

FINAL SUBMITTAL 03.09.2020

INTERIOR & EXTERIOR ALTERATIONS TO:
CASA OCEAN
334 OCEAN DRIVE, MIAMI BEACH FL 33139
FOLIO # 02-4203-003-0470



LEGAL DESCRIPTION

OCEAN BEACH ADDN NO 3 PB 2-81
W1/2 OF E1/2 LOT 9 BLK 54
LOT SIZE 1750 SQUARE FEET
OR 12970-0640 0786 5

SCOPE OF WORK

- NEW ACCESSIBLE RAMP
- REPLACEMENT OF ALL WINDOWS AND EXTERIOR DOORS
- NEW TRASH ROOM
- EXISTING CANOPY TO BE REPLACED
- NEW ADA ROOM
- EXISTING LOBBY TO BE CONVERTED INTO A CAFE.

VARIANCE REQUEST:

- REDUCE MINIMUM AREA OF ALL EXISTING UNITS AND REDUCE SIZE OF NEW ADA ROOM
- ELIMINATE FRONT SETBACK-NEW CANOPY
- EXCEED MAX 25% PROJECTION ALLOWED ON THE NORTH SIDE YARD FOR A CANOPY
- EXCEED MAX 25% PROJECTION ALLOWED ON THE SOUTH SIDE YARD FOR A CANOPY

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THE WEBER STUDIO

AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

INTERIOR + EXTERIOR ALTERATIONS
FOR:
CASA OCEAN
334 OCEAN DRIVE
MIAMI BEACH, FL 33139

DATE:

03.06.2020

DRAWN
BY:

PA

REV.:

DATE:

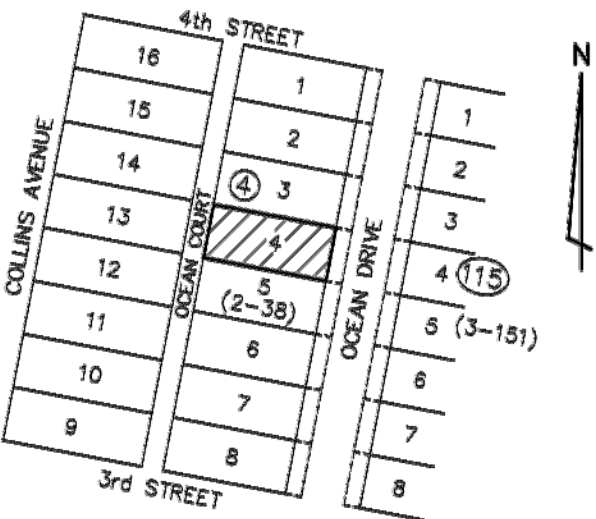
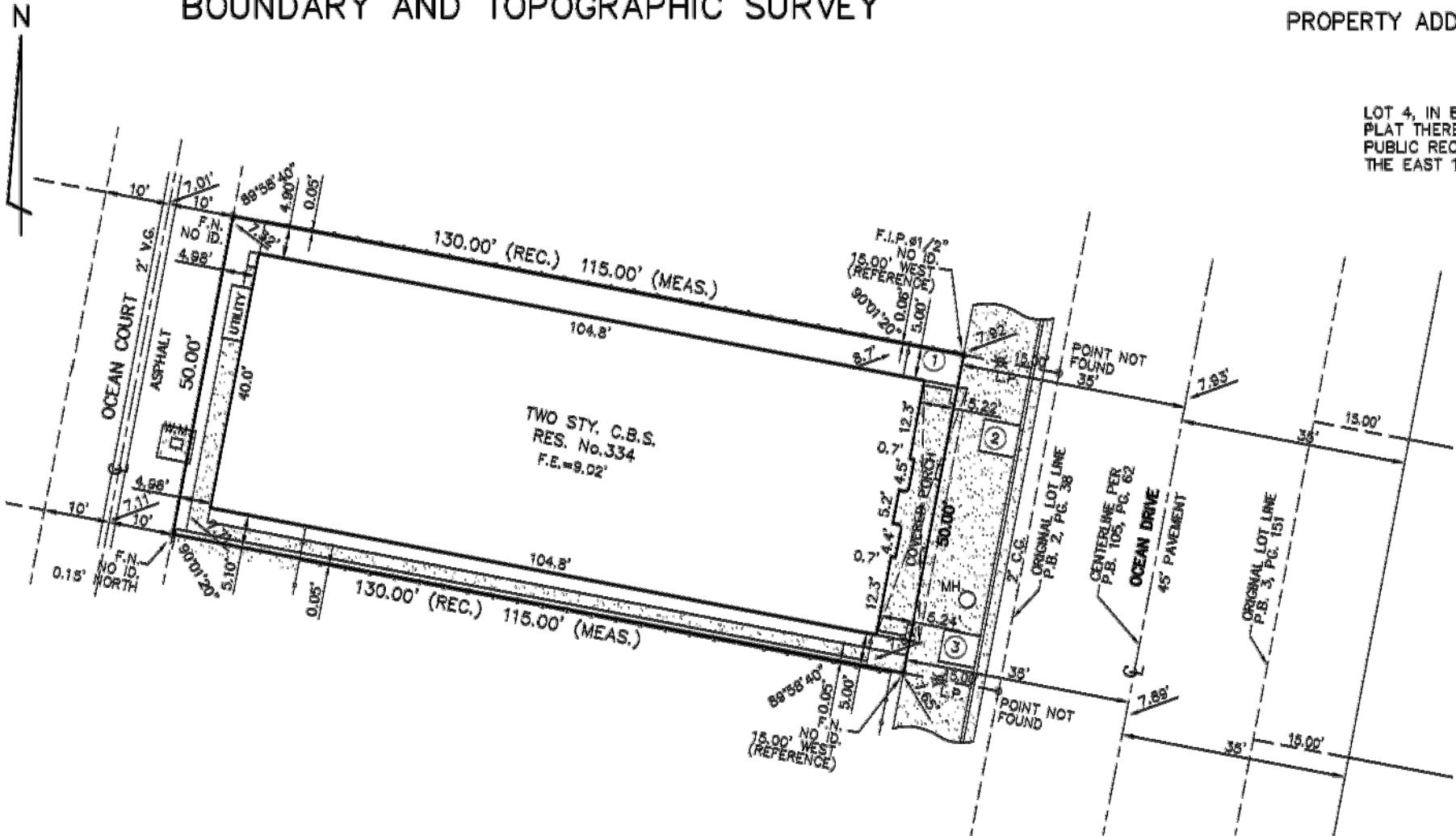
FRONT
COVER
SHEET

BOUNDARY AND TOPOGRAPHIC SURVEY

PROPERTY ADDRESS: 334 OCEAN DRIVE, MIAMI, FLORIDA 33139

LEGAL DESCRIPTION

LOT 4, IN BLOCK 4, OF OCEAN BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38, OF PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS AND EXCEPT THE EAST 15 FEET THEREOF FOR STREET RIGHT-OF-WAY PURPOSES.



TREE TABLE

#	COMMON NAME	DBH	HEIGHT	SPREAD
1	TREE	19"	65'	15'
2	PALM	13"	35'	20'
3	PALM	13"	35'	20'

NOTES:
-THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (S1-17 FAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,800 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
-WELL IDENTIFIED FEATURES AS DEPICTED ON THIS SKETCH WERE MEASURED TO AND ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.1 FEET.
-LANDS SHOWN HEREON WERE NOT ABSTRACTED, THEREFORE THIS SURVEY IS SUBJECT TO EASEMENTS, RIGHT OF WAYS, AND OTHERS MATTERS WHICH MIGHT BE REFLECTED IN A SEARCH OF TITLE TO THE SUBJECT LANDS.
-NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND FOOTINGS OF ANY STRUCTURE.
-THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITY (ENTITIES) NAMED HEREON IN THE CERTIFICATION AND DOES NOT EXTEND TO ANY UNNAMED PARTY.
-ELEVATIONS ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM (1929)
-MIAMI-DADE COUNTY BENCHMARK No.D-148; LOCATOR=4221 NW; ELEVATION=8.80'

FLOOD ELEVATION INFORMATION:
DATE OF FIRM: 09-11-09
COMMUNITY No: 120851
PANEL: 0319 SUFFIX: L
ZONE: AE BASE FLOOD ELEVATION: 8'

ABBREVIATIONS AND LEGEND									
A/C = AIR CONDITIONING PAD	E.T.P. = ELECTRIC TRANSFORMER PAD	MEAS. = MEASURED	PL. = PLANTER	V.G. = VALLEY GUTTER					
A = ARC DISTANCE	F.E. = FLOOR ELEVATION	N.S. = METAL SHED ON CONCRETE	R. = RADIUS	C.L. = CENTER LINE					
BLOS. = BUILDING	F.H. = FIRE HYDRANT	N.T.S. = NOT TO SCALE	RES. = RESIDENCE	M.L. = MONUMENT LINE					
C.B. = CATCH BASIN	F.I.P. = FOUND IRON PIPE	NO ID. = NO IDENTIFICATION NUMBER	S.I.P. = SET IRON PIPE No. L.S. 5184	C.A. = CENTRAL ANGLE					
C.B.S. = CONCRETE BLOCK STRUCTURE	F.M. = FOUND NAIL	O.E.L. = OVERHEAD ELECTRIC LINE	S.R. = SET ROD No. L.S. 5184	W.F. = WOOD FENCE					
C.G. = CURB & GUTTER	F.N.D. = FOUND NAIL & DISK	P.B. = PLAT BOOK	STY. = STORY	X- = CHAIN LINK FENCE					
CH. = CHORD DISTANCE	F.R. = FOUND REBAR	P.G. = PAGE	SWK. = SIDEWALK	W. = C.B.S. WALL					
CONC. = CONCRETE	L.P. = LIGHT POLE	P.O.B. = POINT OF BEGINNING	U.E. = UTILITY EASEMENT	E. = EXISTING ELEVATION					
C.S. = CONCRETE SLAB	M.D.E. = MAINTENANCE & DRAINAGE EASEMENT	P.O.C. = POINT OF COMMENCEMENT	U.P. = UTILITY POLE	D. = DIAMETER					

NOSTER, LLC

LAND SURVEYORS LAND PLANNERS

1842 S.W. 124th Place, Miami, Florida 33175

Phone: (305) 221-3040 Fax: (305) 221-9040

nosterllc@gmail.com

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY OF THE PROPERTY DESCRIBED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION. THIS SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER S-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 427.027 FLORIDA STATUTES.

ANTONIO FIORE, PSM
PROFESSIONAL SURVEYOR AND MAPPER No. 5184
STATE OF FLORIDA

VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE SURVEYING LAND SURVEYOR

ANTONIO FIORE
No. 5184
STATE OF FLORIDA
Professional Surveyor & Mapper

SCALE: 1"=20'

DRAWN BY: F.A.L.

REFERENCE: 06-01-19

FIELD BOOK: 20-0094

DATE: 03-03-20

THE WEBER STUDIO

AA2600205
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935 305.361.9986

INTERIOR + EXTERIOR ALTERATIONS

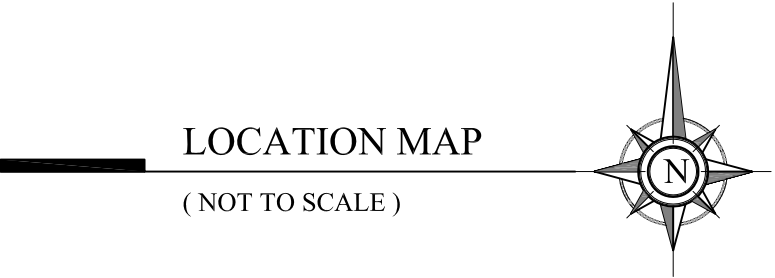
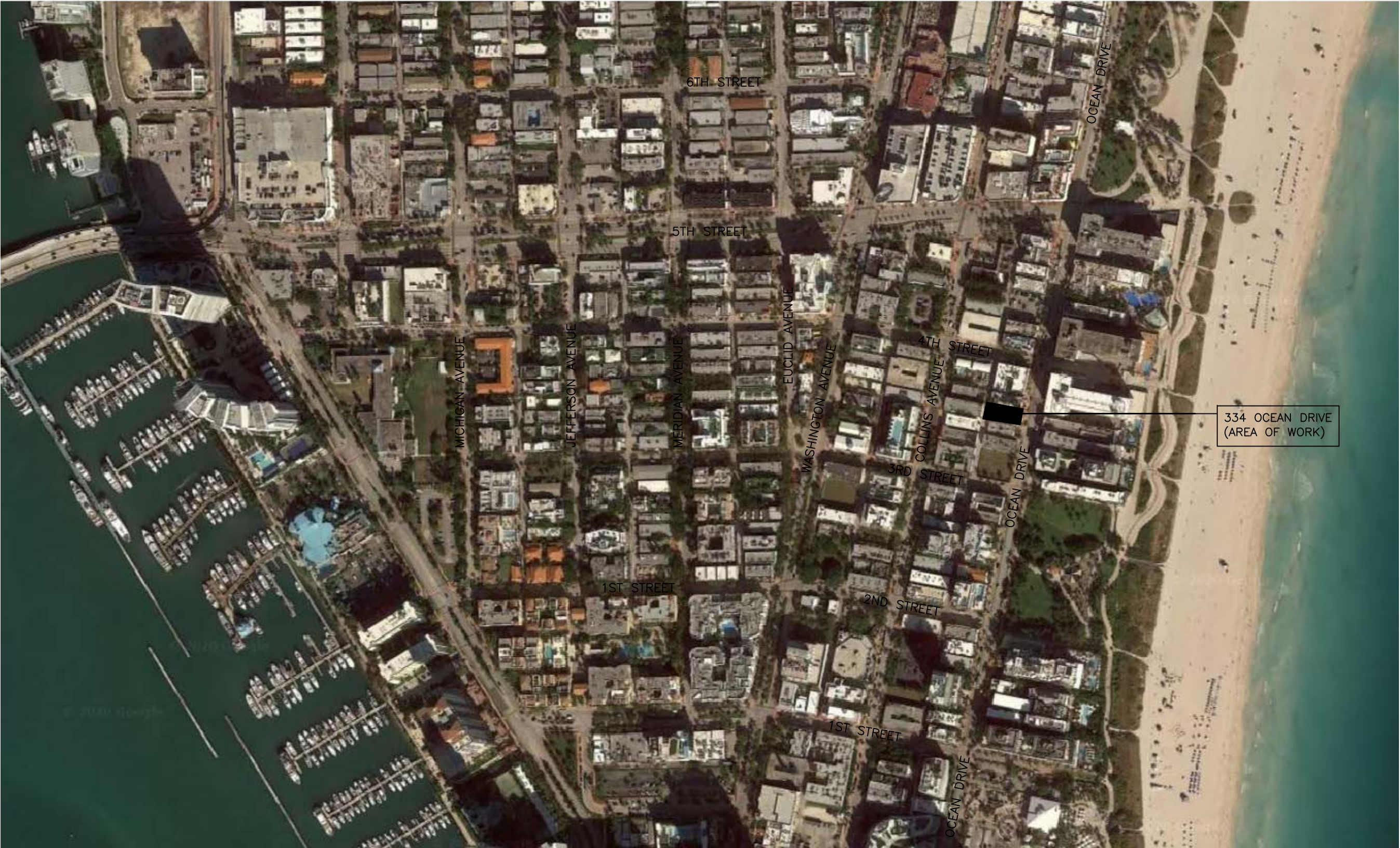
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A0.1



A1.1

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EXISTING BUILDING-FRONT



EXISTING BUILDING-FRONT

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A1.2



EXISTING BUILDING-REAR



EXISTING BUILDING-CANOPY

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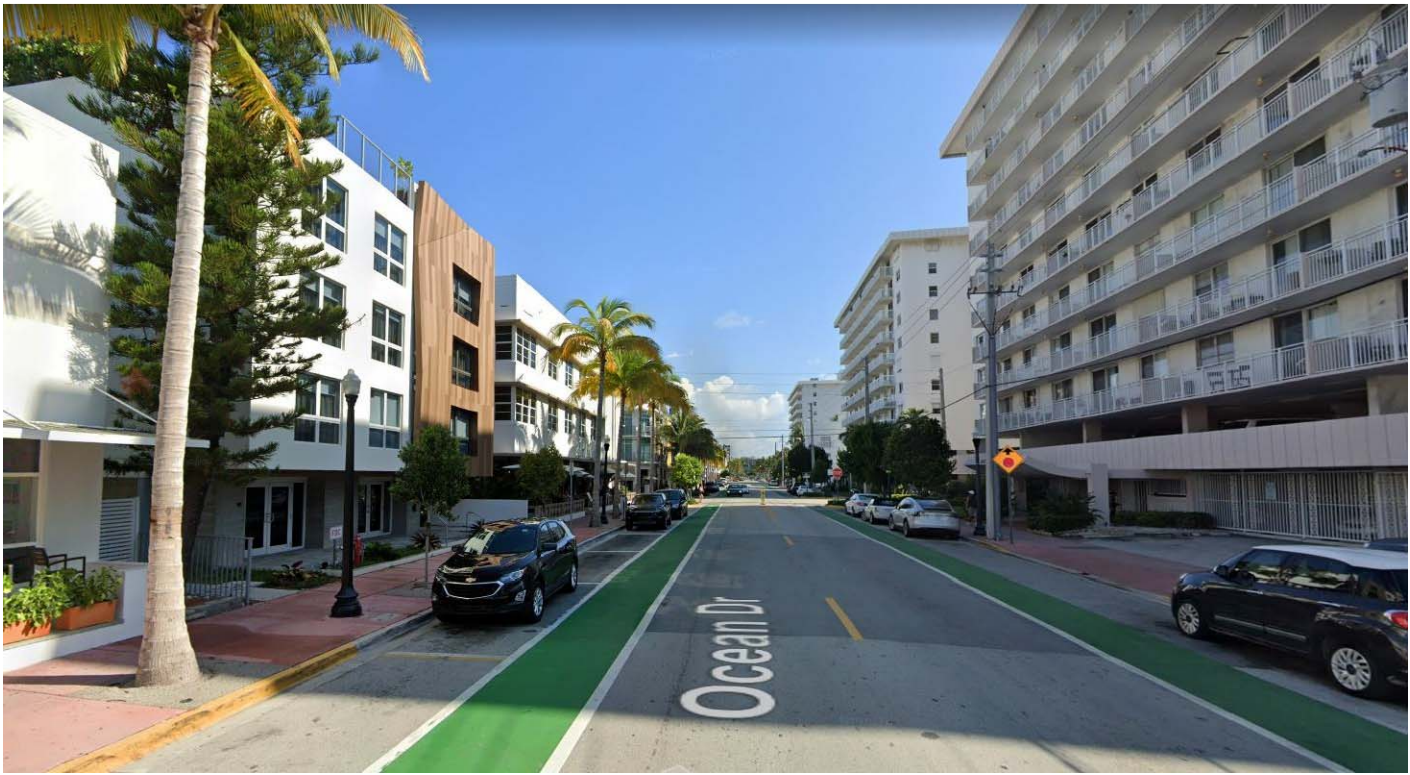
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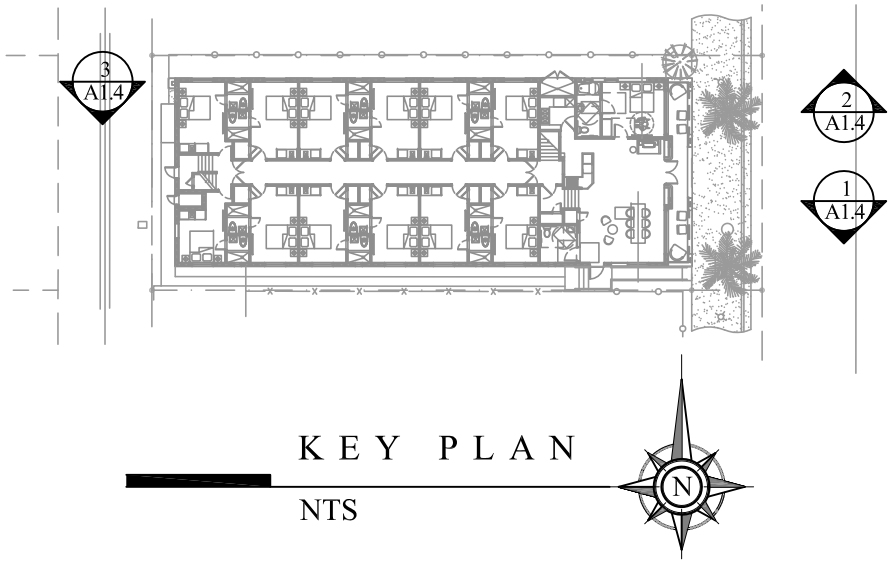
1 OCEAN DRIVE
CONTEXT PHOTOGRAPHS



3 OCEAN COURT
CONTEXT PHOTOGRAPHS



2 OCEAN DRIVE
CONTEXT PHOTOGRAPHS



KEY PLAN
NTS

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A1.4



1 LOBBY
EXISTING CONDITIONS



2 LOBBY
EXISTING CONDITIONS



3 LOBBY
EXISTING CONDITIONS

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A1.5



1 EXISTING FLOOR



2 EXISTING LOBBY



3 EXISTING LOBBY

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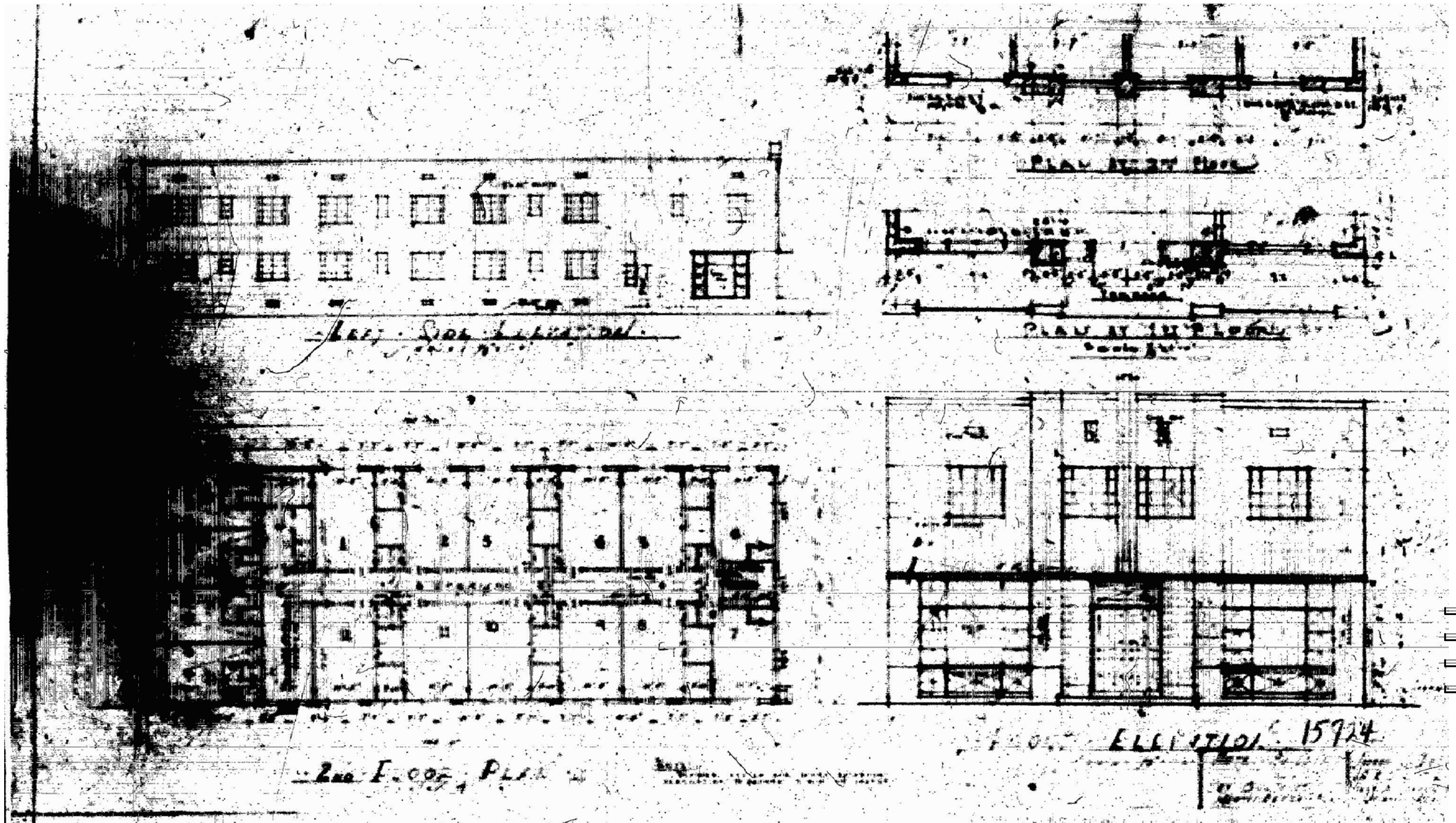
BY:

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A1.6



MICROFILM

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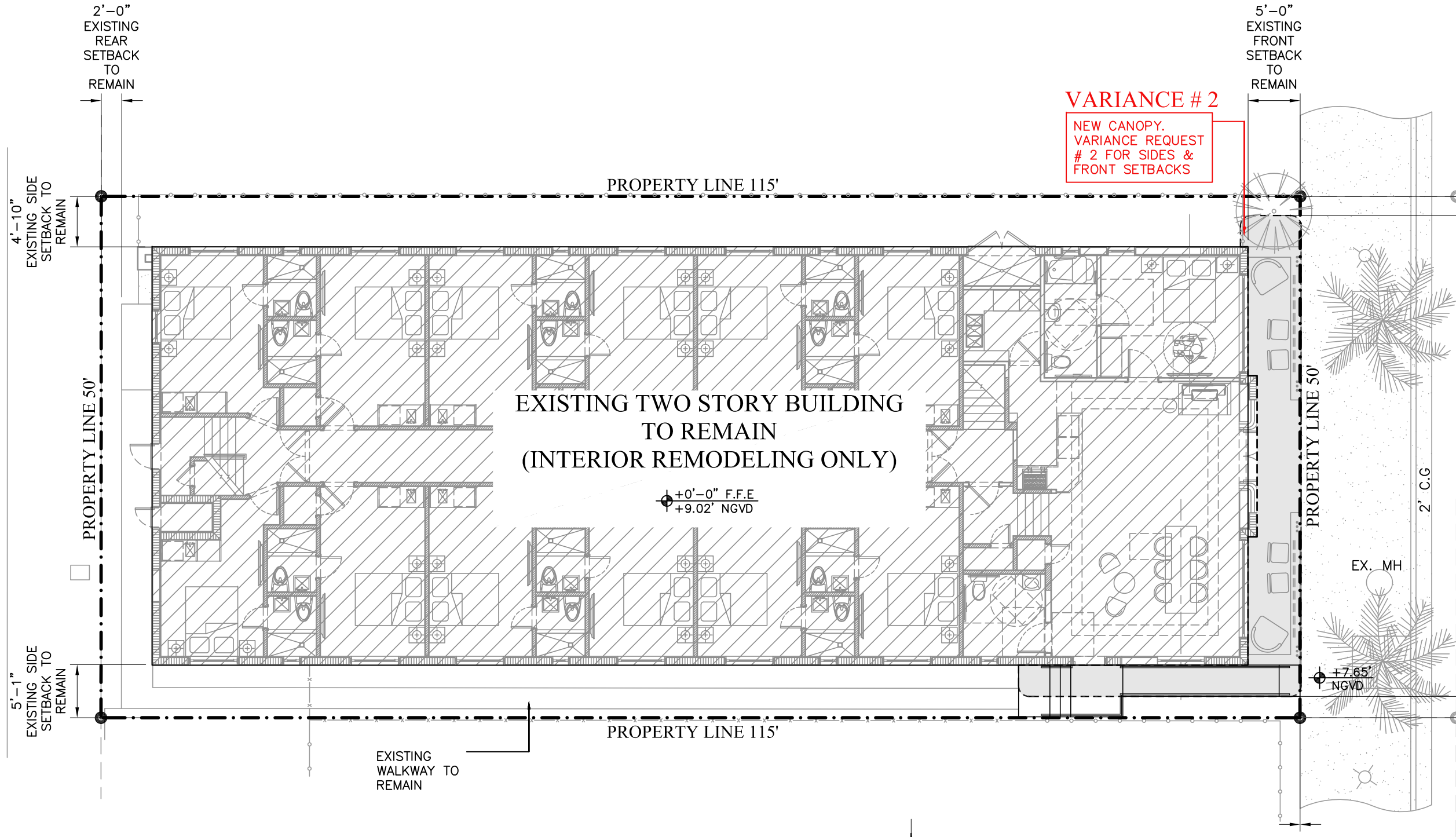
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A1.7

OCEAN COURT



SITE PLAN
3/32" = 1'-0"

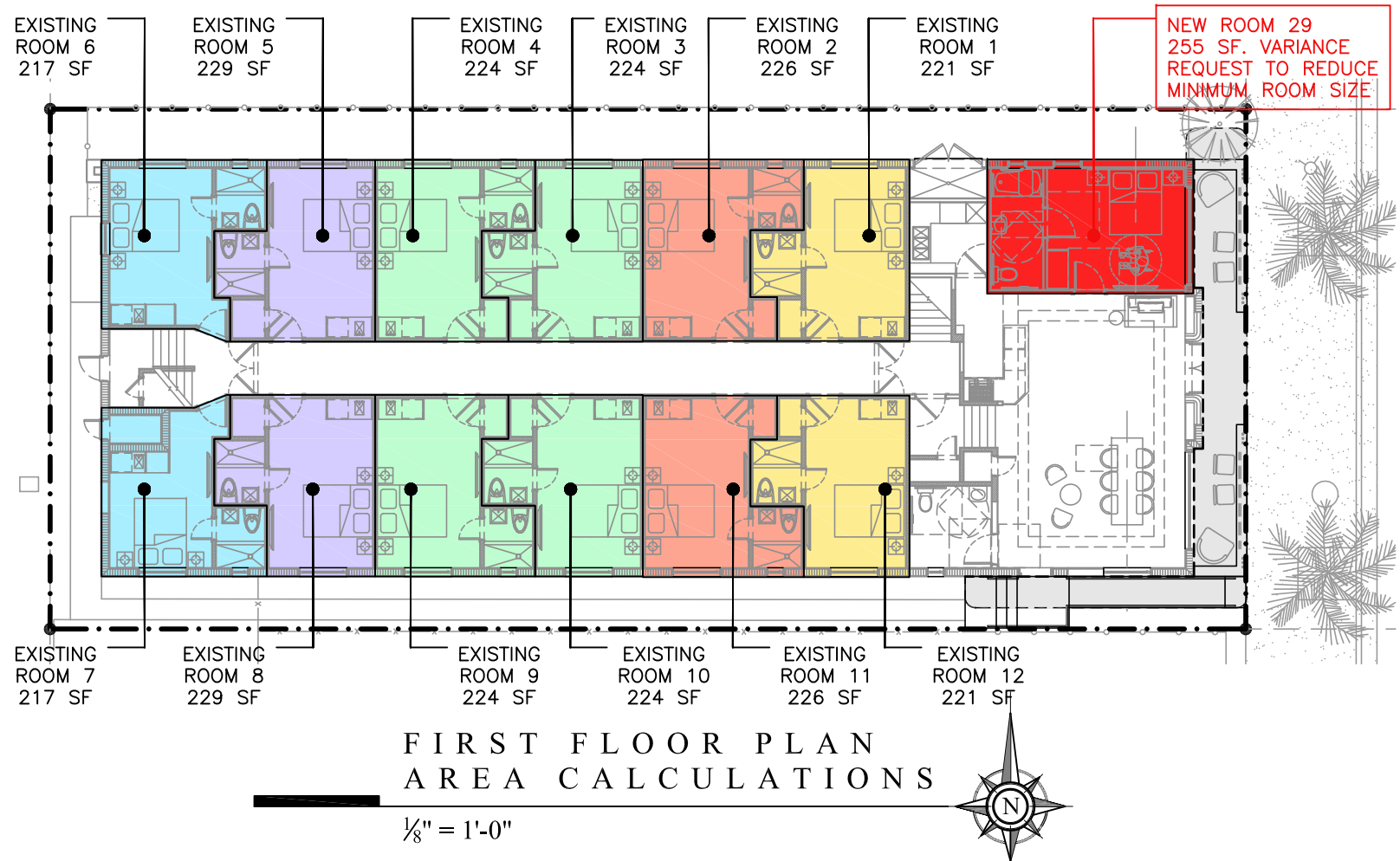
- VARIANCES:**
1. REDUCE MINIMUM AREA OF ALL EXISTING UNITS AND REDUCE SIZE OF NEW ADA ROOM
 2. ELIMINATE FRONT SETBACK-NEW CANOPY
 3. EXCEED MAX 25% PROJECTION ALLOWED ON THE NORTH SIDE YARD FOR A CANOPY
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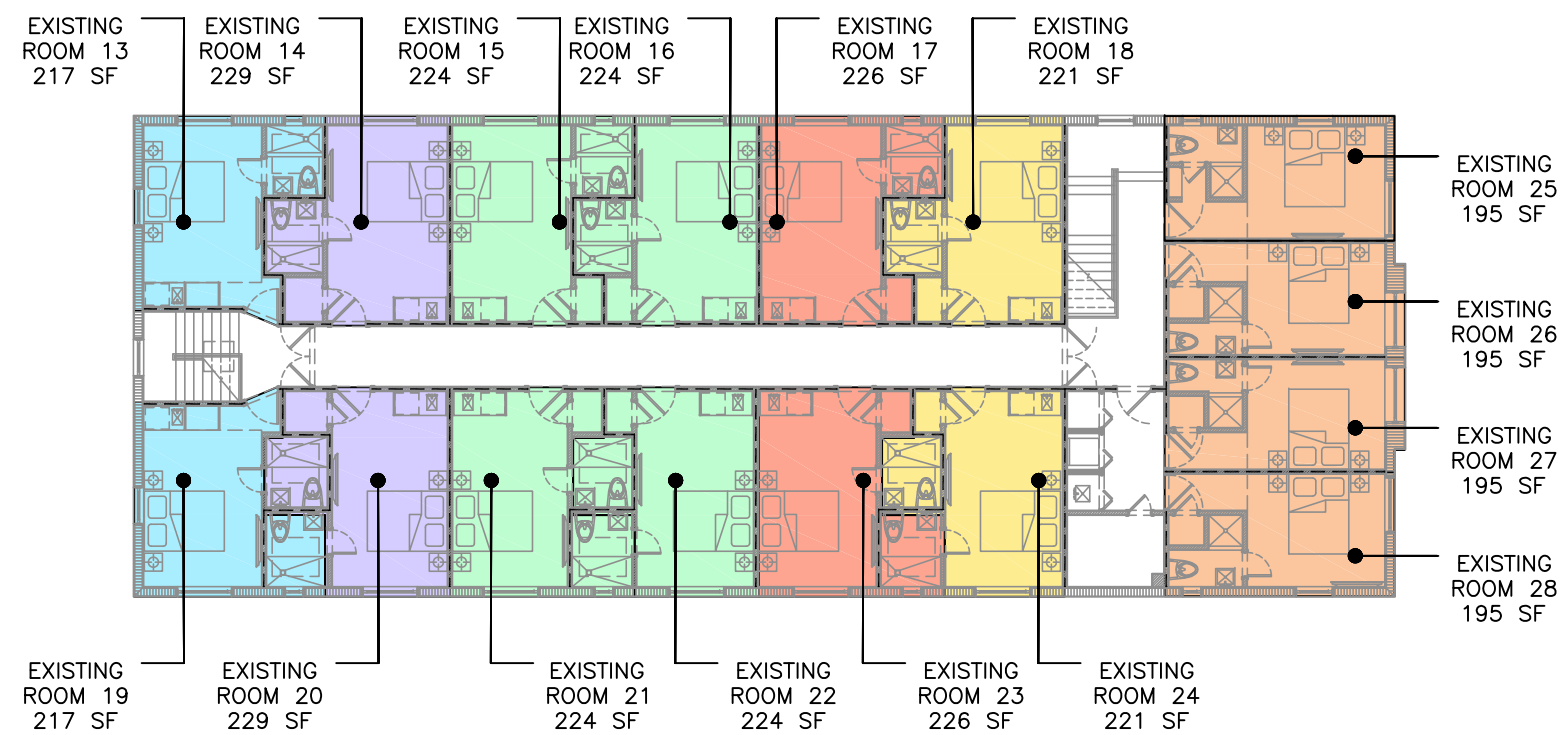
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A2.1



FIRST FLOOR PLAN
AREA CALCULATIONS

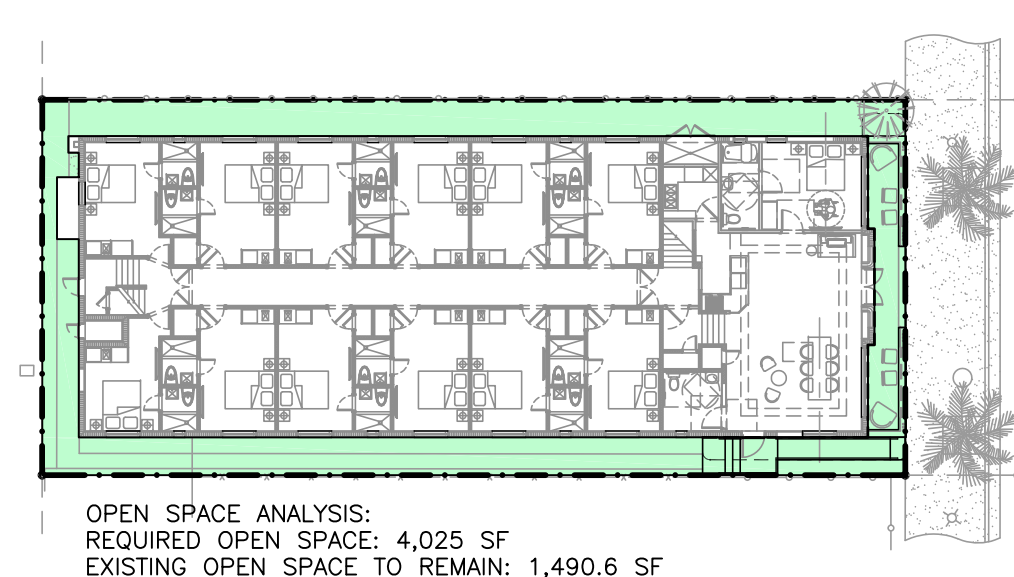
1/8" = 1'-0"



SECOND FLOOR PLAN
AREA CALCULATIONS

1/8" = 1'-0"

ZONING DATA			
ZONING LAND USE:		TRANSIENT–RESIDENTIAL (HOTEL/MOTELS)	
ZONING DESIGNATION:		R–PS3	
FLOOD ZONE:		AE	
BASE FLOOD ELEVATION (+1’ FREE BOARD) +8.00’		NGVD + 1’ = +9.00’ NGVD	
PERFORMANCE STANDARDS			
	ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	5,750 SF	5,750 SF	EXISTING TO REMAIN
MINIMUM LOT WIDTH	50’	50’	EXISTING TO REMAIN
MAXIMUM BUILDING HEIGHT	40’		EXISTING TO REMAIN
MAXIMUM NUMBER OF STORIES	4	2	EXISTING TO REMAIN
MAXIMUM FLOOR AREA RATIO	1.75	1.47	EXISTING TO REMAIN
MINIMUM FLOOR AREA PER HOTEL UNIT	15%: 300–335 SF 85%: +335 SF	SEE AREA CALCULATION DIAGRAMS ON THIS SHEET	100%:LESS THAN 300 SF AVERAGE: 220.6 SF
MINIMUM PARKING	N/A	N/A	N/A
SETBACK REQUIREMENTS			
FRONT	5’	5’	EXISTING TO REMAIN
SIDE INTERIOR	7.5’	5’	EXISTING TO REMAIN
REAR	5’	2’	2’



OPEN SPACE ANALYSIS:
REQUIRED OPEN SPACE: 4,025 SF
EXISTING OPEN SPACE TO REMAIN: 1,490.6 SF

THE WEBER STUDIO

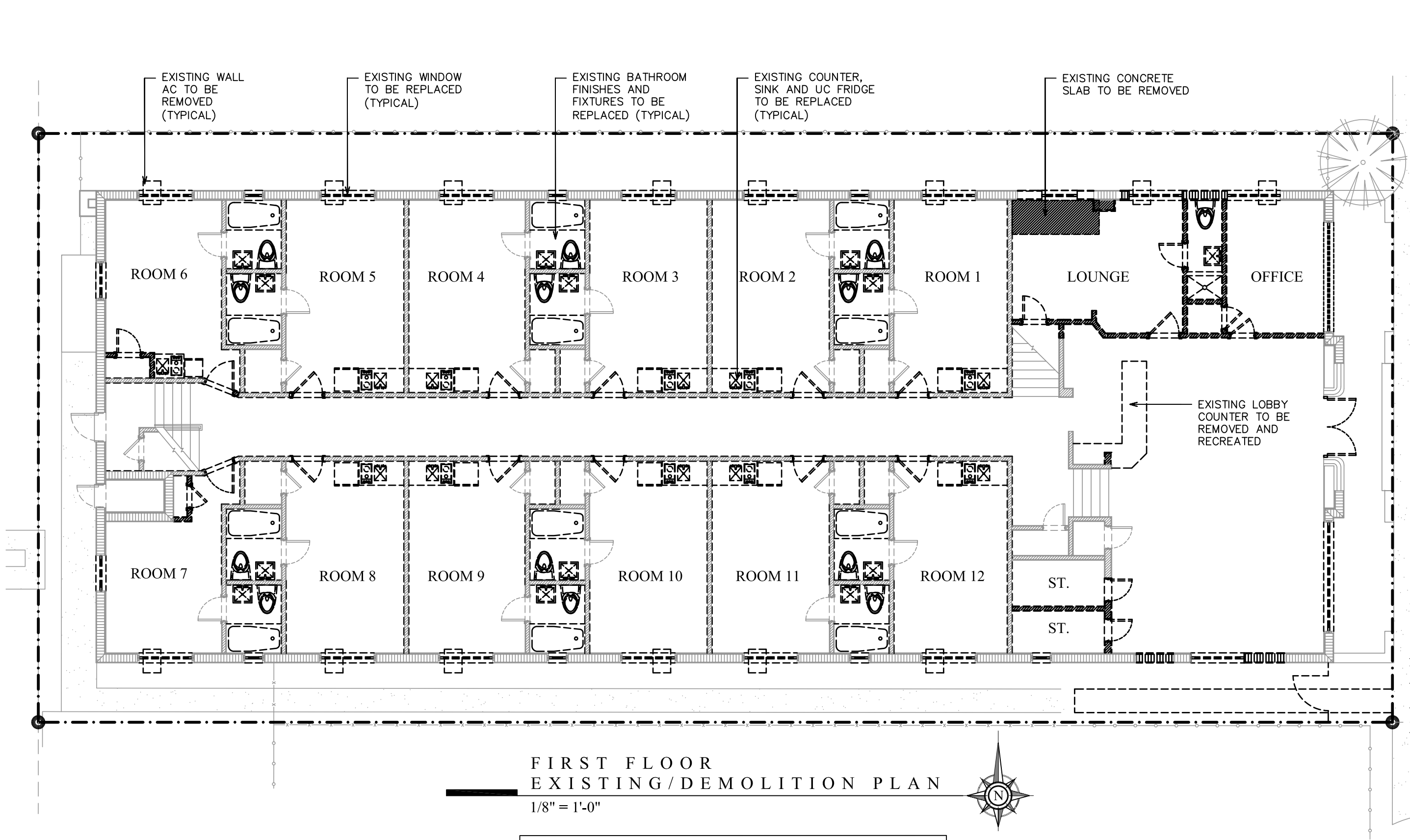
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A2.2



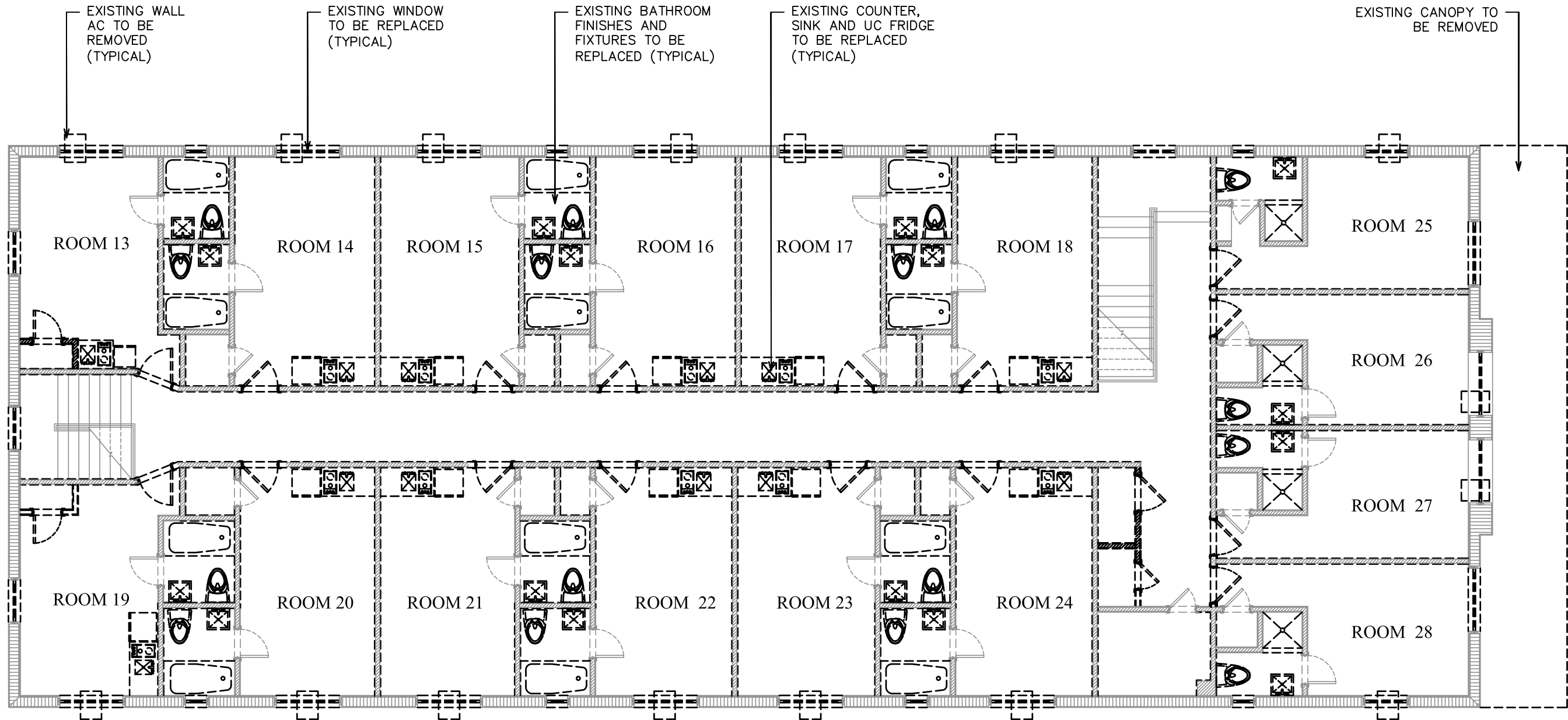
DEMOLITION LEGEND	
	EXISTING MASONRY BLOCK WALL TO REMAIN
	EXISTING FRAMED PARTITION TO REMAIN
	EXISTING PARTITION TO BE DEMOLISHED

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A2.3



SECOND FLOOR
EXISTING/DEMOLITION PLAN

1/8" = 1'-0"



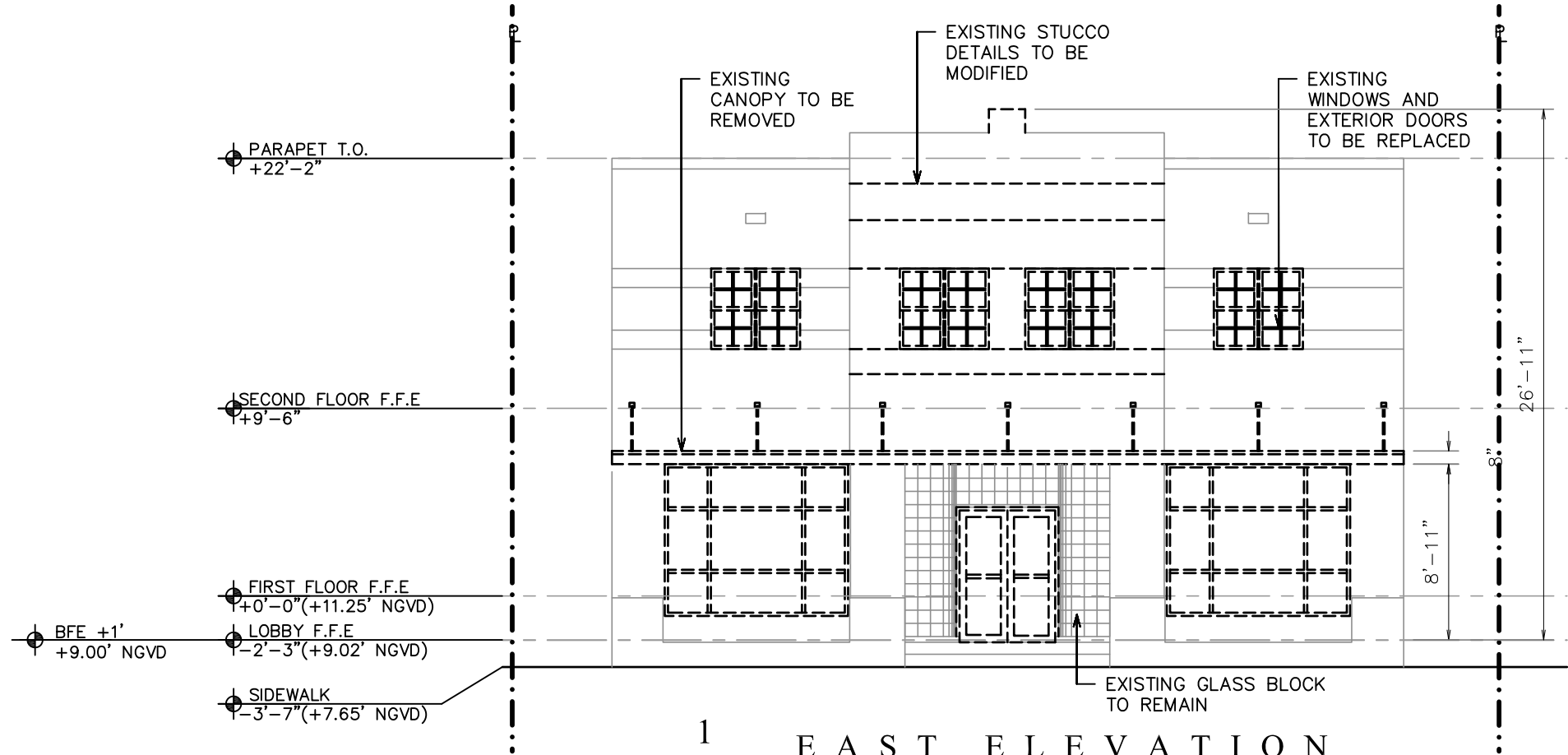
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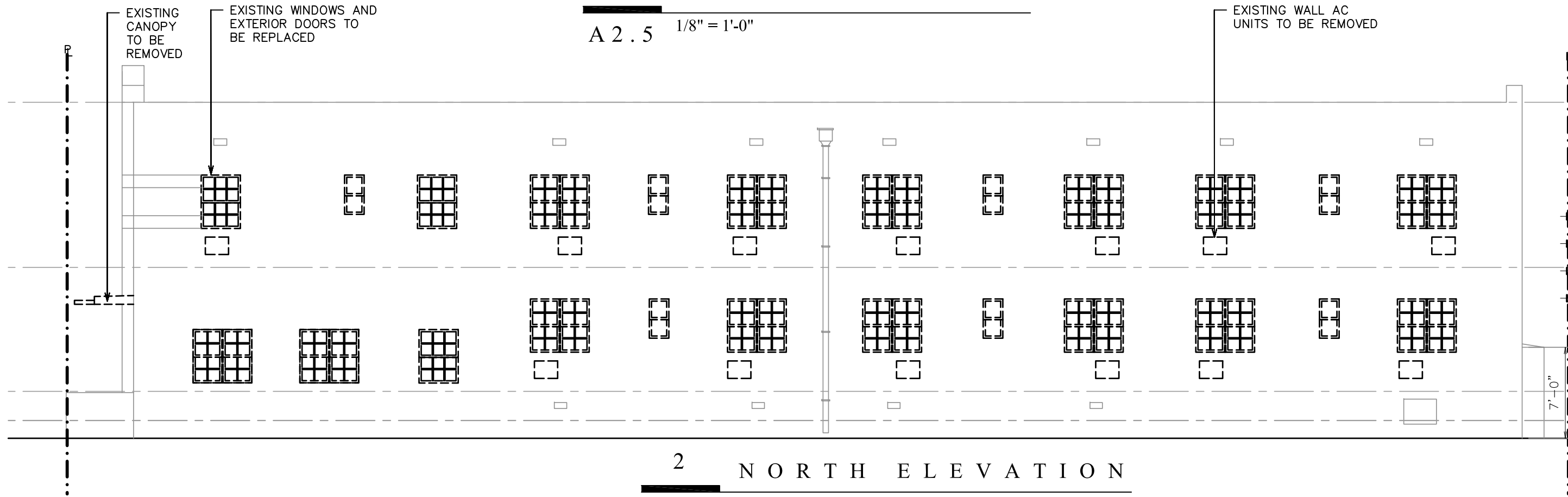
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A2.4



1 EAST ELEVATION
A 2.5 1/8" = 1'-0"



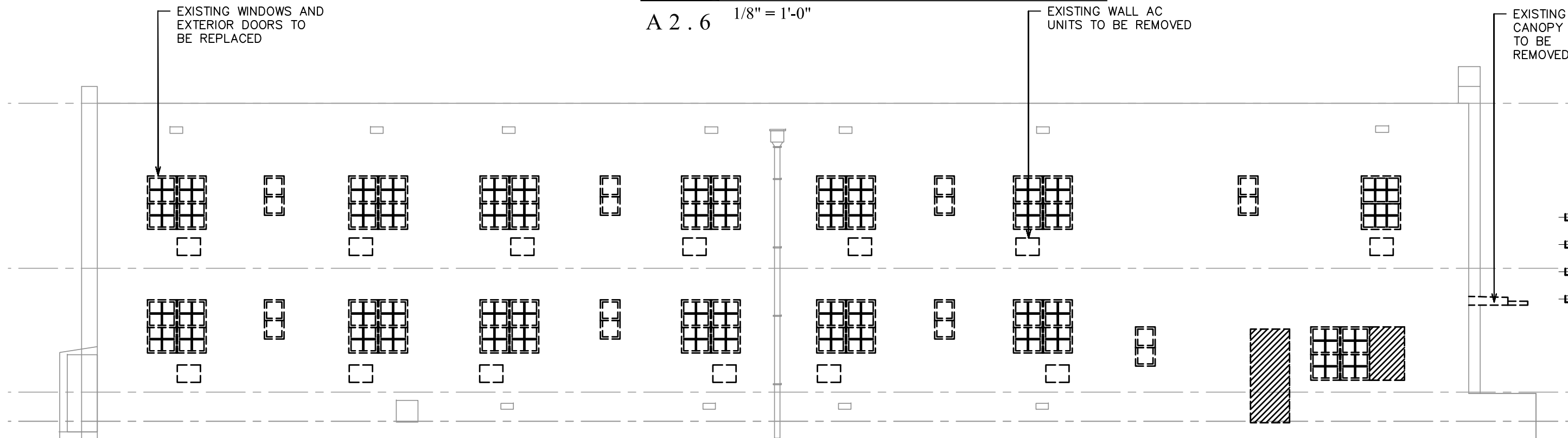
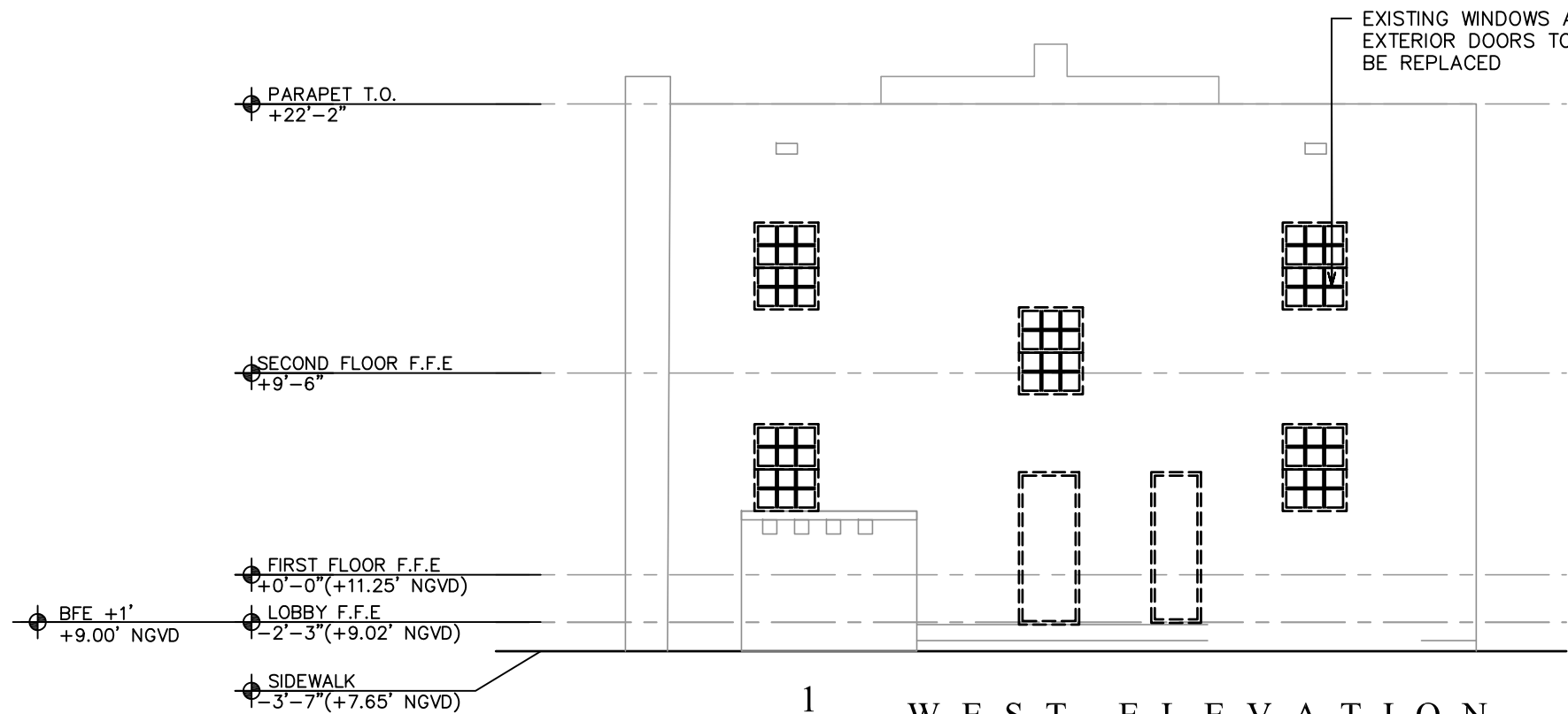
2 NORTH ELEVATION
A 2.5 1/8" = 1'-0"

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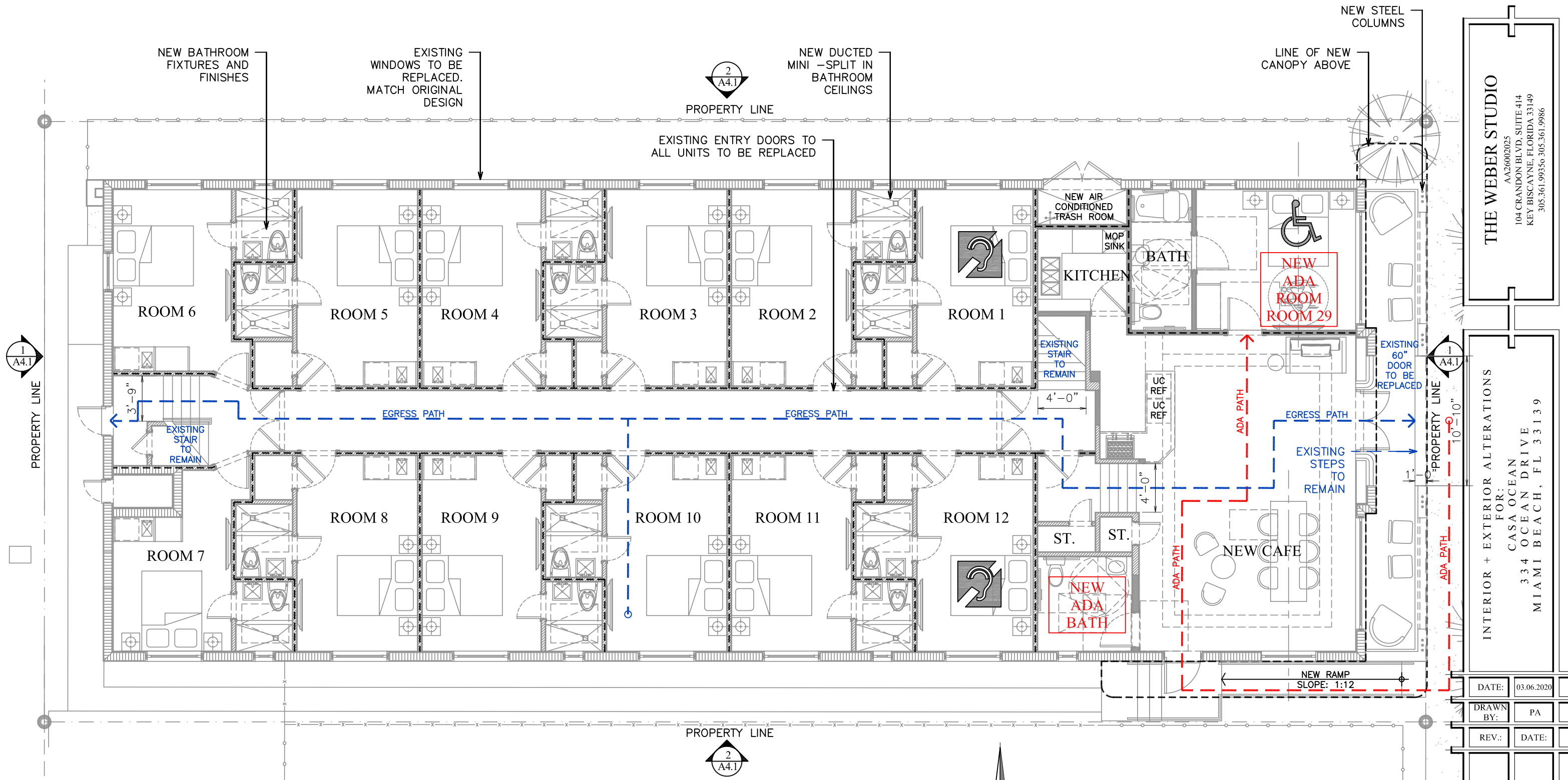


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A2.6



PROPOSED FIRST FLOOR PLAN

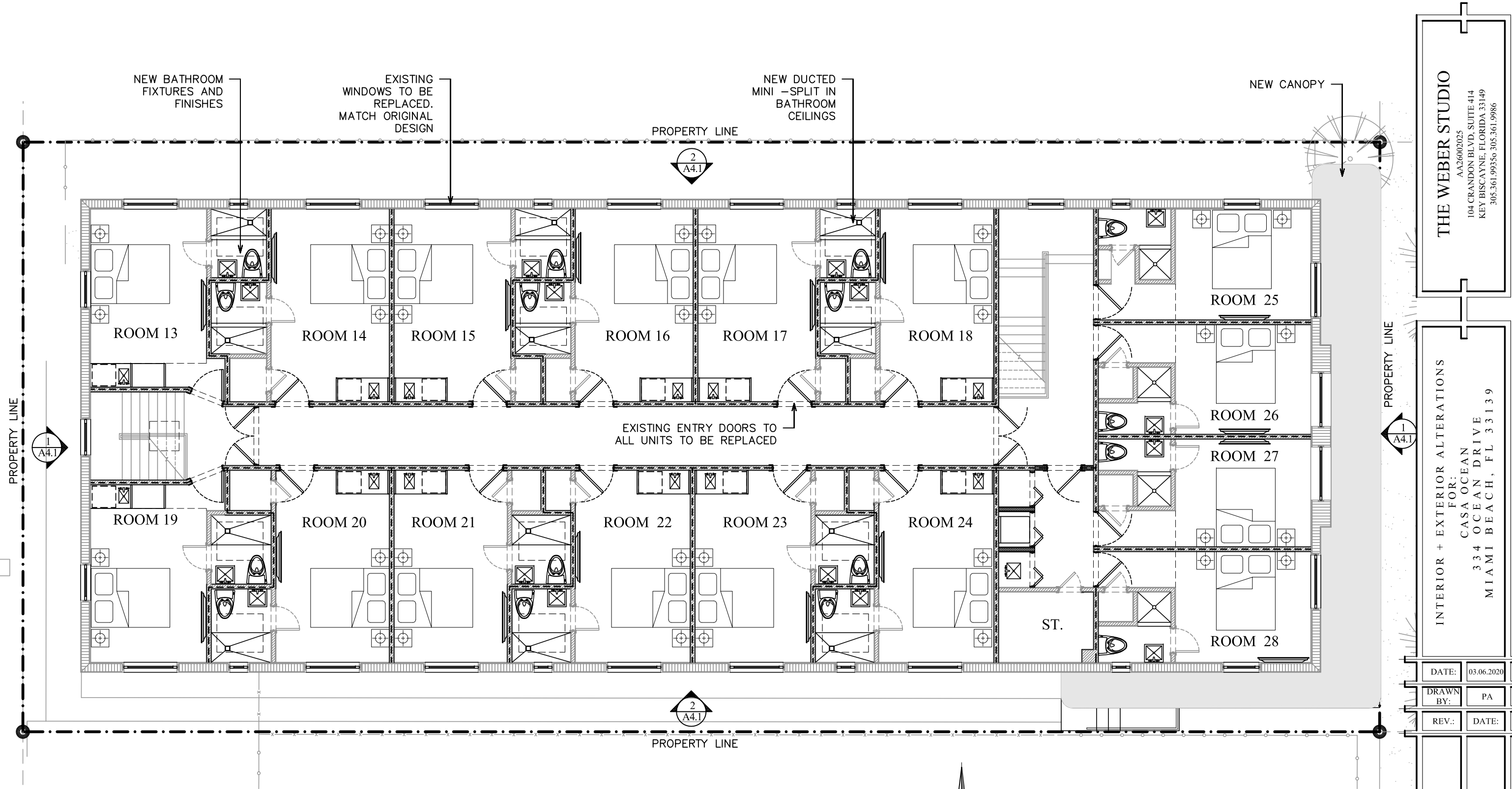
1/8" = 1'-0"



FLOOR PLAN LEGEND

- | | | | | | |
|--|--|--|--------------------------------|--|---|
| | EXISTING INTERIOR PARTITION TO REMAIN | | NEW 1 HR FIRED RATED PARTITION | | A.D.A. GUEST ROOM |
| | EXISTING MASONRY BLOCK WALL TO REMAIN | | NEW FRAMED PARTITION | | GUEST ROOM W/ COMMUNICATION FEATURES FOR THE HEARING IMPAIRED |
| | NEW REINFORCED MASONRY WALL OR CONCRETE COLUMN | | A.D.A. PATH OF TRAVEL | | |
| | | | EGRESS PATH OF TRAVEL | | |

A3.1

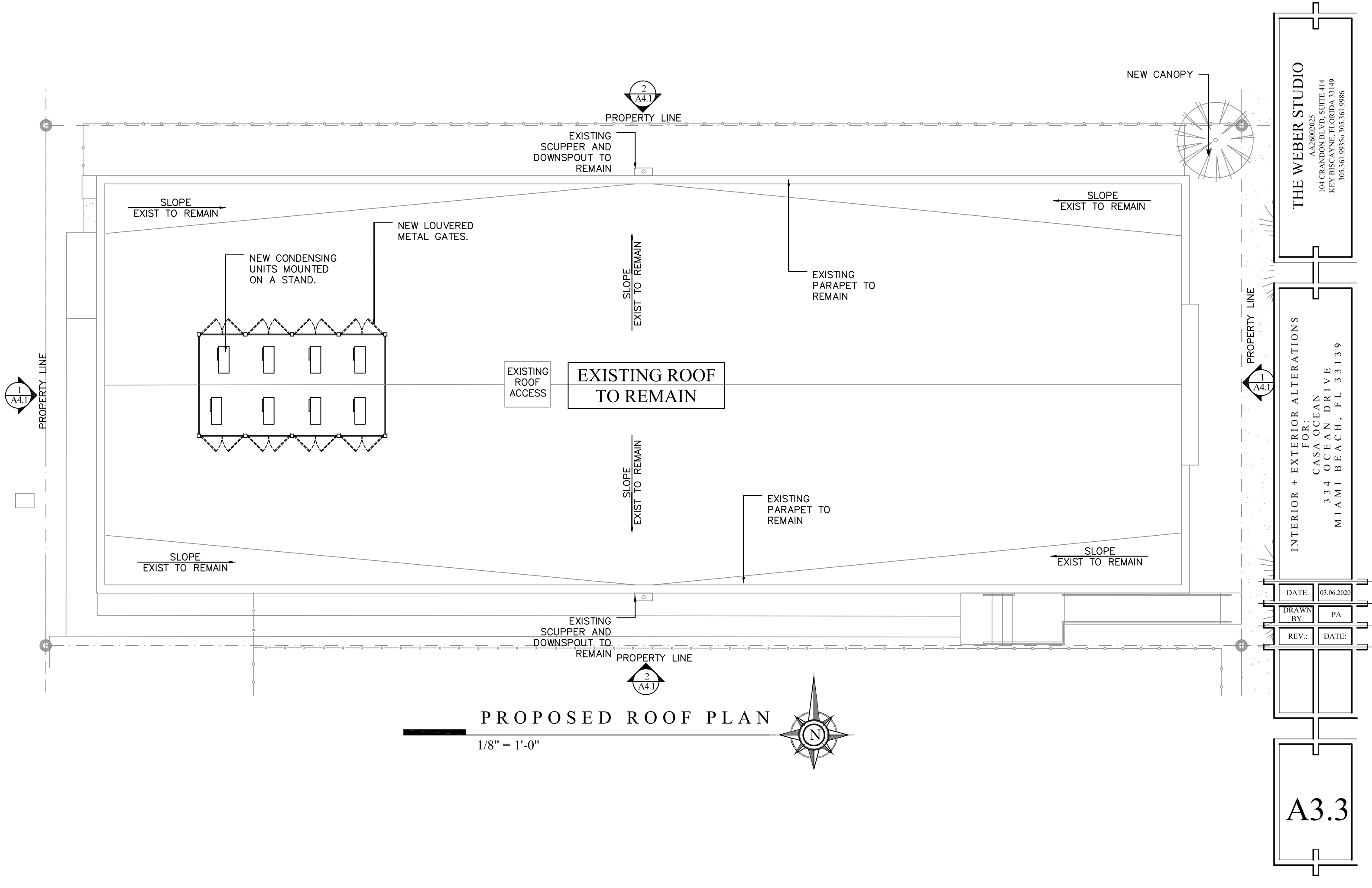


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A3.2

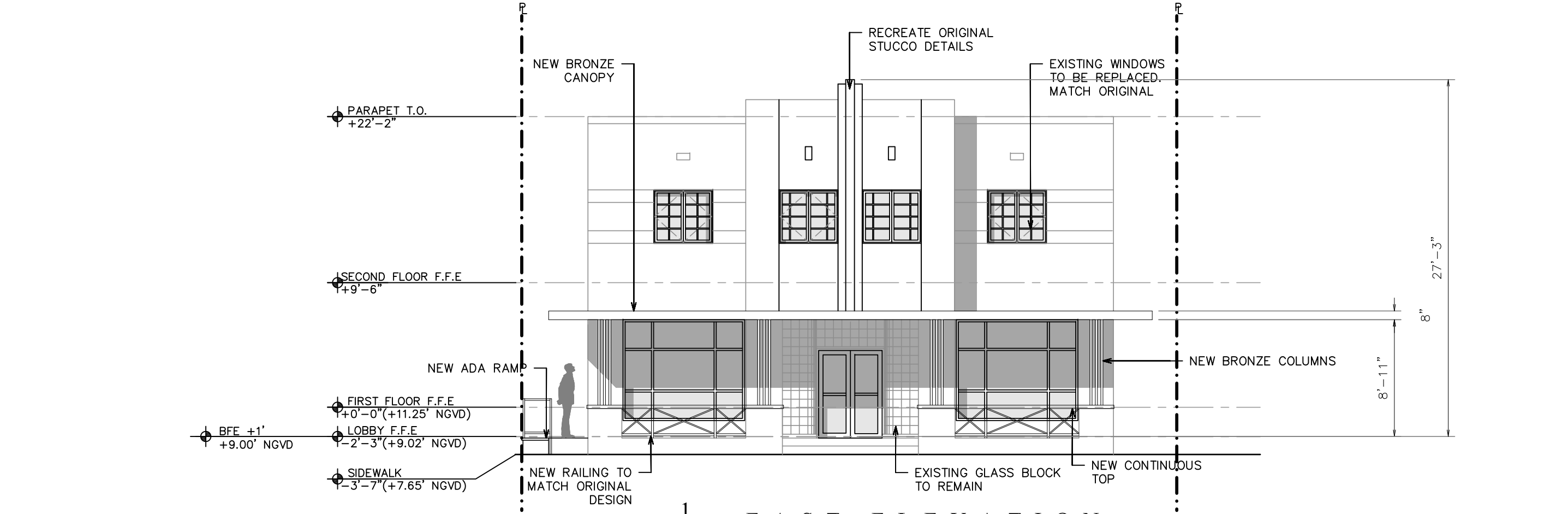


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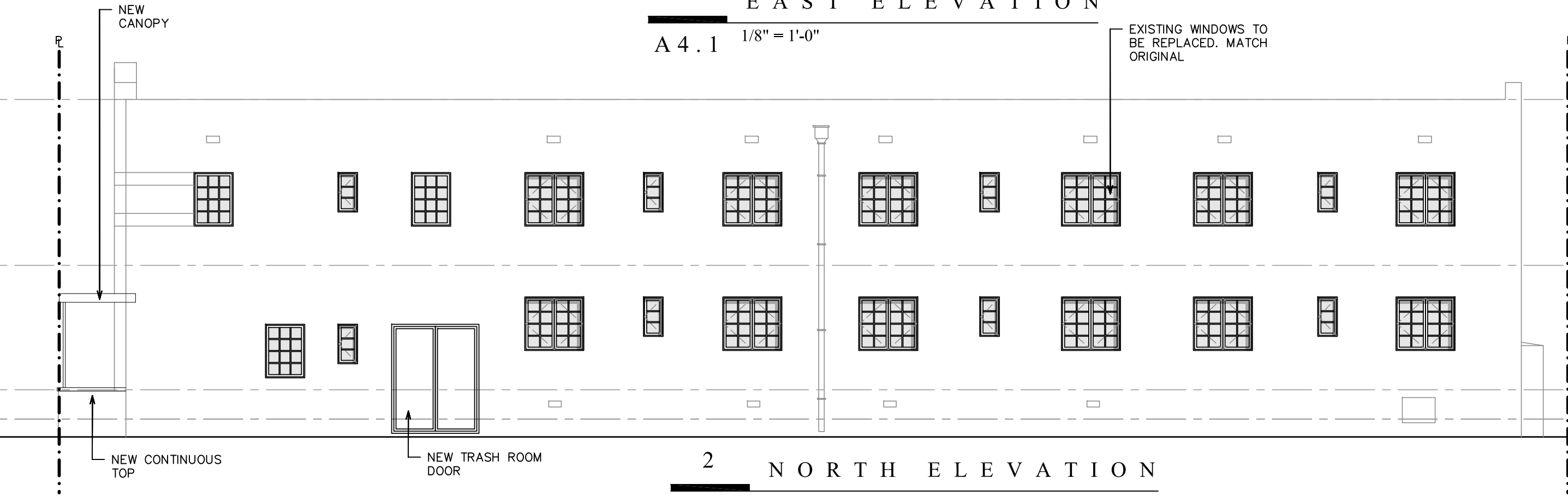
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A3.3



1 EAST ELEVATION
A 4 . 1 1/8" = 1'-0"



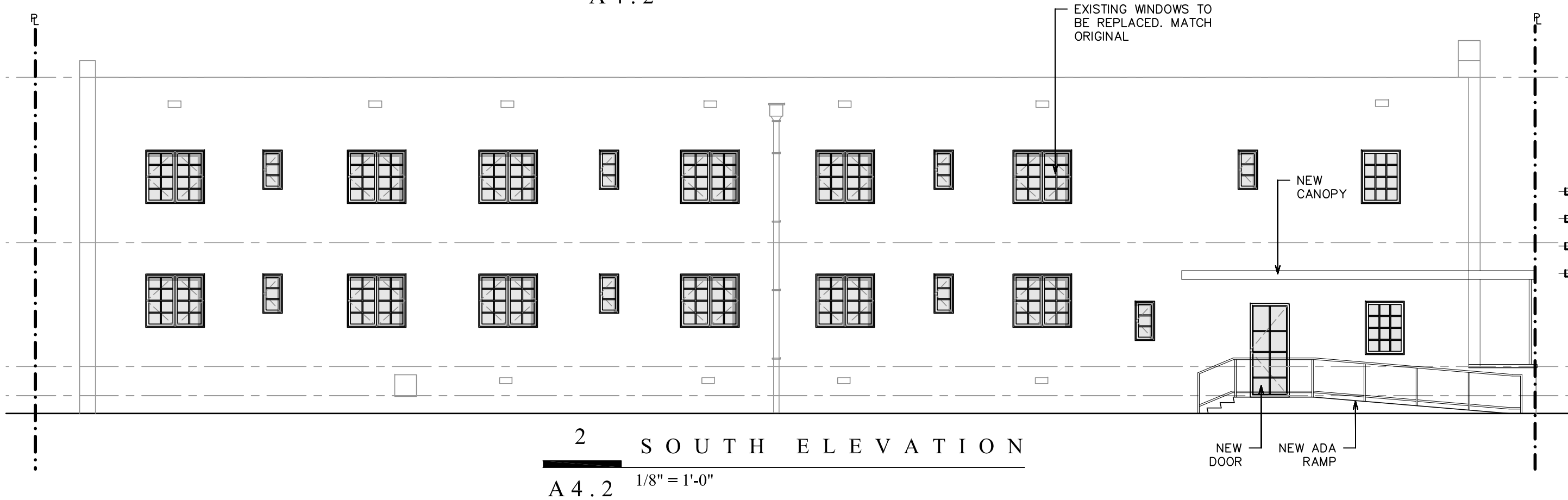
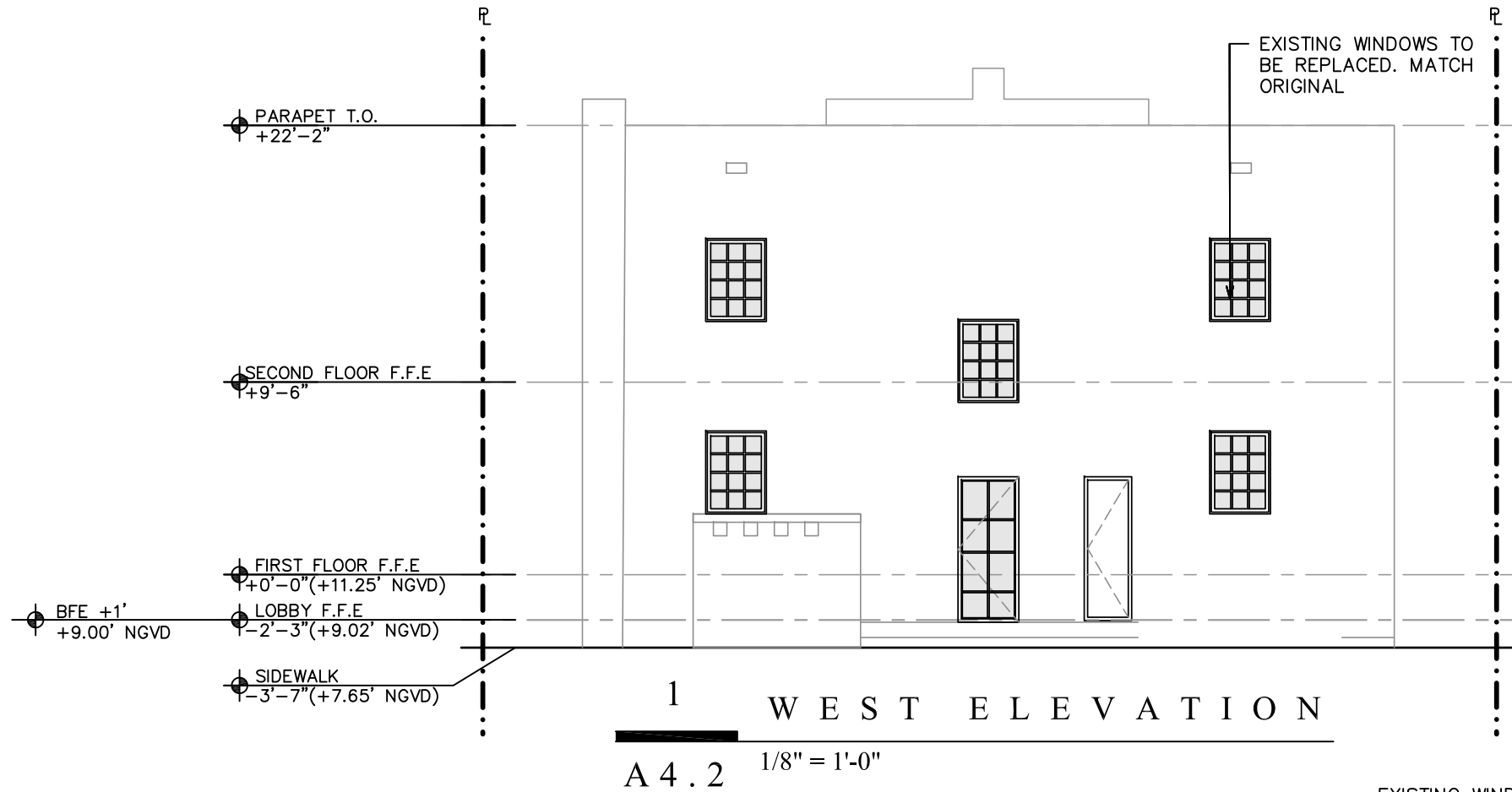
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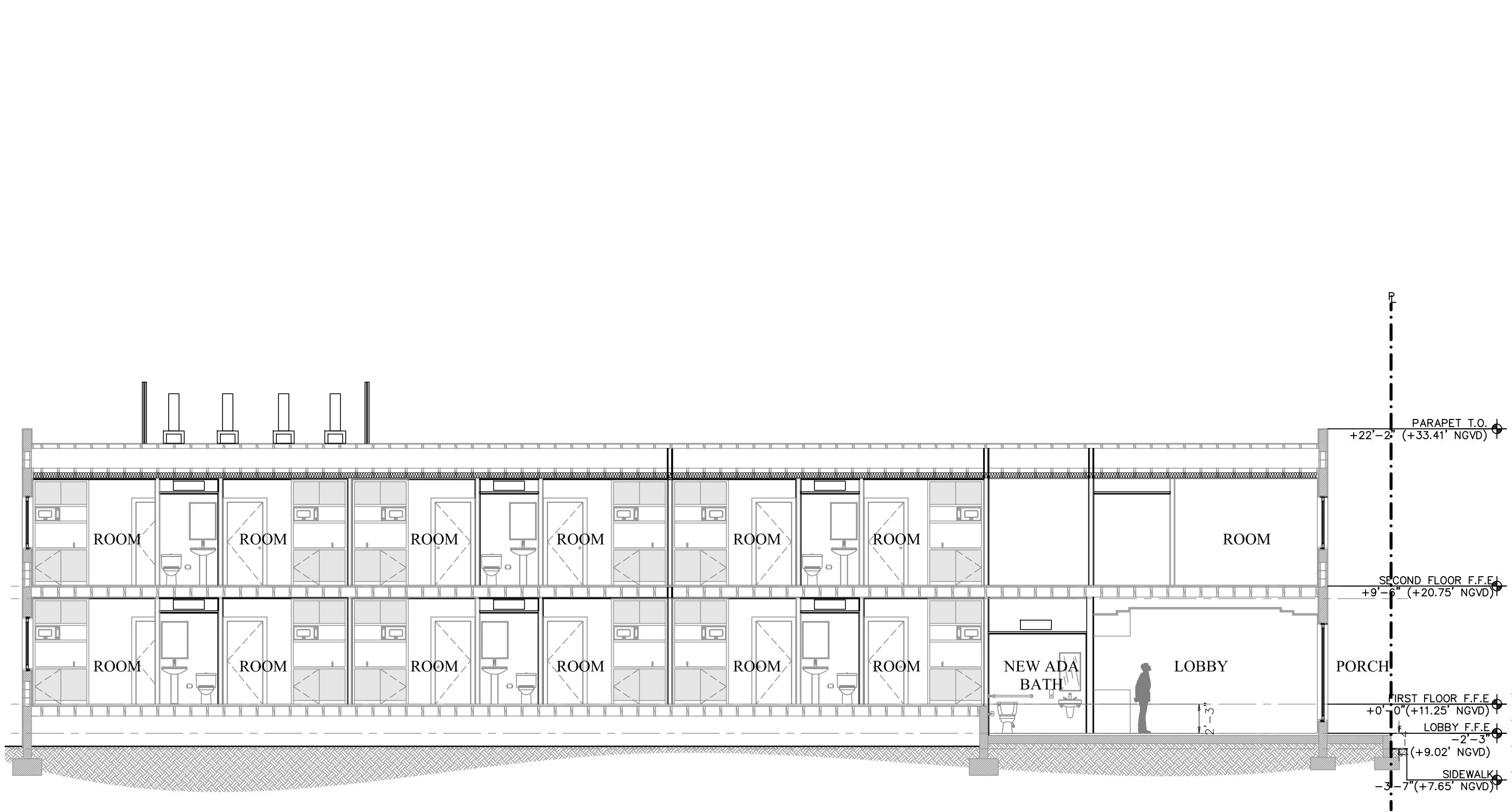


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1 SECTION
A 5 . 1 1/8" = 1'-0"

THE WEBER STUDIO
AA26002025
104 CRANDON BLVD, SUITE 414
KEY BISCAYNE, FLORIDA 33149
305.361.9935o 305.361.9986

INTERIOR + EXTERIOR ALTERATIONS
FOR:
CASA OCEAN
334 OCEAN DRIVE
MIAMI BEACH, FL 33139

DATE:	03.06.2020
DRAWN BY:	PA
REV.:	DATE:

A5.1