

TALLAHASSEE BUILDING PARTNERSHIP

Issue: Vertical accessibility to the second floor.

Analysis: The applicant is requesting a waiver from providing vertical accessibility to the second floor of an historic building (childhood home of Gov. Leroy Collins). The project has been addressed in phases, the first of which cost \$342,520 including installation of accessible parking, a ramp, new stairs, accessible toilet rooms and doors.. At that time, the second floor was sealed until vertical accessibility could be addressed. According to the applicant the second phase will cost \$107,010 and estimates of \$66,000 and \$69,000 were submitted for the additional cost of an elevator.

Project Progress:

The project is under design.

Items to be Waived:

Vertical accessibility to the second floor, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

Waiver Criteria: There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

The Accessibility Advisory Council will review your application and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: **dBKSM&N Tallahassee Building Partnership, LLP**

Address: **725 East Park Avenue, Tallahassee, Florida 32301**

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: **Kristin Sian Shutler**

Applicant's Address: **332 North Magnolia Avenue, Orlando, Florida 32801**

Applicant's Telephone: **409-992-3508** FAX: **407-992-3595**

Applicant's e-mail Address: **kshutler@dbkmn.com**

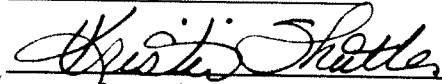
Relationship to Owner: **Owner's Representative**

Owner's Name: **dBKSM&N Tallahassee Building Partnership, LLP**

Owner's Address: **332 North Magnolia Avenue, Orlando, Florida 32801**

Owner's Telephone: **407-992-3508** FAX: **407-992-3595**

Owner's e-mail Address: **kshutler@dbksmn.com**

Signature of Owner: 
As Authorized Representative

Contact Person: **Kristin Sian Shutler**

Contact's Telephone: **407-758-3872**

E-mail Address: **kshutler@dbksmn.com**

3. Please check one of the following:

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

This is a two (2) story, wood frame Office Building with 4,107 gsf on the first floor and 1,460 gsf on the second floor. Phase I construction converted an existing Apartment Building into Offices on the first floor. The second floor was sealed off to prevent use of the second floor and because funds were limited and because extensive site improvements were required for the conversion. According to Alyssa McManus of the Tallahassee Trust for Historic Preservation, the building is listed on the national register for historic places as a part of the Magnolia Heights District. This is the former childhood home of Governor Leroy Collins.

5. **Project Construction Cost** (Provide cost for new construction, the addition or the alteration):

The estimated cost of construction to prepare the second floor for occupancy if the new elevator is required is as follows:

> Cost of Elevator and Shaft	\$ 66,000.00
> Cost of fire doors, toilet renovation, miscellaneous	<u>\$107,010.00</u>
Total	<u>\$173,010.00</u>

In 2005-2006 the Owner's expended the following amounts to make site improvements and accessibility improvements in order to occupy the first floor.

> Site Improvement Cost	\$104,962.00
> Ramp, Accessible Stairs, HC Restrooms, Accessible Doors, etc.	<u>\$237,558.93</u>
Phase I Total Construction 2005-2006	<u>\$342,520.93</u>

Note that the costs of the A/E fees are not included in the above Construction Costs.

REFER TO ATTACHED SUPPORT INFORMATION.

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

- Under Design Under Construction*
- In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

Phase I work was completed early in 2006 at a cost of \$342,520.93 so that the first floor could be occupied. At that time extensive site improvements were made for storm water, parking, accessible parking, construction of a H.C. ramp, three code compliant stairs and building accessibility. Inside doors were made accessible and two accessible restrooms were constructed in order to make the first floor accessible. The majority of this work was completed in order to meet accessibility requirements. The Owners desire to use the second floor; however, the use of the second floor requires handicap accessibility. In order to meet this requirement an elevator is required to be installed which poses a financial hardship to the Owner. The cost for the elevator will be \$66,000.00 while the cost of other second floor improvements is \$107,010.

7. Requirements requested to be waived. Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: Florida Building Code 2004 Chapter 11-4.1.6(1)(f) Accessible Building Alterations requires the second floor to be made accessible.

Issue

2: Not Applicable

8. Reason(s) for Waiver Request: The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

[] The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

[X] Substantial financial costs will be incurred by the owner if the waiver is denied.

We anticipate that the cost to provide vertical circulation in the form of a two-stop elevator will be at least \$66,000.00 exclusive of any Architectural or Engineering fees. Other improvements to the second floor including accessible doors, HC restroom, fire doors, fire alarm system, etc. will cost \$107,010.00.

[X] The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

Bid proposals have been attached for your review. We have received proposals from two contractors and two elevator vendors. Please note that Architectural and Engineering fees have not been included in the cost of construction. The Owner has diligently investigated other options to provide accessibility to the second floor and have concluded that installation of an elevator is the only option. The Owner has already expended \$237,558.93 exclusive of A/E fees for Phase I work to make the first floor code compliant as well as \$104,962.00 for site improvements associated with accessibility, parking and storm water for a total Phase I cost of \$342,520.93. The cost of constructing and elevator will cause additional expenditure by the Owner creating a substantial hardship. Furthermore, there is no good location for an elevator within the historic residence. Installation of an elevator will result modifications to the historic interior. The late Florida Governor Leroy Collins lived here during his childhood. His son and grandson have visited the building since the Phase I renovations and are pleased that we preserved the character and interior of the building.

9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data, which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. LOWER ESTIMATED COST SUMMARY

New two stop Shindler elevator	\$33,577.00
New elevator shaft-Louis Callaghan	<u>\$32,423.00</u>
	\$66,000.00

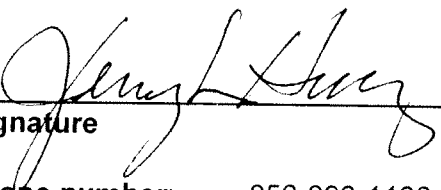
b. HIGHER ESTIMATED COST SUMMARY

New two stop TyssenKrupp elevator	\$35,000.00
New elevator shaft-Allstate Construction	<u>\$34,800.00</u>
	\$69,800.00

NOTE: REFER TO ATTACHED COST PROPOSALS FROM VENDORS AND CONTRACTORS

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

I believe that the cost of making the second floor accessible will cause a hardship to the Owner and is disproportionate to the overall project costs. The Owner has always insisted upon minimal improvements to allow occupancy. In Phase I, the Owner expended about 55 to 60% of that project cost to make accessible improvements to the site and first floor. Very little of the project cost can be attributed to aesthetic improvements on either the first or proposed second floor improvements. The second floor could not be made accessible without the installation of an elevator; therefore, work to the second floor was delayed to allow time for preparation of this waiver. Installation of a two-stop elevator will cost about \$60,000. Other improvements proposed to the second floor include renovations to the restroom to make it accessible.



Signature

Jerry L. Hicks
Printed Name

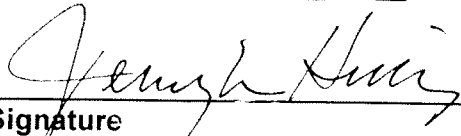
Phone number: 850-893-1130

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the Florida Building Commission attaches the applicable documents in support of this Request for Waiver for review and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 28 day of June, 2006



Signature

Jerry L. Hicks

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

According to the June 6, 2000 memorandum from Kathy Butler, Assistant General Counsel DCA, the federal disproportionate cost exception may not be applied to the Florida vertical accessibility requirement. The renovations in this structure are considered an alteration to an area containing a primary function. Vertical accessibility is required, unless waived by the Florida Building Commission due to disproportionate cost.

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

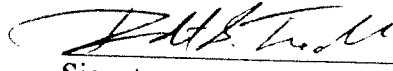
Yes No Cost of Construction \$174,000 (based on 2005 building permit valuation only)

Comments/Recommendation

Except for attesting to the accuracy of the cost figures as presented, to the best of my knowledge, all information stipulated herein is true and accurate.

Jurisdiction City of Tallahassee

Building Official or Designee



Signature

Robert S. Tredick

Printed Name

B4230

Certification Number

850-891-7071 7099 (fax)

Telephone/Fax

Address Box B28 - City Hall

Tallahassee, FL 32311

PHASE I

*SITE WORK &
BUILDING RENOVATIONS*

CONSTRUCTION COST

PHASE I - SITE WORK

SUBTOTAL \$104,962.00

**dBKSM&N Tallahassee Building Partnership, LLP
Infrastructure Budget Analysis**

Updated Site Plan Proposal, July 12, 2005	Proposed Amt.	Paid Amount	Due
Environmental Controls	\$92,141.00	\$37,777.81	\$0.00
Clearing		\$52,520.37	
Building Fill		\$1,842.82	
Top-Soil			
Lay-Out			
Demolition of old drive			
Dig out for wall and back fill			
Dig holding pond			
C-inlet			
2-manholes			
Approximately 230' 15" RCP			
Tie into existing inlet			
New concrete parking			
Concrete sidewalk			
3" #57 rock gravel			
Railroad cross ties			
Signs for parking lot			
Grading cuts & fills			
Sod for pond			
<i>Total as of July 12, 2005</i>	\$92,141.00		
Added To Proposal, August 23, 2005			
Removal of 34' Pecan Tree; required	\$1,900.00	\$1,900.00	\$0.00
Added To Proposal, October 26, 2005			
Raise of Elevation; Install Dirt/Grading	\$2,600.00	\$2,600.00	\$0.00
<i>Total as of October 26, 2005</i>	Charges \$96,641.00	Paid \$96,641.00	Due \$0.00

Note:

Original bid was done May 25, 2004. The price was \$76,560.00.

Additional Information: 10-26-05

They are grading the overall front (more fill dirt) and removal of shrubs and palm tree.

Will need to re-sod the front of the yard due to elevation changes ... proposal pending.

Guard rails will be installed around retention pond; he will verify with Poole Engineering that his actions are fine.

Effort finalized on January 7th ... Environmental Permit approved (by inspector) on the 10th, per Cheryl Poole.

**dBKSM&N Tallahassee Building Partnership, LLP
Additional Charges Analysis**

Added, April 8, 2005

Asbestos Survey \$1,716.00 *Approved / Paid*
payable to Southern Earth Science

Added, August 17, 2005

Relocation of Light Pole & Electrical Pedestal \$6,605.00 *Approved*
payable to Sprint

EAST COLLEGE AVENUE

NOTE: SURVEY BASED ON ASSUMED DATUM

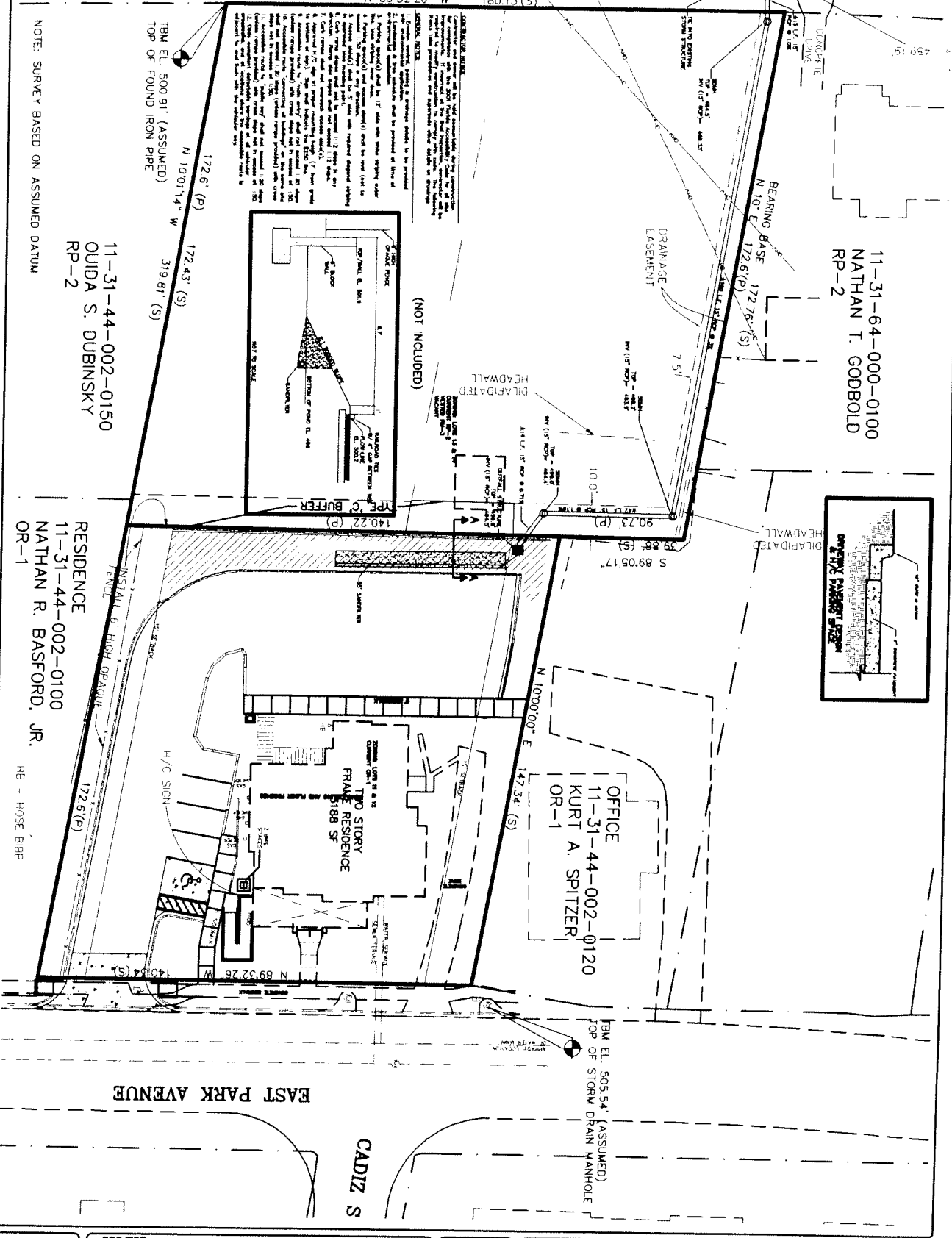
11-31-44-002-0150
 OUIDA S. DUBINSKY
 RP-2

RESIDENCE
 11-31-44-002-0100
 NATHAN R. BASFORD, JR.
 OR-1

HB - HOSE BIBB

EAST PARK AVENUE

CADIZ S



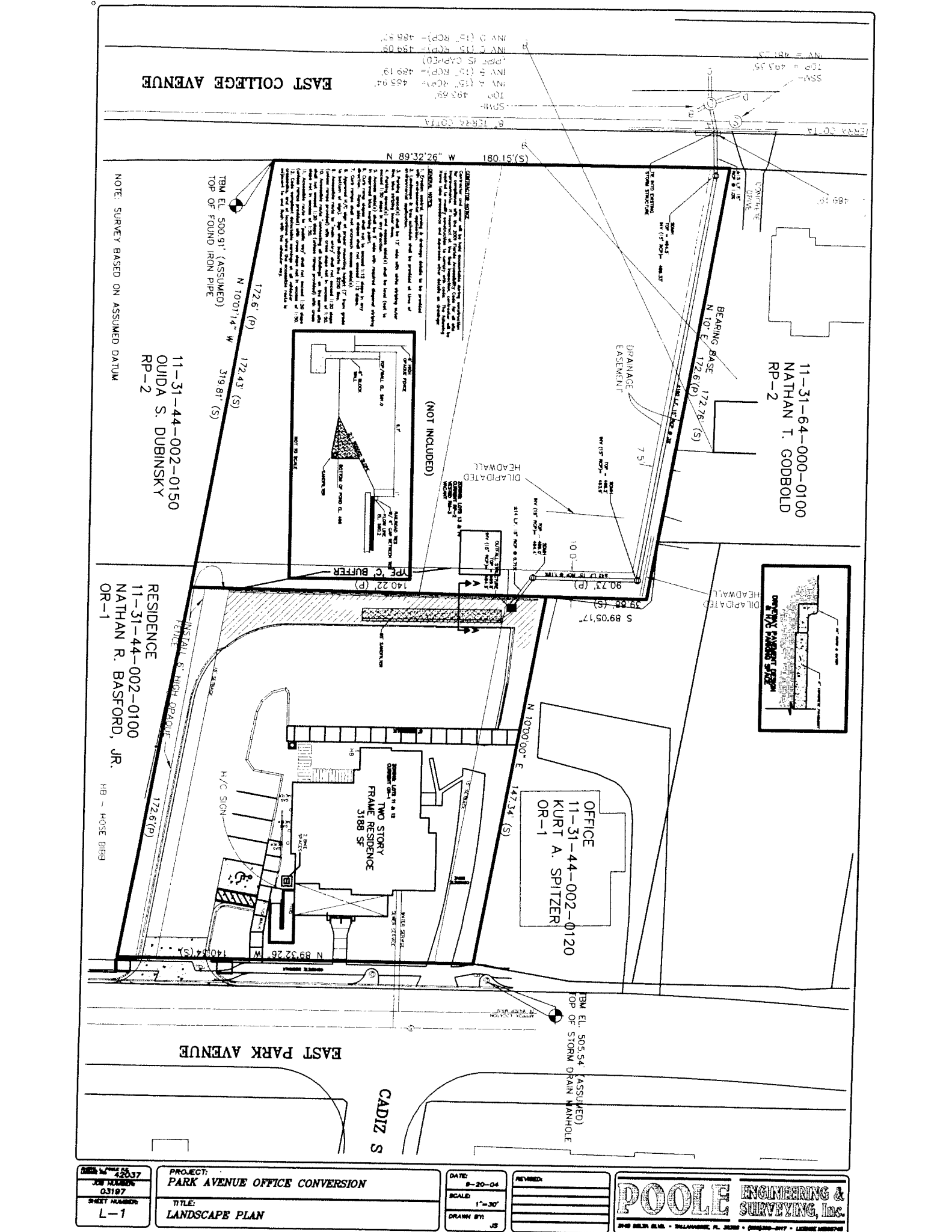
JOB NUMBER:
 03187
 SHEET NUMBER:
 C-4

PROJECT:
PARK AVENUE OFFICE CONVERSION
 TITLE:
GRADING PLAN

DATE:
 08/04/04
 SCALE:
 1"=30'
 DRAWN BY:
 JC

REVIEWED:
 8-23-04 JR

POOLE ENGINEERING & SURVEYING, Inc.
 2148 DELTA BLVD. • TALLAHASSEE, FL 32303 • (850)388-5117



EAST COLLEGE AVENUE

EAST PARK AVENUE

CADIZ STREET

NOTE: SURVEY BASED ON ASSUMED DATUM

11-31-44-002-0150
 OUIDA S. DUBINSKY
 RP-2

RESIDENCE
 11-31-44-002-0100
 NATHAN R. BASFORD, JR.
 OR-1

HB - HOSE BIBB

OFFICE
 11-31-44-002-0120
 KURT A. SPITZER
 OR-1

11-31-64-000-0100
 NATHAN T. GODBOLD
 RP-2

N 89°32'26" W 180.15'(S)

N 100°00' E 147.34'(S)

N 100°14' W 319.81'(S)

172.6'(P)

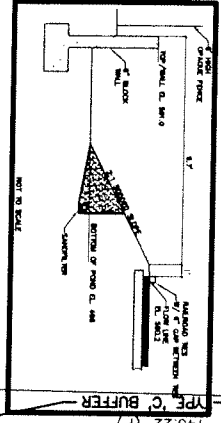
172.43'(S)

TBM EL. 500.91' (ASSUMED)
 TOP OF FOUND IRON PIPE

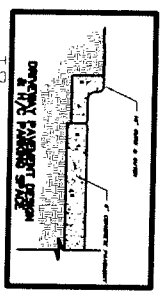
172.6'(P)

N 89°32'26" W 140.47'(S)

INSTALL 6' HIGH BRICK FENCE



(NOT INCLUDED)



CONTRACTOR'S NOTE:
 1. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 4. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 5. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

GENERAL NOTE:
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 5. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

DATE: 8-20-04
 SCALE: 1"=30'
 DRAWN BY: JF

PROJECT:
PARK AVENUE OFFICE CONVERSION

TITLE:
LANDSCAPE PLAN

DATE: 8-20-04
 SCALE: 1"=30'
 DRAWN BY: JF

REVISIONS:

POOLE ENGINEERING & SURVEYING, Inc.

2845 BELLA BLVD. • TALLAHASSEE, FL 32309 • (904) 833-1177 • FAX (904) 833-1178

CONSTRUCTION COST

PHASE I

SUBTOTAL \$237,558.93

\$565.19

\$440.97

\$124.22

Charges

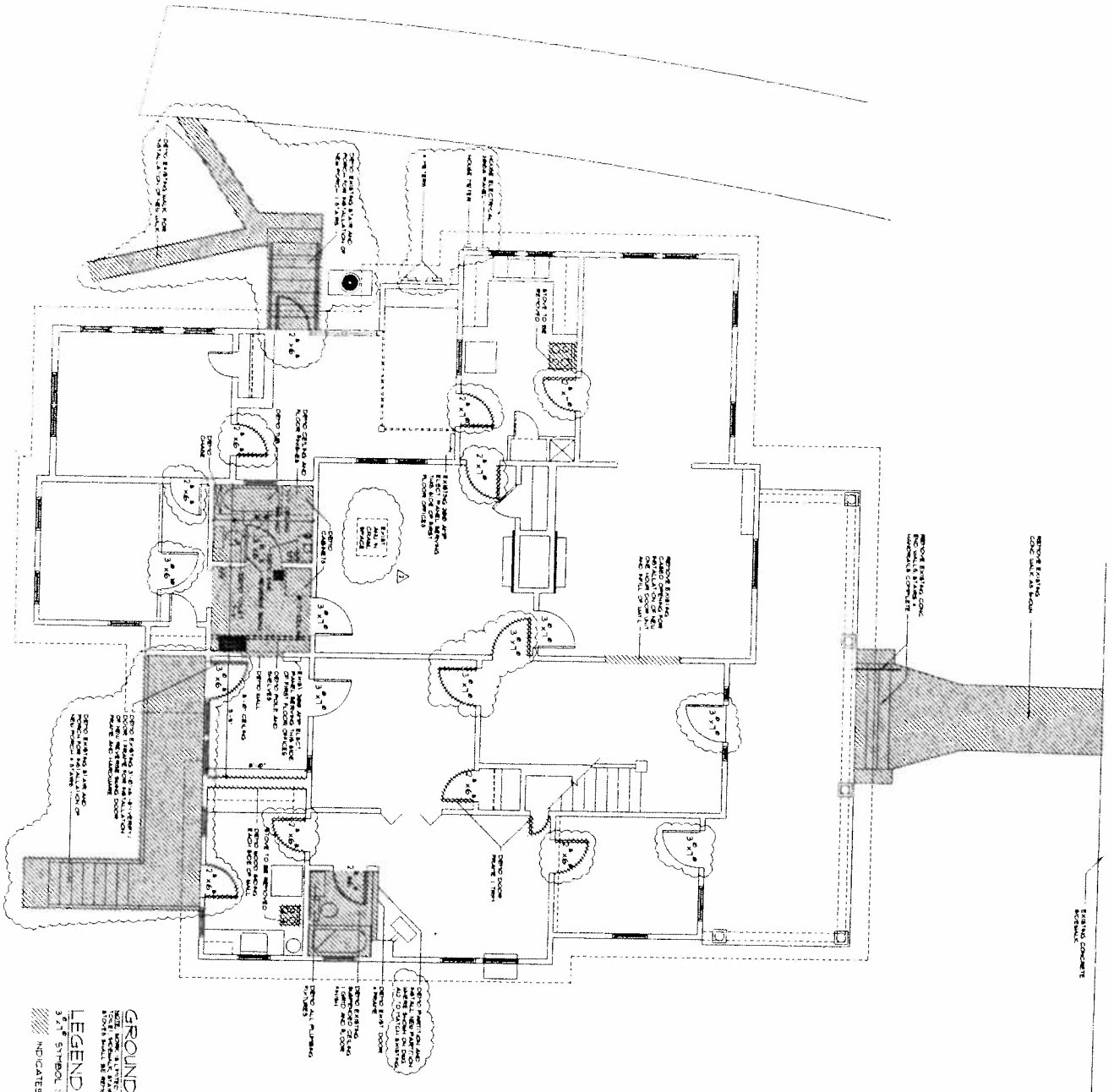
\$237,558.93

Paid

\$226,050.00

Due

\$11,508.93



GROUND FLOOR DEMO PLAN

DATE: JUN. 24, 2005
 PROJECT: 0335
 DRAWING NO: A1.1

LEGEND

3/4" SYMBOL INDICATES EXISTING DOOR SIZES

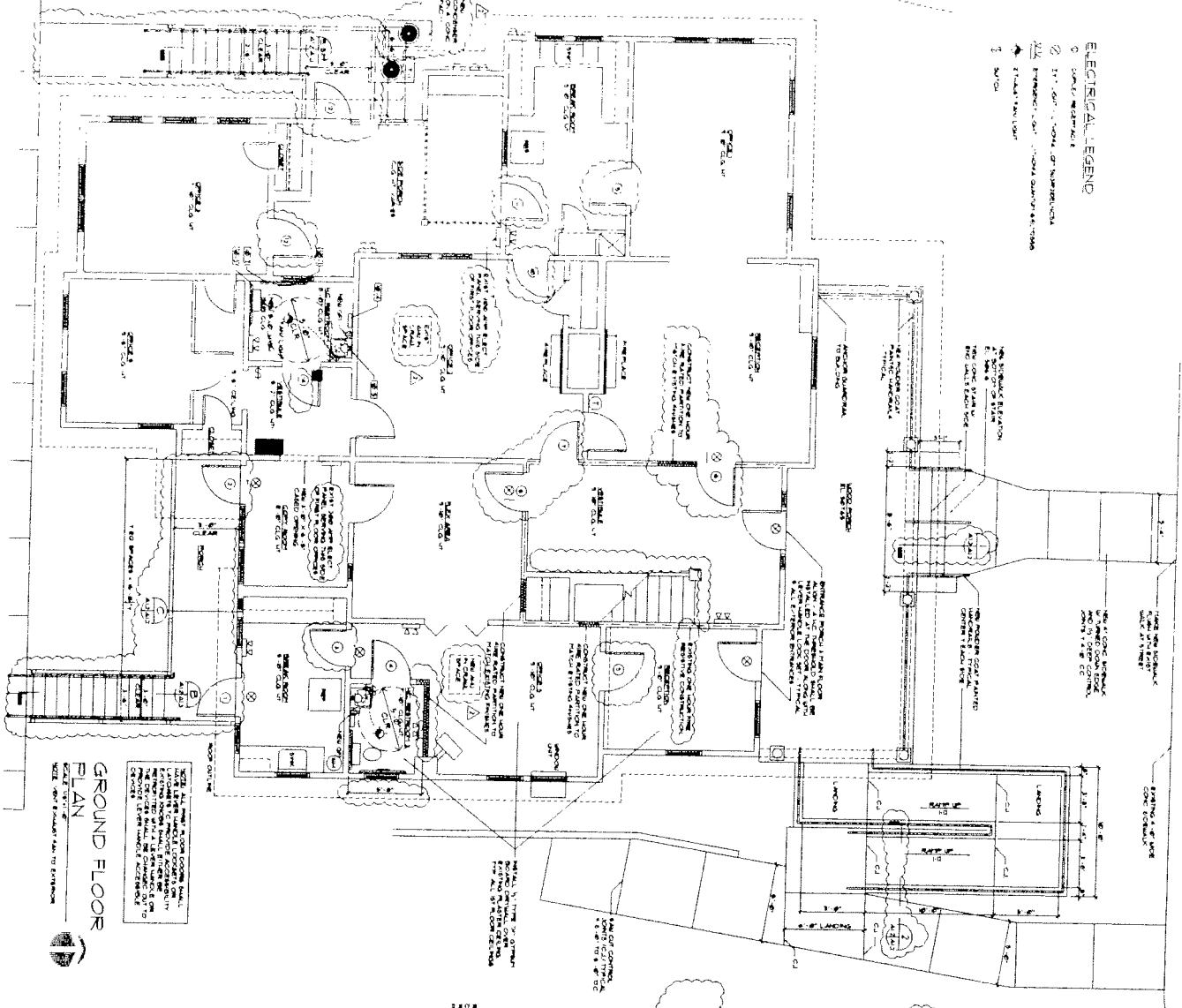
INDICATES AREA TO BE DEMOLISHED

SCOPE OF WORK

1. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN LIVING AREA AND HALLWAY AS SHOWN ON THIS PLAN.
2. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN BEDROOMS AS SHOWN ON THIS PLAN.
3. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN BATH AS SHOWN ON THIS PLAN.
4. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN KITCHEN AS SHOWN ON THIS PLAN.
5. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN DINING AREA AS SHOWN ON THIS PLAN.
6. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN HALLWAY AS SHOWN ON THIS PLAN.
7. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN ENTRY AS SHOWN ON THIS PLAN.
8. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN PORCH AS SHOWN ON THIS PLAN.
9. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN STAIRS AS SHOWN ON THIS PLAN.
10. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN CLOSET AS SHOWN ON THIS PLAN.
11. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN GARAGE AS SHOWN ON THIS PLAN.
12. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN DRIVEWAY AS SHOWN ON THIS PLAN.
13. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN FRONT PORCH AS SHOWN ON THIS PLAN.
14. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN REAR PORCH AS SHOWN ON THIS PLAN.
15. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN TERRACE AS SHOWN ON THIS PLAN.
16. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN PATIO AS SHOWN ON THIS PLAN.
17. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN BALCONY AS SHOWN ON THIS PLAN.
18. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN DECK AS SHOWN ON THIS PLAN.
19. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN PERGOLA AS SHOWN ON THIS PLAN.
20. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN SCREENED PORCH AS SHOWN ON THIS PLAN.
21. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN SUNROOM AS SHOWN ON THIS PLAN.
22. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN BREAKFAST ROOM AS SHOWN ON THIS PLAN.
23. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN PANTRY AS SHOWN ON THIS PLAN.
24. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN NOOK AS SHOWN ON THIS PLAN.
25. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN BREAKFAST ROOM AS SHOWN ON THIS PLAN.
26. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN PANTRY AS SHOWN ON THIS PLAN.
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29. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN PANTRY AS SHOWN ON THIS PLAN.
30. DEMOLISH EXISTING WALLS AND PARTIAL WALLS IN NOOK AS SHOWN ON THIS PLAN.

NO.	DATE	REVISION

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- ELECTRICAL LEGEND**
- SINGLE SWITCH
 - ⊗ 15 AMP. 20 AMP. OR 30 AMP. CIRCUIT BREAKER
 - ⊕ 15 AMP. 20 AMP. OR 30 AMP. CIRCUIT BREAKER
 - ⊖ 15 AMP. 20 AMP. OR 30 AMP. CIRCUIT BREAKER
 - ⊙ 15 AMP. 20 AMP. OR 30 AMP. CIRCUIT BREAKER

GROUND FLOOR PLAN

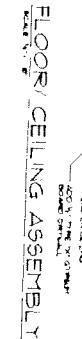
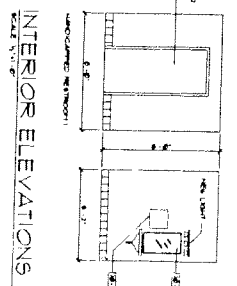


TOILET ROOM ACCESSORIES SCHEDULE

MARK	ITEM	MANUFACT	MODEL	REMARKS	MTG. INT.
0-1	TOILET TISSUE DISPENSER	SONORIX	B-714G		
0-2	TOILET SEAT	SONORIX	6-830B		
0-3	TOILET SEAT BOWL	SONORIX	6-830B		
0-4	PAPER TOWEL DISPENSER	SONORIX	6-830B		
0-5	INTERCOM	SONORIX	6-830B		

TOILET ROOM ACCESSORIES SCHEDULE NOTES

1. APPROVE REVISIONS AND ACCORDANCE TO EXISTING ROOMS.
 2. OTHER ACCESSORY ITEMS NOT SHOWN INCLUDE AS SHOWN AT ALL BATHROOM ACCESSORIES INC. (904) 241-1130.
 3. VERIFY ALL DIMENSIONS AND MATERIALS WITH ARCHITECT BEFORE TO PROCEED.



NO.	DATE	REVISION
1	01-24-05	ISSUE FOR PERMITS
2	02-03-05	ISSUE FOR CONSTRUCTION

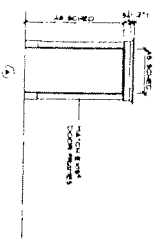
725 EAST PARK AVENUE
 RENOVATIONS TO EXISTING RESIDENCE
 725 E. PARK AVE.
 TALLAHASSEE, FLORIDA
GROUND FLOOR PLAN, TOILET ELEVATIONS & SCHEDULE

1382
 Timberline Road
 Suite C
 Tallahassee, FL
 32312
 850.893.1130
 License Number
 AA 000 1403

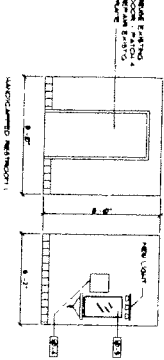
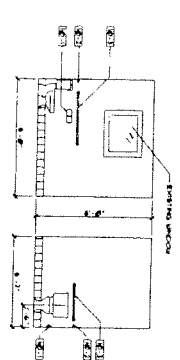
**Hicks
 Norrill
 Architect
 Incorporated**
 Architecture
 Programming
 Planning



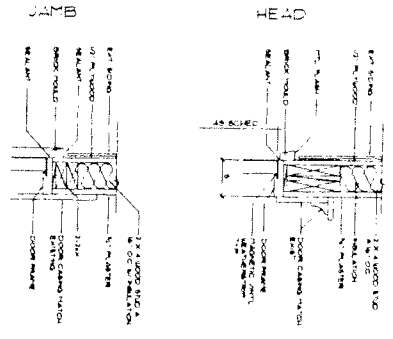
DOOR TYPES



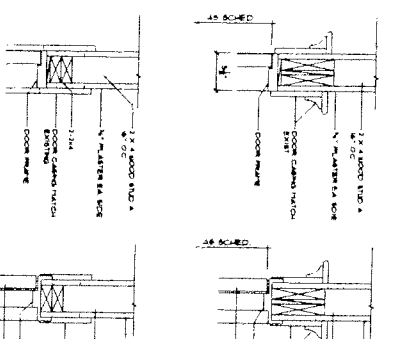
DOOR FRAME ELEVATION



INTERIOR ELEVATIONS



HEAD



JAMB



DOOR FRAME DETAILS

DOOR SCHEDULE						
NO	SIZE	TYPE	HALL	FRAMING	LABEL	REMARKS
1	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
2	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
3	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
4	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
5	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
6	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
7	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
8	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
9	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
10	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
11	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
12	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
13	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
14	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
15	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
16	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
17	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
18	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
19	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1
20	3'-0" x 6'-0" (1/2")	A	UD	A	UD	NOTE 1

DOOR SCHEDULE NOTES:
 1. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 2. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 3. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 4. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 5. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
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 15. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 16. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 17. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 18. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 19. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 20. ALL DOORS TO BE 1 1/2" MIN. THICKNESS

ABBREVIATIONS
 UD = UNFINISHED
 A = ALUMINUM
 W = WOOD

GENERAL DOOR NOTES:
 1. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 2. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 3. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 4. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 5. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 6. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
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 17. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 18. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 19. ALL DOORS TO BE 1 1/2" MIN. THICKNESS
 20. ALL DOORS TO BE 1 1/2" MIN. THICKNESS

DOOR HARDWARE SCHEDULE

HARDWARE SET 1
 3 HINGERS
 1 LOCKSET
 1 STOP
 STANLEY CB 1000
 4 1/2" x 1 1/4"
 FLAIR
 ROKWOOD 483

HARDWARE SET 2
 3 HINGERS
 1 LOCKSET
 1 STOP
 STANLEY CB 1000
 4 1/2" x 1 1/4"
 FLAIR
 ROKWOOD 483

HARDWARE SET 3
 3 HINGERS
 1 LOCKSET
 1 STOP
 STANLEY CB 1000
 4 1/2" x 1 1/4"
 FLAIR
 ROKWOOD 483

HARDWARE SET 4
 3 HINGERS
 1 LOCKSET
 1 STOP
 STANLEY CB 1000
 4 1/2" x 1 1/4"
 FLAIR
 ROKWOOD 483

HARDWARE SET 5
 3 HINGERS
 1 LOCKSET
 1 STOP
 STANLEY CB 1000
 4 1/2" x 1 1/4"
 FLAIR
 ROKWOOD 483

TOILET ROOM ACCESSORIES SCHEDULE			
MARK	ITEM	MANUFACT	MODEL
W-1	TOILET TISSUE DISPENSER	BOSSCK	B-1740
W-2	TOILET GRAB BAR	BOSSCK	B-1740
W-3	TOILET GRAB BAR	BOSSCK	B-1740
W-4	PLASTER TOILET DISPENSER	BOSSCK	B-1740
W-5	HINGERS	BOSSCK	B-1740

TOILET ROOM ACCESSORIES SCHEDULE NOTES:
 1. ALL ACCESSORIES TO MATCH OR BE COORDINATED WITH THE TOILET ROOM FINISHES
 2. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 3. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 4. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 5. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 6. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 7. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 8. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 9. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS
 10. ALL ACCESSORIES TO BE 1 1/2" MIN. THICKNESS

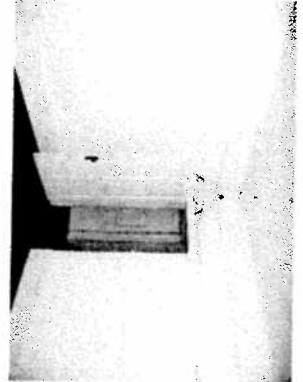
725 EAST PARK AVENUE
 RENOVATIONS TO EXISTING RESIDENCE
 725 E. PARK AVE.
 TALLAHASSEE, FLORIDA
 DOOR SCHEDULE, DETAILS, TOILET ELEVATIONS & SCHEDULE

1382
 Timberline Road
 Suite C
 Tallahassee, FL
 32312
 850.893.1130
 License Number
 AA 000 1403

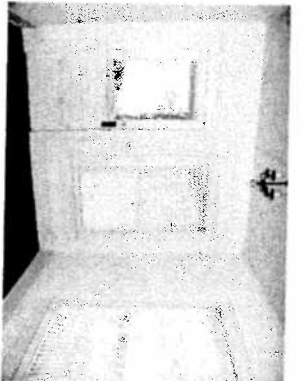
Hicks
 Norrich
 Architect
 Incoporated
 Architecture
 Programming
 Planning

DATE
 JAN 24 2005
 DRAWN BY
 JPL
 CHECKED BY
 JLN
 DWG NO
 A1.4

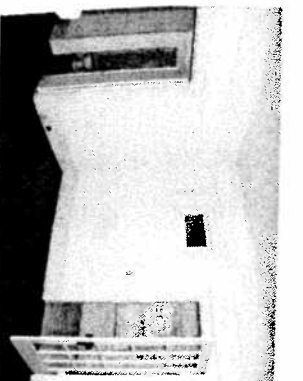
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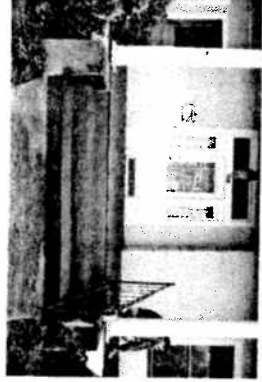
OFFICE 2
PHOTO # 1



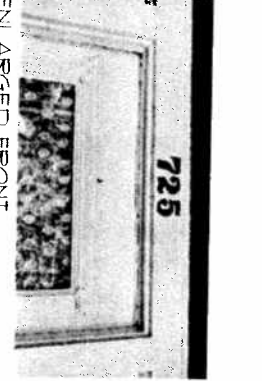
RECEPTION
PHOTO # 2



FLEX AREA
PHOTO # 3



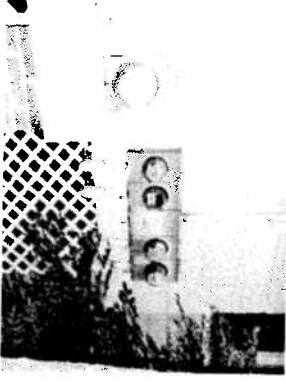
NORTH ELEVATION
PHOTO # 4



ENLARGED FRONT DOOR
PHOTO # 5



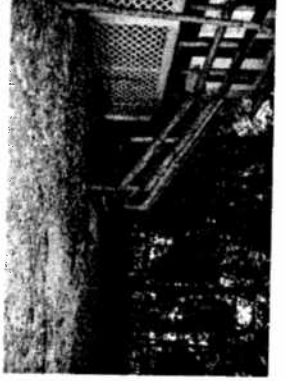
FRONT PORCH
PHOTO # 6



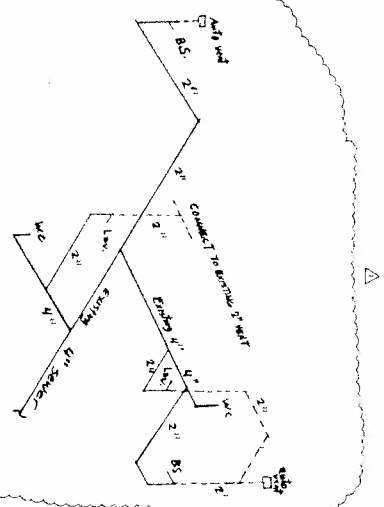
WEST ELEVATION
PHOTO # 7



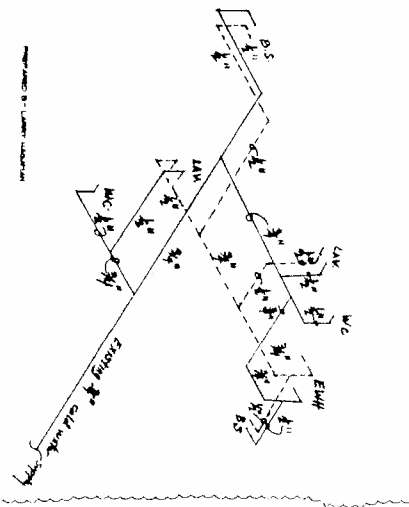
WEST SIDE STAIR ELEVATION
PHOTO # 8



REAR PORCH & STAIR
PHOTO # 9



RISER DIAGRAM SOIL WASTE & VENT



RISER DIAGRAM POTABLE WATER

725 EAST PARK AVENUE
RENOVATIONS TO EXISTING RESIDENCE
725 E. PARK AVE.
TALLAHASSEE, FLORIDA
PHOTOGRAPHS & RISER DIAGRAMS

1382
Timberlane Road
Suite C
Tallahassee FL
32312
850.893.1130
License Number
AA 000 1403

NO.	DATE	REVISION

DATE
JAN 24, 2005
PROJECT NO.
0355
DESIGNED BY
JAN
DRAWN BY
RW
CHECKED BY
JLH
DWG NO.
A1.5

CONSTRUCTION COST

PHASE II

***ELEVATOR SHAFT
ONLY (LOWER COST)***

Louis D. Callaghan

"Construction for a Lifetime"

809 Buena Vista Dr.

Tallahassee, FL 32304

Phone (850) 577-1889 Fax (850) 577 1898 Mobil (850) 570-1089

State of Florida Certified General Contractor

CGC 062591

June 26, 2006

Mr. Jerry Hicks

1382 Timberlane Road

Suite C

Tallahassee, Florida 32312

Re: 725 East Park Ave. Elevator Shaft

Dear Mr. Hicks,

This quote includes the estimated cost for constructing an elevator shaft and 4' well for a 2 story elevator.

Description of Estimate

Construct 8" masonry block 2 story shaft and well to contain hydraulic elevator. Shaft shall meet 2 hour fire rating. Work to include necessary demolition and restoration.

Qualifications and Assumptions

All final construction documents to be provided by registered Engineer or Architect.

Shaft to be independent of the existing frame structure.

Floor of well to be at existing grade level.

Exclusions

1. Engineering or Architectural fees.

Cost of Work

The total for this work is \$32,423. 00

Please call if there are any further questions regarding this matter.

Sincerely,


Louis D. Callaghan

Director

CONSTRUCTION COST

PHASE II

***ELEVATOR SHAFT
ONLY (HIGHER COST)***



June 28, 2006

Mr. Jerry Hicks
 Hicks Nation Architects
 1382 Timberlane Road, Suite C
 Tallahassee, Florida 32308

**RE: Proposed Elevator Shaft to Receive Elevator at 725 East Park
 Avenue Renovation
 Tallahassee, Florida**

Dear Mr. Hicks,

We are providing you with this quote for the construction of a 2-story elevator shaft for the proposed renovations regarding the above referenced project

- 8 CMU 2-story elevator shaft and pit
- Sump well
- Work to be demolished and structure supported and repaired as required
- Provide fire-rated ceiling enclosure at top of shaft
- Provide concrete foundation as detailed
- Finish exterior of shaft with furred drywall

Estimated cost of work \$34,800.00

Should you require additional information, please call.

Sincerely,

Walter Vidak
 Senior Project Manager

WV/amd

CONSTRUCTION COST

PHASE II

***ELEVATOR &
INSTALLATION ONLY
(LOWER COST)***


Schindler

June 26, 2006 Schindler Elevator Corporation

Hicks/Nation Architects
1383 Timberline Road
Tallahassee, Florida 32312

Attn: Olivier Chamel
Fax# 893-1132

Negotiation Number: 6431-N-708183AA
Project: 725 E. Park Avenue Building
Location: Tallahassee, FL 32308

Schindler Elevator Corporation is pleased to submit our proposal to furnish and install One (1) 330A Holeless Single Jack Hydraulic Elevator(s) for the sum of Thirty-Three Thousand Five Hundred Seventy-Seven Dollars and 00/100 (\$33,577.00), including tax.

The above proposal is based on our attached specifications summary that includes the following clarifications/exceptions.

We offer our proposal with the following clarifications:

- Quote based on our standard holeless application. A jack hole is not required.
- All corridor fixtures are installed in the elevator entrance jamb. No interface (block outs or cutouts) is required with finish front wall construction.
- Pit ladder by GC.
- Schindler supplies are standard Cedes infrared door protection device.
- Schindler supplies an integral sill system, which eliminates the contractor providing sill angles.
- We have not included temporary elevator service in our base cost. If temporary usage is required, we will supply the General Contractor with our standard temporary usage agreement, which will have to be signed prior to releasing the elevator equipment on temporary service. The Owner/General Contractor pays all temporary elevator permit fees directly to the State of Florida. We have included one final inspection in our base bid, see below. All temporary cab/hoistway entrance protection during temporary usage is to be supplied by others. If a temporary elevator is required, please contact Schindler Elevator for the temporary usage agreement form, which includes our daily charge and terms.
- Cab flooring by others.
- A 7'4" wide inside clear x 6' 0" deep inside clear hoistway is required.
- We will be providing 3'0" wide x 7'0" high single-slide hoistway doors and frames. Finishes for all hoistway doors and frames will be Baked Enamel Finish.

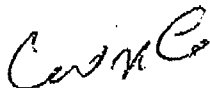


- We require a minimum of 12'3" of overhead clearance to the hoistway beam, which is provided by others.
- We have provided one (1) 2100# capacity /100FPM elevator with two (2) front in-line openings.
- Bid based on hoistway travel of 11'0".
- Bid based on an adjacent elevator machine room located at the first floor adjacent to the elevator hoistway.
- Pit depth requirement is 4'0" deep. Overhead requirement is 12'3".
- We have provided our standard cab finishes. No cab allowances are included in our base bid.
- Please note that our price is valid for 45 days due to the volatility of carbon steel and specialty steel prices.
- Please see attached our standard work by others page and our Specifications Summary page.
- Prices include one inspection visit per visit. Additional Florida inspections required due to no fault of Schindler Elevator Corporation but the omissions or failures of other trades will be billed at our standard billing rates.

For your convenience, we will provide you with an invoice equal to 25% of the above price upon acceptance of our proposal. Payment of the initial invoice is a condition precedent to production of materials.

Lead times- 2-3 weeks for approval drawings, once approved drawings and executed contract is returned, 6-8 weeks manufacturing lead-time.

Respectfully submitted,



Cort McCord
Schindler Elevator Corporation
2554 Capital Circle NE, Suite B-11
Tallahassee, Florida 32308
Office: 850-422-2278
Fax: 850-422-2278

Negotiation #: 708183-A-A
Unit(s) in Estimate: 01
Units in Bank: 01
Product Code: 113
Sales Office: 6431
Installation Office: 6431

Schindler Elevator Corporation
Hydraulic Elevator Specification Summary
 725 E. Park Avenue Building
 725 E. Park Avenue
 Tallahassee, FL 32308

Sales Rep Information
 Cort McCord
 2554 Capital Circle NE
 Suite B-11
 Tallahassee, FL 32308
 Phone: (850) 422-2258
 Fax: (850) 422-2278
 Cort.McCord@us.schindler.com

Operation:	Microprocessor Single Car	Opening Size:	3 Ft. 0.00 In. X 7 Ft. 0.00 In.
Application:	330A Holeless Single Jack	Cab Height:	8 Ft. 0 In.
Platform Type:	General Purpose	Cab Type:	125-Cab with Hung Panels
Capacity:	2100 Lbs	Pit Depth:	4 Ft. 0.000 In.
Speed:	100 FPM	Overhead:	12 Ft. 0.000 In.
Travel:	11 Ft. 0.000 In.	Platform Width:	6 Ft. 0 1/4 In.
Future Travel:	None	Platform Depth:	5 Ft. 4 In.
Stops:	2 (2 Front / 0 Rear)	Hatch Width:	7 Ft. 4.000 In.
Doors:	Single Speed Side Opening	Hatch Depth:	6 Ft. 0.000 In.
Power Supply:	208 Volts 60 Hz 3 Phase	Seismic Zone:	0

Cab:

Cab Panels: Plastic Laminate M999
Cab Walls: Baked Enamel E999
Cab Base: None
Base, Frieze, Revest: None
Front Return, Transom: #4 Stainless Steel
Cab Doors: #4 Stainless Steel
Canopy: Baked Enamel E050
Ceiling: SC02 Removable Flat
Cab Threshold: Aluminum
Threshold Extension: Not Required
Handrail Type: Round 1 1/2"
Handrail Finish: #4 Stainless Steel
Handrail Location: Rear
Handrail Row Qty: 1
Platform Recess: 0.375
Protective Pads: None
Cab Finished Floor: Carpet By Others

Features:

Audible Gong (Std)
 Low Oil Bypass (Std)
 Infrared Door Protection (Std)
 Phase Monitor Relay (Std)
 Independent Service/HES (Std)
 Soft Start
 Adjacent Machine Room
 Shutoff Valve Qty: 2
 Muffler
 QKS16 Door Operator
 9 Pound Rails Required
 Keyed Emergency Stop Switch
 Top Exit Switch
 ADA Compliant Phone
 Sliding Guide Shoes
 1 Speed Fan
 2 Hoistway Access Switches
 Firefighter's Service Phase 2
 Class B Fire Rating For Cab
 Larger Tank
 Pressure Switch
 Pit Ladder Source: GC

Entrances:

Emergency Escutcheons
Doors:
 (2) Baked Enamel
Frames:
 (2) Baked Enamel
Sills:
 (2) Aluminum
Sill Mounting:
 (2) Easy Match

Cab Fixtures:

Type: HT
Finish: Black Lexan with #4 Stainless Steel
 (1) L.E.D. Car Position Indicator
 Locking Service Panel
 (1) Car Lantern(s)
 Certificate Frame

Hall Fixtures:

Corridor Fixtures Type:
 HT-Jamb Mounted
Corridor Fixtures Finish:
 (2) #4 SS Push Buttons

New Product Service:

12 Months, 8 Hours Callback

This bid is subject to change after forty-five (45) days.

Visit Our Website at

www.us.schindler.com

PROPOSAL CONDITIONS

This Proposal is made subject to the following conditions:

Quotations are subject to change after 45 days.

A mutually agreeable form of contract (fully executed before a manufacturing date can be established in our factory) which includes the following provisions:

Our indemnity obligation will be limited to the extent of our negligence.

We will warrant our work hereunder for one year from completion or acceptance for beneficial use, whichever is earlier. Such express warranty will be in lieu of all other warranties, express or implied, including any warranties of merchantability or fitness for a particular purpose, and our sole obligation under the warranty will be to correct any nonconformance within a reasonable time following notice.

We will not be liable in any event for direct damages in excess of the amount of our Subcontract, whether in contract or in tort, nor in any event for special, indirect, consequential or liquidated damages of default or delay.

The purchaser agrees to accept in satisfaction of insurance requirements for the project a standard Schindler Certificate of Insurance with "per occurrences" limits not to exceed \$2 million. Schindler will not name additional insureds.

Partial waivers of lien for payments received by Schindler will be issued on a mutually agreeable form if the Purchaser so requests in writing. Schindler shall issue a full waiver of lien on a mutually agreeable form after the receipt of all monies to which it is entitled under this Agreement if the Purchaser so requests in writing.

Agreeable terms of payment shall be established in accordance with the following payment schedule: 25% of the above sum upon presentation of initial invoice; 95% progress payments based upon work in place and materials delivered and stored on or off site; balance within 30 days of completion of work hereunder. Payment of the initial invoice is a condition precedent to the manufacture of materials. Payment of at least 95% is a condition precedent to equipment turnover.

Work shall be performed by Schindler during regular working hours on regular working days, and overtime by Schindler will be compensated at Schindler's standard rates.

We shall not be liable for any loss, damage, detention or delay, due to any cause beyond our reasonable control or caused by fires, floods, labor troubles, strikes, lockouts, civil or military authorities or government regulations or restrictions or, in any event, for consequential damages. Dates for the performance or completion of work shall be extended to the extent of such delays.

In the case of delay in construction, you agree to pay for off-site storage of equipment and additional handling should on-site storage not be available. Our price assumes one mobilization. You agree to pay any other increase in cost resulting from delays in construction.

If an inground borehole is required to accommodate the jack unit, our bid shall be based on the assumption that the hole is drilled in normal uncontaminated soil, sand or gravel, using a truck mounted drilling rig. Adequate access will be provided for this rig. Should latent or concealed conditions be encountered in the performance of the work below the surface of the ground or should concealed or unknown conditions in an existing structure be at variance with conditions indicated by the contract documents, or other materiality from those ordinarily encountered and generally recognized as inherent in work of the character provided for in this contract be encountered, we will be compensated for all additional costs for labor and material to overcome such obstacles. The additional costs shall be the difference between our estimate for the bid and our actual cost incurred and shall be billed at our standard billing rate. The time to complete the installation shall be extended to include the additional time required to overcome these obstacles while drilling the hole.

Satisfactory reference as to credit must be furnished including bank and bonding company references.

You agree to pay, as an addition to the price stated herein, the amount of any tax, or increase of any tax, based upon the sale, use, ownership or possession of equipment imposed by any law enacted after the date of this proposal, or imposed upon you by any existing law.

Any proprietary material, information, data or devices contained in the equipment or work provided hereunder, or any component or feature thereof, remains our

property. This includes, but is not limited to, any tools, devices, manuals, software (which is subject to a limited license for use in this building/premises/equipment only), modems, source/ access/ object codes, passwords and the Schindler Remote Monitoring feature ("SRM") (if applicable) which we will deactivate and remove if the Agreement is terminated.

Our proposal does not include any provision for Prevailing Wages (Davis Bacon or State or Local jurisdiction). You must immediately notify Schindler Elevator Corporation if such provisions apply to this project.

Preparatory Work

You agree to furnish the following in compliance with all local and state regulations in sufficient time in order not to delay the installation:

It is understood that the hoistways are to be prepared and properly enclosed, wiring is to be brought to our controller and other conditions, met, as noted in this proposal.

Sufficient data within thirty days after entering into the contract, including guarantee of the hoistway or wellway sizes and current characteristics to permit manufacture of all parts of the equipment.

A legal hoistway or wellway plumb from top to bottom within a variation of one inch per one hundred feet, and provided with sufficient clearance at the top and bottom of the shaft for proper installation of machinery, inside edge of door sill supports shall be parallel, level and plumb from the center line of the hoistway, with allowable variation of one quarter inch.

Suitable machine room of adequate size for the equipment, including proper ventilation, concrete floors or metal gratings and concrete foundations.

A pit of adequate depth provided with the necessary drains and waterproofing.

Adequate supports to carry the load of all equipment, including loads imposed by machine beams or overhead sheave beams, rail brackets, buffers, etc., as shown on our drawings.

Suitable connections from the power mains to our controller, plus necessary cutouts, line switches, lightning arresters, etc., as required to meet your local requirements.

Electric power of the same characteristics as the permanent supply for construction, testing and adjusting. Outlets at the center of hoistway for lighting the car.

Access doors to machine room and pit. Ladders to machine room, pit and buffers; also necessary guards, except cable guards and counterweight guards in the pit, all as required by applicable codes.

All cutting, patching and chasing of walls, beams, masonry, plastering work and painting, together with all repairs made necessary by such work.

Protection to hoistway or wellway during time equipment is being installed.

Temporary Use

Should the service of the elevator(s) be required before final completion, you agree to pay for any labor and material required for us to arrange the elevator(s) for temporary service and agree to sign our temporary acceptance form and be bound by the terms and conditions thereof and pay all costs of the power and operation and leave the elevator equipment clean and in the same condition in which it was at the time it was placed in service.

Furthermore, you agree that the completion schedule of each elevator used by you before final acceptance shall be extended by the amount of time necessary (no less than the period of temporary usage), to complete the installation and make final adjustments during regular working hours. During said period of extension, you agree to allow us the uninterrupted use of the car.

You agree that you shall be responsible for any liability or damages arising from the temporary use and operation of the elevator.

PROJECT: 725 E. Park Avenue Building

June 26, 2006

SCHINDLER BID CLARIFICATIONS

Our Proposal is predicated on delivering materials by October 26, 2006 with installation completed by December 26, 2006. Installation work shall be performed during regular working hours of regular working days after hoistway(s) and machine room(s) are "ready". The purpose of these clarifications is to assist you and your superintendent in the preparation of work to be completed by other trades and to define hoistway ready.

- (A) "Ready" is defined to include the following work by other trades for the hydraulic/traction elevators.

OR

"Ready" is defined to include work by others as shown in the plans and in Section _____, pages _____, along with the following additional work by other trades for the hydraulic/traction elevator(s).

- (1) Hoistway plumb – bracket supports and clear hoistway(s) (complying with OSHA) plumb from top-to-bottom with variations not to exceed 1-inch.
- (2) Power for construction (220 volt, single phase, for welders and hoists) and sufficient power to run elevators(s) at the same time (_____ volts, 3 phase, 60 cycles). Machine room complying with code with disconnect switch(es) and power feeder(s) (brought to the elevator controller) to suit Schindler standard equipment.
- (3) Sump pump or drain in each elevator pit (cannot be connected directly to sewer).
- (4) If applicable, Schindler recommends that sound deadening material be provided between layers of sheet rock in all walls around machine rooms.
- (5) Sill support angles.
- (6) If steel framed hoistway with floor heights > 15'0", structural support at 8'0" to 15'0" (maximum) above finished floor level for Schindler entrance strut angles.
- (7) Grouting (Immediately in sequence after Schindler installs entrances).
- (8) Barricades (per OSHA requirements).
- (9) Toe guards (per OSHA requirements).
- (10) Hoist beam(s).
- (11) Shaft wall installed on three (3) sides.
- (12) Uninterrupted use of hoistways(s) and machine room(s).
- (13) Dried-in hoistway(s) and machine room(s).
- (14) Machine room temperature between 55° and 90° F. 55 and 90 F.
- (15) Location of holes(s) and removal of hole spoils after Schindler completes drilling.
- (16) If applicable, for remote machine rooms provide clear access above ceiling or furnish accessible trench in floor for "oil line and wiring duct" from machine room to elevator hoistway.
- (17) If applicable, divider beams between adjacent cars at all floor levels and in the overhead area.
- (18) If applicable, intermediate bracket supports between floor(s) and in the overhead area may be required.
- (19) The following work must be completed before elevator(s) are placed into automatic operation. (Prior to State Inspection):
 - If applicable, field upfitting of interior cab walls.
 - Finish cab flooring (3/8" maximum thickness).
 - If applicable, smoke detectors with signals to elevator controllers(s).
 - If applicable, emergency power generator and automatic transfer switch with capacity to run _____ elevator(s) at the same time.
 - Bevel all hoistway(s) projections exceeding two inches (2").
 - Pit ladder(s).
 - Telephone line to each elevator controller able to receive incoming calls per ASME A17.1, Rule 211.1.
 - Seal all penetrations through 2-hour (or greater) rated walls with Code approved material.
 - Per the 1993 National Electrical Code, cab light circuits, all receptacles installed in machine room, machinery space and pits must have Ground Fault Circuit Interrupter Protection (GFCI).
 - Drywall liner behind all hail lanterns.
 - If applicable, conduit and wire runs from elevator(s) to status panel.
 - Seal all penetrations through 2-hour rated walls with Code approval material.
- (20) If applicable, for Vertical Bt-Parting freight entrances, provide channel frames and sills at all openings along with separate disconnect switch and feeder to door control panel.

CONSTRUCTION COST

PHASE II

***ELEVATOR &
INSTALLATION ONLY
(HIGHER COST)***

ThyssenKrupp Elevator



June 14, 2006

Oliver Chanel
Hicks National Architects
1382 Timberlane Road Suite C
Tallahassee, FL 32312

Regarding: 725 East Park Ave. Bldg

Dear Oliver:

ThyssenKrupp Elevator Corp. is pleased to quote the Budget price of \$35,000 for the complete installation of (1) one 2100# 2-landing hydraulic passenger elevator system. Please see the attached electrical information regarding the elevator.

The cab finishes will be as follows:

1. TKLP cab design flat plastic laminate on the side and rear walls
2. Standard drop ceiling with fluorescent lighting.
3. Stainless steel #4 front returns, cab doors and harness.
4. Stainless steel lobby doors and frames.

Thank you for the opportunity to quote this budget price. If you should have any questions please do not hesitate to call me at 850-576-0161.

Sincerely,

A handwritten signature in black ink that reads "Matt Ellinor".

Matt Ellinor
District Sales Manager

CONSTRUCTION COST

PHASE II

***INTERIOR
IMPROVEMENTS***

Louis D. Callaghan

"Construction for a Lifetime"

809 Buena Vista Dr.

Tallahassee, FL 32304

Phone (850) 577-1889 Fax (850) 577-1898 Mobil (850) 570-1089

State of Florida Certified General Contractor

CGC 062591

June 27, 2006

Mr. Jerry Hicks

1382 Timberlane Road

Suite C

Tallahassee, Florida 32312

Re: 725 East Park Ave. Budget estimate 2nd Floor Renovation

Dear Mr. Hicks,

This quote includes the estimated cost for renovation of 6 rooms having 1200sf of office space on the 2nd floor of 725 E. Park.

Description of Estimate

Repairs to windows and doors, plaster, floors; painting and caulking; tile & vinyl floors; fire alarm system and fire doors to hall; new HVAC, HC rest room, and electrical including fixtures.

Qualifications and Assumptions

All final construction documents to be provided by registered Engineer or Architect.

Exclusions

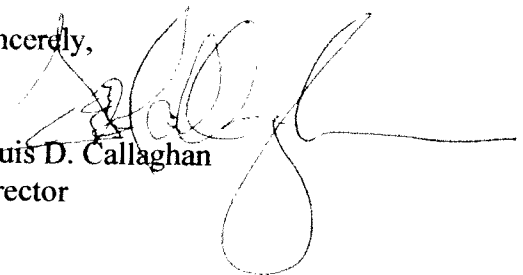
1. Engineering or Architectural fees.

Cost of Work

The total for this work is \$107,010. 00

Please call if there are any further questions regarding this matter.

Sincerely,


Louis D. Callaghan
Director

**dBKSM&N Tallahassee Building Partnership, LLP
Construction & Project Management Budget Analysis**

Second Floor Renovation - 725 E. Park Ave

		Proposal Amt.
Planning	Permits	\$1,250.00
Demolition	Hazardous Material Abatement	\$650.00
	Interior Demo	\$3,500.00
Framing	Bath framing repair Labor & Material	\$725.00
Ext. Windows	Windows repair & Misc	\$1,150.00
Electrical Systems	Electrical Labor & Material	\$4,250.00
	Electrical Fixtures Budget	\$1,250.00
	Fire Alarm	\$17,000.00
Plumbing Systems	Plumbing Labor & Materials	\$2,850.00
	Water Heaters	\$475.00
HVAC System	HVAC System	\$8,500.00
Insulation & Drywall	Drywall Labor & Material	\$4,250.00
	Insulation	\$1,550.00
Exterior Veneer	Repair Siding & Trim Materials & Labor	\$1,250.00
Floor Covering	Hardwood Flooring Refinishing	\$5,643.75
	Vinyl Flooring Labor & Materials	\$1,050.00
Tile & Ceramics	Tile Flooring Materials	\$850.00
Paint Finishes	Paint Labor & Material	\$5,500.00
Door & Closet Hardware	Door Hardware & Labor	\$825.00
	Fire rated doors & closers	\$2,800.00
Bath Hardware	Bath Hardware Labor	\$125.00
	Bath Hardware Materials	\$1,208.30
Construction Clean Up	Clean Up - Daily	\$1,960.00
	Clean Up - Final	\$875.00
Project Insurance	Project Liability Insurance	\$1,200.00
Jobsite Facilities	Portable Restrooms	\$425.00
Miscellaneous	Miscellaneous	\$500.00
Supervision	Supervision - 8 weeks	\$6,048.00
	Punchlist Allowance	\$250.00
Company Overhead & Margin	Company Overhead	\$8,558.88
	Company Margin	\$17,117.76
	Contingency	\$3,423.55
	Total Estimated Cost	\$107,010.24

PHASE II

WITHOUT ELEVATOR

125 EAST PARK AVENUE 2ND FLOOR RENOVATIONS TO EXISTING RESIDENCE TALLAHASSEE, FLORIDA

**Hicks
Nation
Architects
Incorporated**
Architecture
Programming
Planning

1382
Timberlane Road
Suite C
Tallahassee, FL
32312
850-893-1130
License Number
AA 000 1403

SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT IS TO RENOVATE THE EXISTING 2ND FLOOR OF THE RESIDENCE AT 125 EAST PARK AVENUE, TALLAHASSEE, FLORIDA. THE WORK WILL INCLUDE THE REMOVAL OF EXISTING PARTITIONS, WALLS, AND CEILING, AND THE INSTALLATION OF NEW PARTITIONS, WALLS, AND CEILING. THE WORK WILL ALSO INCLUDE THE INSTALLATION OF NEW FLOORING AND PAINTING.

BUILDING CODE SUMMARY

ALL WORK SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, AS AMENDED. THE WORK SHALL BE SUBJECT TO THE APPROVAL AND INSPECTION OF THE LOCAL BUILDING DEPARTMENT. THE WORK SHALL BE SUBJECT TO THE APPROVAL AND INSPECTION OF THE LOCAL BUILDING DEPARTMENT. THE WORK SHALL BE SUBJECT TO THE APPROVAL AND INSPECTION OF THE LOCAL BUILDING DEPARTMENT.

EXISTING CONDITIONS

THE EXISTING 2ND FLOOR OF THE RESIDENCE AT 125 EAST PARK AVENUE, TALLAHASSEE, FLORIDA, IS A SINGLE-FAMILY RESIDENCE. THE EXISTING 2ND FLOOR IS APPROXIMATELY 1,200 SQUARE FEET IN AREA. THE EXISTING 2ND FLOOR IS CURRENTLY USED AS A LIVING AREA. THE EXISTING 2ND FLOOR IS CURRENTLY USED AS A LIVING AREA. THE EXISTING 2ND FLOOR IS CURRENTLY USED AS A LIVING AREA.

RENOVATION WORK

THE RENOVATION WORK FOR THIS PROJECT WILL INCLUDE THE REMOVAL OF EXISTING PARTITIONS, WALLS, AND CEILING, AND THE INSTALLATION OF NEW PARTITIONS, WALLS, AND CEILING. THE WORK WILL ALSO INCLUDE THE INSTALLATION OF NEW FLOORING AND PAINTING. THE RENOVATION WORK FOR THIS PROJECT WILL INCLUDE THE REMOVAL OF EXISTING PARTITIONS, WALLS, AND CEILING, AND THE INSTALLATION OF NEW PARTITIONS, WALLS, AND CEILING.

FLOOR/CEILING ASSEMBLY

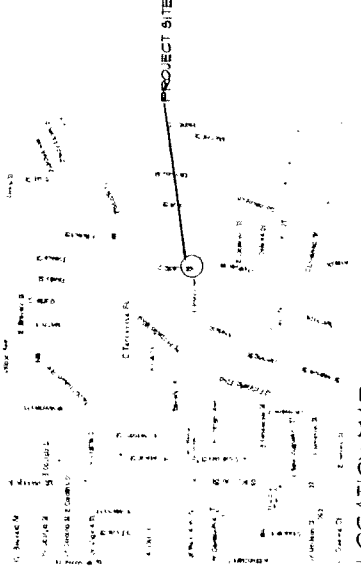
THE FLOOR/CEILING ASSEMBLY FOR THIS PROJECT WILL BE AS FOLLOWS: FLOOR: 1/2" X 3/4" OAK PARQUET FLOORING OVER 1" X 2" JOISTS. CEILING: 5/8" X 8" PLASTER OVER 2" X 4" JOISTS. THE FLOOR/CEILING ASSEMBLY FOR THIS PROJECT WILL BE AS FOLLOWS: FLOOR: 1/2" X 3/4" OAK PARQUET FLOORING OVER 1" X 2" JOISTS.

INDEX TO DRAWINGS

NO.	DATE	TITLE
01	05/21/06	CONTRACT
02	05/21/06	EXISTING FLOOR PLAN
03	05/21/06	PROPOSED FLOOR PLAN
04	05/21/06	DOOR SCHEDULE
05	05/21/06	WINDOW SCHEDULE

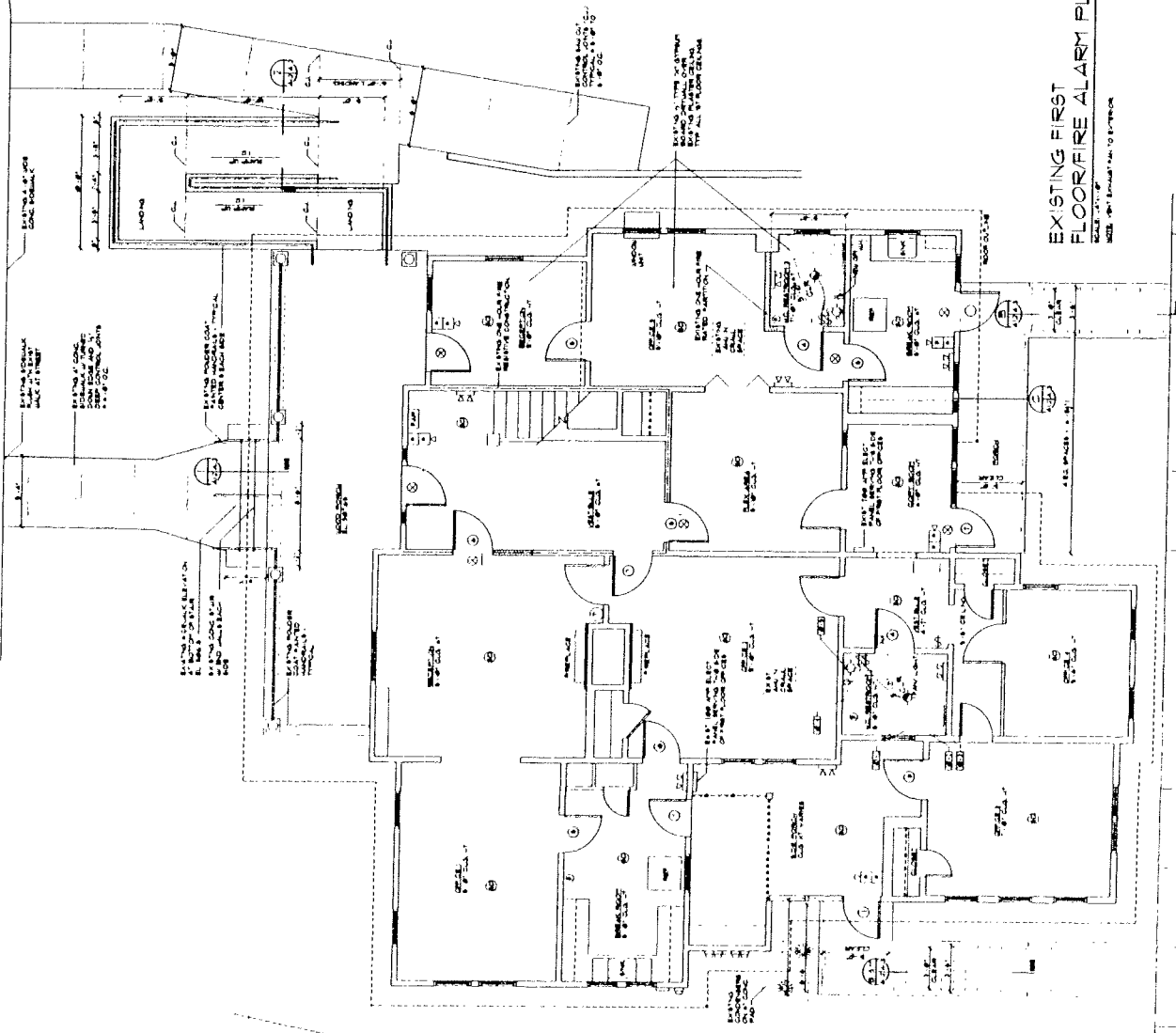
2ND FLOOR RENOVATION TO
EXISTING OFFICE
725 E. PARK AVENUE
TALLAHASSEE, FLORIDA

JUNE 21, 2006
HNA NO. 0609



LOCATION MAP

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EXISTING FIRST FLOOR FIRE ALARM PLAN

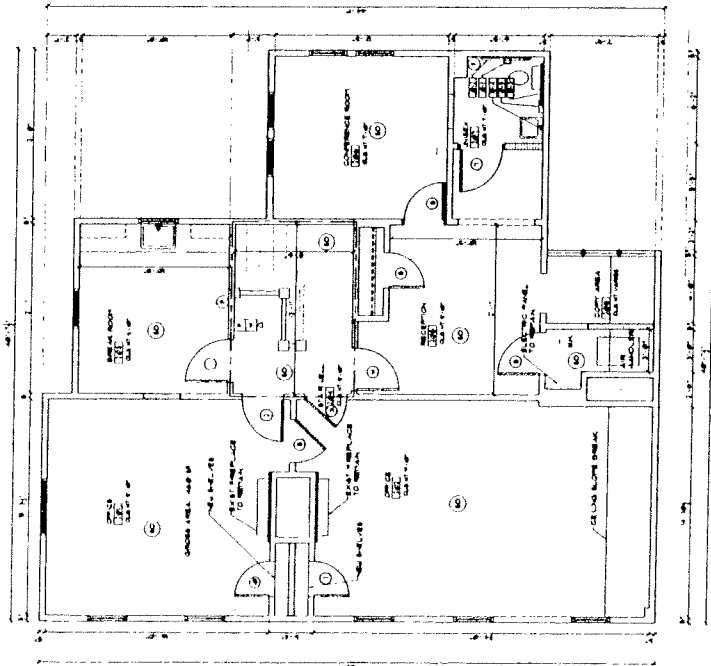


- ELECTRICAL LEGEND**
- SMOKER DETECTOR
 - ⊕ PULL STATION
 - ⊕ MAN. CALL POINT
 - ⊕ BELL
 - ⊕ BATTERY
- FIRE ALARM SYSTEM LEGEND**
- ⊕ FIRE ALARM PANEL
 - ⊕ SMOKE DETECTOR
 - ⊕ PULL STATION
 - ⊕ BELL
 - ⊕ BATTERY
 - ⊕ BELL RINGER

725 EAST PARK AVENUE
 RENOVATION TO EXISTING OFFICE
 725 E. PARK AVE
 TALLAHASSEE, FLORIDA
 EXISTING FIRST FLOOR / FIRE ALARM PLAN

JUN 21, 2006
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 JUN 21, 2006
 JUN 21, 2006

HICKS NATION
 Architects Incorporated
 Architecture
 Programming
 Planning
 1382
 Timberlane Road
 Suite C
 Tallahassee, FL
 32312
 850 893 1130
 License Number
 AA 000 1403



SECOND FLOOR PLAN

PARTITION LEGEND

- 1. 1/2" Gypsum Board
- 2. 5/8" Gypsum Board
- 3. 1" Gypsum Board
- 4. 1 1/2" Gypsum Board
- 5. 2" Gypsum Board
- 6. 2 1/2" Gypsum Board
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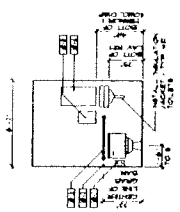
FIRE ALARM SYSTEM LEGEND

- 1. Fire Alarm Panel
- 2. Fire Alarm Pull Station
- 3. Fire Alarm Bell
- 4. Fire Alarm Horn
- 5. Fire Alarm Speaker
- 6. Fire Alarm Control Panel
- 7. Fire Alarm Control Unit
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ELECTRICAL LEGEND

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H.C. TOILET ELEVATION



TOILET ROOM ACCESSORIES SCHEDULE NOTES

- 1. ACCORRENT ALL ACCESSORIES TO THIS SCHEDULE.
- 2. OTHER ACCESSIBLE MANUFACTURE SELECT AS SHOWN IN MANUFACTURE SCHEDULES AND NOTES.
- 3. SEAT HEIGHT IS 17" UNLESS NOTED OTHERWISE.

MARK	ITEM	MANUFACT. CODE	REMARKS	W.G. #
0-1	TOILET SEAT	B-1040	5" WIDE - COATED	8 TO 10
0-2	TOILET SEAT	B-1040	5" WIDE - COATED	10 TO 12
0-3	TOILET SEAT	B-1040	5" WIDE - COATED	12 TO 14
0-4	TOILET SEAT	B-1040	5" WIDE - COATED	14 TO 16
0-5	TOILET SEAT	B-1040	5" WIDE - COATED	16 TO 18

ROOM FINISH SCHEDULE NOTES

- 1. REPLACE DAMAGED FINISH TO MATCH EXISTING.

NO.	SPACE TITLE	FLOOR	BASE	WALL	CEILING	DOOR	FINISH	REMARKS
0-1	CONFERENCE ROOM	01	01	01	01	01	01	
0-2	RECEPTION	01	01	01	01	01	01	
0-3	OFFICE	01	01	01	01	01	01	
0-4	RESTROOM	01	01	01	01	01	01	
0-5	TOILET	01	01	01	01	01	01	
0-6	COPY AREA	01	01	01	01	01	01	

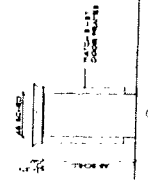
Hicks Nation Architects Incorporated
 Architecture
 Programming
 Planning
 1382
 Timberlane Road
 Suite C
 Tallahassee, FL
 32312
 850.493.1130
 License Number:
 AA 000 7403

**725 EAST PARK AVENUE
 2ND FLOOR RENOVATION TO EXISTING OFFICE
 TALLAHASSEE, FLORIDA
 225 E. PARK AVE
 2ND FLOOR PLAN, SCHEDULES & TOILET ELEVATION**

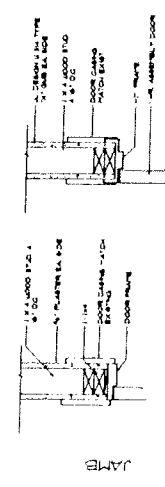
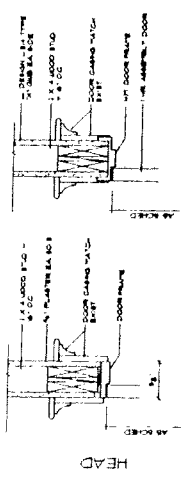
JUNE 21, 2006
 0609
 JMN
 DEC
 2006
A2.1



DOOR TYPES



DOOR FRAME ELEVATION



DOOR FRAME DETAILS

DOOR SCHEDULE						
NO	SIZE	TYPE	MATL	FINISH	LABE	REMARKS
1	3'-0" x 8'-0" (A)	A	UD	A	1	NOTE 1
2	3'-0" x 8'-0" (B)	A	UD	A	2	NOTE 2
3	3'-0" x 8'-0" (C)	A	UD	A	3	NOTE 3
4	3'-0" x 8'-0" (D)	A	UD	A	4	NOTE 4
5	EXISTING TO RE-AN					NOTE 5
6	1'-0" x 8'-0" (A)	A	UD	A	1	NOTE 6
7	1'-0" x 8'-0" (B)	A	UD	A	2	NOTE 7
8	EXISTING TO RE-AN					NOTE 8
9	EXISTING TO RE-AN					NOTE 9
10	EXISTING TO RE-AN					NOTE 10

DOOR SCHEDULE NOTES:

- 1. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 2. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 3. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 4. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:

GENERAL DOOR NOTES:

- 1. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 2. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 3. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 4. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:

DOOR HARDWARE SCHEDULE

- 1. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 2. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 3. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:
- 4. ALL DOORS TO BE FINISHED WITH THE FOLLOWING:

Hicks Nation Architects Incorporated
 Architecture
 Programming
 Planning
 1382
 Timberlane Road
 Suite C
 Tallahassee, FL
 32312
 850.933.1130
 License Number
 AA 000 1403

**725 EAST PARK AVENUE
 2ND FLOOR RENOVATION TO EXISTING OFFICE
 725 E. PARK AVE
 TALLAHASSEE, FLORIDA
 DOOR SCHEDULE DETAILS & INTERIOR ELEVATIONS**

DATE: JUNE 21, 2006
 PROJECT NO: 0609
 DRAWING NO: 0609
 DRAWN BY: JMN
 CHECKED BY: GEC
 DATE: JUN 21, 2006

A2.2

*PHOTOS BEFORE
PHASE I*



725 East Park Avenue before first floor renovation
Before ramp and handicap accessible parking



725 East Park Avenue before first floor renovation
Before compliant stairs

*PHOTOS AFTER
PHASE I*



725 East Park Avenue after first floor renovation
After new handicap accessible parking



725 East Park Avenue after first floor renovation
After new code compliant stairs