

SITE LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- RAMP
- ▨ CONCRETE FLOOR
- ▨ GRAVEL/ CRUSHED SHELL
- ▨ OLD CHICAGO BRICK
- ▨ CONCRETE PAVER
- ▨ PLANTING
- ⊗ CHILD BARRIER GATES
- ADA ACCESSIBILITY ROUTE
- PROPERTY LINE

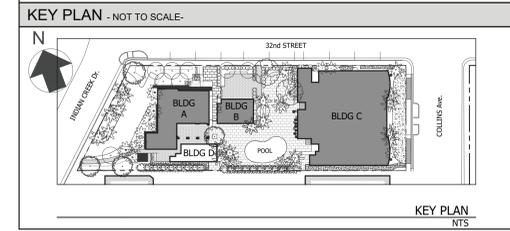
CITY OF MIAMI BEACH PUBLIC WORKS NOTES

THE CITY'S INSPECTOR WILL DETERMINE THE MAGNITUDE OF THE REPLACEMENT.

A - REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
 B - RECONSTRUCT SWALE/SOD ALONG THE ENTIRE PROPERTY.
 C - MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE 5-III ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
 D - ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
 E - ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.

CITY OF MIAMI BEACH PLANNING & ZONING NOTES

ALL FDC'S SHALL BE POLISHED CHROME.



FLOOD MANAGEMENT

TOP OF GROUND FLOOR SLAB (BLDG 'D')	+4.95' (NGVD)
TOP OF FINISHED GROUND FLOOR (BLDG 'D')	+5.00' (NGVD)
LOWEST FINISHED FLOOR ELEVATION OF HABITABLE SPACE:	+5.00' (NGVD)
LOWEST GRADE ELEVATION ADJACENT TO BUILDING 'D':	+3.75' (NGVD)
HIGHEST GRADE ELEVATION ADJACENT TO BUILDING 'D':	+4.98' (NGVD)
LOWEST ELEVATION OF EQUIPMENT SERVICING BUILDING 'D':	+9.00' (NGVD)
CROWN OF ROAD ELEVATION (INDIAN CREEK DR):	+3.81' (NGVD)

REFER TO SHEETS FL 1 & FL 2 FOR FLOOD BARRIER PLANS & DETAILS.

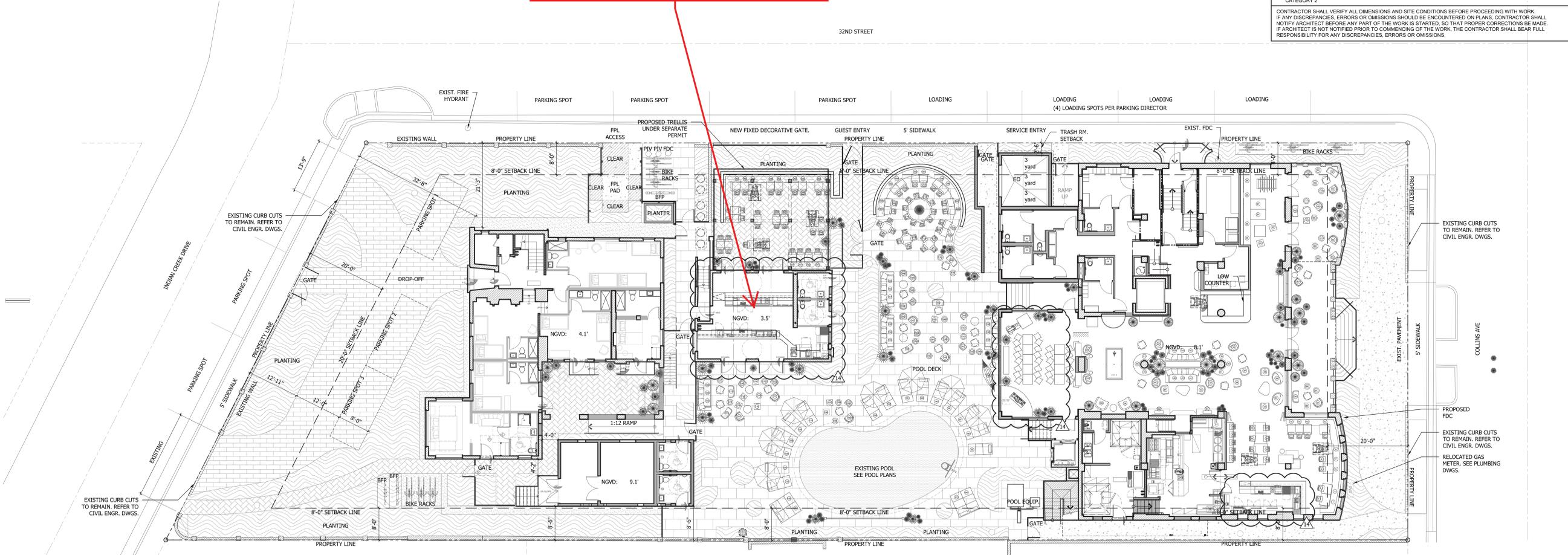
FLOOD DATA

FLOOD ZONE:	AE
BASE FLOOD ELEVATION (BFE):	+8.87' NGVD
DESIGN FLOOD ELEVATION (DFE):	BFE + 12" = +9.07' NGVD
FIRM NUMBER:	12086G008L
ALL MATERIALS IN DRY FLOOD PROOF AREAS BELOW +9.07' NGVD SHALL BE WATER RESISTANT AND SHALL COMPLY WITH F.E.M.A. BULLETIN NO. 2 - 2008 REFER TO SHEETS FL 1 & FL 2 FOR REFERENCE.	

- NOTES:**
1. THE BUILDING WILL BE DESIGNED TO BE DRY FLOOD PROOFED IN ACCORDANCE WITH ASCE 24, CATEGORY 2 REFER TO FLOOD PLANS FOR LOCATION.
 2. ALL CONSTRUCTION AND FINISHES OUTSIDE THE DESIGNED DRY FLOODPROOFED AREA SHALL BE FLOOD RESISTANT MATERIALS IN COMPLIANCE WITH TABLES 5-1 AND 1-1 OF ASCE 24.
 3. IN ACCORDANCE WITH TABLE 1-1 OF ASCE 24 THE CLASSIFICATION OF STRUCTURE FOR FLOOD RESISTANCE IS "CATEGORY 2"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

BUILDING B
 SERVICE BAR ON GROUND FLOOR.
 TWO GUESTROOMS ON SECOND FLOOR.



A SITE PLAN
 SCALE: 3/32" = 1'-0"

3120 COLLINS AVENUE

MIAMI BEACH, FL. 33140

REV. NO. / DATE

▲	BLDG DEPT COMMENTS	12.5.2016
▲	BLDG DEPT COMMENTS	1.9.2017
▲	BLDG D - OWNER REV	2.13.2017
▲	PERMIT REV	12.20.2017

STAMP

TODD TRAGASH, A.I.A.
 FLORIDA REGISTRATION NUMBER #11053

COPYRIGHT 2015 ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN PROPERTY OF STA ARCHITECTURAL GROUP, INC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT, THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO STA ARCHITECTURAL GROUP, INC. REPRODUCTION OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF STA ARCHITECTURAL GROUP, INC. IS PROHIBITED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

DRAWN BY	initials
CHECKED BY	initials
DATE	09.02.2016
PROJECT NO.	3426
PHASE	CONSTRUCTION DOCUMENTS
	100 %

SITE PLAN

A.003



3526 NORTH MIAMI AVE. MIAMI, FL 33137
 305.571.1811 fax 305.571.1821

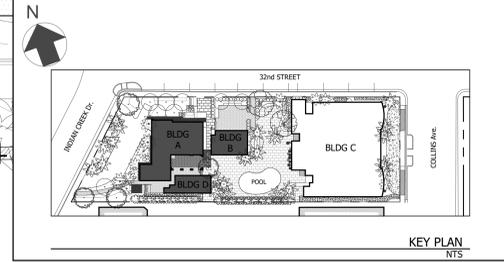
LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- PROPERTY LINE
- DOOR TAG - X INDICATES BUILDING SEE SHEET A.500 FOR SCHEDULE
- WINDOW/ STOREFRONT - X INDICATES BUILDING / Y WINDOW TYPE SEE SHEET A.502 FOR SCHEDULE
- LOUVER/ GRILL TAG
- GATE TAG
- FINISHED FLOOR ELEVATION X INDICATES THE ELEVATION AGAINST THE 0'-0" LEVEL FOR THE PROJECT WHICH IS THE LOBBY AT BUILDING C. Y INDICATES NGVD ELEVATION. REFER TO ELEVATION SURVEY AND CIVIL DRAWINGS FOR ADDITIONAL ELEVATIONS.
- FIRE EXTINGUISHER SURFACE MOUNTED CABINET, WITH STANDARD BRACKET.
- WALL/ PARTITION TYPES SEE SHEET A.600 & A.601 FOR ADDITIONAL INFORMATION

SHEET NOTES

- CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS. IF THERE IS ANY DISCREPANCY BETWEEN THE DRAWINGS OR SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. ANY DIMENSIONS NOT INDICATED ON DRAWINGS SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO CONSTRUCTION.
- ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.
- CONTRACTOR TO VERIFY W/ ARCHITECT IN THE FIELD LOCATIONS OF ALL NECESSARY BLOCKING BEFORE FINISHING WALLS.
- VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS.
- PROVIDE FIRE RESISTANT MATERIALS AND FIRE SEAL AS REQUIRED AT ALL OPENINGS, JOINTS, PENETRATIONS, OR GAPS ON FIRE RATED ASSEMBLIES.
- SEE FIRESTOP DETAILS ON A.602 FOR ALL FIRESTOP CONDITIONS.
- PROVIDE ACOUSTICAL CAULKING TOP, BOTTOM AND BOTH SIDES OF ALL INTERIOR STUD/ GYPSUM BOARD WALLS (TYPICAL). SEE ACOUSTIC DRAWINGS FOR MORE INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF MASONRY OR TO FACE OF FRAMING MEMBER (STUD) AS APPLICABLE TO CONSTRUCTION TYPE, UNLESS NOTED OTHERWISE. EXCEPTION: STRUCTURAL STEEL DIMENSIONS ARE TO COLUMN CENTERLINES, UNLESS NOTED OTHERWISE.
- DIMENSIONS ARE ROUNDED TO 1/4". GC TO COORDINATE DIMENSION LAYOUT IN FIELD
- ALIGN EDGE OF SLAB W/ FACE OF CMU BACKUP OR FACE OF STUD (TYP).
- DENS-SHIELD TO BE USED AS SUBSTRATE FOR ALL WALLS IN PROJECT. ALL DRY WALL INTERIOR PARTITIONS SHALL BE INSPECTED BY THE BUILDING DEPARTMENT.
- ALL CONSTRUCTION AND FINISHES BELOW BASE FLOOR ELEVATION OUTSIDE OF THE DRY-FLOOD PROOFED AREA SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL ACCORDING TO ASCE 24, 2011: TABLE 5-1 & TABLE 1-1.
- WALLS WITHIN 2 FEET (610 MM) OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. TO A HEIGHT OF 4 FEET (1219 MM) ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
- ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) OUTSIDE THE DRY-FLOOD PROOFED AREA SERVICING THE BUILDING SHALL BE INSTALLED ACCORDING TO TABLE 7-1 AND TABLE 1-1 OF ASCE 24, 2011
- ALL EXTERIOR GRADE PLYWOOD IF REQUIRED IN THE PROJECT SHALL BE WATER RESISTANT WITH WR GRADE ICE AND WATER SHIELD (OR APPROVED EQUAL).
- CONCRETE MASONRY UNITS USED IN EXTERIOR WALLS AND IN ALL WALLS OR PARTITIONS SHALL COMPLY WITH FBC SECTION 704.
- ALL FLOORS TO BE INSTALLED ON THE PROJECT ARE TO HAVE A STATIC COEFFICIENT OF FRICTION OF 0.5 MINIMUM FOR GENERAL FLOORS, 0.6 FOR ACCESSIBLE ROUTES AND 0.8 FOR RAMPS. ANY SPECIFICATION IN CONFLICT WITH THIS REQUIREMENT SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR VERIFICATION BEFORE PROCEEDING WITH THE WORK.
- SEE BUILDING ELEVATIONS FOR WINDOW TYPES.
- ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT-OF-WAY INCLUDING LANDSCAPE AND IRRIGATION REQUIRE SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
- ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.
- THE CITY'S INSPECTOR WILL DETERMINE THE MAGNITUDE OF THE REPLACEMENT (IF REQUIRED) FOR MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE 5-11 ASPHALT MIX DESIGN ON THE DRIVING LANE (10') AND ALONG ROAD AROUND PROPERTY.
- ALL HISTORIC SURFACES MUST BE PROTECTED AT ALL TIMES. REFER TO HPB FINAL ORDER IN SHEET A.000A
- THE EXISTING CONDITIONS REPRESENTED ON DRAWINGS ARE STRICTLY FOR THE PURPOSE OF PROVIDING A POINT-OF-REFERENCE BASIS FOR THE PROPOSED DEMOLITION/ REHABILITATION OF STRUCTURE. ALL EXISTING FOUNDATIONS DRAWN AND SUBJECT. CONTRACTOR MUST REPORT ARCHITECT IMMEDIATELY AND IN WRITING OF ANY DISCREPANCY OF THE SITE CONDITIONS AND PLANS. CONTRACTOR SHALL NOT DEVIATE FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER AND REVISED DRAWINGS (IF REQUIRED).
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/ PATCHING AND LEVELING OF FLOOR, WALLS AND CEILING INDICATED IN PLANS AS EXISTING TO REMAIN TO MEET MINIMUM REQUIREMENTS FOR THE INSTALLATION APPLICATION OF THE MATERIAL. FINISH INDICATED IN ARCHITECTURAL AND INTERIOR DESIGNER PLANS. SUCH REPAIR MUST INCLUDE, BUT NOT LIMITED TO, THE REMEDIATION OF STRUCTURAL ISSUES, WATER INTRUSION, ROTTING AND REPLACEMENTS OF PORTIONS, OR TOTAL ASSEMBLY AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF WINDOWS INDICATED IN PLANS AS EXISTING TO REMAIN. CONTRACTOR MUST INSPECT ALL WINDOWS AND CONFIRM OPERABILITY AND PERFORMANCE, AND REPAIR AS REQUIRED. CONTRACTOR TO INSTALL LIMITERS FOR ALL WINDOWS (MUST REJECT 4" SPHERE) ON FLOORS 2 TO 8TH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING OPENINGS TO FIRE SEPARATION STRUCTURES. SUCH REPAIR MUST BE DONE TO MATCH THE FIRE RATINGS OF THE ADJACENT SURFACE, TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION AND IN COMPLIANCE TO APPLICABLE CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/PATCHING AND LEVELING OF THE EXISTING CEILING USING A SKIN COAT, IN ORDER TO COVER EXPOSED STRUCTURE, MATCH THE LEVEL OF ADJACENT FINISH, AND PREPARE THE SURFACES ADEQUATELY FOR THEIR FINISH. G.C. TO CONTACT ARCHITECT PRIOR TO PROCEEDING SHOULD THEY ENCOUNTER SITE CONDITIONS THAT PREVENT THEM FROM SUCH APPROACH.
- REFER TO INTERIOR DESIGN SET FOR INFORMATION ON ROOM FINISHES, FIXTURES AND INTERIOR ELEVATIONS.
- REFER TO KITCHEN CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION ON KITCHEN LAYOUT AND EQUIPMENT SPECIFICATIONS. REFER TO STRUCTURAL AS WELL FOR DETAILS AND LOCATION OF SLAB DEPRESSIONS FOR WALK-IN COOLERS.

KEY PLAN - NOT TO SCALE-



REV. NO. / DATE

▲	BLDG DEPT COMMENTS	10.11.2016
▲	BLDG DEPT COMMENTS	12.5.2016
▲	BLDG DEPT COMMENTS	1.9.2017
▲	BLDG D - OWNER REV	2.13.2017
▲	PERMIT REV	12.20.2017

STAMP

TODD TRAGASH, A.I.A.
FLORIDA REGISTRATION NUMBER #1053

COPYRIGHT 2015 ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN PROPERTY OF STA ARCHITECTURAL GROUP, INC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO STA ARCHITECTURAL GROUP, INC. REPRODUCTION OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF STA ARCHITECTURAL GROUP, INC. IS PROHIBITED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

DRAWN BY initials

CHECKED BY initials

DATE 09.02.2016

PROJECT NO. 3426

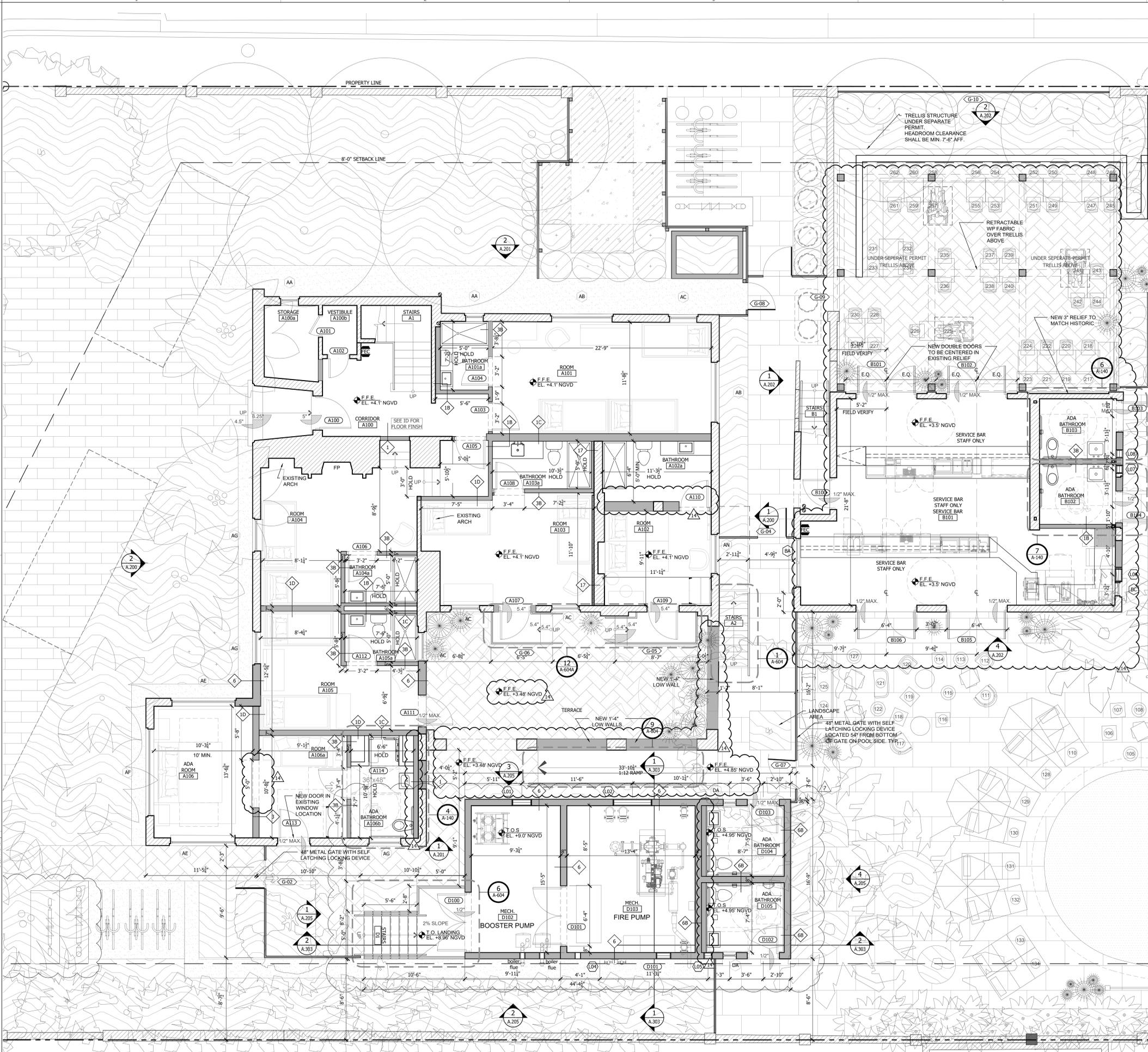
PHASE CONSTRUCTION DOCUMENTS 100 %

BUILDINGS A, B, D GROUND FLOOR PLANS

A.100



3526 NORTH MIAMI AVE. MIAMI, FL 33127
305.571.1811 fax 305.571.1821



BUILDINGS A, B & D GROUND FLOOR PLANS

SCALE: 1/4" = 1'-0"

S:\PROJECTS\3426 ATLANTIC PRINCESS\DWGS\SHEETS\PHASE 2\3426_A100 BUILDINGS A, B & D GROUND FLOOR PLANS.DWG
12/29/2017 2:07:42 AM
Dean McMurry

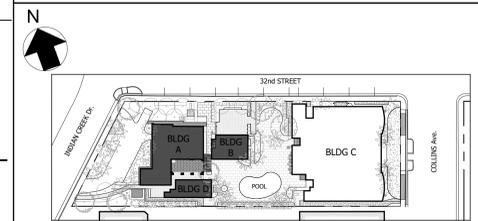
LEGEND

- EXISTING WALL TO REMAIN
- NEW CONSTRUCTION
- PROPERTY LINE
- DOOR TAG - X INDICATES BUILDING
SEE SHEET A.500 FOR SCHEDULE
- WINDOW/ STOREFRONT - X INDICATES BUILDING / Y WINDOW TYPE
SEE SHEET A.502 FOR SCHEDULE
- LOUVER/ GRILL TAG
- GATE TAG
- FINISHED FLOOR ELEVATION:
X- INDICATES THE ELEVATION AGAINST THE 0'-0" LEVEL FOR THE PROJECT WHICH IS THE LOBBY AT BUILDING C.
Y- INDICATES NGVD ELEVATION.
REFER TO ELEVATION SURVEY AND CIVIL DRAWINGS FOR ADDITIONAL ELEVATIONS.
- FIRE EXTINGUISHER SURFACE MOUNTED CABINET, WITH STANDARD BRACKET.
- WALL/ PARTITION TYPES
SEE SHEET A.600 & A.601 FOR ADDITIONAL INFORMATION

SHEET NOTES

1. CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, SPECIFICATIONS AND EXISTING CONDITIONS. IF THERE IS ANY DISCREPANCY BETWEEN THE DRAWINGS OR SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.
2. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. ANY DIMENSIONS NOT INDICATED ON DRAWINGS SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO CONSTRUCTION.
3. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.
4. CONTRACTOR TO VERIFY W/ ARCHITECT IN THE FIELD LOCATIONS OF ALL NECESSARY BLOCKING BEFORE FINISHING WALLS.
5. VERIFY OPENINGS FOR PIPES AND DUCTS WITH MECHANICAL DRAWINGS.
6. PROVIDE FIRE RESISTANT MATERIALS AND FIRE SEAL AS REQUIRED AT ALL OPENINGS, JOINTS, PENETRATIONS, OR GAPS ON FIRE RATED ASSEMBLIES.
7. SEE FIRESTOP DETAILS ON A.602 FOR ALL FIRESTOP CONDITIONS.
8. PROVIDE ACOUSTICAL CAULKING TOP, BOTTOM AND BOTH SIDES OF ALL INTERIOR STUD/ GYPSUM BOARD WALLS (TYPICAL). SEE ACOUSTIC DRAWINGS FOR MORE INFORMATION.
9. ALL DIMENSIONS ARE TO FACE OF MASONRY OR TO FACE OF FRAMING MEMBER (STUD) AS APPLICABLE TO CONSTRUCTION TYPE, UNLESS NOTED OTHERWISE. EXCEPTION: STRUCTURAL STEEL DIMENSIONS ARE TO COLUMN CENTERLINES, UNLESS NOTED OTHERWISE.
10. DIMENSIONS ARE ROUNDED TO 1/4". GC TO COORDINATE DIMENSION LAYOUT IN FIELD
11. ALIGN EDGE OF SLAB W/ FACE OF CMU BACKUP OR FACE OF STUD (TYP).
12. DENS-SHIELD TO BE USED AS SUBSTRATE FOR ALL WALLS IN PROJECT. ALL DRY WALL INTERIOR PARTITIONS SHALL BE INSPECTED BY THE BUILDING DEPARTMENT.
13. ALL CONSTRUCTION AND FINISHES BELOW BASE FLOOD ELEVATION OUTSIDE OF THE DRY-FLOOD PROOFED AREA SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL ACCORDING TO ASCE 24, 2011; TABLE 5-1 & TABLE 1-1.
14. WALLS WITHIN 2 FEET (610 MM) OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF 4 FEET (1219 MM) ABOVE THE FLOOR, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
15. ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) OUTSIDE THE DRY-FLOOD PROOFED AREA SERVING THE BUILDING SHALL BE INSTALLED ACCORDING TO TABLE 7-1 AND TABLE 1-1 OF ASCE 24, 2011
16. ALL EXTERIOR GRADE PLYWOOD IF REQUIRED IN THE PROJECT SHALL BE WATER RESISTANT WITH WR GRADE (ICE AND WATER SHIELD OR APPROVED EQUAL).
17. CONCRETE MASONRY UNITS USED IN EXTERIOR WALLS AND IN ALL WALLS OR PARTITIONS SHALL COMPLY WITH FBC SECTION 704.
18. ALL FLOORS TO BE INSTALLED ON THE PROJECT ARE TO HAVE A STATIC COEFFICIENT OF FRICTION OF 0.5 MINIMUM FOR GENERAL FLOORS, 0.6 FOR ACCESSIBLE ROUTES AND 0.8 FOR RAMPS. ANY SPECIFICATION IN CONFLICT WITH THIS REQUIREMENTS SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR VERIFICATION BEFORE PROCEEDING WITH THE WORK.
19. SEE BUILDING ELEVATIONS FOR WINDOW TYPES.
20. ANY WORK AND/OR IMPROVEMENTS FROM/TWO THE RIGHT-OF-WAY INCLUDING LANDSCAPE AND IRRIGATION REQUIRE SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
21. ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.
22. THE CITY'S INSPECTOR WILL DETERMINE THE MAGNITUDE OF THE REPLACEMENT (IF REQUIRED) FOR MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE 5-11 ASPHALT MIX DESIGN ON THE DRIVING LANE (10') AND ALONG ROAD AROUND PROPERTY.
23. ALL HISTORIC SURFACES MUST BE PROTECTED AT ALL TIMES. REFER TO HPB FINAL ORDER IN SHEET A.000A
24. THE EXISTING CONDITIONS REPRESENTED ON DRAWINGS ARE STRICTLY FOR THE PURPOSE OF PROVIDING A POINT-OF-REFERENCE BASIS FOR THE PROPOSED DEMOLITION/ REHABILITATION OF STRUCTURE. ALL EXISTING FOUNDATIONS DRAWN ARE SUSPECT. CONTRACTOR MUST REPORT ARCHITECT IMMEDIATELY AND IN WRITING OF ANY DISCREPANCY OF THE SITE CONDITIONS AND PLANS. CONTRACTOR SHALL NOT DEVIATE FROM THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER AND REVISED DRAWINGS (IF REQUIRED).
25. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/ PATCHING AND LEVELING OF FLOOR, WALLS AND CEILING INDICATED IN PLANS AS 'EXISTING TO REMAIN' TO MEET MINIMUM REQUIREMENTS FOR THE INSTALLATION/ APPLICATION OF THE MATERIAL/ FINISH INDICATED IN ARCHITECTURAL AND INTERIOR DESIGNER PLANS. SUCH REPAIR MUST INCLUDE, BUT NOT LIMITED TO, THE REPAIR/ PATCHING OF STRUCTURAL ISSUES, WATER INTRUSION, ROTTING AND REPLACEMENTS OF PORTIONS, OR TOTAL ASSEMBLY AS REQUIRED.
26. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF WINDOWS INDICATED IN PLANS AS 'EXISTING TO REMAIN'. CONTRACTOR MUST INSPECT ALL WINDOWS AND CONFIRM OPERABILITY AND PERFORMANCE, AND REPAIR AS REQUIRED. CONTRACTOR TO INSTALL LIMITERS FOR ALL WINDOWS (MUST REJECT 4" SPHERE) ON FLOORS 2 TO 8TH.
27. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF EXISTING OPENINGS TO FIRE SEPARATION STRUCTURES. SUCH REPAIR MUST BE DONE TO MATCH THE FIRE RATING OF THE ADJACENT SURFACE, TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION AND IN COMPLIANCE TO APPLICABLE CODES.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/PATCHING AND LEVELING OF THE EXISTING CEILING FINISH, IN ORDER TO COVER EXPOSED STRUCTURE. MATCH THE LEVEL OF ADJACENT FINISH, AND PREPARE THE SURFACES ADEQUATELY FOR THEIR FINISH. G.C. TO CONTACT ARCHITECT PRIOR TO PROCEEDING SHOULD THEY ENCOUNTER SITE CONDITIONS THAT PREVENT THEM FROM SUCH APPROACH.
29. REFER TO INTERIOR DESIGN SET FOR INFORMATION ON ROOM FINISHES, FIXTURES AND INTERIOR ELEVATIONS.
30. REFER TO KITCHEN CONSULTANT DRAWINGS FOR ADDITIONAL INFORMATION ON KITCHEN LAYOUT AND EQUIPMENT SPECIFICATIONS. REFER TO STRUCTURAL AS WELL FOR DETAILS AND LOCATION OF SLAB DEPRESSIONS FOR WALK-IN COOLERS.

KEY PLAN - NOT TO SCALE.



REV. NO. / DATE
1 BLDG DEPT COMMENTS 10.11.2016
4 BLDG DEPT COMMENTS 1.9.2017
14 BLDG D - OWNER REV 2.13.2017
14 PERMIT REV 12.20.2017

STAMP

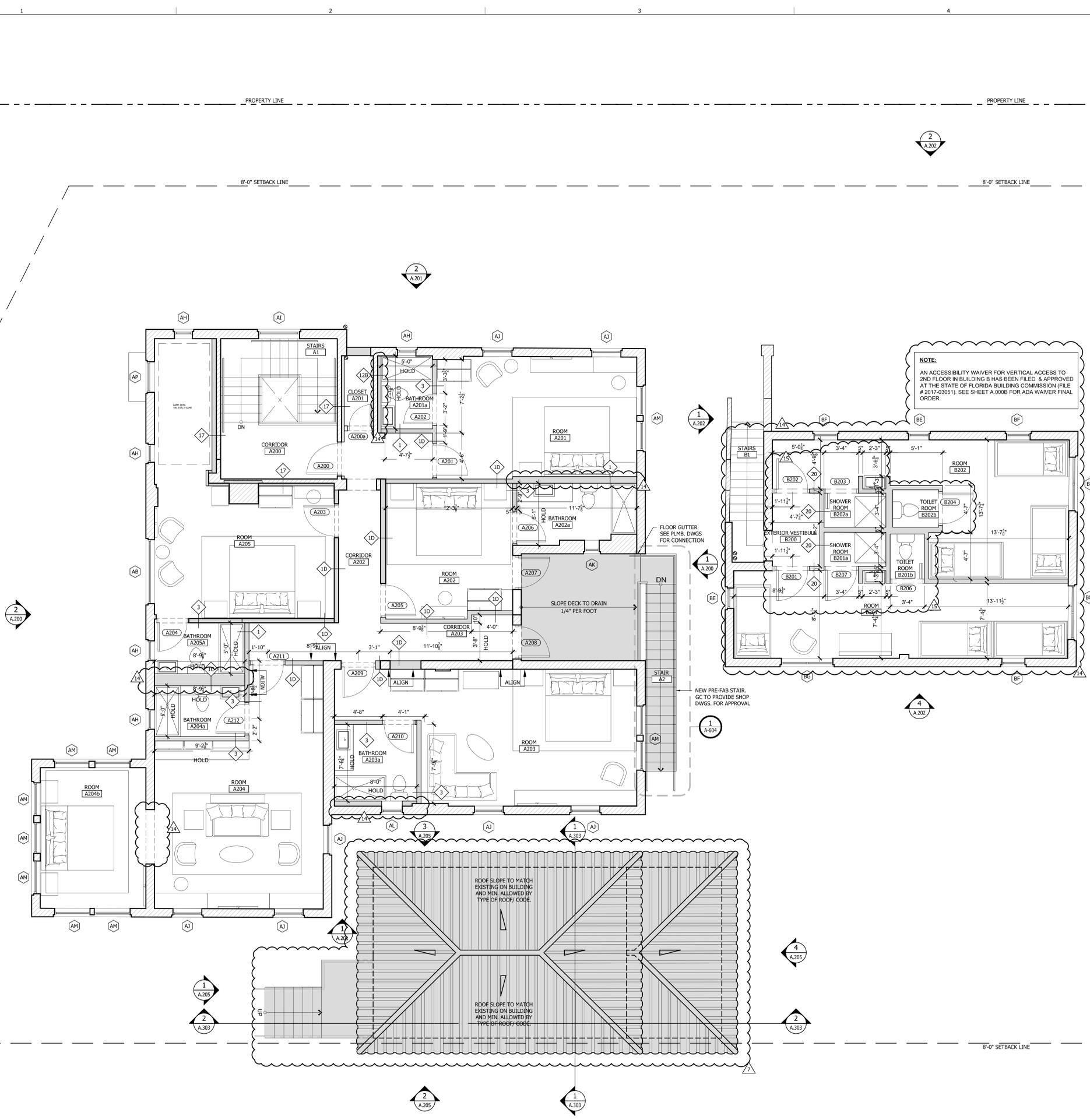
TODD TRAGASH, A.L.A.
FLORIDA REGISTRATION NUMBER #11053

COPYRIGHT 2015 ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN PROPERTY OF STA ARCHITECTURAL GROUP, INC. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXCLUDED OR NOT, THEY ARE NOT TO BE USED IN ANY MANNER ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO STA ARCHITECTURAL GROUP, INC. REPRODUCTION OF DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF STA ARCHITECTURAL GROUP, INC. IS PROHIBITED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.

DRAWN BY	initials
CHECKED BY	initials
DATE	09.02.2016
PROJECT NO.	3426
PHASE	CONSTRUCTION DOCUMENTS
	100 %

BUILDINGS A, B, D
SECOND FLOOR
PLANS

A.101



BUILDINGS A, B & D
SECOND FLOOR PLANS

SCALE: 1/4" = 1'-0"