/4"=1'-0" 66 OCCUPANT LOAD

EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

7144 BYRON AVENUE
MIAMI BEACH FL 33141



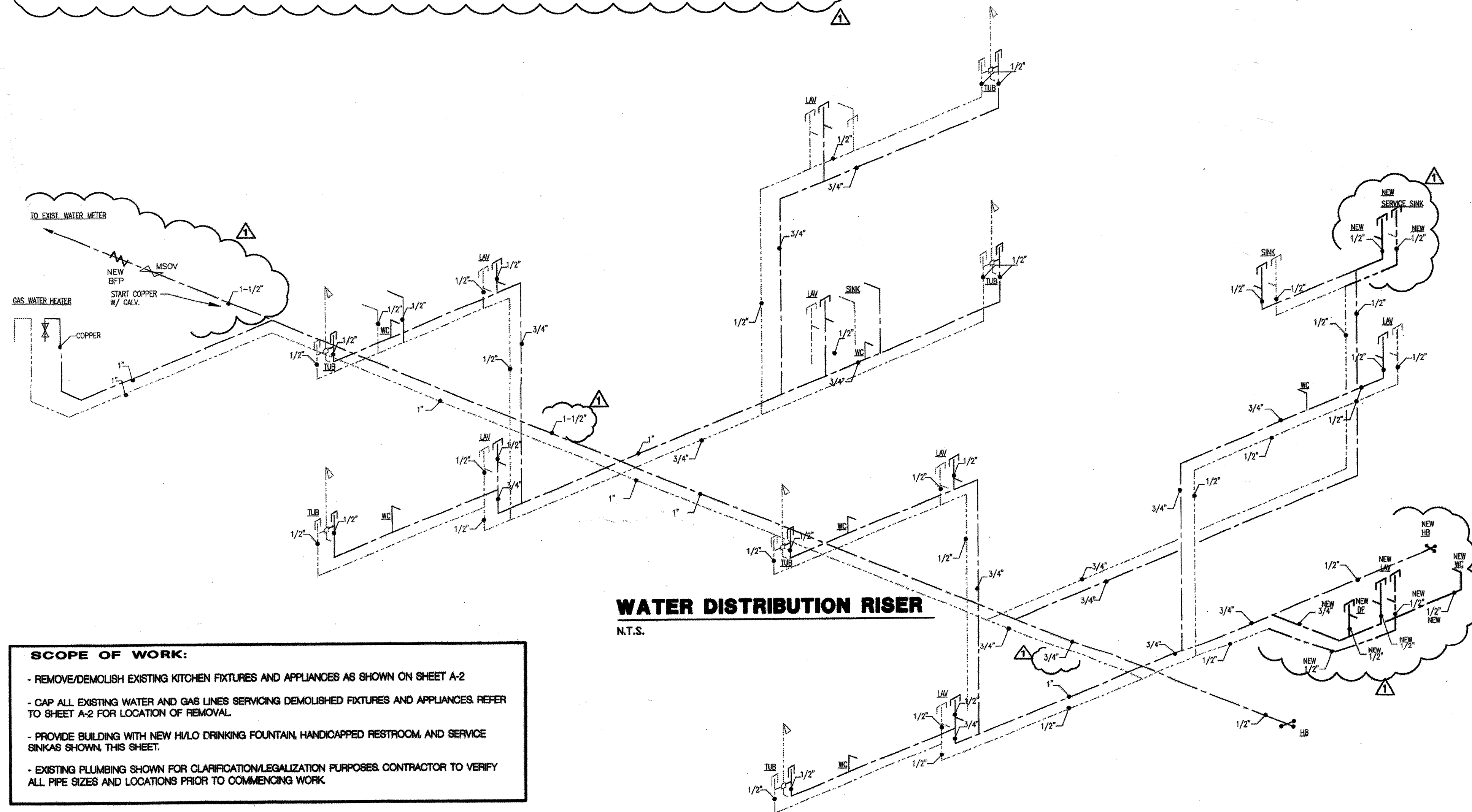
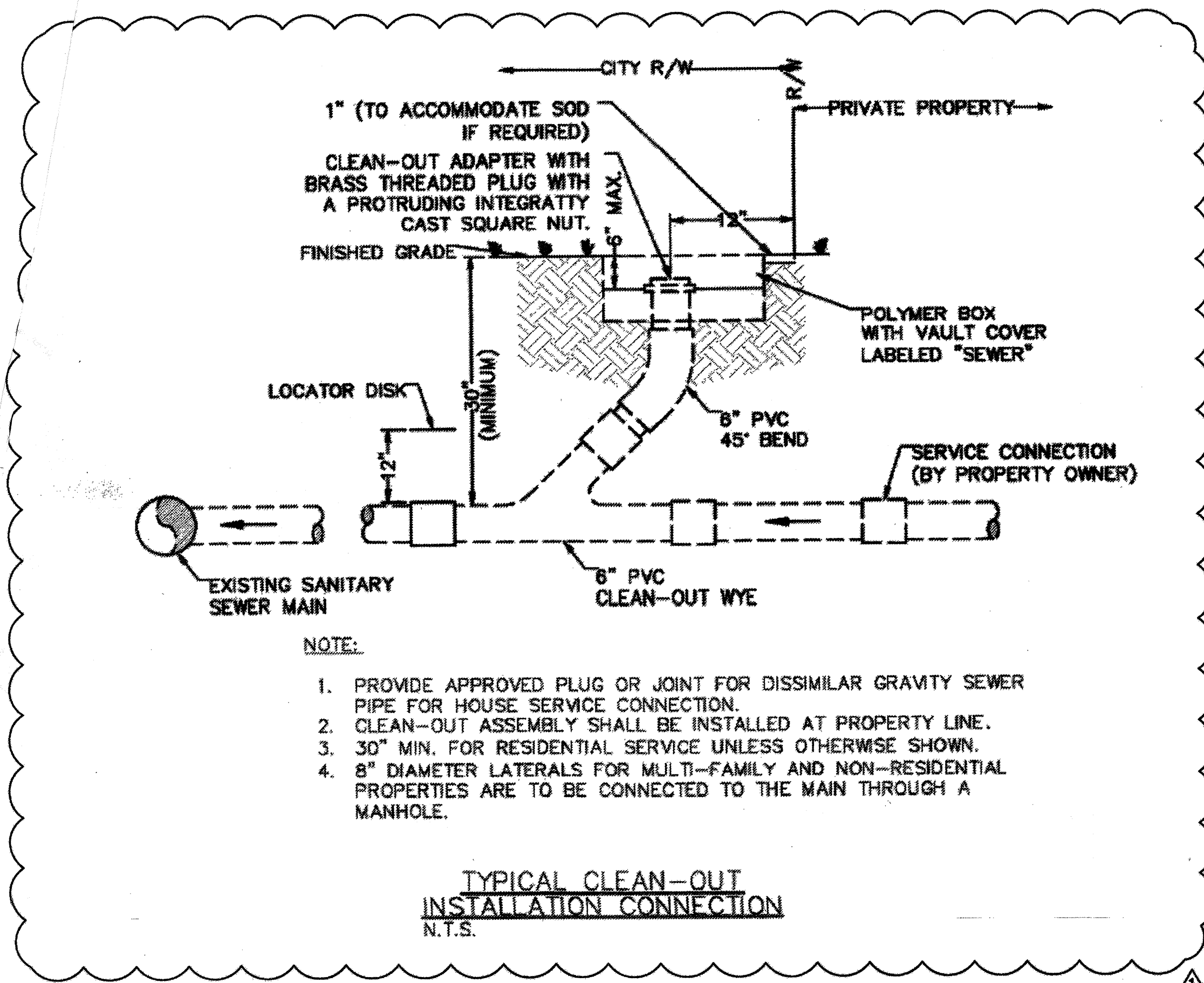
Maqueira Engineering Consultants, Inc
MECHANICAL PLUMBING ELECTRICAL
7487 SW 50th Terrace Miami, Florida 33155
Office (305) 669-5596

DATE: 07-21-11 SCALE: AS NOTED

PROJECT NO: 11159

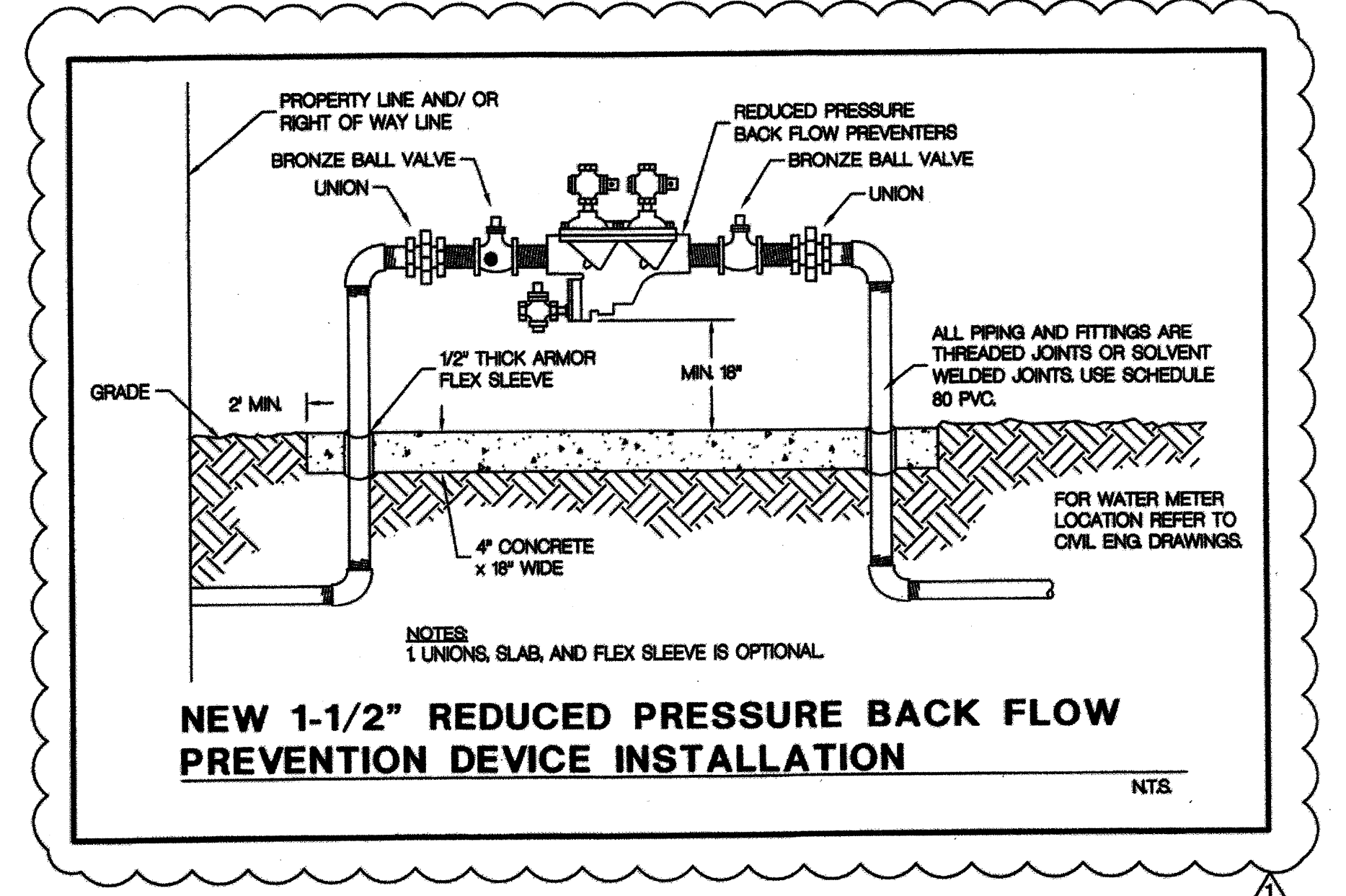
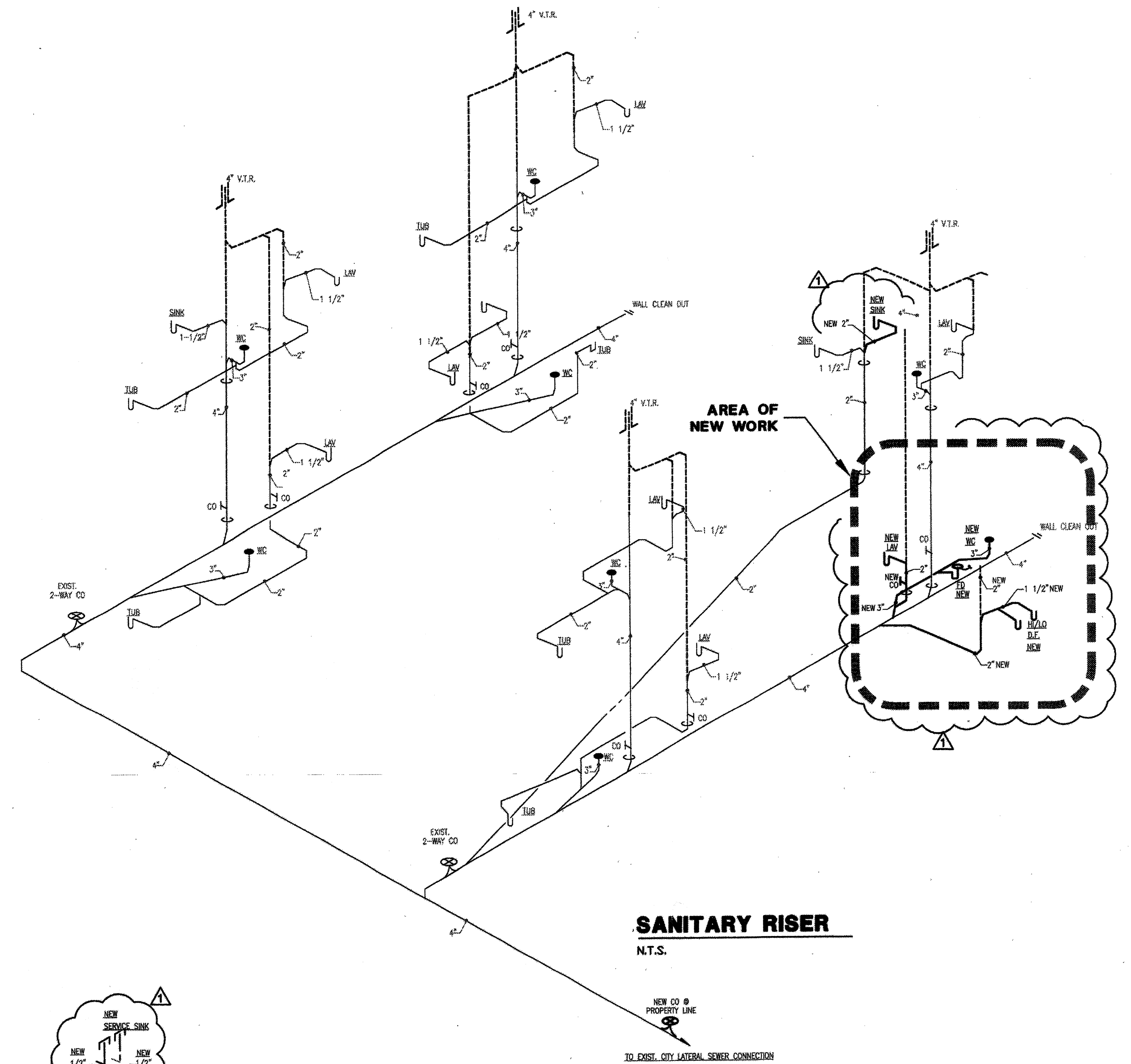
DRAWING NO: P-1

Sheets



SCOPE OF WORK:

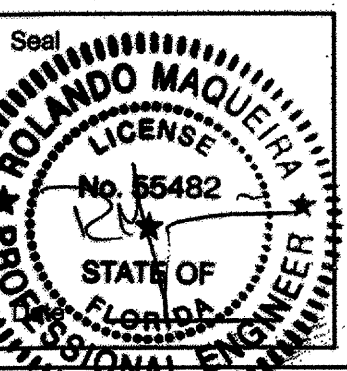
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- PROVIDE BUILDING WITH NEW H/LD DRINKING FOUNTAIN, HANDICAPPED RESTROOM, AND SERVICE SINKS AS SHOWN, THIS SHEET.
- EXISTING PLUMBING SHOWN FOR CLARIFICATION/LEGALIZATION PURPOSES. CONTRACTOR TO VERIFY ALL PIPE SIZES AND LOCATIONS PRIOR TO COMMENCING WORK.



REVISIONS:	1	BUILD. DEPT. COMMENTS 08-09-11

EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

7144 BYRON AVENUE
MIAMI BEACH FL 33141



Maquieira Engineering Consultants, Inc

MECHANICAL - PLUMBING - ELECTRICAL

7487 SW 80th Terrace Miami, Florida 33155
Office (305) 669-5595

DATE:	07-21-11	SCALE:	AS NOTED
PROJECT NO:	11159		
DRAWING NO:	P-2		
	Sheets		

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

a. Florida statutes 553.509 Vertical Accessibility to all levels requirement. /

2007 FBC 11-4.1.6(1) (k) (iii)

b. _____

c. _____

Has there been any permitted construction activity on this building during the past three years? If So, what was the cost of construction?

[x] Yes [] No

Cost of Construction: \$66,567.00 (Proposed Cost of Construction

Comments/Recommendation: We recommend that the vertical accessibility requirement be waived since the building has less than three stories and less than 3,000.00 sq ft per floor as included in Exemption 11-4.1.6(k)(i). Also, the cost of providing vertical accessibility to the 2nd floor will exceed the 20% of the proposed cost of construction.

Jurisdiction City Of Miami Beach

Building Official or Designee

Gladys N. Salas, PE (B.O. Designee)

Signature

Gladys N. Salas, PE

Printed Name

PX0001401

Certification Number

305-673-7610 ext. 6888/ 786-394-4087

Telephone/FAX

Address: 1700 Convention Center Dr. Miami Beach, FL 33139, 2ND Floor.

Oracle Elevator

Modular Elevator Installation Agreement

Customer:**ARC Builders + Group. Inc.**

Site – 7144 Byron Ave.
Miami Beach, FL 33141

Contact:

Rick Hernandez
7301 SW 83rd Ct.
Miami, FL 33143-3821
(305) 275-6309 O
(786) 256-6205 C

Oracle Elevator Company

2315 Stirling Road
Ft. Lauderdale, Florida 33312

Lowell I Dack
Service Sales Representative
Tel: 954-965-1508
Fax: 954-965-1520
Cell: 954-347-0063
Lowell.dack@oracleelevator.com

Oracle Elevator will provide the necessary labor and materials for the following work to be completed for one (1) modular elevator located at the above referenced address. Please see attached Terms and Conditions, Special Conditions, and Work not Included.

ELEVATOR DETAILS

- One modular elevator model WF-AC3000, 2500 lb capacity
- 2 inline stops, 11 feet of travel
- Engineered for 100 fpm travel speed, 208 volts, 3-phase, seismic zone 0, wind speed 120 mph
- Compliant with 2004 A17.1 elevator code with 2005 addenda
- Stamped structural drawings

HOISTWAY

- 5/8" plywood substrate exterior with building wrap
- EPDM roof
- 1-hour drywall
- 15-pound T rails
- fixed guide shoes
- single-stroke holeless jacks
- pit ladder

Cab

- 2500 lb capacity ADA wheelchair-compliant cab
- Wood core walls with WilsonArt plastic laminate in your choice of standard color
- Suspended island aluminum frame ceiling with polycarbonate panels
- White enamel 36" single slide doors in front
- Standard floor vents
- 1 ¼" round railing on rear wall
- Single-speed fan
- Light and outlet in top of car
- Wood sub-floor ready to receive flooring of choice

Doors and Entrances

- White enamel hatch doors and entrances

Controls

- Brushed stainless steel fixtures
- Cab operating panel with:
 - digital position indicator
 - emergency light
 - locked firefighter's box
 - alarm bell
 - door open/close buttons
 - ADA hands-free autodialer
 - illuminated buttons with Braille
- Hallway operating panels with:
 - call buttons for each floor
 - fire service key on main egress
 - "in case of fire" sign
- Controller with:
 - Simplex
 - Selective collective
 - Wye-Delta starter
 - Nudging
 - Reverse phase detector
 - On-board diagnostics Fire service
 - Car lanterns in closing jambs

Modular Machine Room

- Modular machine room to go on the side or rear of the elevator
- 5/8" plywood sheathing with building wrap on exterior
- 1-hour drywall
- EPDM roof
- Pump, tank, motor, valve and controller mounted in room
- Pre-installed electrical, including 3-phase disconnect for controller
- Low oil/negative pressure switch

ACCESS FREE REQUIREMENTS

This proposal complies with the intent of the Architectural Barriers Free requirements and ADA as it relates to existing or altered elevators. The work proposed may not comply fully with ADA. It does, however, comply with all the other items, which are "readily achievable".

WARRANTY

We warranty all material and workmanship for 12 months on apparatus repaired or replaced under this proposal. No other work, except as detailed under "scope of work" is intended or implied. The equipment will still need to be serviced in accordance with a full maintenance contract during the warranty period.

RETAINED APPARATUS

Equipment not changed or repaired as detailed under "scope of work" is deemed retained apparatus and is not subject to any intended or implied warranty.

TAXES, PERMITS, TESTING, AND FEES

We included taxes where applicable, permits, testing requirements and testing fees.

WORKING HOURS

All work is based on the normal working hours of the elevator trade and no overtime hours are considered.

WORK BY OTHERS

Attached please find our standard "Work by Other Trades" list for your review. A meeting should be held before authorization of this proposal to define any other work that may have to be performed to comply with present code requirements.

COST: ONE HUNDRED AND EIGHTEEN THOUSAND, SEVEN HUNDRED AND 00/100 (\$118,700.00)

PAYMENT SCHEDULE

1. The first 33.33% of contract amount is to accompany a signed and dated copy of this proposal. No work will be scheduled or material ordered until the signed proposal and first payment are received.
2. The second 33.33% of the contract amount is due upon materials delivery either to an agreed upon staging/storage facility or to the job site.
3. The final 33.33% of the contract amount will be due upon job completion once the unit is inspected and approved for public use.

ACCEPTANCE

A returned copy of the proposal, properly signed and dated and approved by Oracle Elevator shall constitute the contract between us and will be our authorization to order materials and schedule the work

CONTACT

Please direct any questions or areas of concern to the undersigned.

Proposed:

Lowell I Dack
Miami-Dade County Sales Representative

Oracle Elevator

Date: _____

Accepted:

Name: _____

Title: _____

ARC Builders + Group. Inc.

Date: _____

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 27th day of December, 2011

Signature _____

Printed Name _____

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

NOTE: PLEASE REFER TO
MITIGATION DOCUMENT BETWEEN
OWNERS ATTORNEY AND CITY OF MIAMI
EACH LEGAL DEPARTMENT, AGREEMENT FOR
HANDICAPPED ROUTING ARRANGEMENT



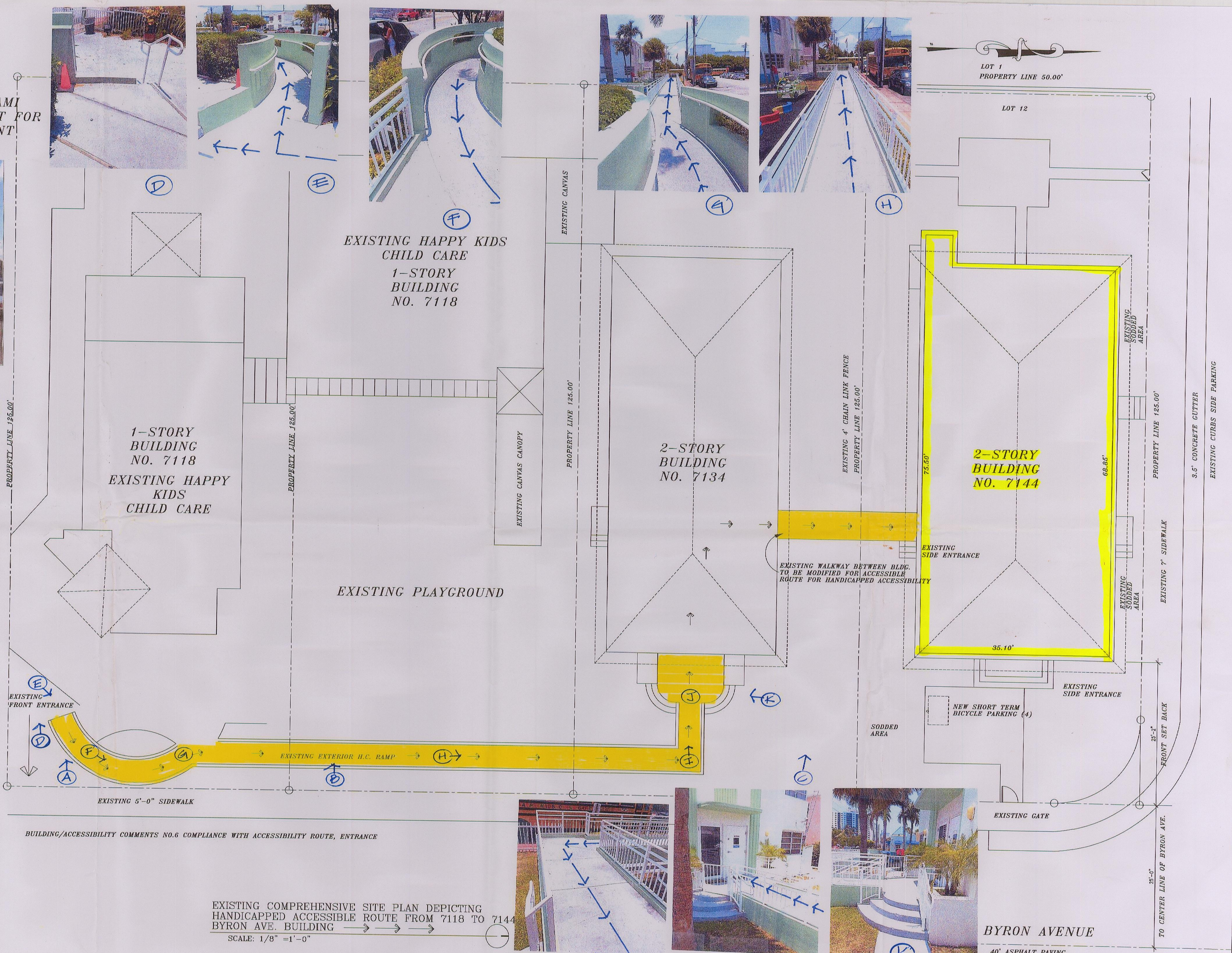
BLDG. NO. 7134 & 7144 (C)



PLAYGROUND (D)

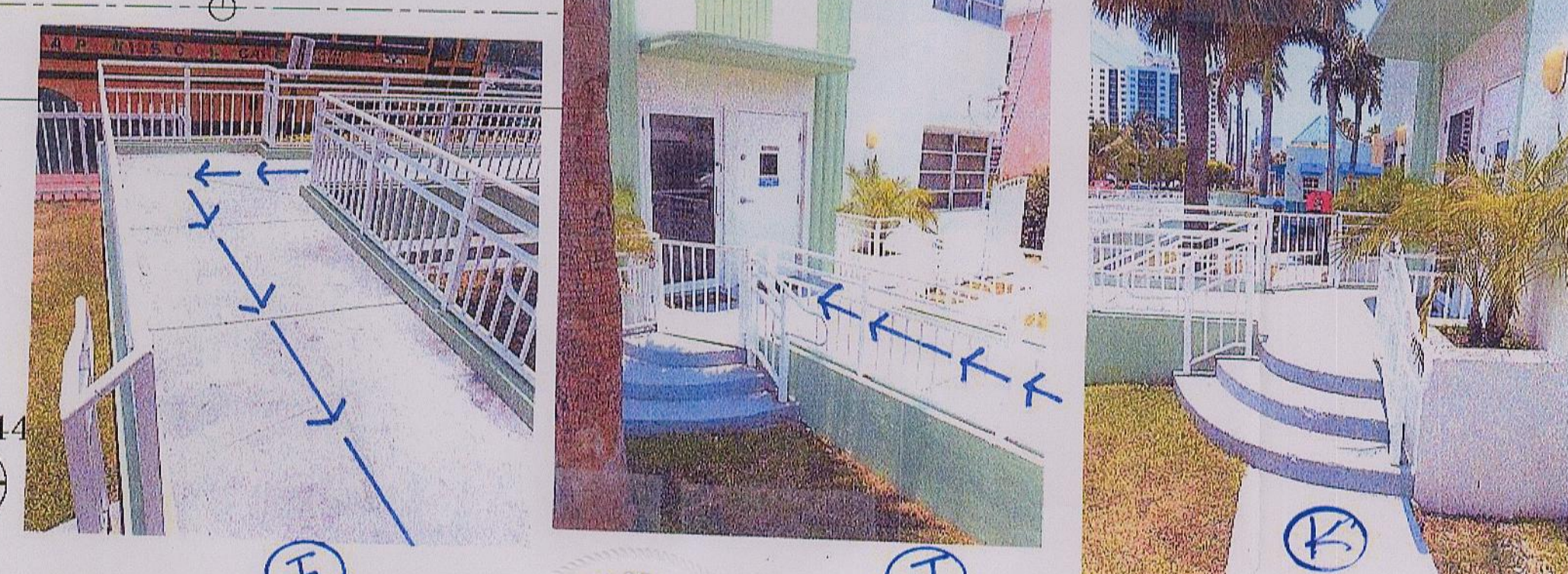


DROP OFF (A)



BUILDING/ACCESSIBILITY COMMENTS NO.6 COMPLIANCE WITH ACCESSIBILITY ROUTE, ENTRANCE

EXISTING COMPREHENSIVE SITE PLAN DEPICTING
HANDICAPPED ACCESSIBLE ROUTE FROM 7118 TO 7144
BYRON AVE. BUILDING
SCALE: 1/8" = 1'-0"



CK HERNANDEZ CAPOTE, P.A.
ARC BUILDERS + GROUP, INC.
7301 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6309
C. NO. AA C001931, AR 13379, BN 2418, N.F.P.A. MEMBER
PEICAL INSPECTOR 0976 N.C.A.R.B. 45,895
C.E. ENGINEER 0976 N.C.A.R.B. 45,895

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL. 33141
PROJECT NAME: EXISTING MULTY FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

Handwritten signature and date: 27 JUL 2011

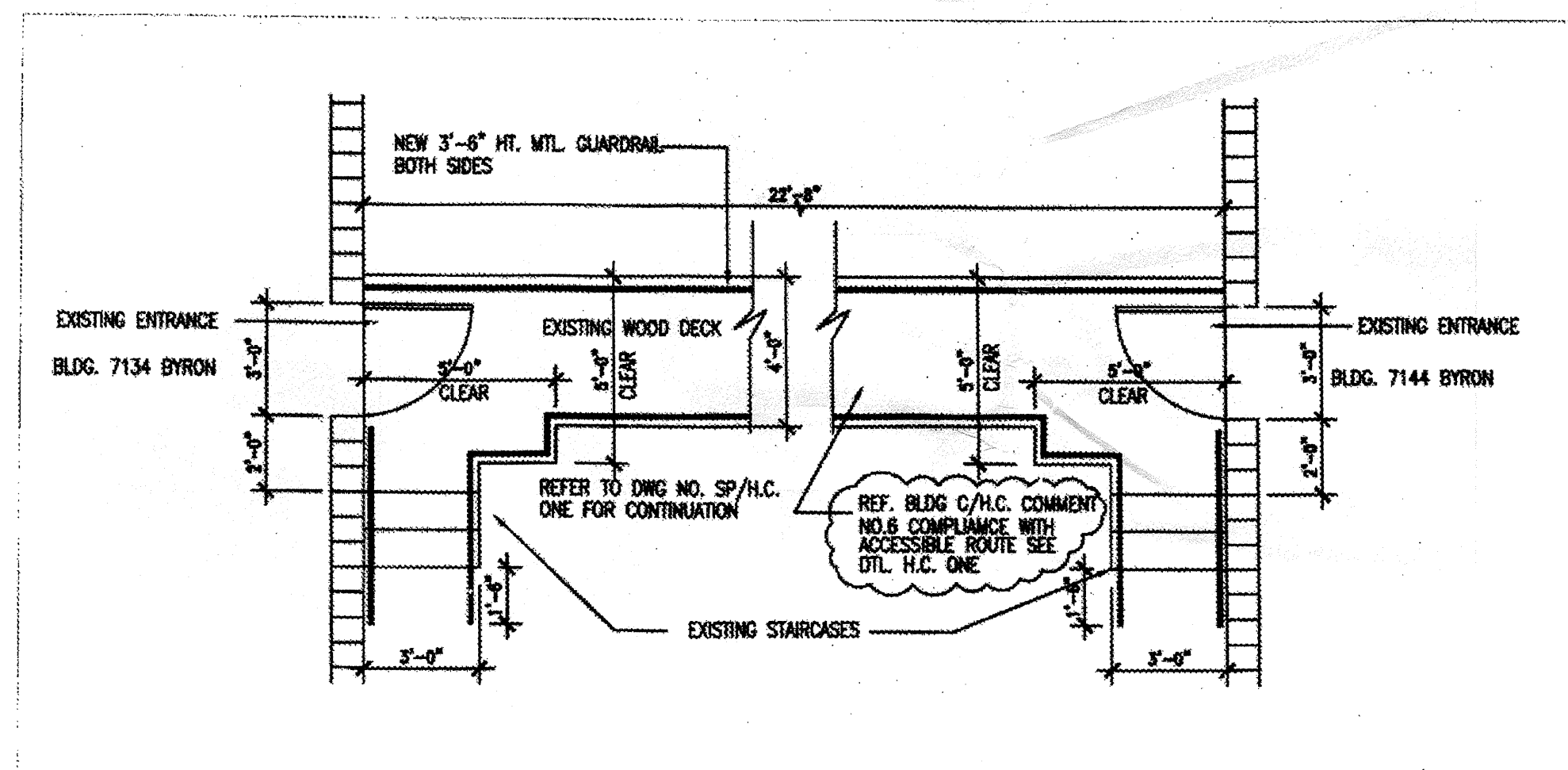
NO.	DATE	REVISION / ISSUE
24 JAN.	2011	PRELIMINARY PLANNING MEETING
FEB.	2011	SUBMITTAL FOR CONDITIONAL USE
11 FEB.	2011	PLANNING MEETING REVIEW
21 JUL.	2011	BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN
DRAWN: A.B.
DESIGNED: R.H.
CHECKED BY: R.H.

DRAWING NO.
SITE PLAN-2
SP/H.C. ONE



EXISTING LOCATION PLAN
SCALE: NTS



DETAIL H.C. ONE ACCESSIBLE ROUTE BETWEEN BUILDINGS
SCALE: 1/4" = 1'-0"

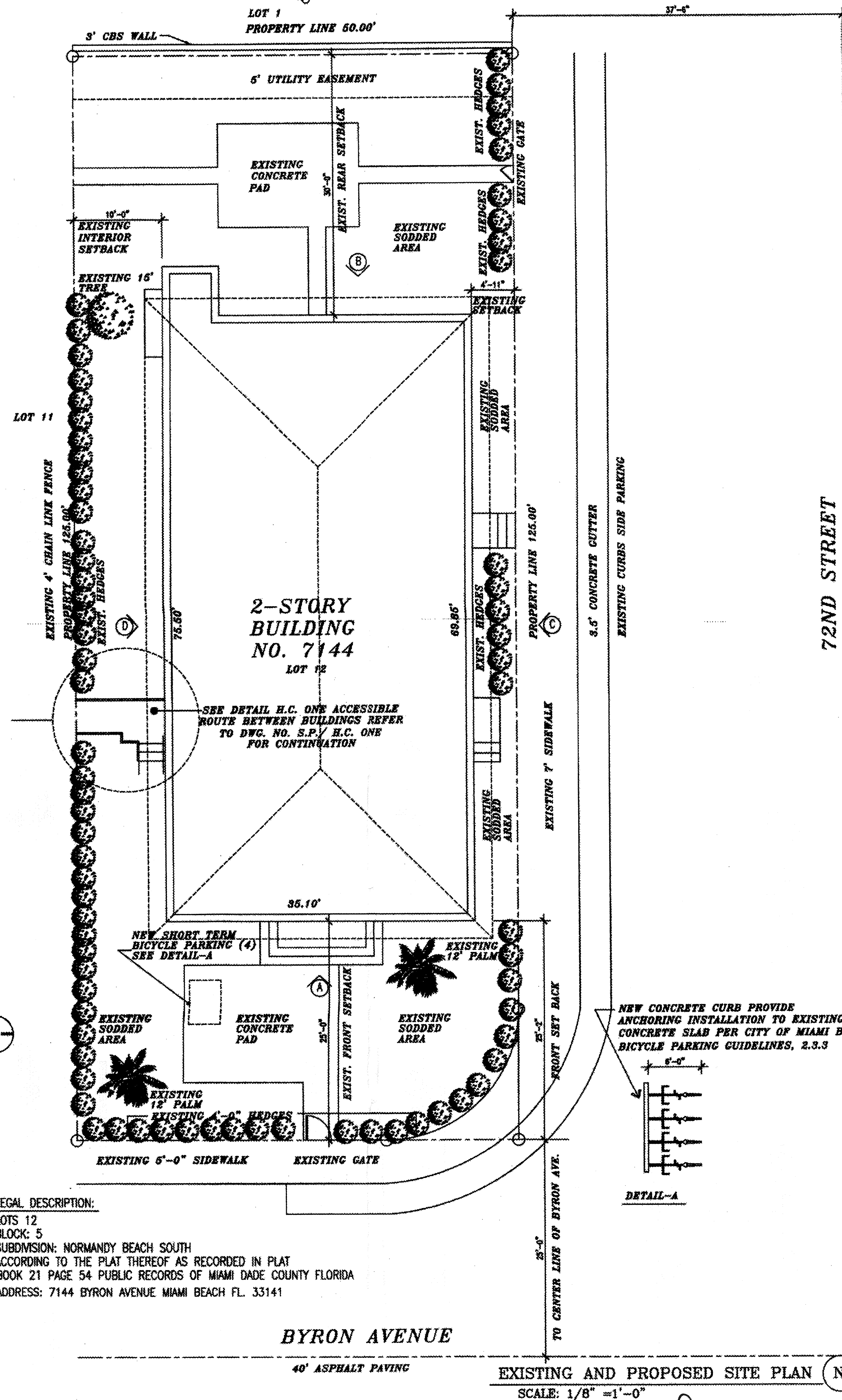
REFER TO DWG. NO. A-12 ENLARGED FLOOR PLAN

FIRE COMMENT NO.3
CODE EDITION USED IN DESIGN (2007 FLORIDA PREVENTION CODE, N.F.P.A. 101 LIFE SAFETY CODE 2006 EDITION) F.B.C. CH 3 USE AND OCCUPANCY CLASS EDUCATIONAL (SEE SECTION 305 GROUP F, SEC 305) EXISTING TYPE II CONSTRUCTION PER TABLE 601. ONE HOUR FIRE RESISTANT RATING REQUIREMENT FOR EXISTING AND NEW BUILDING ELEMENTS

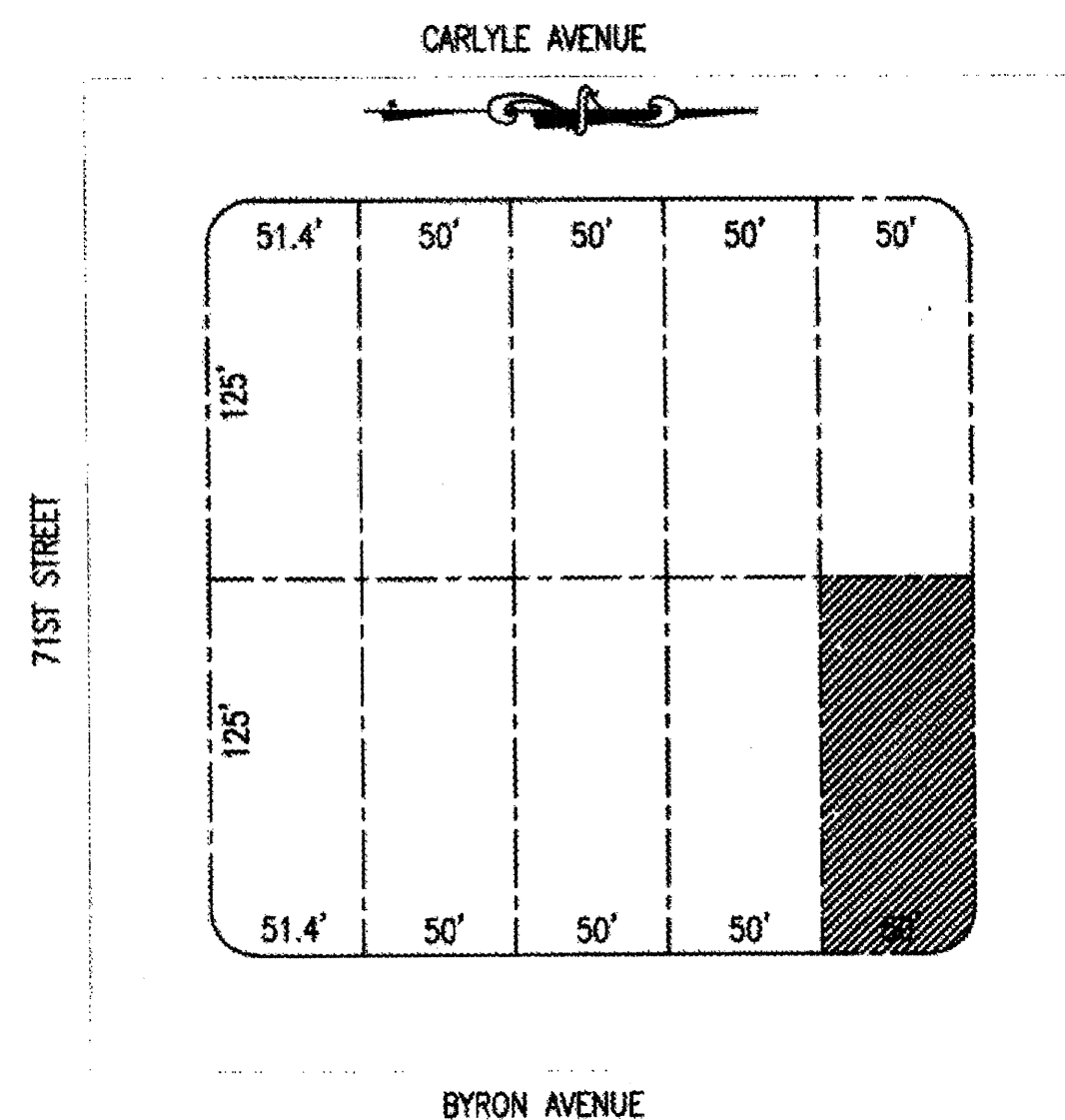
EXISTING NON-SPRINKLER BUILDING WITH NEW FIRE ALARM AND HARDWIRED SMOKE DETECTORS, MULTI-STATIONED AT EACH SPACE, GROUND AND SECOND FLOOR (PLEASE REFER TO APPROVED DOCUMENT FOR MITIGATION AND EQUIVALENCY)

ZONING DATA
EXISTING TWO STORY MULTIFAMILY BUILDING
4,459 A.S.F. TOTAL FOR BUILDING
6,250 S.F. LOT SIZE
YEAR BUILT 1940

LEGAL DESCRIPTION:
LOTS 12
BLOCK: 5
SUBDIVISION: NORMANDY BEACH SOUTH
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21 PAGE 54 PUBLIC RECORDS OF MIAMI DADE COUNTY FLORIDA
ADDRESS: 7144 BYRON AVENUE MIAMI BEACH FL 33141



EXISTING AND PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



Interior Space Calculations:

Eight (8) Classrooms
Eight (8) Administration Rooms

Vehicle Parking Space Calculations:

Parking Credits for Existing Apartment Building- 1.5 @ 8 Residential Units= 12 Parking Space Credits

Please See NOTE Below on Additional Vehicle Parking Credits as per Section 142.739 (b) (2) (d) Providing 8 Parking Space Credits

TOTAL 20 Parking Space Credits Available

Parking Space Requirement per Classroom- 1@ 8 Classrooms= 8 Parking Spaces Required

Parking Space Allowance for Operations- 1@ 8 Administration Rooms= 8 Parking Spaces as Allowance for Operations

TOTAL 16 Parking Space Required

Bicycle Parking Calculations:

Short Term Parking- Required 4 per Project (Under 10,000 SF)

Short Term Parking- Provided New Bicycle Rack at Front of building for Five (5) Bikes

Long Term Parking- Required 2 for 5,000 SF and under

Long Term Parking- Provided New Secure Bike Locker at Interior of Building for (2) Bikes

NOTE: as per Section 142.739 (b) (2) (d)- "Nonresidential uses that provide showers and changing facilities for bicyclists shall be exempted from vehicle parking requirements at a rate of 2 vehicle parking spaces for each separate shower up to a maximum of 8 parking spaces"
The current bathroom configuration of the building provides (5) five showers and changing facilities for bicyclists accordingly there would be an additional 8 (maximum allowed) parking space credits.

Public Transit Bus Stops

Mid North Beach Connection
Route 115 and 117

- Northeast of property @ 72nd Street and Harding Avenue
- Southwest of the property @ 71st Street and Byron Avenue
- Southeast of the property @ 71st Street and Abbot Avenue

RICK HERNANDEZ CAPOTE, P.A.
ARCHITECTS + GROUP, INC.
7801 S.W. 83CT.
MIAMI, FLORIDA 33143
305-275-6310 / FAX: 305-275-6308

LIC. NO. AA 000691, AR 13379, BN 2418, N.F.P.A. MEMBER
SPECIAL INSPECTOR 0976 N.C.A.R.B. 45,865
A.C.F.E. FORENSIC ENGINEERING MEMBER LD.14799

CLIENT: CLIENT/OWNER: 7144 BYRON LLC.
PROPERTY ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH FL 33141

PROJECT NAME: EXISTING MULTI FAMILY RESIDENTIAL CONVERSION TO EDUCATIONAL USE
PLANNING BOARD REVIEW PROCESS FOR CONDITIONAL USE

NO.	DATE	REVISION / ISSUE
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FEB.	2011	SUBMITTAL FOR CONDITIONAL USE
11 FEB.	2011	PLANNING MEETING REVIEW
21 JUL.	2011	BUILDING DEPARTMENT SUBMITTAL

SCALE: AS SHOWN

DRAWN:	A.S.
DESIGNED:	R.H.
CHECKED BY:	R.H.
APPROVED BY:	R.H.

DRAWING NO.
SITE PLAN
SP-1

EXISTING 3/4"x3/4" PICKETS

EXISTING 2"x2" SQUARE TUBE W/WHITE ESP FINISH (TYP)

EXISTING LINE OF WALKWAY FLOOR SEE DWG. SP/HC ONE

1—EXISTING ELEVATION @ GUARDRAIL

SCALE: 1/2" = 1'-0"

EXISTING COMPREHENSIVE SITE PLAN DEPICTING
HANDICAPPED ACCESSIBLE ROUTE FROM 7118 TO 7144
BYRON AVE. BUILDING → → →

SCALE: 1/8" = 1'-0"

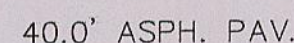
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SCALE:	AS SHOWN
DRAWN:	A.S.
DESIGNED:	R.H.
CHECKED BY:	R.H.
APPROVED BY:	RHC

DRAWING NO.
SITE PLAN-2
SP/H.C. ONE

SCALE: 1"=.....15'

SCALE: 1"= 15'



SCALE: 1"=N.T.S



A..... ARC DISTANCE
A/C..... AIR CONDITIONER
C.B.S..... CONCRETE BLOCK STRUCTURE
NGVD.. NATIONAL GEODETTIC VERTICAL DATUM
C..... CALCULATED
C.B..... CATCH BASIN
O.U.L..... OVERHEAD UTILITY LINE
P.R.C..... POINT REVERSE CURVATURE
CL..... CLEAR
C/L..... CENTER LINE
P.C.C..... POINT OF COMPOUND CURVE
RAD..... RADIAL
ENC..... ENCROACHMENT
P.C..... POINT OF CURVATURE
(R/M) RECORD & MEASURED
D/H DRILL HOLE
☼ FIRE HYDRANT

P.O.C. . . . POINT OF COMMENCEMENT
R/W . . . RIGHT OF WAY
F.I.P. . . . FOUND IRON PIPE
P.O.B. . . . POINT OF BEGINNING
BLDG. . . . BUILDING
SEC. . . . SECTION
O/H . . . OVER HANG
W.M. . . . WATER METER
CH. . . . CHORD DISTANCE
P.F. . . . PLASTIC FENCE
P.B. . . . PLAT BOOK
M. . . . MEASURED
D.E. . . . DRAINAGE EASEMENT
P.L. . . . PROPERTY LINE
S . . . MAN HOLE
E . . . CATCH BASIN
W . . . WATER METER

F.F./ELEV . . . FINISH FLOOR ELEVATION
 CONC. . . CONCRETE
 F.H. . . . FIRE HYDRANT
 U.E. . . . UTILITY EASEMENT
 U.P. . . . UTILITY POLE
 FD. . . . FOUND
 R. RADIUS
 SWK. . . SIDE WALK
 CH.L.F. . . . CHAIN LINK FENCE
 W.F. . . . WOODEN FENCE
 M.E. . . . MAINTENANCE EASEMENT
 B/C. . . . BLOCK CORNER
 C/G. . . . CURB/GUTTER
 0.00 . . . EXISTING ELEVATION
 ○ HANDICAP PARKING

ADDRESS: 7144 BYRON AVENUE
MIAMI BEACH, FLORIDA 33141

LEGAL DESCRIPTION:
LOT 12, BLOCK 5, NORMANDY BEACH SOUTH, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK
21, AT PAGE 54 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA.

FLOOD ZONE: AE
 X THIS IS A FLOOD HAZARD ZONE THIS IS NOT A FLOOD HAZARD ZONE
 COMMUNITY PANEL NO. 120651
 PANEL NO. 326 SUFFIX: L
 BASE FLOOD ELEV. 8.00' FINISH FLOOR ELEV: N/A LOWEST

NOTE: UNDERGROUND ENCROACHMENTS, IF ANY, NOT LOCATED. ENCROACHMENTS NOTED: NONE
I HEREBY CERTIFY THAT THIS SKETCH OF THIS PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED AND PLATTED UNDER MY DIRECTION. I FURTHER CERTIFY THAT THIS SURVEY MEET THE MINIMUM REQUIREMENTS ADOPTED BY THE BOARD OF PROFESSIONAL LAND SURVEYORS AND THE FLORIDA LAND TITLE ASSOCIATION AND ALSO 51-17.50 THRU 17.052 F.A. CODE. THERE ARE NO ENCROACHMENTS, EXCEPT AS SHOWN.

NOTES:

1. IF SHOWN, BEARING ARE TO AN ASSUMED MERIDIAN (PLAT)
2. IF SHOWN, ELEVATIONS ARE REFERRED N.G.V. DATUM 1929
3. THIS IS A BOUNDARY SURVEY.
4. CLOSURE ABOVE 1:7500
5. LICENSE BUSINESS NO. 6486
6. B.M. OF ORIGIN:
MIAMI BEACH BENCHMARK No. A-22
71 ST—25' SOUTH OF C/L
ABBOT AVE—35' EAST OF C/L
BRASS BAR IN CONC CATCH BASIN AT SE CORNER OF INTERSECTION
ELEVATION+3.89 EFT. N.G.V.D. 1929

09/23/2011
JOSE A. PEREA (DATE OF FIELD WORK)
PROFESSIONAL LAND SURVEYOR #4858
STATE OF FLORIDA
(NOT VALID UNLESS IMPRINTED WITH AN EMBOSSED SURVEYOR'S SEAL)

8125 SW 120 STREET
PINECREST, FL 33156

Date: 09/23/2011
Survey No.: 11-1349

THOMAS J. KELLY
SURVEYORS—MAPPERS
LAND PLANNERS

BOUNDARY SURVEY

DATE	09/23/2011	
SCALE	1"=15'	
DRAWN BY	M.T.J.	
ORDER No.	11-1349	
SHEET	1	1
	OF	

1 OF 1



June 13, 2011

Arch Builder
Miami, Florida 33141

Reference: 7114 Byron Avenue
Miami, FL 33141

Dear: Contractor

We are pleased to provide you with our proposal to furnish and install:

One (1) 2100lbs Otis LVM series holeless elevator system

as described in this proposal for the sum of

Fifty-Five Thousand Eight Hundred Sixty-Nine Dollars and No Cents (\$ 55,869)

Accepted in Duplicate

CUSTOMER

Approved by Authorized Representative

Date: _____

Signed: X _____

Print Name: _____

Title: _____

Name of Company: _____

☐ Authorized Representative of Principal or Owner

☐ Agent _____
(Name of Principal or Owner)

CENTRELLX ELEVATOR CORPORATION

Approved by Authorized Representative

Date: _____

Signed: _____

Print Name: **Mike Loeffler**

Title: **General Manager**

Please take note of the following sections, which are a part of this proposal:

- **Scope of Work**
- **General Clarifications**
- **Terms and Conditions**
- **Voluntary Alternates**
- **Preparatory Work by Others**

This quotation is valid for sixty (60) days from the date of submission. Centrellx predicates the quote upon timely furnishing of a completed hoistway for uninterrupted use. In addition, if the project is delayed past December 1, 2011 you will be responsible for any labor and material increases that have occurred.

We appreciate having the opportunity to provide you with our proposal on this project and look forward to working with you and your project team. Please call me at (954) 245-4055 with any questions.

Sincerely,



Carlos R. Rosa
Account Executive-New Equipment
Centrellx Elevator Service Corp.

enclosures

SCOPE OF WORK

Elevator Designation	Passenger
Otis Model	Otis LVM series holeless elevator system - Hydraulic LVM2100LR
Capacity and Speed	2100lbs @ 100 feet per minute
Rise	13' 7"
Number Of Stops And Openings	Three (3): One (1) front openings and Two (2) rear openings.
Clear Hoistway	7' 4" wide x 6' 2" 7/8" deep
Clear Car Inside Dimensions	5' 8" wide x 4' 3-3/4" deep
Clear Overhead	12' 4"
Clear Pit Depth	4' 0"
Machine Room Location	Directly adjacent to hoistway at lowest floor landing
Operation	Simplex microprocessor control
Power Supply	220 Volts, 3 Phase AC, 60 Hertz
Motor Horsepower	15 HP
Cab Enclosure	<p>Series 1 cab Passenger with plastic laminate panels on side Full Satin stainless with front return, header and satin stainless cab door. Aluminum threshold. 7' 0" high cab doors. 8' 0" high cab. 7' 4 1/2" height under ceiling.</p> <p>DH-50 (1/2" x 1-1/2") flat tubular handrail provided on the sides of the car enclosure with satin stainless steel finish.</p> <p>DC-22 ceiling: suspended aluminum frame with lay-in panels, fluorescent lighting.</p>
Stainless Steel	<p>In lieu of ASTM A167, Type 302 or 304 stainless steel, we are providing our standard satin full finish stainless steel. Finish, hardness, and durability are equal to or exceeds the above. We will provide samples as necessary.</p>
Cab Flooring	Furnished and installed by others
Hoistway Entrances	3' 0" wide x 7' 0" high. Single-slide door. Satin Stainless finish. Extruded aluminum sills.
Signals	Standard line illuminated car operating panel with digital position indicator, Standard line hall fixtures with stainless steel faceplates and push buttons. In-car directional lantern with gong and floor passing signals.
Constant Features	LAMBDA® infrared door reversal device