

## **ALPHA DELTA PI SORORITY**

**Issue:** Vertical accessibility to the second floor.

**Analysis:** The applicant is requesting a waiver from providing vertical accessibility to the second floor of a 14,239 square foot building that was constructed in 1970. The scope of the \$120,000 involves a renovation to the second floor bathroom to make it accessible. An estimate of \$33,000 was provided for the installation of a passenger elevator to the second floor.

### **Project Progress:**

The project is under design.

**Items to be Waived:** Vertical accessibility to the second floor, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

**Waiver Criteria:** There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS  
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

**1. Name and address of project for which the waiver is requested.**

**Name:** Alpha Delta Pi Sorority house Corporation

**Address:** 537 West Jefferson Street. Tallahassee, Fl 32301

**2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:**

**Applicant's Name:** William E. Douglas, P.E. / DEC Engineering Inc. / (Agent)

**Applicant's Address:** 2467 Centerville Rd. Tallahassee, FL 32308

**Applicant's Telephone:** (850) 385-5288      **FAX:** (850) 386-7586

**Applicant's E-mail Address:** decbill@nettally.com

**Relationship to Owner:** Professional Engineer Agent for project.

**Owner's Name:** Alpha Delta Pi Sorority House Corporation

**Owner's Address:** 537 West Jefferson Street, Tallahassee, Fl, 32301

**Owner's Telephone:** \_\_\_\_\_ **FAX** \_\_\_\_\_

**Owner's E-mail Address:** \_\_\_\_\_

**Signature of Owner:** \_\_\_\_\_

**Contact Person:** William E. Douglas, P.E.

**Contact Person's Telephone:** (850) 385-5288      **E-mail Address:** decbill@nettally.com

This application is available in alternate formats upon request.  
Form No. 2001-01

**3. Please check one of the following:**

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

**4. Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

Sorority House, 2 floors, 14,239 Sq. Ft.

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**5. Project Construction Cost (Provide cost for new construction, the addition or the alteration):**

\$120,000

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**6. Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design  Under Construction\*

In Plan Review  Completed\*

\* Briefly explain why the request has now been referred to the Commission.

Vertical accessibility is, in DEC Engineering's view, a disproportionate cost of  
the required upgrades. The City of Tallahassee's review has stated to install  
vertical accessibility or obtain a waiver.

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7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

**Issue**

1: Section 11-4

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**Issue**

2:

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**Issue**

3:

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8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

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Substantial financial costs will be incurred by the owner if the waiver is denied.

Installation of an elevator is the only method suitable for this project. This would push cost with all other upgrades, into financial hardship.

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The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

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9. **Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates.** For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. Estimates are attached. Elevator estimates: 33,900 and 33,600. Contractor estimate to build shaft and electrical: 77,650. Total cost of installing elevator: 111,250.00

b. \_\_\_\_\_

c. \_\_\_\_\_

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

This is a modification of an existing Sorority housing facility. It was built

in 1907 format that did not consider vertical accessibility. The only work

proposed is to improve the existing restrooms to handicapped standards within

Signature *W. F. Douglas*

Printed Name *W. F. Douglas, P.E.*

Phone number 850-385-5288

(SEAL)

the existing space. To meet the vertical requirements would require external construction at a cost that would exceed the cost of the restroom upgrade.

**CERTIFICATION OF APPLICANT:**

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 29 day of April, 20 10

W. E. Douglas, Agent  
Signature

W. E. Douglas  
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

**REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.**

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

- a. This change of occupancy is an alteration under Section 11-4.1.6 (i) FBC-B. Therefore, the provisions of Section 11-4.1.6, including vertical accessibility, are applicable. Section 553.509 Florida Statutes requires vertical accessibility in this building, unless waived by the Florida Building Commission. Only the Florida Building Commission may grant waivers based upon disproportionate cost.

Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

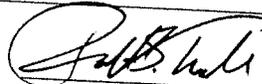
Yes  No Cost of Construction \_\_\_\_\_

**Comments/Recommendation**

Except for attesting to the accuracy of the cost estimates as presented, to the best of my knowledge, all information stipulated herein is true and accurate.

Jurisdiction City of Tallahassee

Building Official or Designee



Signature

Robert S. Tredik

Printed Name

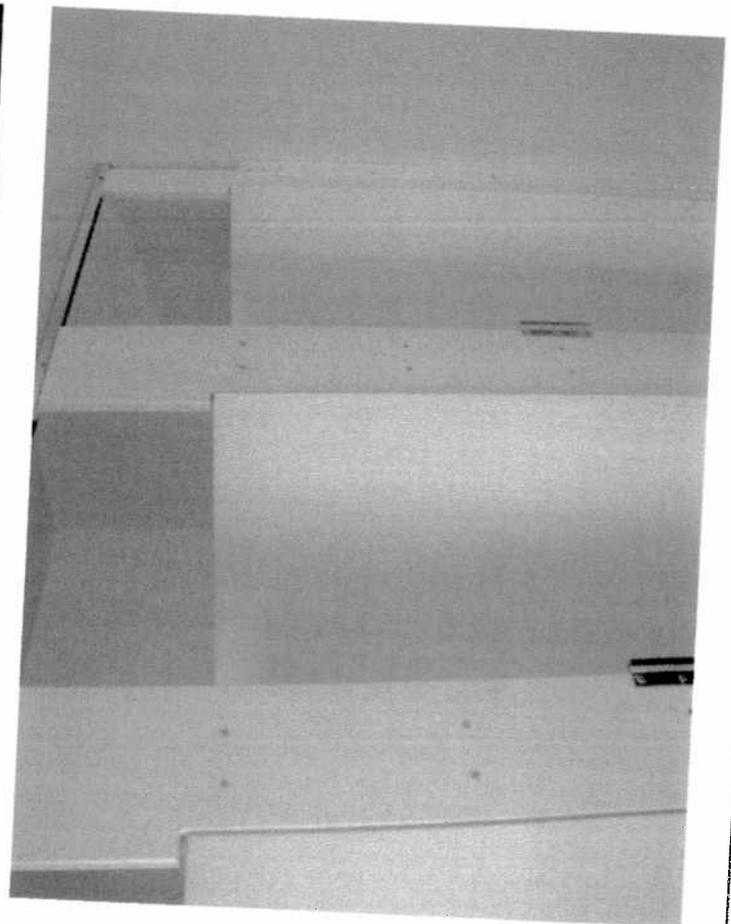
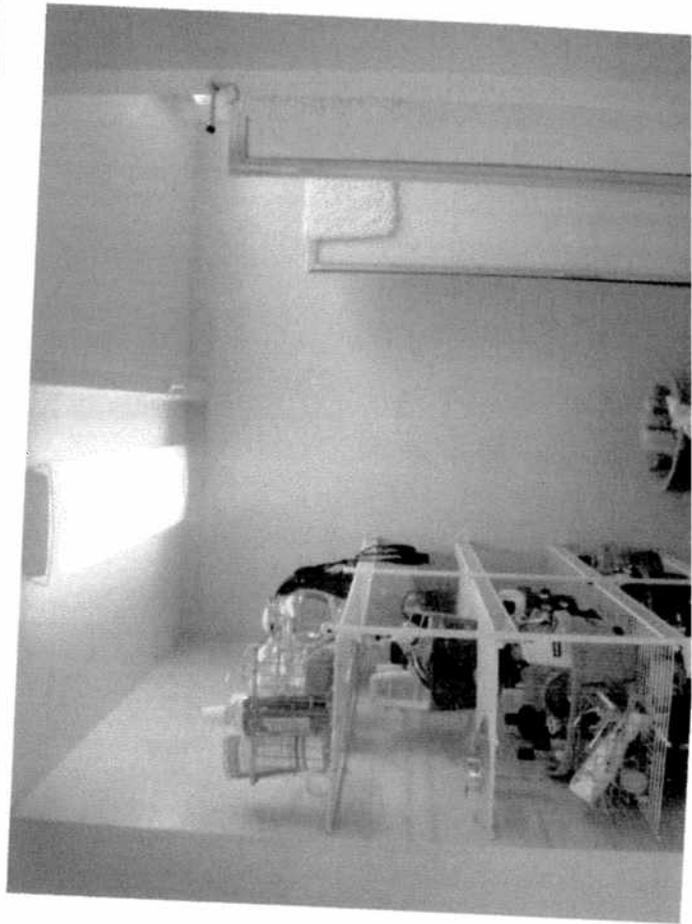
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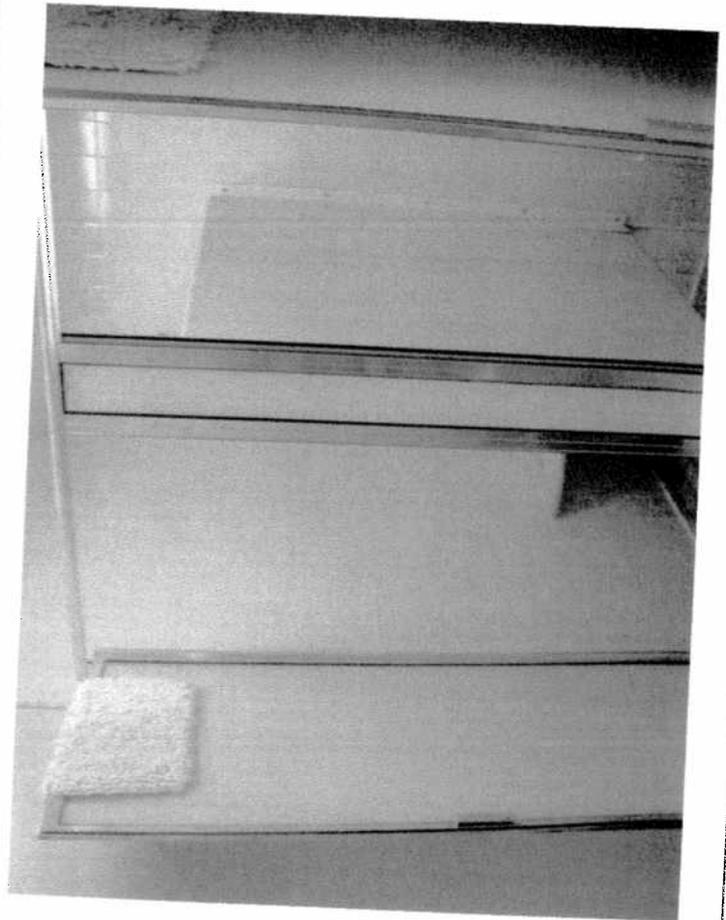
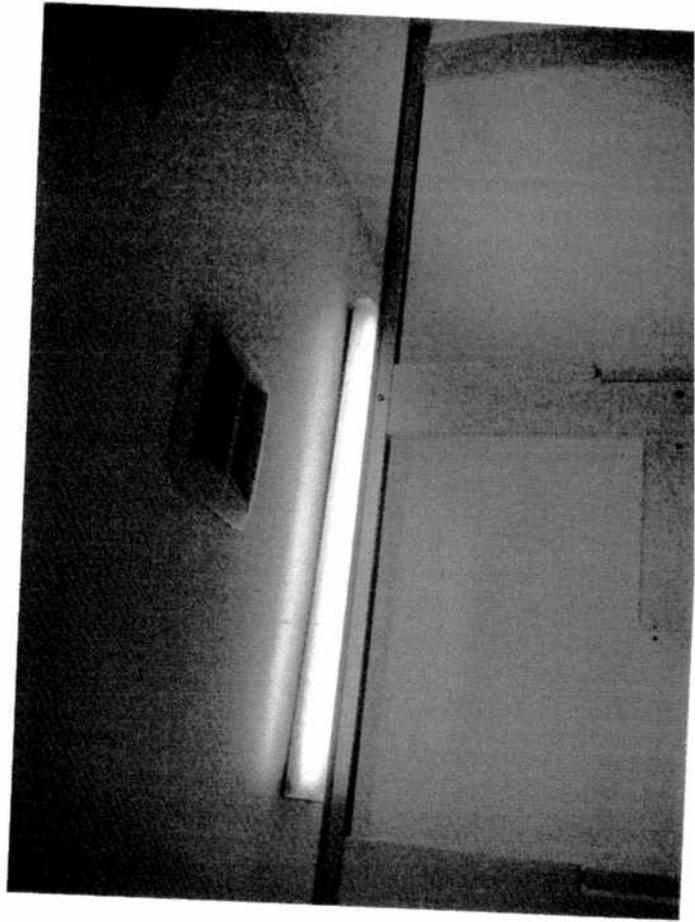
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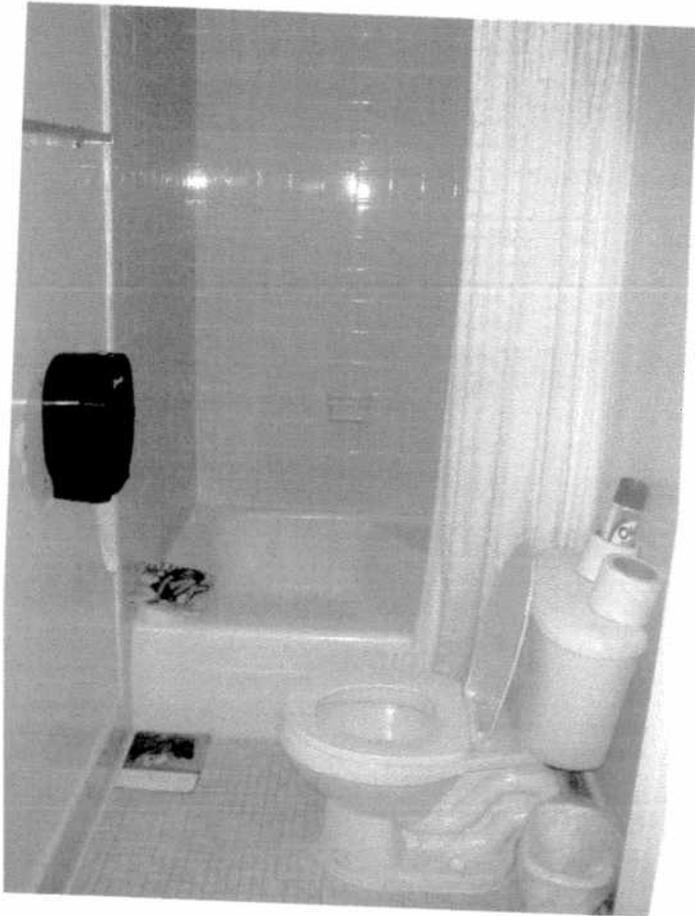
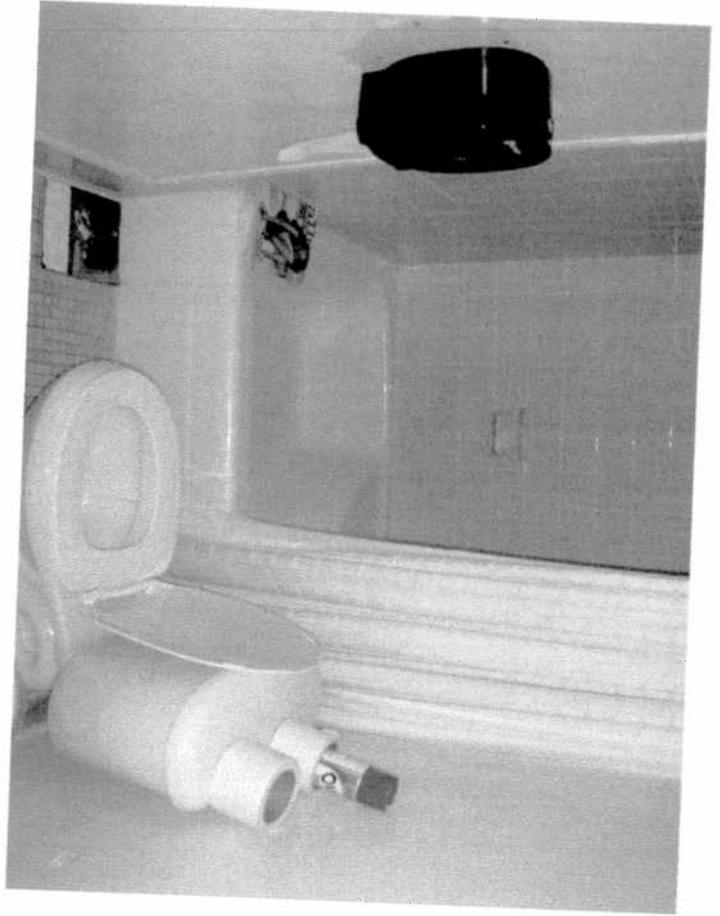
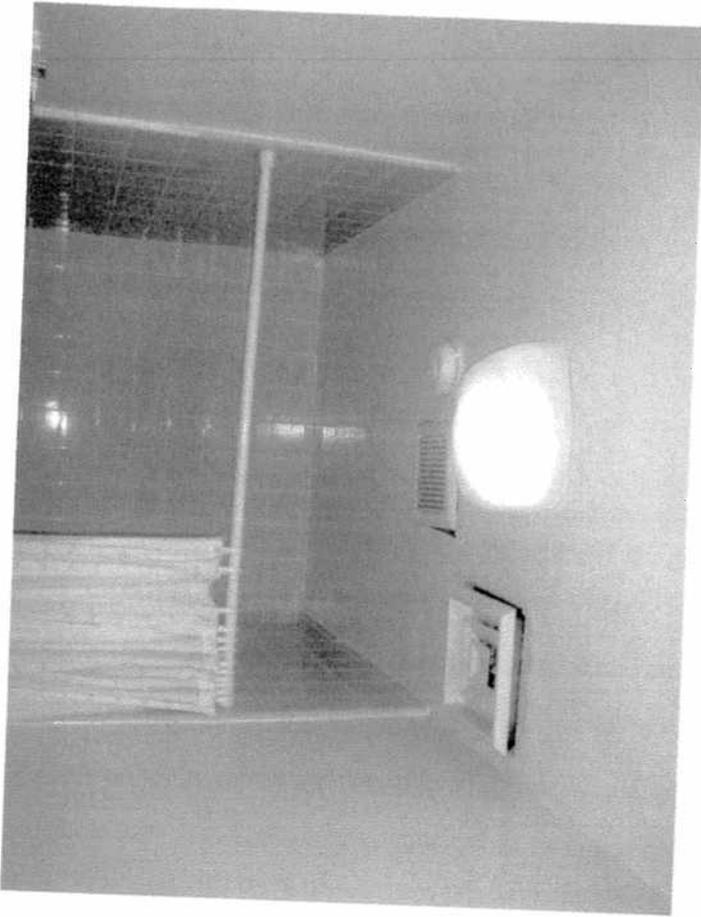
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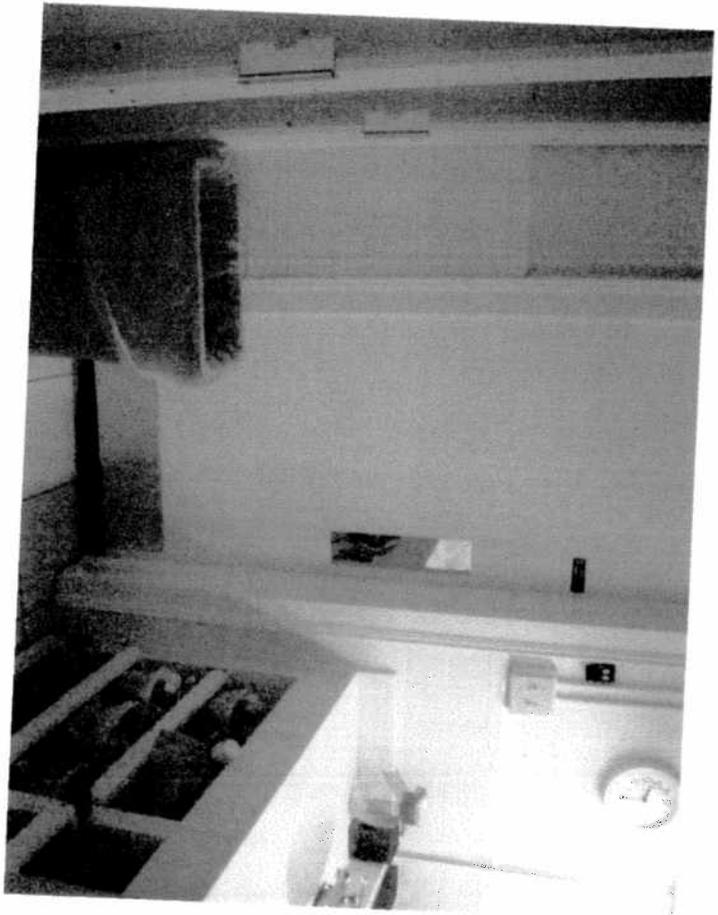
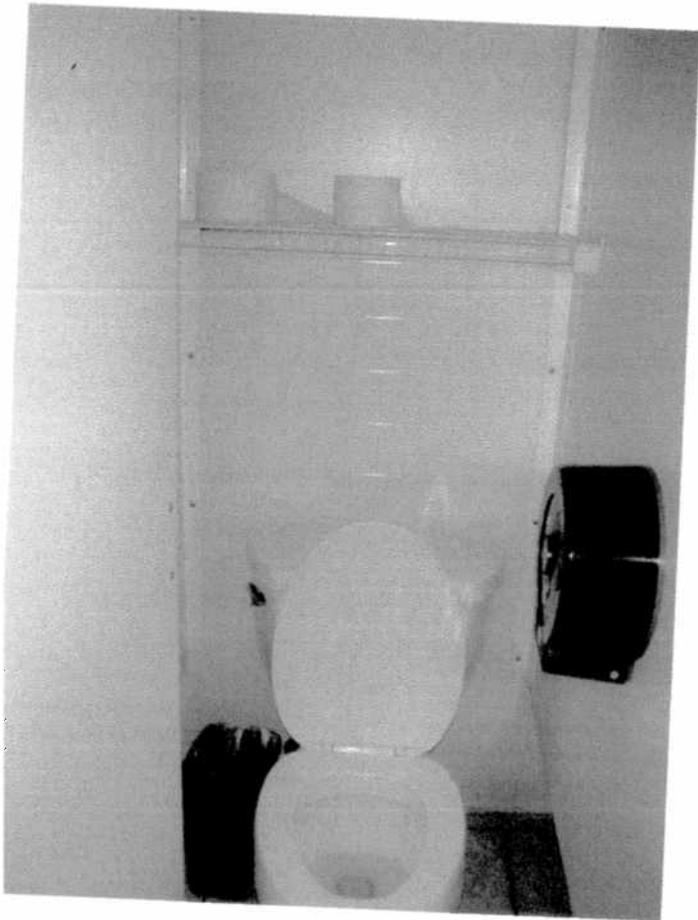
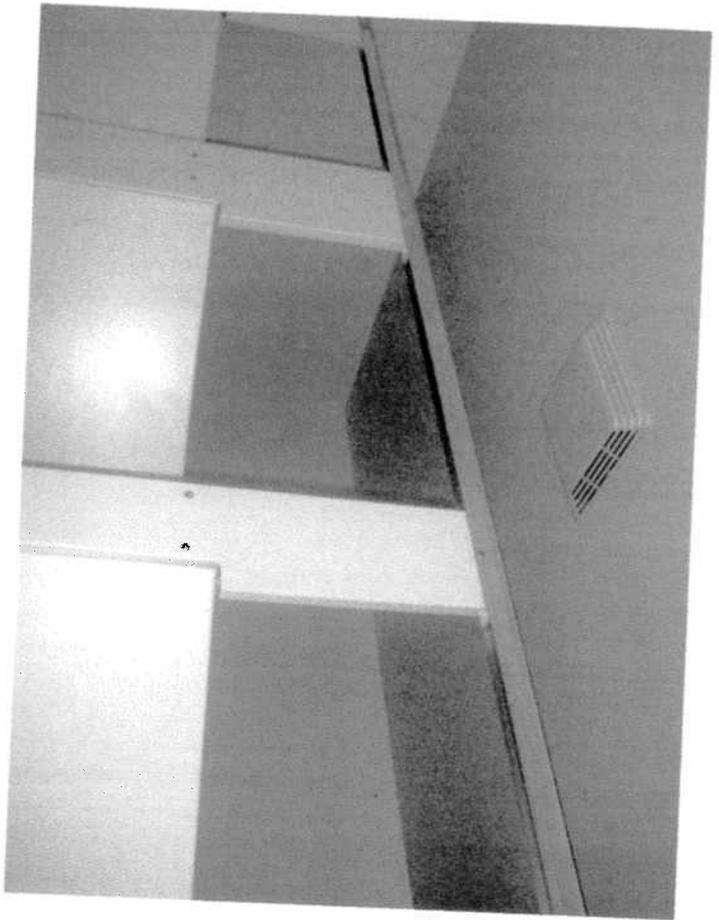
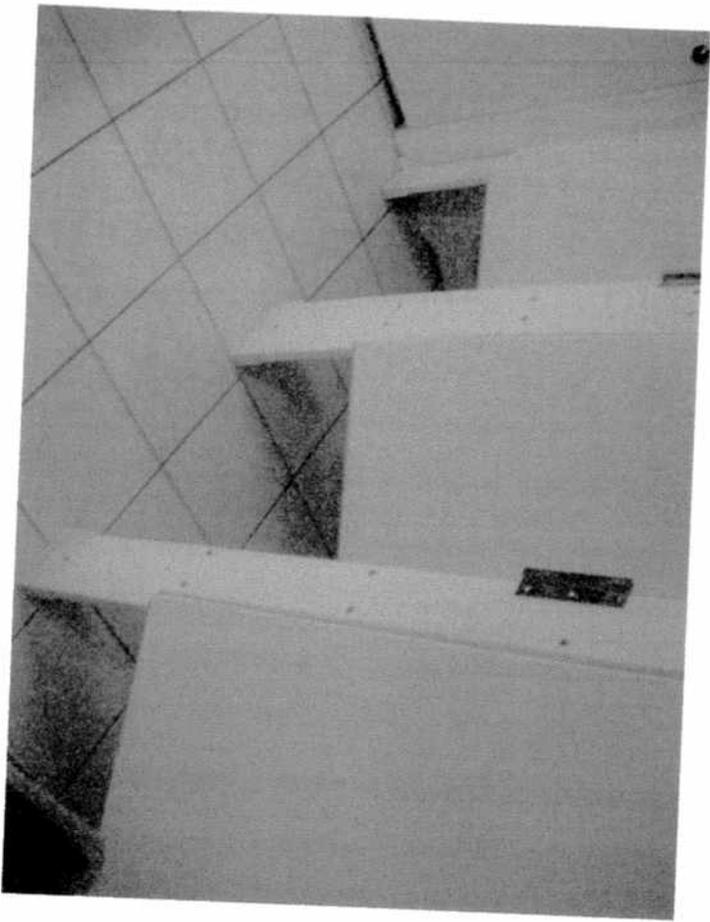
Robert S. Tredik, CBO - Codes Review Manager  
City of Tallahassee Building Inspection Division  
Box B28 - City Hall  
Tallahassee, FL 32301  
[bob.tredik@talgov.com](mailto:bob.tredik@talgov.com)

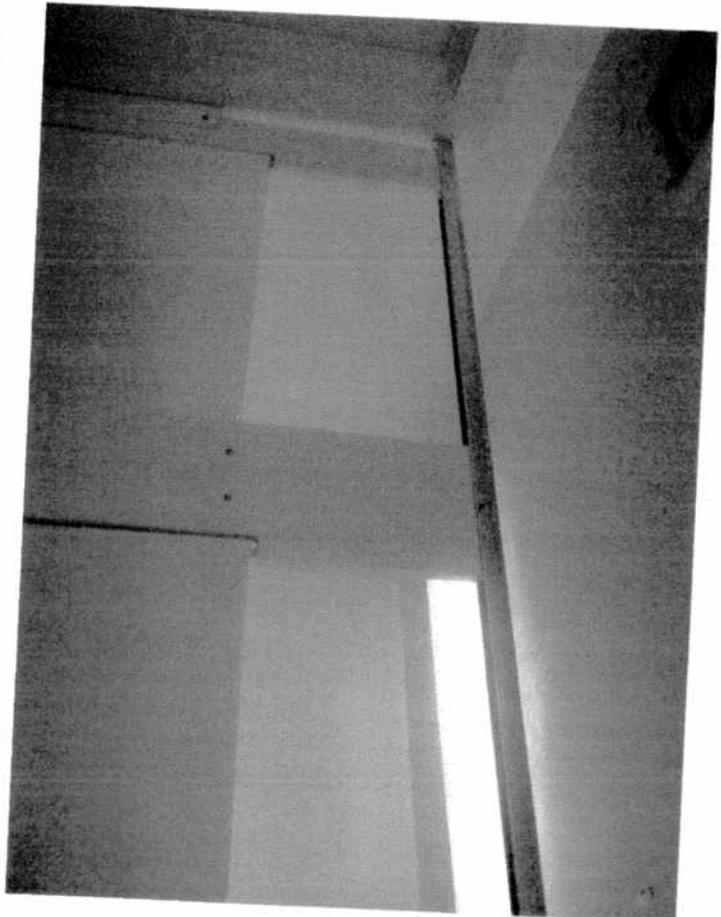
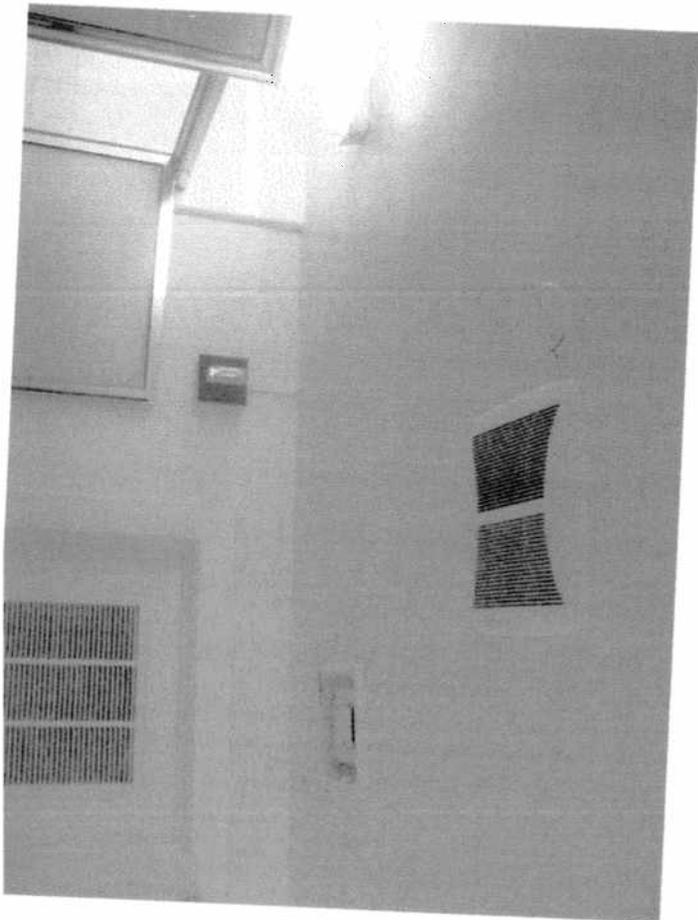
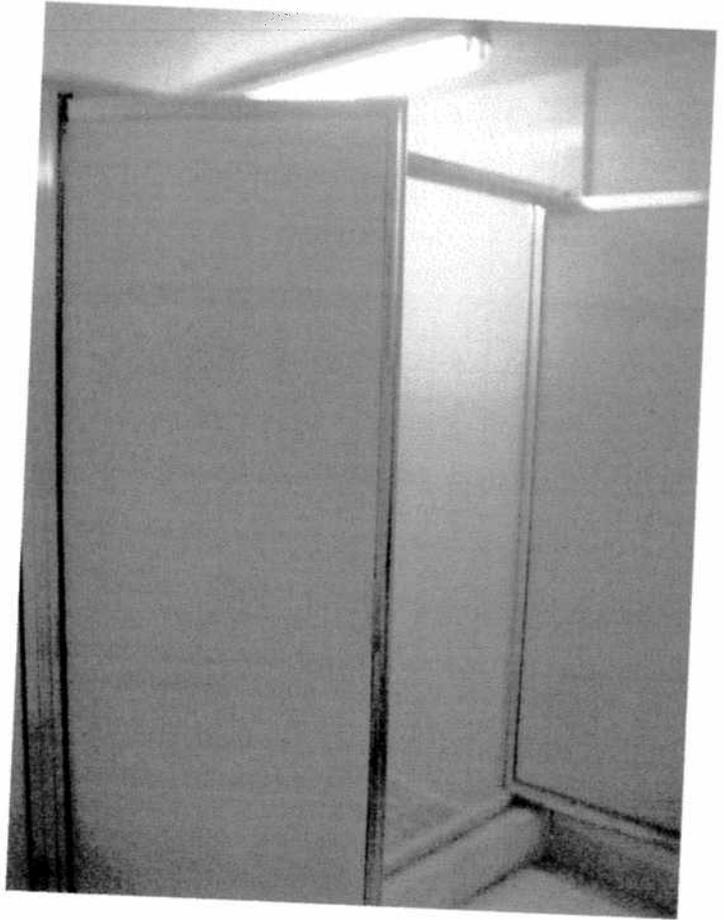
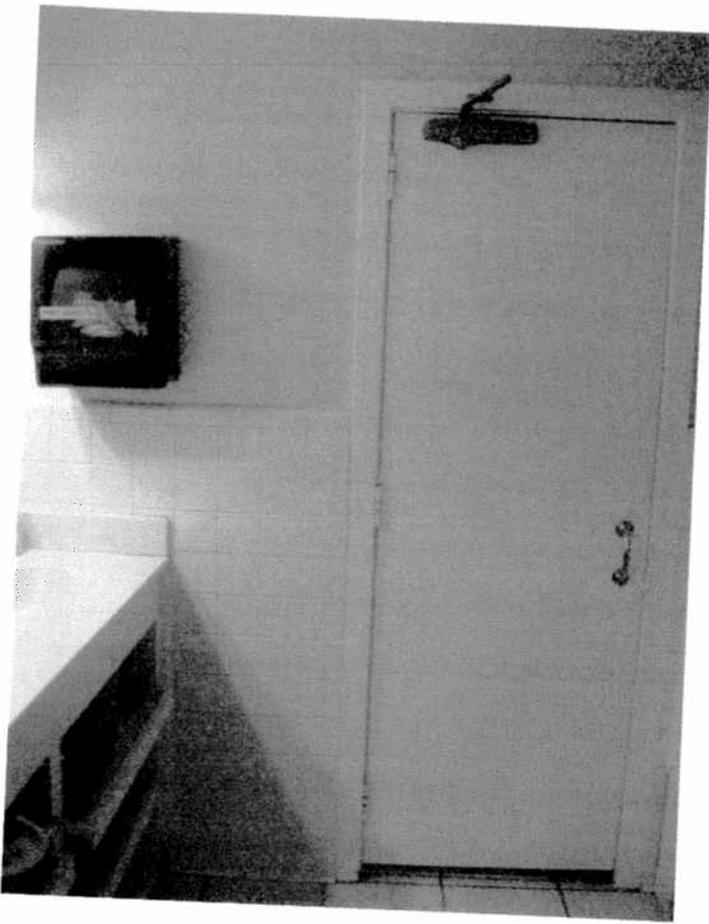


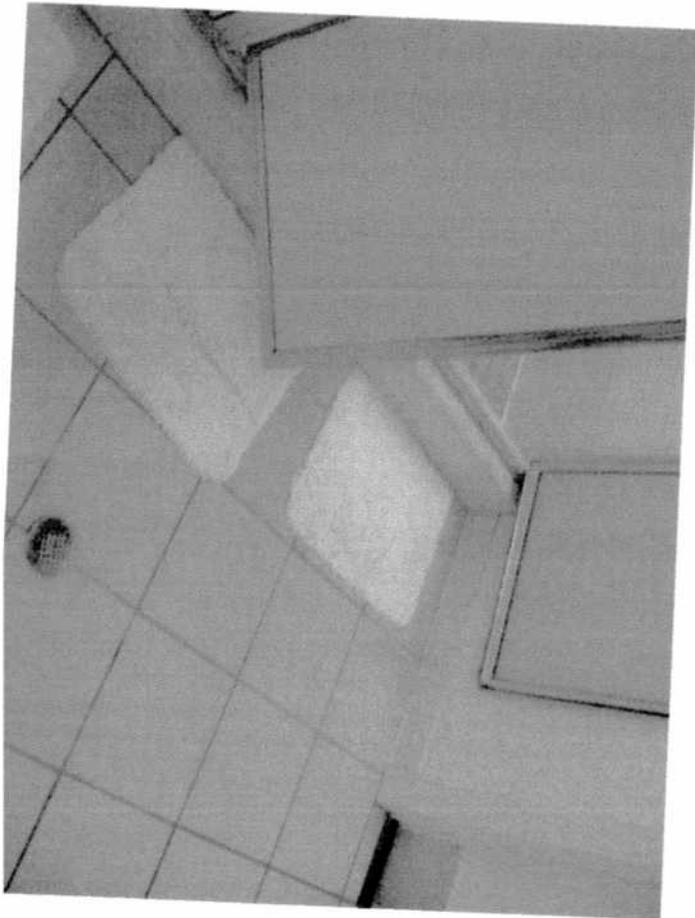


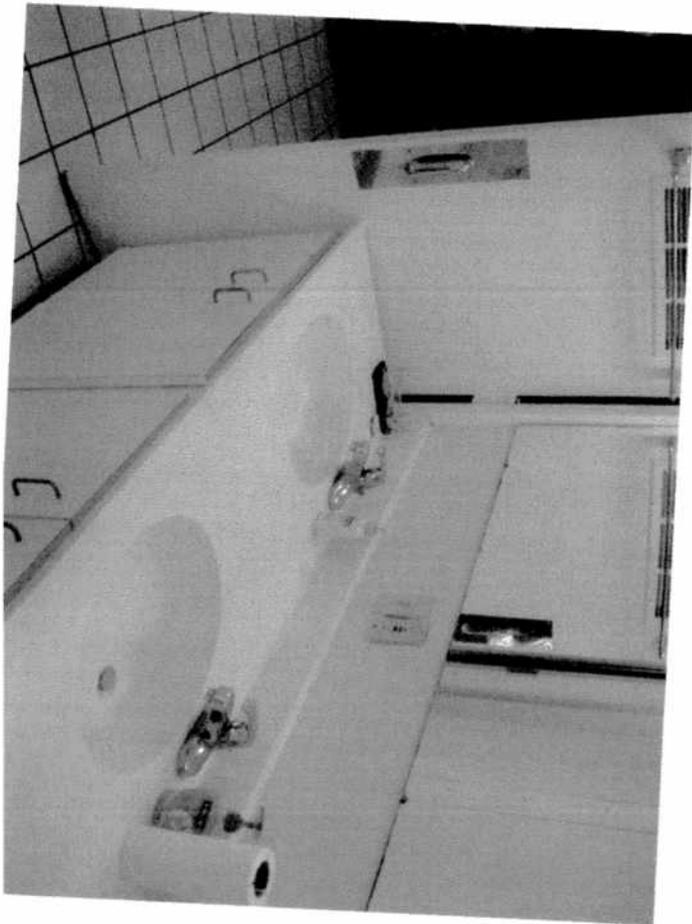
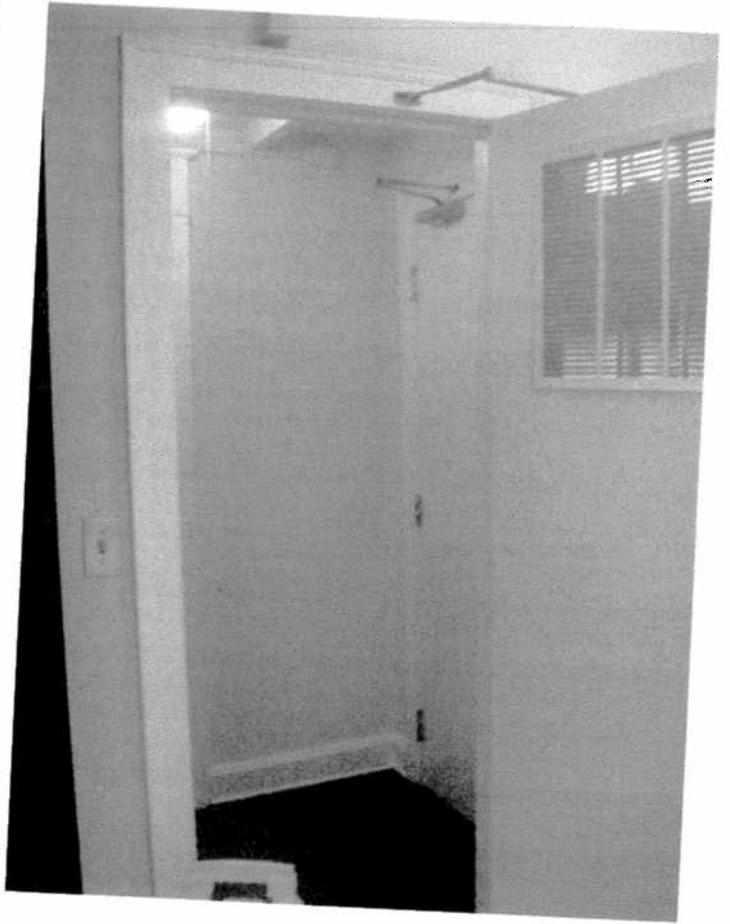
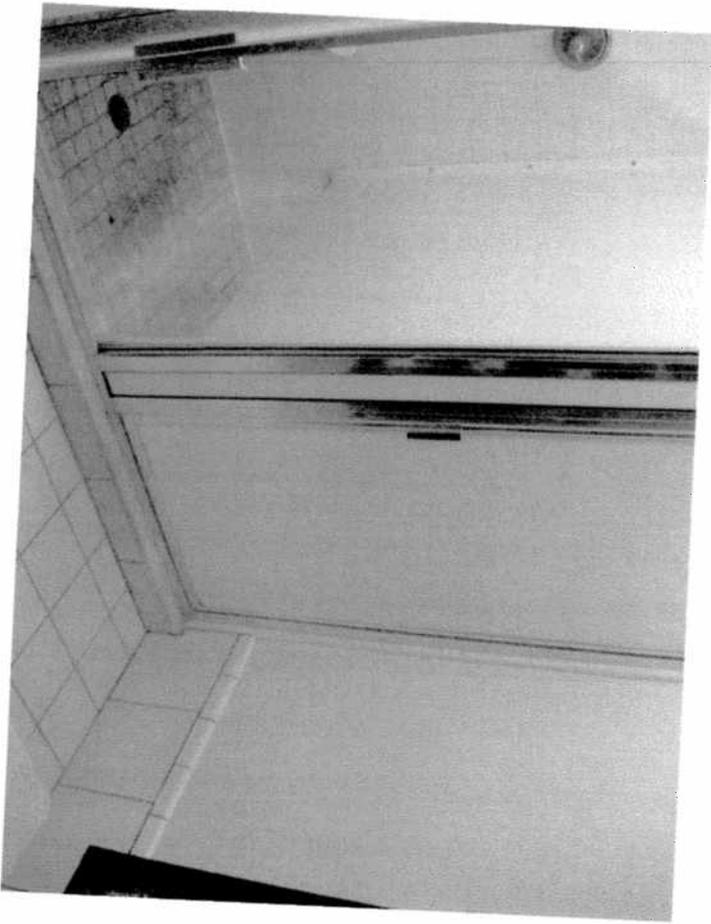


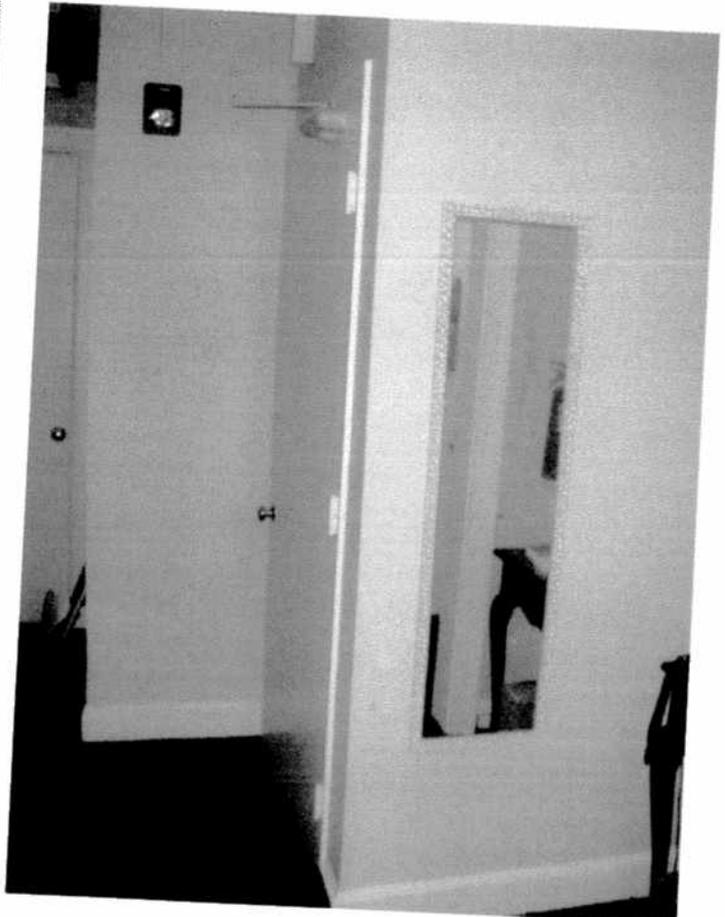
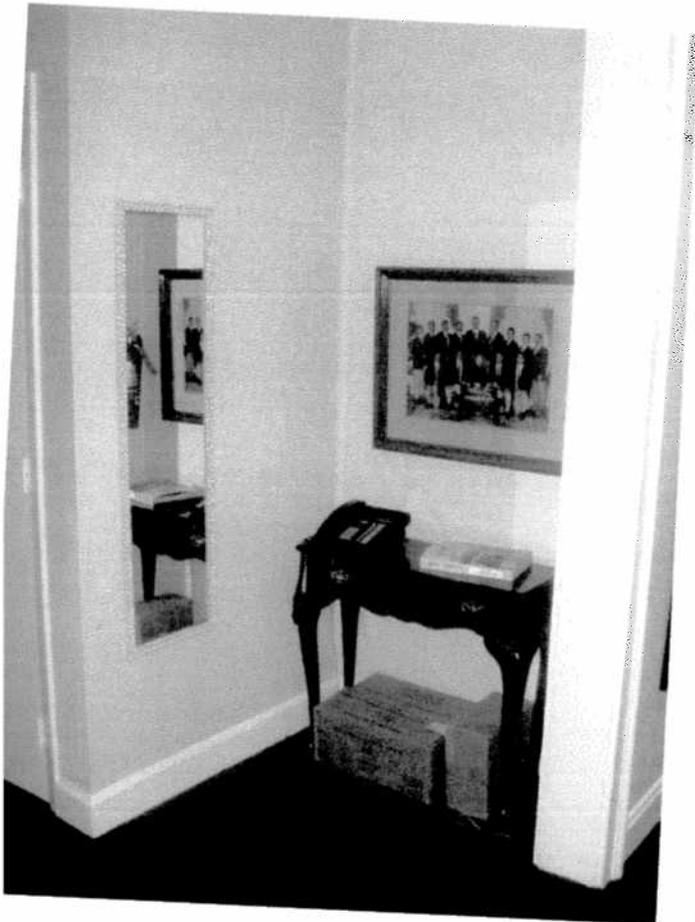
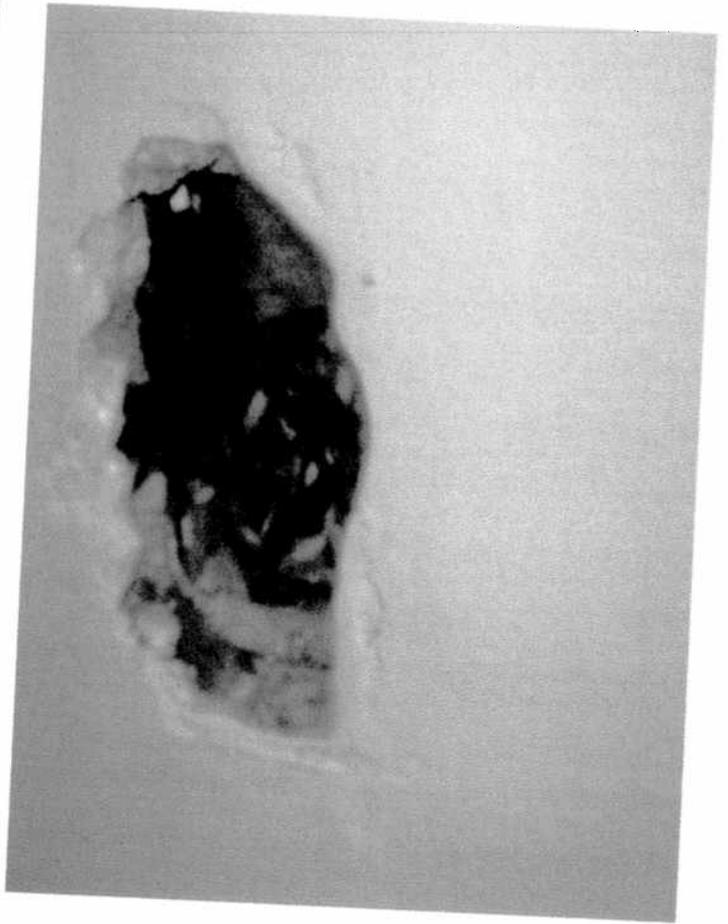
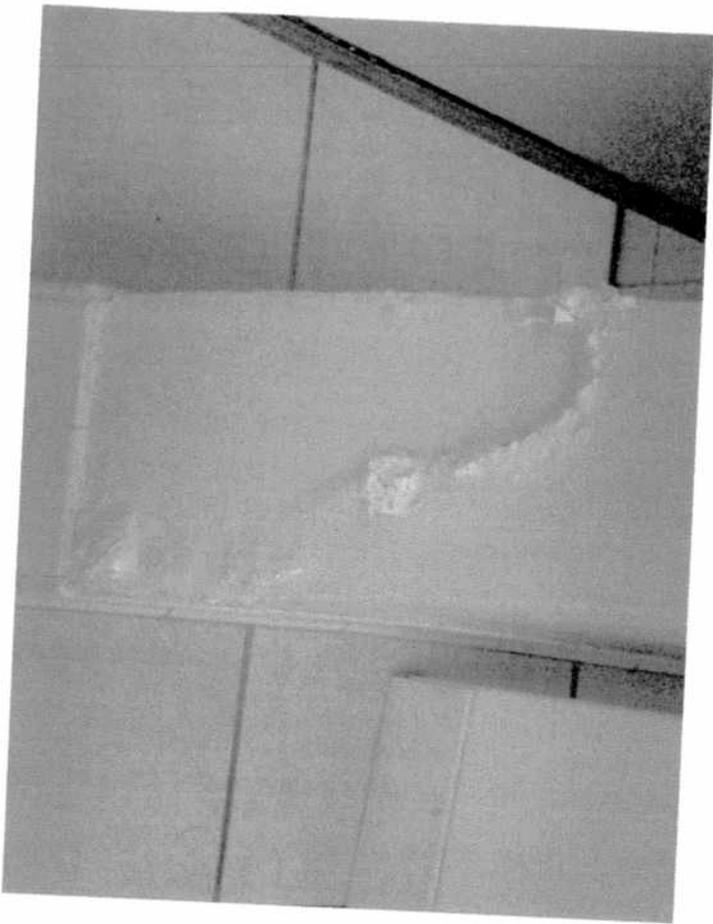






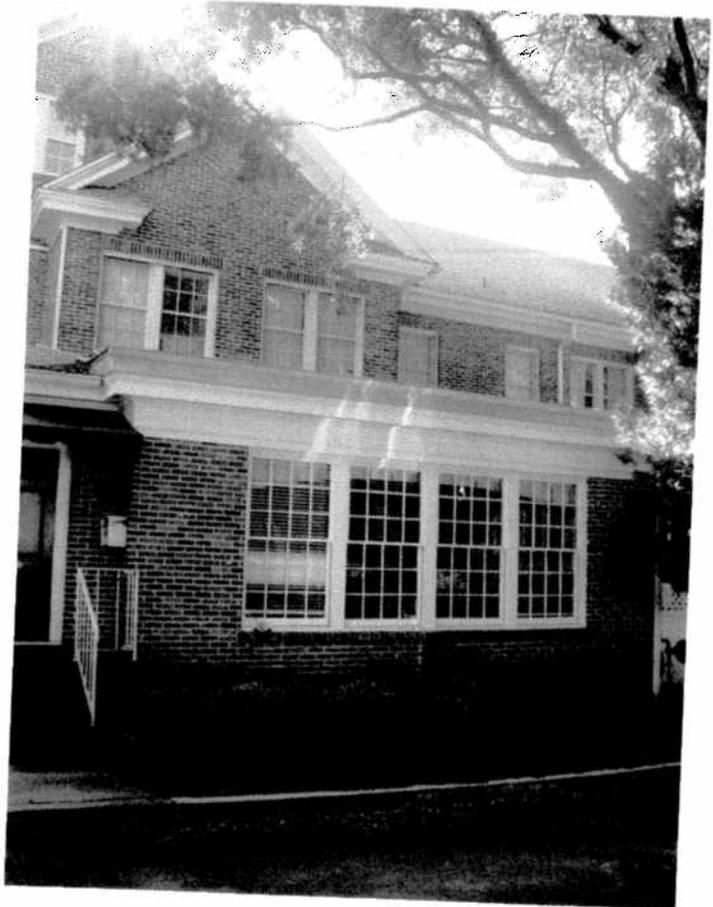
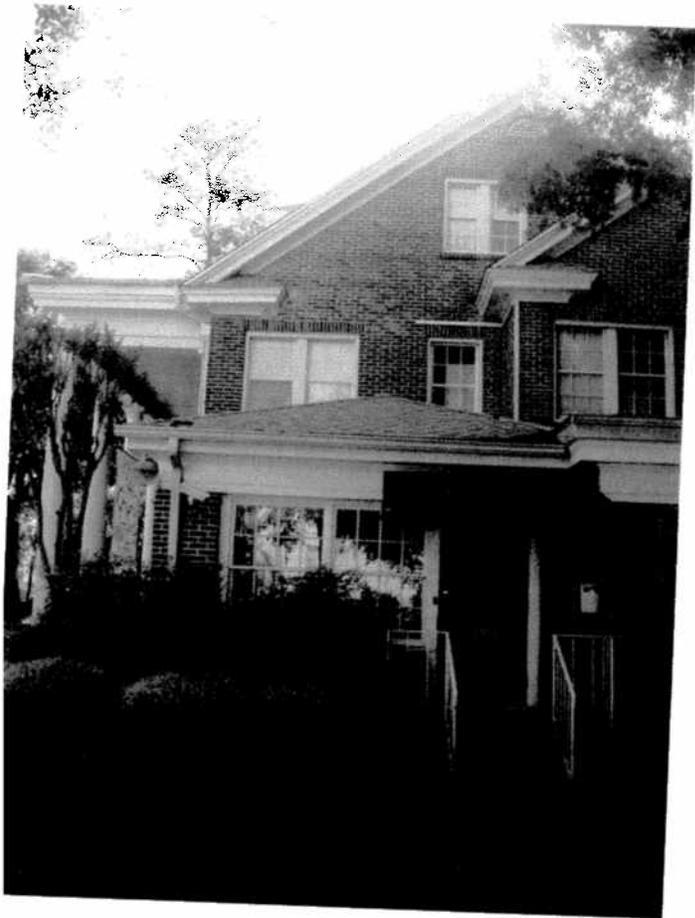
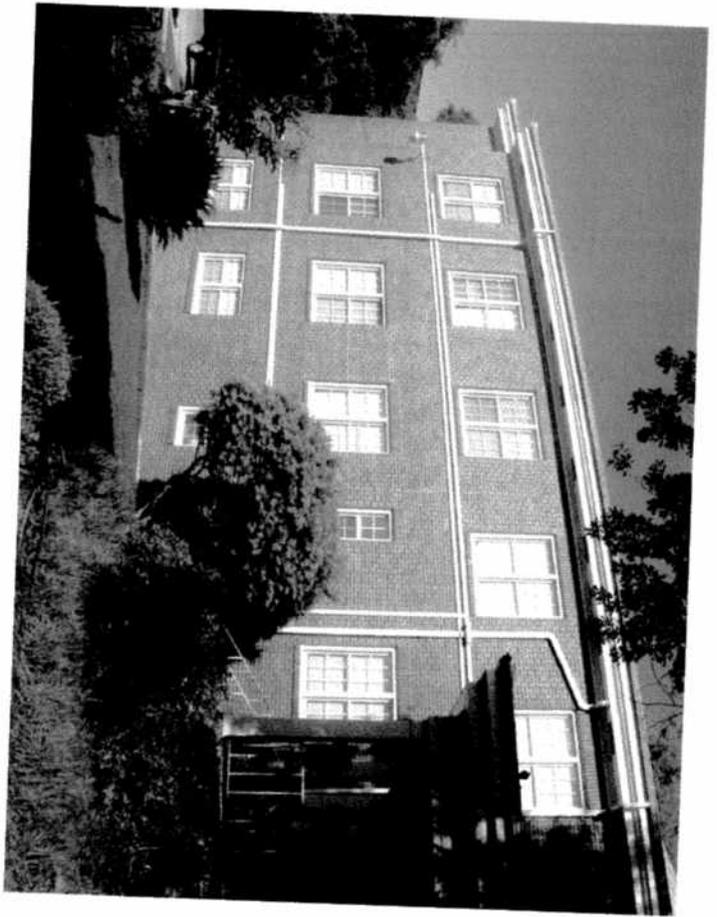
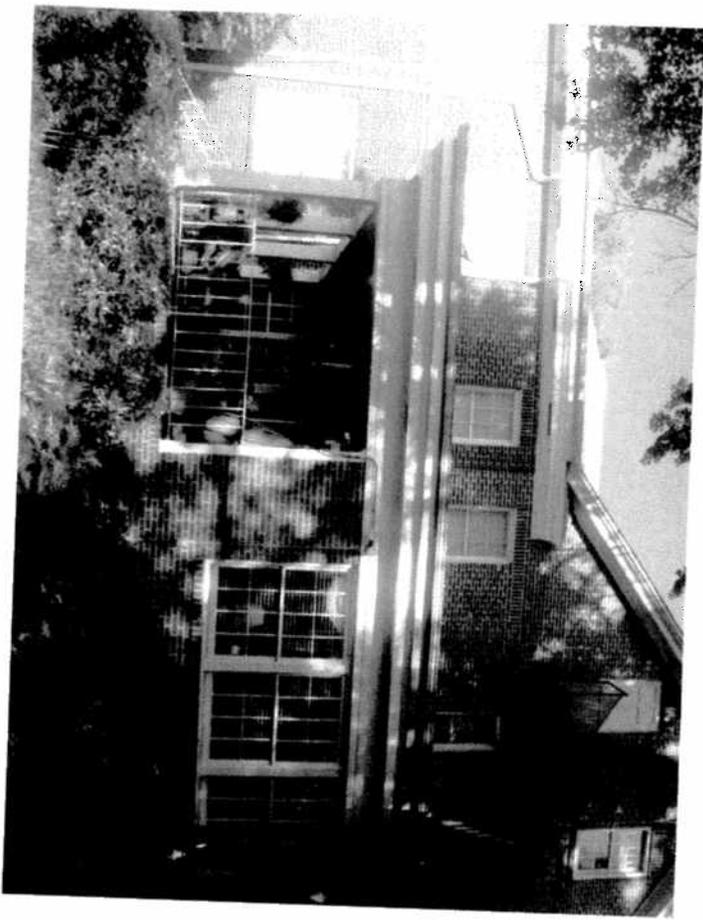


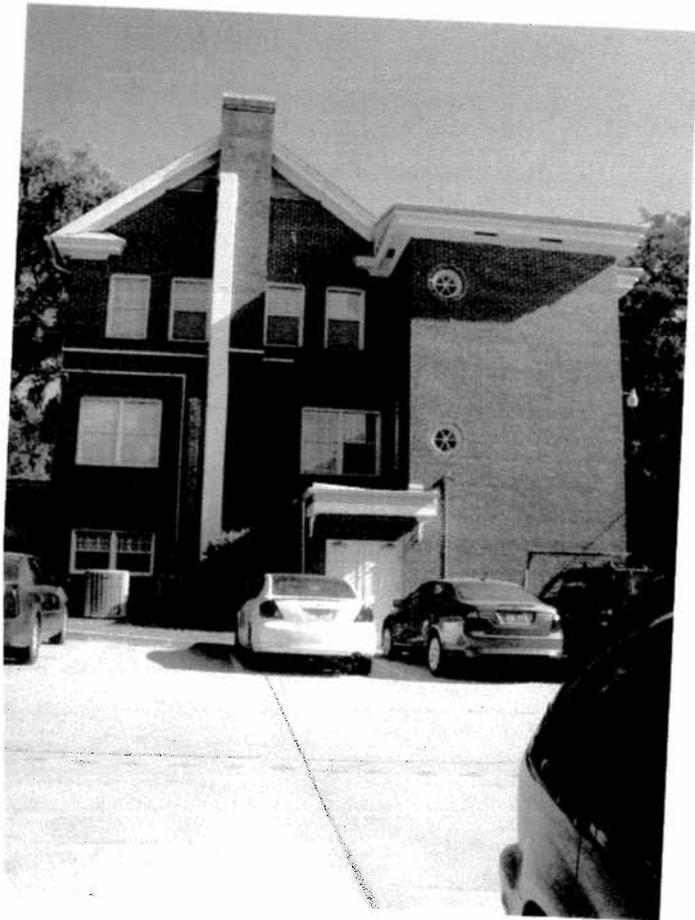
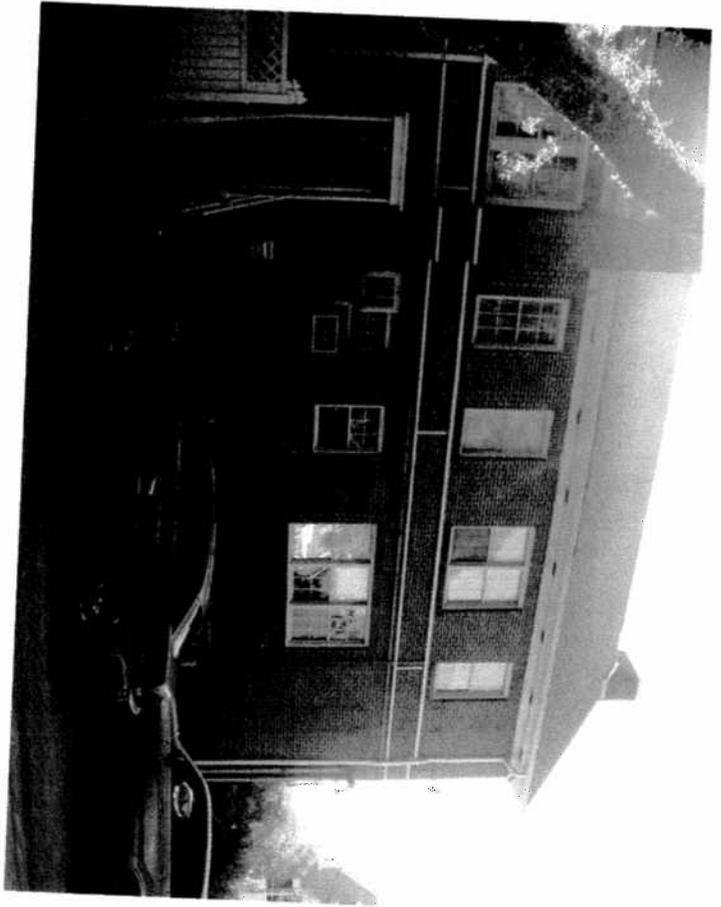
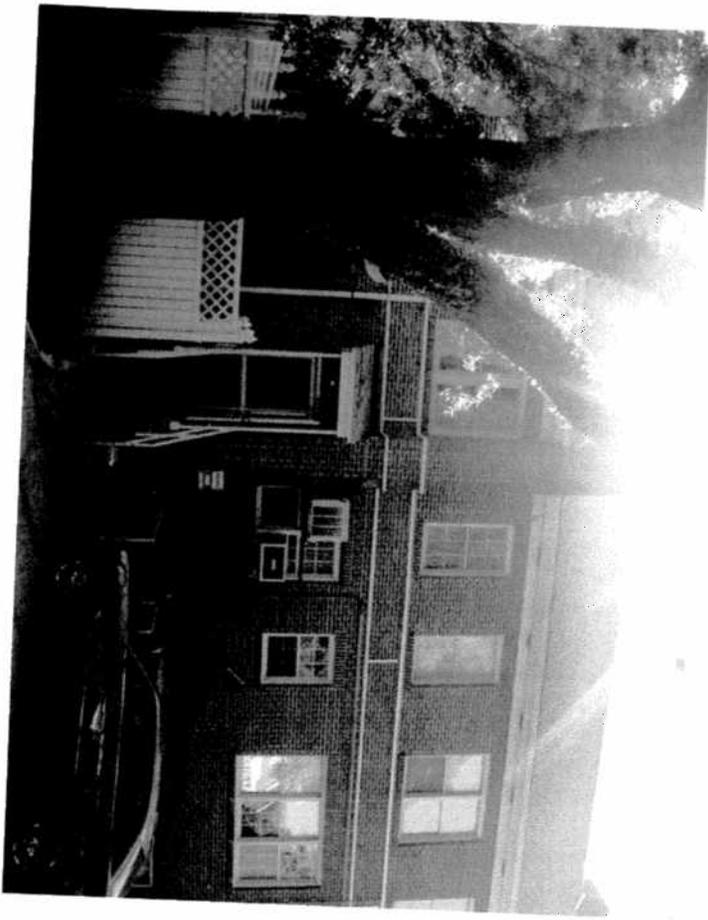


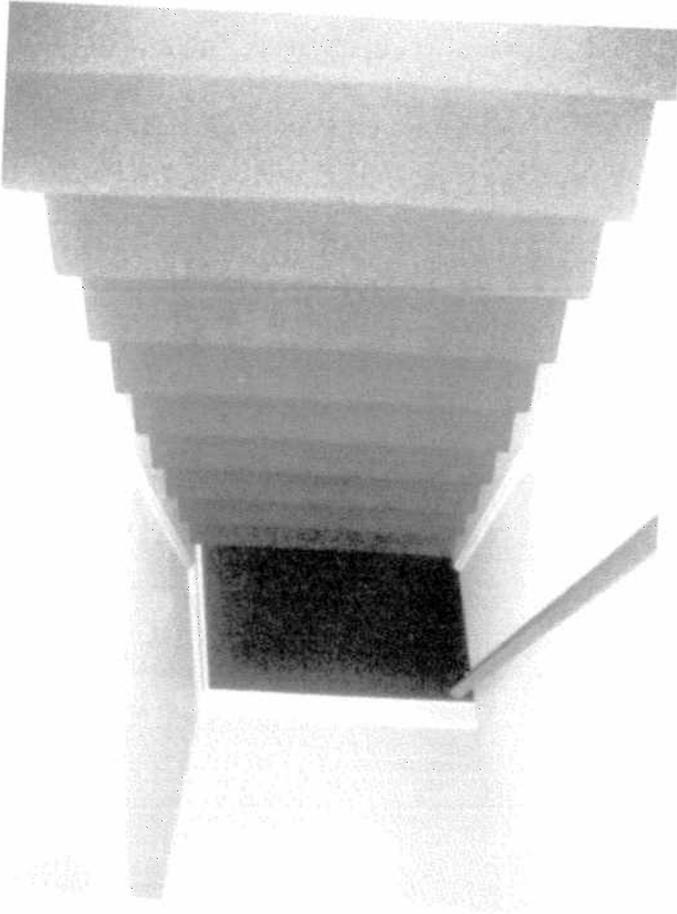
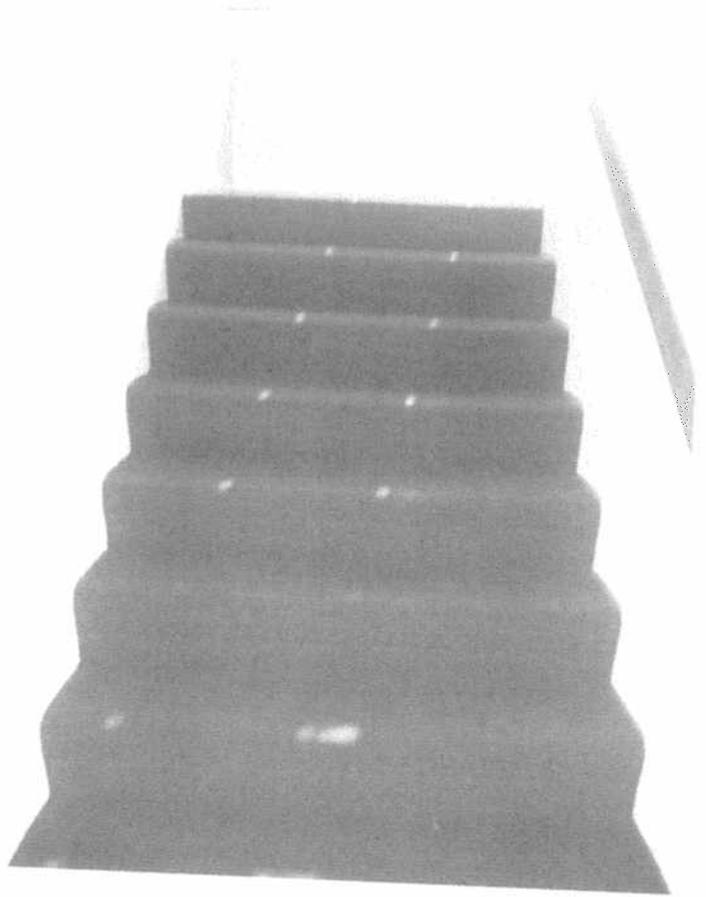
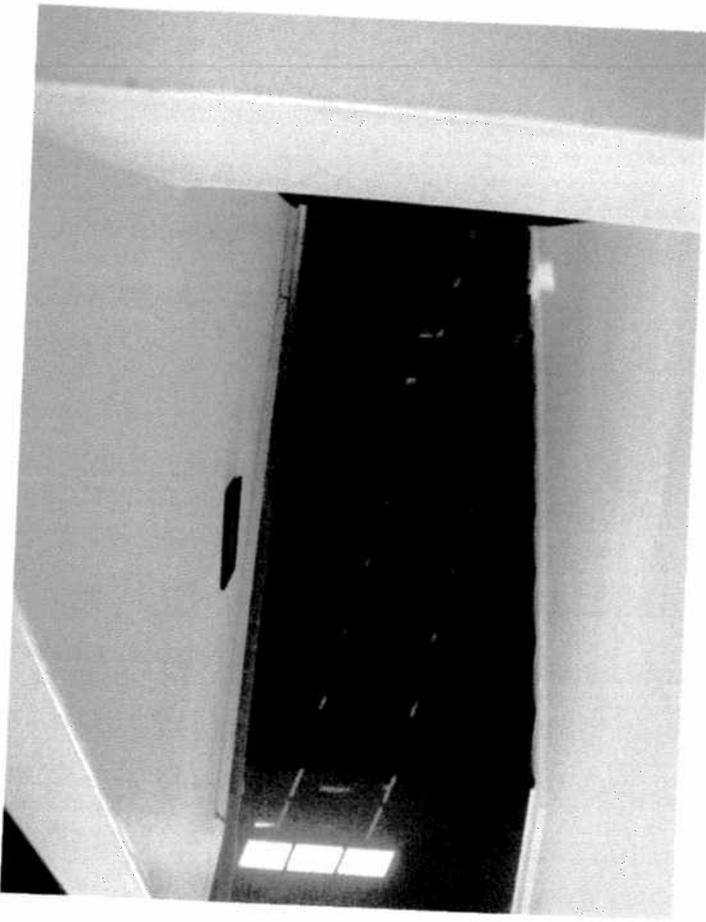












# ThyssenKrupp Elevator



April 28, 2010

Design Point Homes LLC  
Tallahassee, FL

Regarding: Alpha Delta Pi Sorority  
537 West Jefferson Street  
Tallahassee, FL

Dear Ms. Ashley:

ThyssenKrupp Elevator Corp. is pleased to quote the sum of \$33,600 for the complete installation of (1) one 2100# ThyssenKrupp Commercial passenger elevator system. The following quote has been based on the following clarifications.

1. Elevator shaft size clear inside is to be 7'4" wide X 6'0" deep, a 4'0" deep pit, with a 12'0" clear overhead space is required.
2. Elevator equipment room is to be located adjacent to the shaft at the 1<sup>st</sup> floor, a minimum of 5'6" space will be required.
3. The elevator system can operate on single phase or three phase power.
4. Elevator capacity is to be 2100# with a speed of 80 fpm in the up direction (NOTE: if single phase is selected the up direction speed will be 55 fpm).
5. Elevator lobby doors and frames have been estimated with baked enamel "color to be selected by owner".
6. Elevator cab finish to be plastic laminate.
7. Cab size to be 5'8" wide X 4'3" deep.
8. Flooring in cab to be installed by the general contractor.
9. All state permits, taxes, and applicable fees are included in this proposal.

NOTE: Items that will need to be provided and are not included in this quote:

1. Electrical
2. Fire alarm system recall system to elevator
3. Machine room HVAC lighting and electrical
4. Pit lighting, sump pump, lighting

Thank you for the opportunity to quote this project. If you should have any questions please do not hesitate to call me at 850-576-0161.

ThyssenKrupp Elevator Corp.  
850 Blountstown Hwy  
Tallahassee, FL 32304  
Phone: 850-576-0161  
Fax: 866-785-5907

Page 2

Sincerely,

**Matt Ellinor**  
**Branch Manager**

# MOWREY

ELEVATOR

1 of 3

Wednesday, April 28, 2010

Quote #08-7572

ATTN: ESTIMATING

Quote is based on

- Specifications Only
- Drawings Only
- Drawings & Specifications
- Per Phone Conversation
- Email Request

RE: **ALPHA DELTA PI SORORITY HOUSE  
TALLAHASSEE, FL**

To Whom It May Concern:

We are pleased to quote the amount of **\$33,900.00** for the complete installation of **one holeless elevator** in the above mentioned building based on the following specifications:

|          |             |            |                        |
|----------|-------------|------------|------------------------|
| Capacity | 2500 LBS    | Speed      | 55 FPM                 |
| Travel   | 12'-0"      | Doors      | 42 X 84 Single slide   |
| Landings | Two in line | Controller | Simplex microprocessor |

**SPECIAL FEATURES:**

- Braille buttons
- In use lights at all hall stations
- Proximity edge
- ADA Telephone
- ME 200 cab design
- Single phase power
- #4 Stainless steel frames and mica clad doors
- Fireman's emergency service
- Acknowledgment lights in car station
- Position indicators in car station
- Directional arrows and arrival gongs
- Aluminum sills
- Twelve months new installation maintenance

Notes: Please see the attached Work Not Included statement.  
**Please note, lead time to manufacture equipment is approximately 12 to 14 weeks upon receipt of approved submittals.**  
 Crane service and flooring is by other.  
**NO LIQUIDATED DAMAGES WILL BE ACCEPTED.**  
 To provide a Waiver of Subrogation, please add \$400.00.  
 Please see the attached insurance coverage statement.  
 Please note, this quote is good for 60 days.  
 Bond, if required, add 3.5%.  
**Please contact this office for Value Engineering.**

Thank you for your consideration. If you should have any questions, please do not hesitate to contact this office.

Sincerely,

*Grace Bush*

Grace Bush, Construction Sales Manager  
 Mowrey Elevator Company of Florida, Inc.

**\*\* By accepting this quote you are acknowledging and accepting that this Quote, Work Not Included sheet and Insurance specification sheet will be included in all future binding contract(s)\*\***

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# MOWREY

ELEVATOR

2 of 3

## Work Not Included

Note to purchaser: the following list of items are usually and customarily not provided by any elevator contractor. Our quote, this statement and our insurance statement will be included in all future binding contracts. We include this as part of our quote to make sure there are no misunderstandings at a later date.

This proposal does not include the following work, and is conditioned on the proper performance of such work by the General Contractor or other Subcontractors.

A legal hoistway, properly framed and enclosed, and including a pit of proper depth provided with sump pump, lights, access doors and waterproofing, as required. Legal machine room, adequate for the elevator equipment, including floors, trap doors, gratings, foundations, lighting, ventilation and heat to maintain the room at an ambient temperature of 50 degree, minimum (90 degree maximum). Adequate supports and foundations to carry the loads of all equipment, including supports for guide rail brackets and machine beams or overhead sheaves (if furnished). If adjacent hoistways are utilized, divider beams at suitable points shall be provided for guide rail bracket support.

All sill supports and sill recesses and the grouting of door sills. Grouting of door frames. Provide removable temporary enclosures or other protection from open hoistways during the time the elevator is being installed. Proper trenching and backfilling for any underground piping or conduit. Cutting of walls, floors, etc., and removal of such obstructions as may be necessary for proper installation of the elevator. Setting of anchors and sleeves. Pocket or blockouts for signal fixtures. Grouting of piston. All fire caulking required to maintain fire rating.

Suitable connections from the power mains to each controller or starter as required, including necessary circuit breakers and fused mainline disconnect switches. Wiring to controller for car lighting and ventilation. Electric power without charge, for construction, testing and adjusting, of the same characteristics as the permanent supply. Wiring and conduit from life safety panel or any other monitor station to elevator machine room.

A means to automatically disconnect the main line power supply to the elevator prior to the application of water in the elevator machine room will be furnished by the electrical contractor. This means shall not be self resetting. Heat and smoke sensing devices at elevator lobbies on each floor with electrical conductors terminating at a properly marked panel in the elevator machine room. Telephone connection to elevator hoistway. Telephone connection to elevator controller (remote diagnostics - no fixture).

Proper location of Jack hole from building lines and adequate ingress and egress for mobile well drilling equipment, after final excavation and previous to the pouring of footings or foundation. Removal of all dirt and debris accumulated during excavation of the jack hole to be by the General Contractor. Mowrey will be responsible for our own debris clean up and no Clean Up charges will be accepted. Employees for composite clean up crews will not be provided. Crane service to set hydraulic cylinder by General Contractor. This quote includes a single piece piston unless specified on bid sheet. PVC pressure test. This quote includes Seismic 1 requirements unless otherwise specified on bid sheet. Waiver of Subrogation.

All painting, except as otherwise specified. Temporary elevator service prior to completion and acceptance of complete installation. Materials for adequate protection from damage to elevator. Furnishing, installing and maintaining the required fire rating of elevator hoistway walls, including the penetration of fire wall by elevator fixture boxes. Flooring by others. Rear entrances unless specified on bid sheet. Any governmentally required safety provisions not directly involved with the elevator installation. Our bid does not meet HUD prevailing wage rates or Davis Bacon rates unless specified on bid sheet. Will not accept liquidated damages. Jessica Lunsford's Act is not included unless specified.

Should unusual conditions, anything other than normal dirt, be encountered during digging the cylinder hole, Contractor will be notified immediately and written authorization to proceed shall be provided to the Subcontractor. The contract price shall be increased by the amount of additional labor at Subcontractor's usual billing rates, and the actual cost of any additional materials plus 15%.

In the event that any elevator(s) fail inspection because of incomplete or incorrect work by others, a six hundred dollar (\$600.00) re-inspection fee per elevator will be assessed. Further you will be required to pay the inspection company their current fee. Re-inspections will not be scheduled until a fully executed change is received by our office.

**\*\* By accepting this quote you are acknowledging and accepting that the Quote, this Work Not Included sheet and Insurance specification sheet will be included in all future binding contract(s)\*\***

850.526.4111 · 800.441.4449 · 850.526.2375FAX | 4518 LAFAYETTE STREET · MARIANNA · FLORIDA 32446

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# MOWREY

E L E V A T O R

3 of 3

|   |             |
|---|-------------|
| ➤ <b>Commercial General Liability</b> Policy # JMS000030700 |             |
| Each Occurrence   | \$1,000,000 |
| Damage to Rented Premises (per occurrence)                  | \$100,000   |
| Med Exp (any one person)                                    | \$10,000    |
| Personal & Adv Injury                                       | \$1,000,000 |
| General Aggregate   | \$3,000,000 |
| Products - Comp/Op Agg                                      | \$3,000,000 |

|  |             |
|--|-------------|
| <b>Excess Liability</b> Policy # BE2219613 |             |
| Each Occurrence                            | \$4,000,000 |
| Aggregate                                  | \$4,000,000 |
| Retention \$10,000                         |             |

**Agent:** JM Associates, Ltd.  
One Bridge Plaza North, Suite 360  
Fort Lee, New Jersey 07024  
(201) 944-6600

|  |             |
|--|-------------|
| ➤ <b>Automobile Liability</b> Policy # 373-8757-59           |             |
| Bodily Injury & Property Damage Single Limit (each accident) | \$1,000,000 |

**Agent:** Keith Williams, State Farm Insurance Company  
P.O. Box 639  
Marianna, Florida 32447  
(850) 482-8931

|   |             |
|---|-------------|
| ➤ <b>Workers Compensation and Employers Liability</b> Policy # 0830-39051 |             |
| E.L. Each Accident  | \$1,000,000 |
| E.L. Disease - Each Employee  | \$1,000,000 |
| E.L. Disease - Policy Limit   | \$1,000,000 |

**Agent:** Germani Insurance Agency, Inc.  
P.O. Box 13767  
Tallahassee, Florida 32317  
(850) 942-1200

"Waivers of Subrogation", please add \$400.00 to our quote.

Acceptance of our bid includes acceptance of our insurance as outlined above

**\*\* By accepting this quote you are acknowledging and accepting that the Quote, Work Not Included sheet and this Insurance specification sheet will be included in all future binding contract(s)\*\***

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Design Point Homes, LLC  
 6753 Thomasville Road, Ste103-134  
 Tallahassee, FL 32312

# Estimate

| Name/Address  |
|---|
| Alpha Delta Pi Sorority<br>Iota<br>537 West Jefferson Street<br>Tallahassee, FL 32301 |

| Date     | Estimate No. | Project |
|----------|--------------|---------|
| 04/28/10 | 1            |         |

| Item             | Description   | Quantity | Cost      | Total               |
|------------------|---|----------|-----------|---------------------|
| Additional Remod | Construction of Elevator shaft and adjacent machine room for 2 stop elevator per attached | 1        | 59,400.00 | 59,400.00           |
| Additional Remod | Electrical and Lighting for Elevator per specs  | 1        | 13,750.00 | 13,750.00           |
| Additional Remod | Plumbing for required sump pump   | 1        | 4,500.00  | 4,500.00            |
| Additional Remod | Elevator Equipment (best bid)   | 1        | 33,600.00 | 33,600.00           |
| Additional Remod | Please note that this is an estimate and does not include unknown conditions.             |          | 0.00      | 0.00                |
| <b>Total</b>     |   |          |           | <b>\$111,250.00</b> |



Alpha Delta Pi Sorority  
Iota Chapter  
537 West Jefferson Street  
Tallahassee, FL 32303

**Renovation of Second Floor Main Bathroom**

All material and labor is included to provide a finished product.

**Demolition Phase:** The following will be removed.

- Four partition walls
- Five bath entries
- One closet entry
- Plumbing fixtures and lines
- Lighting fixtures and fans
- HVAC supply grills
- Cabinetry and shelving
- Toilet stall partitions
- Floor tile
- Shower tile and pans
- Wall and ceiling drywall

**Construction Phase:** The renovated bathroom and make-up room to be constructed per plans and specifications produced by DEC Engineering, dated 4/26/2010.

- Framing and carpentry to be done per plans.
- Plumbing supply and waste lines to be installed per plans.
- Electrical wiring to be installed per plans.
- HVAC supply ducts and grills to be installed per plans.
- Bath fan ducts to be installed to vent to exterior.
- Drywall XP (moisture and mildew resistant) to be installed on walls and ceiling.
- DuraRock (cement board) to be installed in all areas to be tiled.

**Interior Finish Phase:** All styles and colors to be approved by ADPi House Corporation prior to installation.

- Floor Finish: Tile
- Walls: Painted  
(\*optional: faux finish with water resistant clear coat provided at extra cost)
- Ceilings: Painted / White
- Wood Trim: Painted White
  - Bath Entry Doors: Style to be consistent with existing interior.
  - Interior Bath Doors: Vented "Plantation" style
  - Door Casings: Style to be consistent with existing interior.
  - Wall Mounted Cubbies: Painted
- Counter Tops: Granite
- Plumbing Fixtures:
  - Toilets: "Comfort Height" style with high capacity flush  
Color: White
  - Lavatories: "Undermount" style  
Color: White
  - Shower Valves: Oil Rubbed Bronze finish
  - Lavatory Valves: Oil Rubbed Bronze finish
- Lighting Fixtures:
  - Recessed Fixtures: White
  - Surface Mounted Fixtures: Oil Rubbed Bronze finish
- Door and Bath Hardware: Oil Rubbed Bronze finish (where possible)
- Mirrors: Polished Edge
- Shower Doors (where indicated): Obscure Glass with Oil Rubbed Bronze

### **Renovation of Second Floor Front Bathroom**

All material and labor is included to provide a finished product.

*This bathroom will be addressed after the 2<sup>nd</sup> floor main bathroom area has been opened up. If only minimal unknown conditions arise, then the 2<sup>nd</sup> floor front bathroom will be fully renovated per plans, and as described below. In the case that costly unknown conditions arise upon opening up the 2<sup>nd</sup> floor main bathroom area, the 2<sup>nd</sup> floor front bathroom will be treated as a "reface" and plumbing lines will not be moved.*

**Demolition Phase:** The following will be removed.

- Partition wall
- Plumbing fixtures and lines
- Lighting fixtures and fans
- HVAC supply grills
- Cabinetry and shelving
- Toilet stall partitions
- Floor tile
- Shower tile and pans
- Wall and ceiling drywall

**Construction Phase:** The renovated bathroom and make-up room to be constructed per plans and specifications produced by DEC Engineering, dated 4/26/2010.

- Framing and carpentry to be done per plans.
- Plumbing supply and waste lines to be installed per plans.
- Electrical wiring to be installed per plans.
- HVAC supply ducts and grills to be installed per plans.
- Bath fan ducts to be installed to vent to exterior.
- Drywall XP (moisture and mildew resistant) to be installed on walls and ceiling.
- DuraRock (cement board) to be installed in all areas to be tiled.

**Interior Finish Phase:** All styles and colors to be approved by ADPi House Corporation prior to installation.

- Floor Finish: Tile
- Walls: Painted  
(\*optional: faux finish with water resistant clear coat provided at extra cost)
- Ceilings: Painted / White

- Wood Trim: Painted White
  - Bath Entry Doors: Style to be consistent with existing interior.
  - Interior Bath Doors: Vented "Plantation" style
  - Door Casings: Style to be consistent with existing interior.
  - Wall Mounted Cubbies: Painted
- Counter Tops: Granite
- Plumbing Fixtures:
  - Toilets: "Comfort Height" style with high capacity flush
    - Color: White
  - Lavatories: "Undermount" style
    - Color: White
  - Shower Valves: Oil Rubbed Bronze finish
  - Lavatory Valves: Oil Rubbed Bronze finish
- Lighting Fixtures:
  - Recessed Fixtures: White
  - Surface Mounted Fixtures: Oil Rubbed Bronze finish
- Door and Bath Hardware: Oil Rubbed Bronze finish (where possible)
- Mirrors: Polished Edge
- Shower Doors (where indicated): Obscure Glass with Oil Rubbed Bronze

**Renovation of First Floor "Junction" Bathroom**  
**Designed to meet ADA Requirements**

All material and labor is included to provide a finished product.

**Demolition Phase:** The following will be removed.

- Partition wall
- Plumbing fixtures and lines
- Lighting fixtures and fans
- HVAC supply grills
- Cabinetry and shelving
- Toilet stall partitions
- Floor tile
- Shower tile and pans
- Wall and ceiling drywall

**Construction Phase:** The renovated bathroom to be constructed per plans and specifications produced by DEC Engineering, dated 4/26/2010.

- Framing and carpentry to be done per plans.
- Plumbing supply and waste lines to be installed per plans.
- Electrical wiring to be installed per plans.
- HVAC supply ducts and grills to be installed per plans.
- Bath fan ducts to be installed to vent to exterior.
- Drywall XP (moisture and mildew resistant) to be installed on walls and ceiling.
- DuraRock (cement board) to be installed in all areas to be tiled.

**Interior Finish Phase:** All styles and colors to be approved by ADPi House Corporation prior to installation.

- Floor Finish: Tile
- Walls: Painted  
(\*optional: faux finish with water resistant clear coat provided at extra cost)
- Ceilings: Painted / White
- Wood Trim: Painted White
  - Bath Entry Doors: Style to be consistent with existing interior.
  - Interior Bath Doors: Vented "Plantation" style
  - Door Casings: Style to be consistent with existing interior.
  - Wall Mounted Cubbies: Painted
- Counter Tops: Granite

- Plumbing Fixtures:
  - Toilets: "Comfort Height" style with high capacity flush  
Color: White
  - Lavatories: "Undermount" style  
Color: White
  - Shower Valves: Oil Rubbed Bronze finish
  - Lavatory Valves: Oil Rubbed Bronze finish
- Lighting Fixtures:
  - Recessed Fixtures: White
  - Surface Mounted Fixtures: Oil Rubbed Bronze finish
- Door and Bath Hardware: Oil Rubbed Bronze finish (where possible)
- Mirrors: Polished Edge
- Shower Doors (where indicated): Obscure Glass with Oil Rubbed Bronze

**Alpha Delta Pi Sorority House Bathroom Renovations**

Please see attached **Scope of Work for Bathroom Renovations**, consisting of six (6) pages. **Building Plans** produced by DEC Engineering, consisting of 13 pages, dated 04/26/2010.

**Terms:**

- Required permits are included in price.
- Building Plans are to be supplied by Owner.
- Engineering Fees are not included.
- All construction to meet or exceed Florida Building Codes and Standards.
- General Liability Insurance provided.
- Proof of Homeowner's Insurance is to be provided to Contractor by Owner.
- Builder's Risk Insurance is not included, but may be provided upon request at additional cost.
- All work is to be performed in a professional and timely manner.
- All workmanship and materials are guaranteed for one year.
- Specifications are subject to change by signed Change Order only.
- Additions to original order/contract (written or verbal) will be performed at extra cost.
- Building conditions unknown to Contractor at the time of proposal submittal, resulting in extra cost to Contractor, will be disclosed to Owner and billed accordingly.
- Owner has received the "Renovate Right" pamphlet
- A punch list will be submitted by Owner, upon substantial completion of work. The punch list will be completed by Contractor within 1-21 days.
- Owner understands that a minimum of 20% of total cost must be spent on ADA Compliant components.

**Estimated Total Cost: \$120,000.00**

**Payment Schedule:**

- 20% upon acceptance of proposal
- 20 % upon demolition of areas
- 20% upon finishing of drywall
- 25% upon plumbing trim-out
- 10% upon substantial completion of work
- Balance due upon completion of punch list

**Owner/Representative Acceptance:**

Owner/Representative authorizes Design Point Homes, LLC to perform work as stated in this Renovation Agreement.

Owner accepts and agrees with the terms stated in this Renovation Agreement.

\_\_\_\_\_  
Owner/Representative

\_\_\_\_\_  
Date

  
Contractor/Design Point Homes, LLC  
CBC1251680

\_\_\_\_\_  
Date

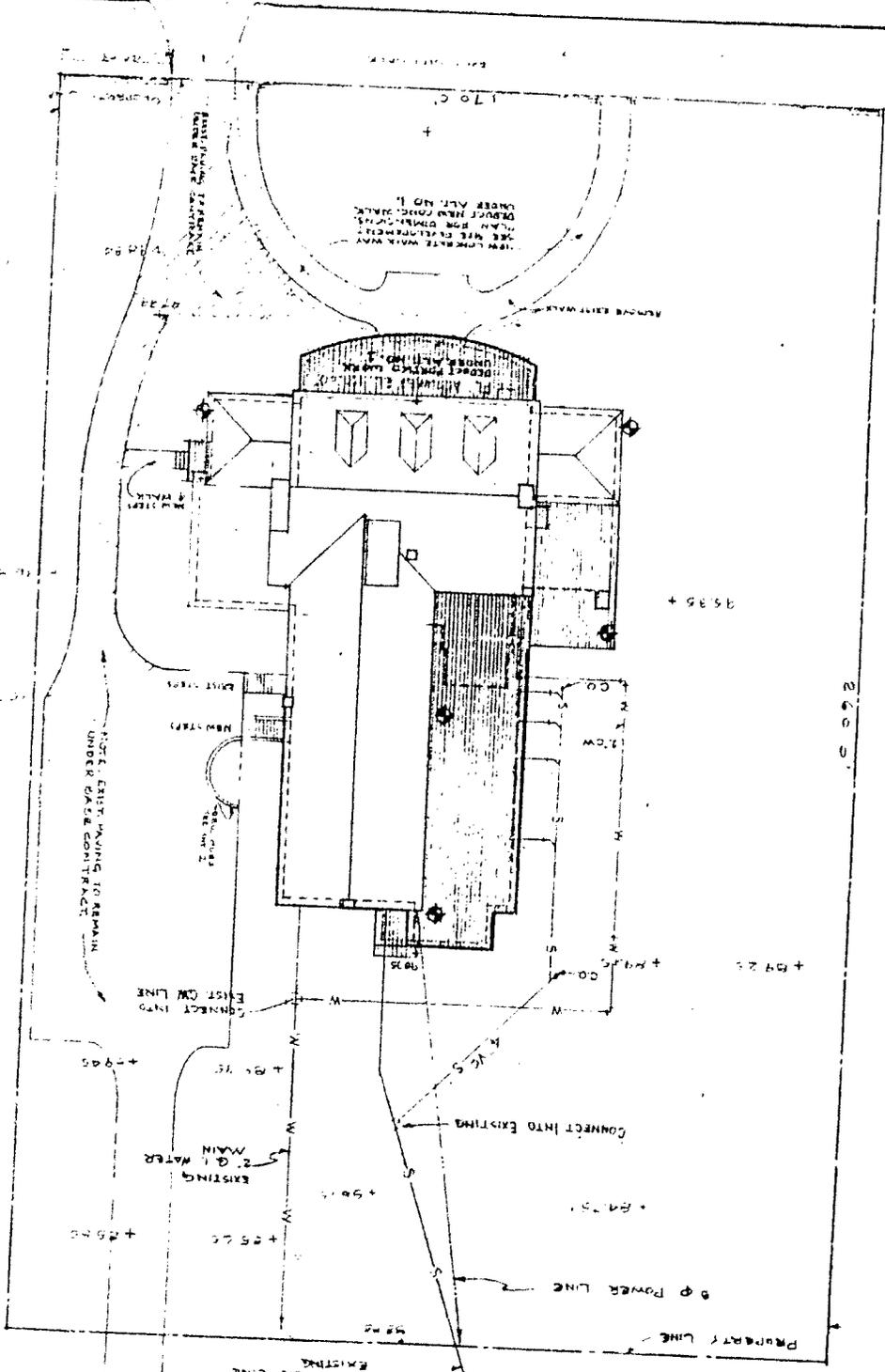
04/29/2010

NOTES:  
TOPOGRAPHY FROM A  
SURVEY BY A. F. BARNHART  
MAY 1970

Plot Plan  
SCALE 1" = 20'-0"

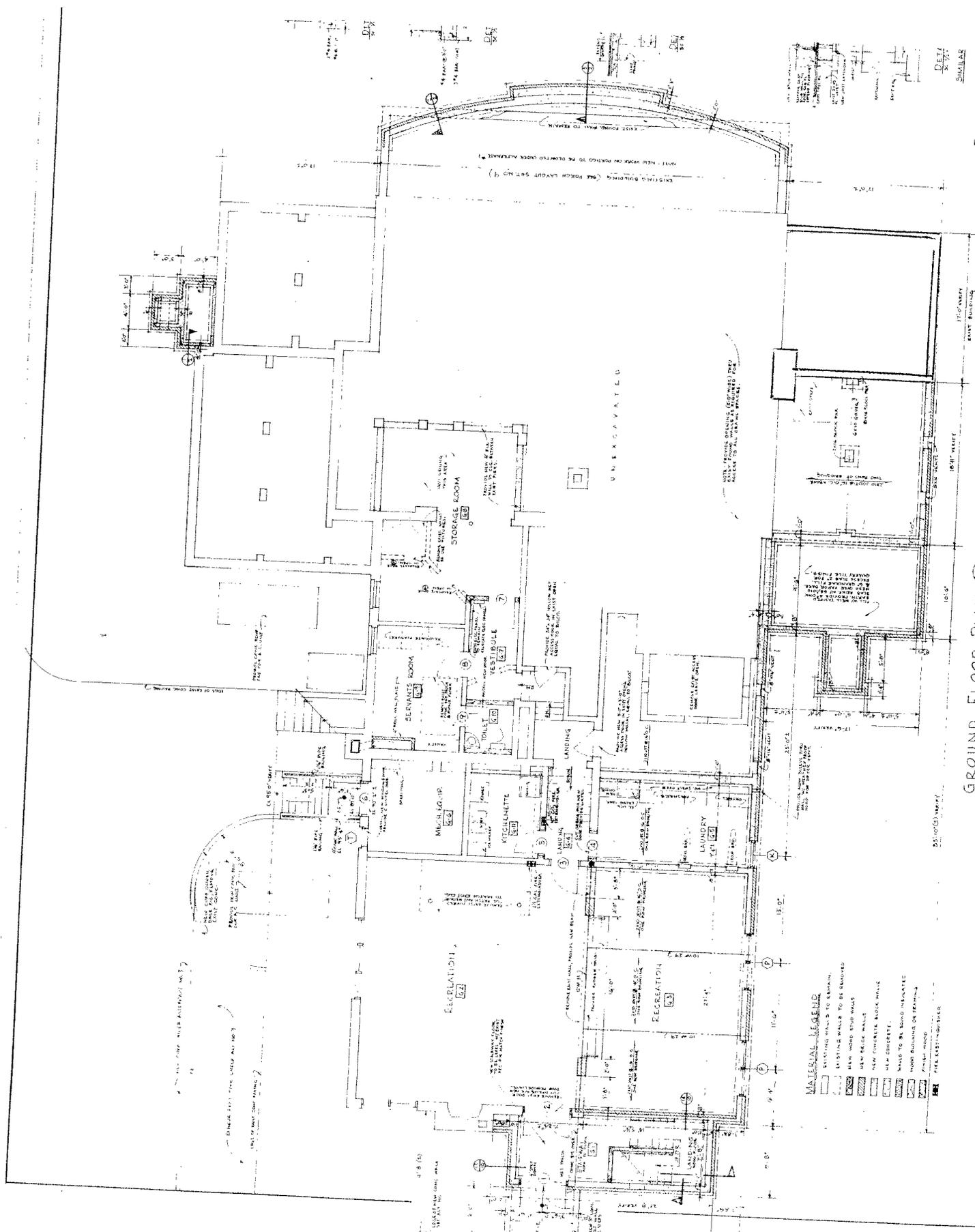


JEFFERSON STREET



PENSACOLA STREET

6" WATER  
6" SANITARY SEWER  
4" SERVICE TO CURB  
TOP OF CURB ELEV. 17.85



**GROUND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

NOTE: THIS FLOOR PLAN IS FOR INFORMATION ONLY. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ARCHITECT'S OFFICE IS NOT A LICENSED ARCHITECTURAL FIRM.

REVISED  
ALTERATIONS & ADDITIONS TO CHANGES  
ALPHABETICALLY  
DATE: 10/15/2010  
PROJECT: INTERSECTION UNTERFELD EWA  
SHEET: 101  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES  
DATE: 10/15/2010

11 of 11

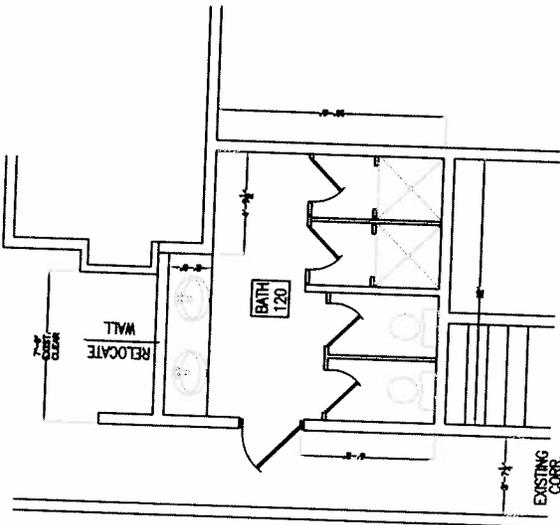






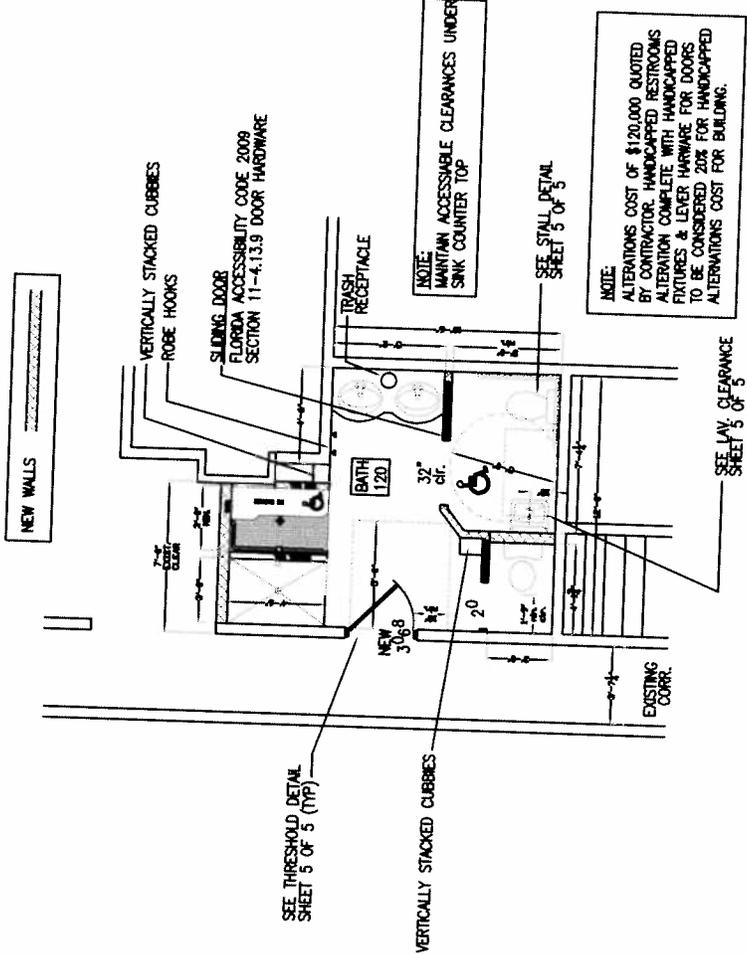
**DEMOLITION NOTES:**

- PATCH AND REPAIR EXISTING FLOORING AS REQUIRED. PATCHES, CRACKS, DEPRESSIONS, AND JOINTS SHALL BE MADE WITH COMPATIBLE MATERIALS AND COMPOUND CUT OUT WHERE REQUIRED AND REPLACE TO MATCH LEVEL FLOOR.
- WHERE EXISTING WALLS ARE TO BE REMOVED, PATCH/REPAIR DISTURBED FLOOR FINISH AND WALLS SHALL BE MADE ADJACENT TO IT TO REMAIN WHERE NEW FINISHES ARE SPECIFIED. PATCH/REPAIR SHALL BE MADE TO MATCH EXISTING AND TELEVISION WALLS SHALL BE CARVED PER CODE AND COULD INTO CEILING SPACE. CONSULT WITH OWNER UTILIZED IN NEW WORK.
- LIGHTING & PLUMBING STORAGE OR DISPOSAL TO BE VERIFIED WITH OWNER.



**EXISTING BATH  
MAIN FLOOR PLAN**  
1/4" = 1'-0"

Note: All doors shall be equipped with lever-operated, push-type, or u-shaped handles/hardware as per IAC 4.13.9, mounted no higher than 48" A.F.F.



**REMODELED BATH  
MAIN FLOOR PLAN**  
1/4" = 1'-0"

NOTE:  
ALTERNATIONS COST OF \$120,000 QUOTED BY CONTRACTOR. HANDICAPPED RESTROOMS ALTERATION COMPLETE WITH HANDICAPPED FIXTURES & LEVER HARDWARE FOR DOORS TO BE CONSIDERED 20% FOR HANDICAPPED ALTERNATIONS COST FOR BUILDING.

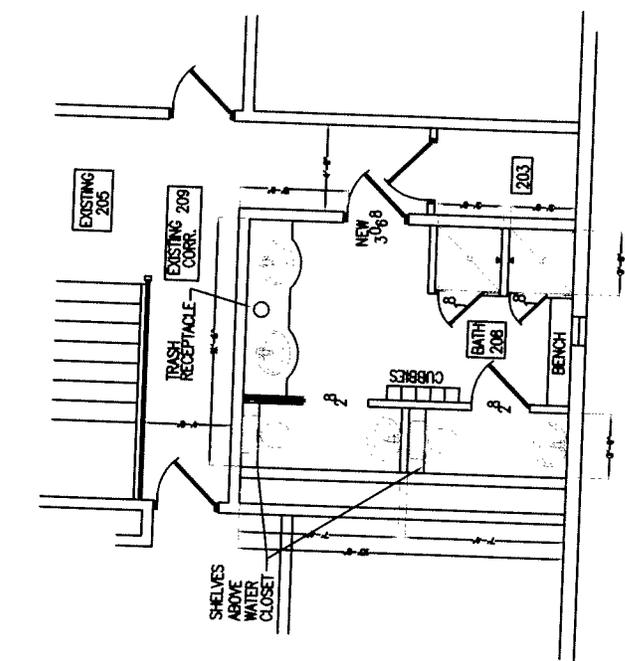
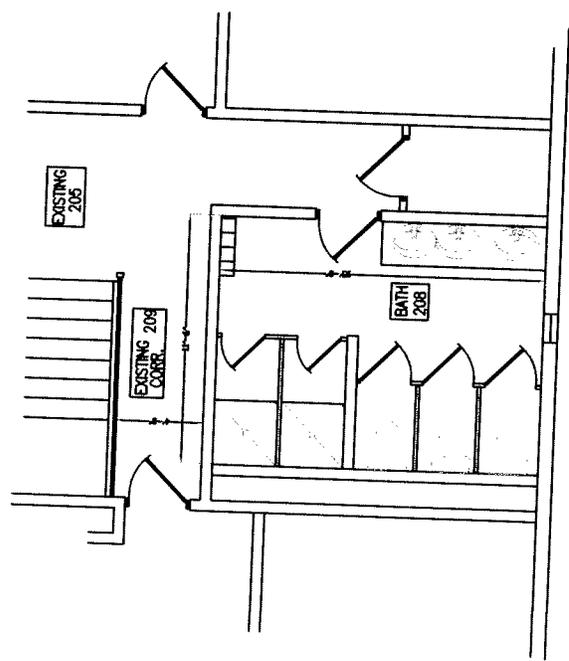
NOTE:  
MAINTAIN ACCESSIBLE CLEARANCES UNDER SINK COUNTER TOP



|                                    |                     |                                |
|------------------------------------|---------------------|--------------------------------|
| Project: 537 West Jefferson Street | Scale: 1/4" = 1'-0" | Client: Alpha Delta Pi Society |
| Title: Bathroom Plans              | Revised by: [ ]     | Revised Date: [ ]              |
| Drawn: [ ]                         | Checked: [ ]        | Date: 04/29/10                 |
| Project No. 09D-209                | Sheet 2 of 5        |                                |

WILLIAM E. DOUGLAS, P.E.  
LICENSE #11583

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STATE CERTIFICATION #2444  
EMAIL: DEC@DECENGINEERING.COM  
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NOTE:  
MAINTAIN ACCESSIBLE CLEARANCES UNDER  
SINK COUNTER TOP

WILLIAM E. DOUGLAS, P.E.  
LICENSE #11563

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STATE CERTIFICATION #2244  
EMAIL: DEC@METALLY.COM  
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PROJECT: 537 West Jefferson Street

SCALE: 1/4"=1'-0"

Revised By: [ ] Date: [ ]

Checked By: [ ] Date: [ ]

Drawn By: [ ] Date: [ ]

DATE: 04/28/10

TITLE: Bathroom Plans

FILE: R209P01.dwg

PROJECT: 537 West Jefferson Street

SCALE: 1/4"=1'-0"

Revised By: [ ] Date: [ ]

Checked By: [ ] Date: [ ]

Drawn By: [ ] Date: [ ]

DATE: 04/28/10

Sheet 3 of 5

NO. 08D-209

DEC Engineering, Inc.  
Civil Engineering  
William E. Douglas, P.E., President  
3407 Cambridge Road  
Tulaluma, WA 98148  
Phone: (509) 308-6828  
Fax: (509) 308-6828  
Email: dec@metally.com  
State Certification #2244



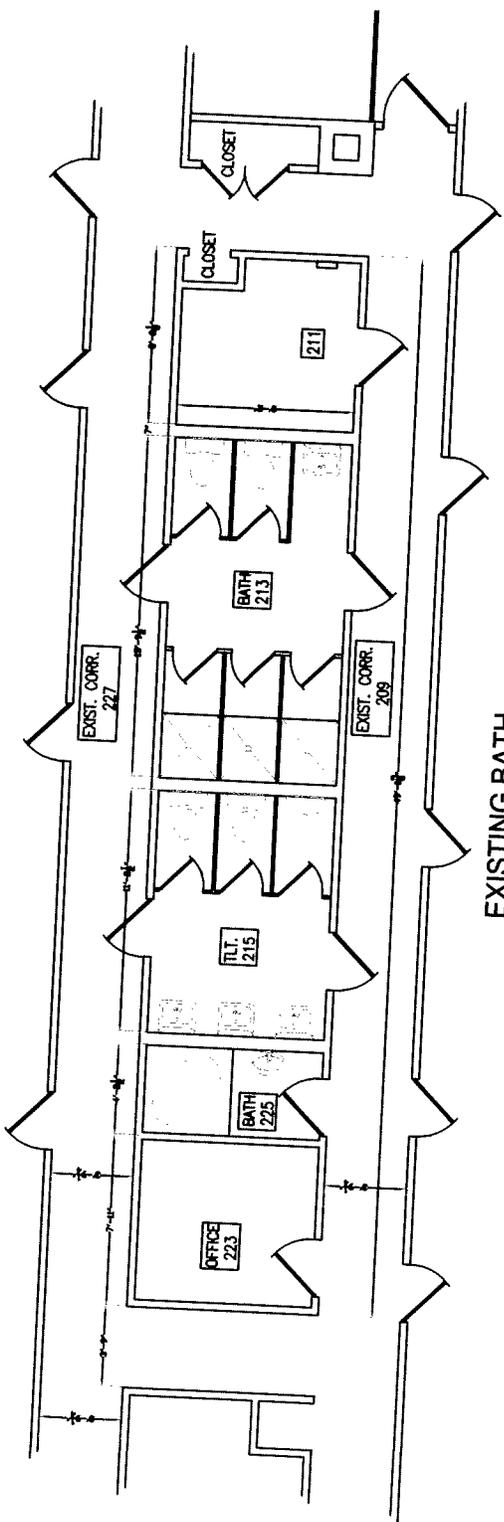


DEC Engineering, Inc.  
 Civil Engineering, Inc.  
 William K. Douglas, P.E., President  
 8437 Chivalria Road Tallahassee, Florida 32308  
 Phone (904) 200-0280 Fax (904) 200-7030  
 Email: dec@dec-engineering.com State Certification #1444

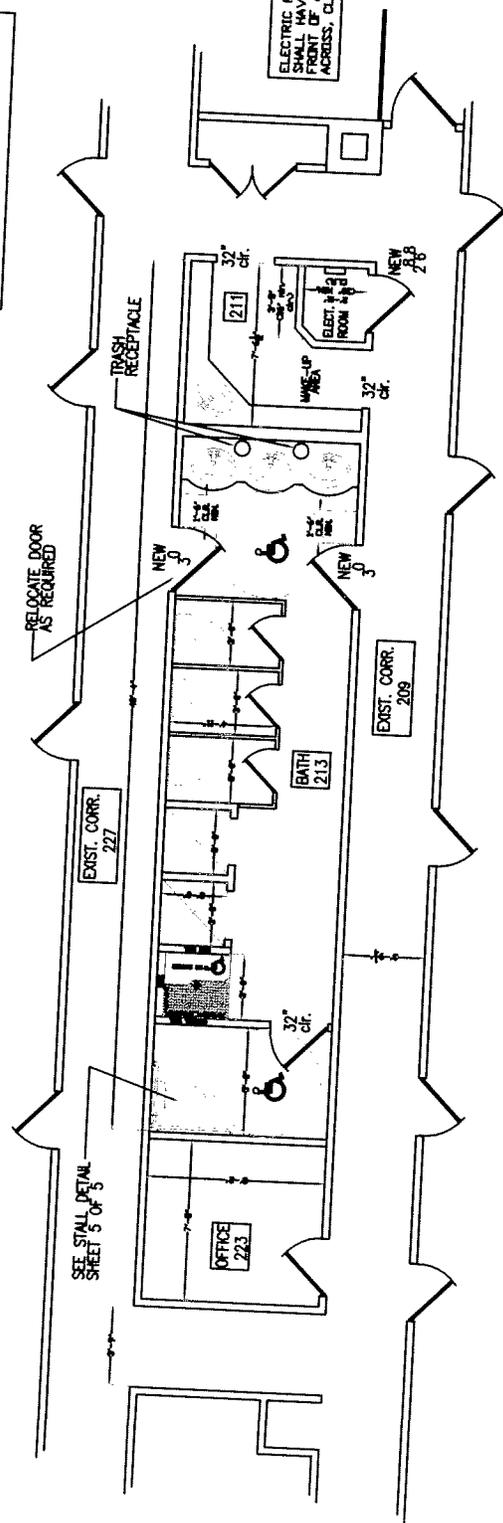
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| Project: 537 West Jefferson Street | Scale: 1/4" = 1'-0" | Client: Alpha Delta Pi Sorority |
| Title: Bathroom Plans              | Revised By: [ ]     | Revised Date: [ ]               |
| Drawn: [ ]                         | Checked: [ ]        | Date: [ ]                       |
| W.E.D.                             | W.E.D.              | 04/28/10                        |

Sheet 4 of 5  
 No. 090-209

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 EMAIL: DEC@NETTALLY.COM  
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EXISTING BATH  
 SECOND FLOOR PLAN  
 1/4" = 1'-0"



REMODELLED BATH  
 SECOND FLOOR PLAN  
 1/4" = 1'-0"

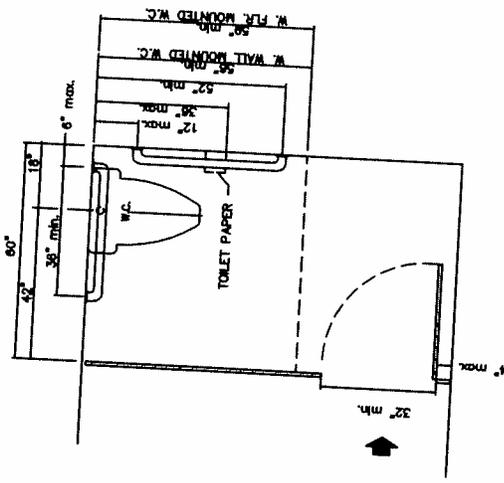


**DEC Engineering, Inc.**  
 847 Cassville Road Tallahassee, Florida 32308  
 Phone: (904) 588-0888 Fax: (904) 588-7888  
 Email: dec@dec-engineering.com Website: www.dec-engineering.com  
 William K. Douglas, P.E. President

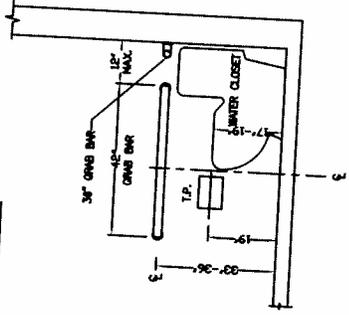
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| Project:  | PROJECT: 537 West Jefferson Street |
| Title:    | Restroom Plans                     |
| Scale:    | SCALE: 1/4" = 1'-0"                |
| Client:   | CLININT-Alpha Delta Pi Sorority    |
| Revision: |                                    |
| Check:    |                                    |
| Drawn:    |                                    |
| Date:     | 04/28/10                           |

Sheet 5 of 5  
 NO. 090-209

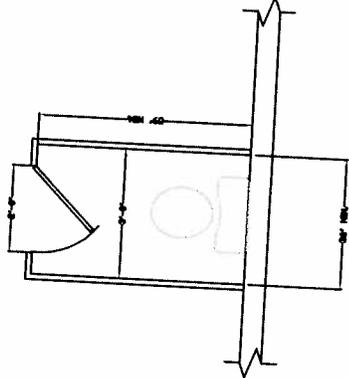
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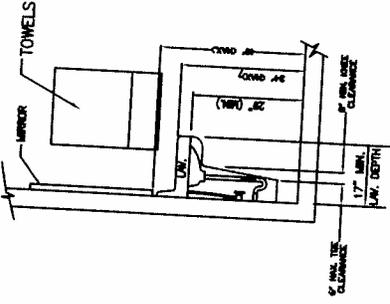
H/C TOILET STALL



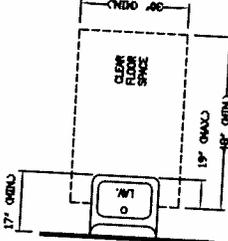
WATER CLOSET



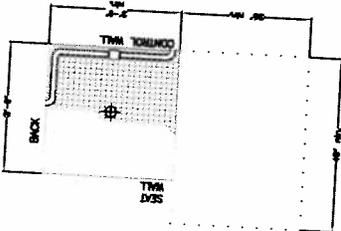
TYPICAL TOILET STALL



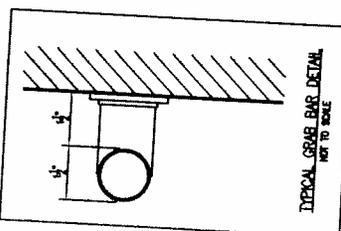
LAVATORY



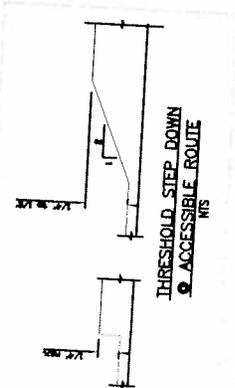
H/C CLEAR SPACE AT LAVATORIES



H.C. SHOWER DETAIL



TYPICAL GRAB BAR DETAIL



THRESHOLD NOTES

1. The elevation of the floor surfaces on both sides of a door shall not vary by more than 1/2 in. (13 mm).
2. The elevation shall be maintained on both sides of the doorway for a distance at least equal to the width of the widest leaf.
3. Thresholds of dormers shall not be more than 1/2 in. (13 mm) in height.
4. Raised thresholds and floor level changes more than 1/4 in. (6.4 mm) at doorways shall be beveled with a slope not steeper than 1 in 2.



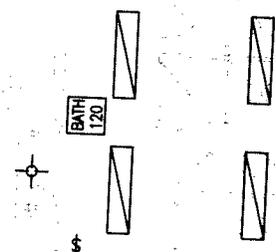
**DEC Engineering, Inc.**  
 5427 Convent Road Tallahassee, Florida 32308  
 Phone (904) 886-6880 Fax (904) 886-7888  
 Email: dec@dec-engineering.com  
 William K. Douglas, P.E., President

|             |                                  |
|-------------|----------------------------------|
| Project:    | 537 West Jefferson Street        |
| Title:      | Bathroom - Main Floor Elect. Pl. |
| Scale:      | 1/4" = 1'-0"                     |
| Drawn by:   | WKS                              |
| Checked by: | WKS                              |
| Date:       | 04/28/10                         |

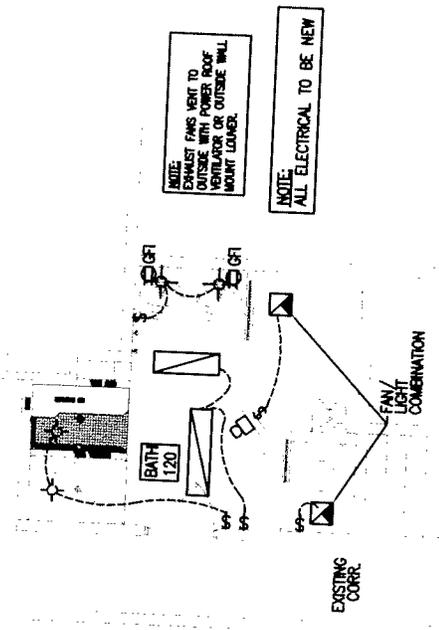
Sheet **3** of **3**  
 PROJECT NO. 09D-209

WILLIAM E. DOUGLAS, P.E.  
 LICENSE #11563  
 DEC ENGINEERING INC.  
 STATE CERTIFICATION #1244  
 EMAIL: DEC@DECENGINEERING.COM  
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- NOTES:**
- CONNECT NEW LIGHTS TO EXISTING CIRCUIT.
  - PROVIDE NEW 1 POLE, 20 AMP, BREAKER IN EXISTING PANEL TO FEED NEW GF RECEPTACLES.



**EXISTING BATH  
 MAIN FLOOR PLAN**  
 1/4" = 1'-0"



**REMODELED BATH  
 MAIN FLOOR PLAN**  
 1/4" = 1'-0"

**LEGEND:**

|  |                               |
|--|-------------------------------|
|  | GROUND FAULT RECEPTACLE       |
|  | EMERGENCY LIGHTING            |
|  | FLUORESCENT LIGHTING          |
|  | FLUORESCENT LIGHTING          |
|  | 3-WAY SWITCH                  |
|  | SINGLE POLE SWITCH            |
|  | EXHAUST FAN                   |
|  | EXHAUST FAN/LIGHT COMBINATION |

NOTE: EXHAUST FANS VENT TO OUTSIDE WITH POWER ROOF VENTILATOR OR OUTSIDE WALL MOUNT LUNDEL.

NOTE: ALL ELECTRICAL TO BE NEW

EXISTING CORR.

FAN/LIGHT COMBINATION

EXISTING CORR.

BATH 120



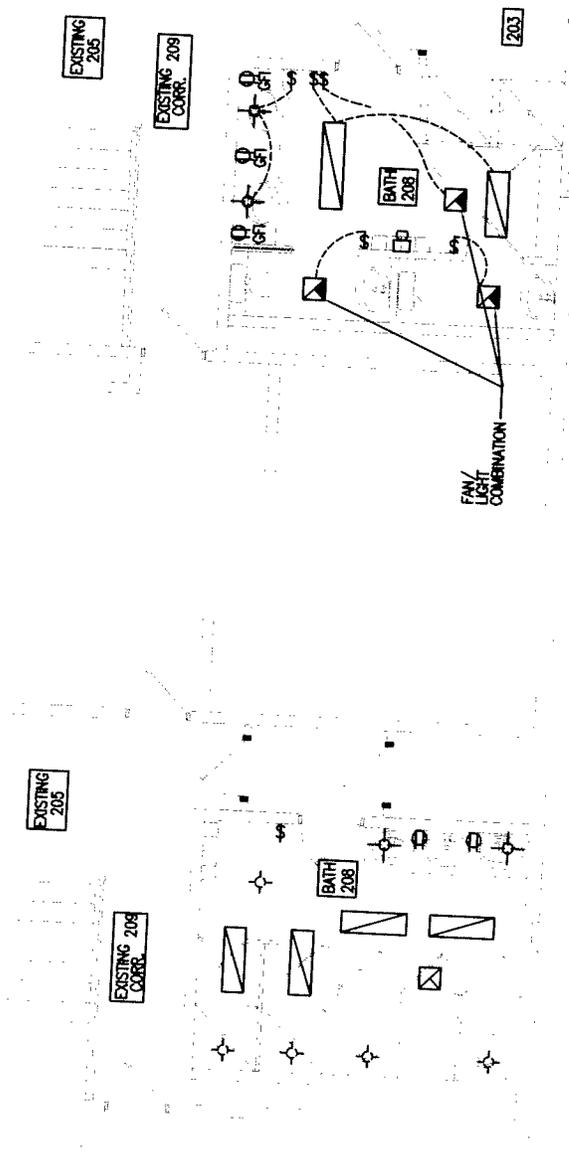
**DEC Engineering, Inc.**  
 Civil Engineering  
 William E. Douglas, P.E., President  
 3427 Centerville Road Tallahassee, Florida 32308  
 Phone: (904) 898-0888 Fax: (904) 898-7898  
 Email: dec@decnetally.com  
 State Certification #4444

|             |   |
|-------------|---|
| DATE        | 04/28/10  |
| PROJECT     | PROJECT: 537 West Jefferson Street                          |
| DESCRIPTION | TITLE: Bathroom - Second Flr. Elect. Pl. SCALIS: 1/4"=1'-0" |
| DESIGNED BY | CLARKE/Alpha Delta Pi Sorority                              |
| CHECKED BY  |   |
| DATE        |   |
| SCALE       |   |
| PROJECT     |   |

Sheet **E2** of **3**  
 No. 09D-209

WILLIAM E. DOUGLAS, P.E.  
 LICENSE #11883  
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 STATE CERTIFICATION #4444  
 EMAIL: DEC@DECNETALLY.COM  
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- NOTES:
1. CONNECT NEW LIGHTS TO EXISTING CIRCUIT.
  2. PROVIDE NEW 1 POLE, 20 AMP, BREAKER IN EXISTING PANEL TO FEED NEW GFI RECEPTACLES.



MAKE:  
 EXHAUST FANS VENT TO  
 OUTSIDE WITH POWER ROOF  
 VENTING THROUGH OUTSIDE WALL  
 MOUNT LOWEST

NOTE:  
 ALL ELECTRICAL TO BE NEW

**EXISTING BATH**  
**SECOND FLOOR PLAN**  
 1/4" = 1'-0"

**REMODELED BATH**  
**SECOND FLOOR PLAN**  
 1/4" = 1'-0"

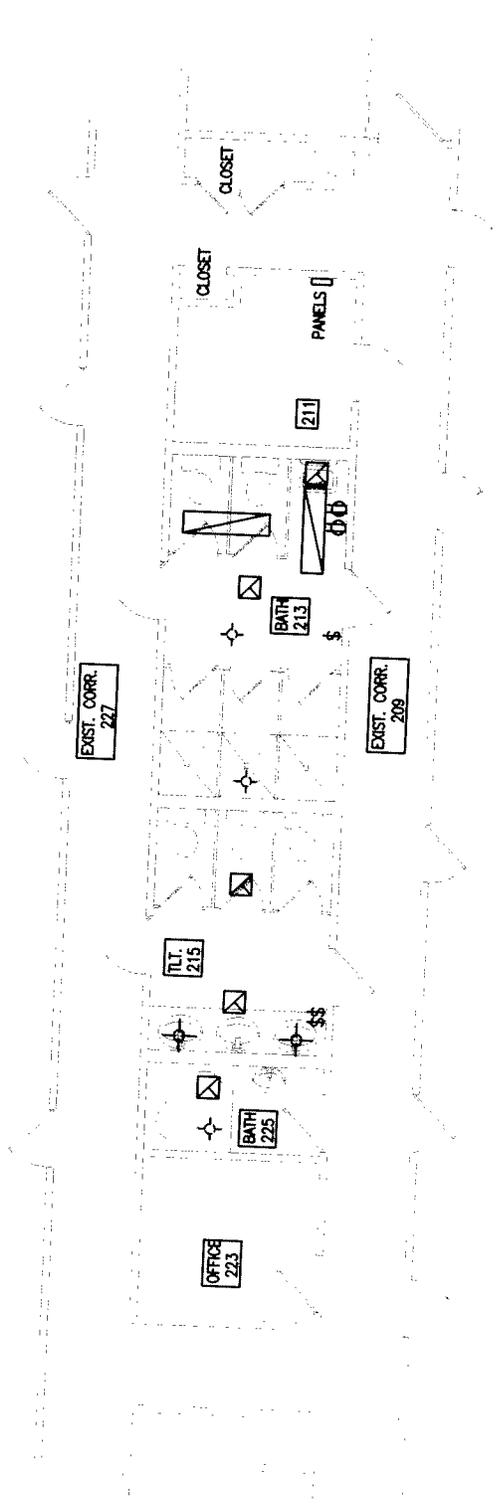


DEC Engineering, Inc.  
 William E. Douglas, P.E., President  
 8477 Conoverville Road Tallahassee, Florida 32308  
 Phone: (904) 586-6800 Fax: (904) 586-7888  
 Email: dec@decnetally.com Website: decnetally.com  
 State Certification #4244

|             |                                    |
|-------------|------------------------------------|
| Project:    | PROJECT: 537 West Jefferson Street |
| Title:      | Second Floor - Second Floor        |
| Scale:      | SCALE: 1/4" = 1'-0"                |
| Drawn by:   | W.E.D.                             |
| Checked by: | W.E.D.                             |
| Date:       | 04/28/10                           |

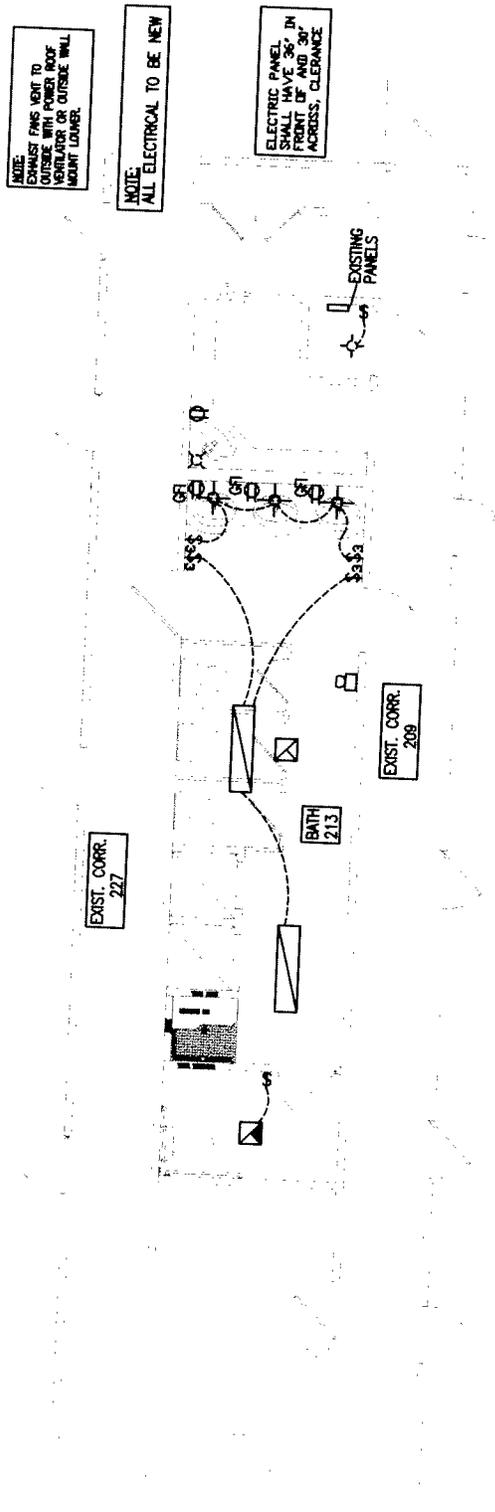
Sheet **E3** of **3**  
 No. 09D-209

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 LICENSE #11653  
 DEC ENGINEERING INC.  
 STATE CERTIFICATION #4244  
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**EXISTING BATH  
 SECOND FLOOR PLAN**  
 1/4" = 1'-0"

- NOTES:
1. CONNECT NEW LIGHTS TO EXISTING CIRCUIT.
  2. PROVIDE NEW 1 POLE, 20 AMP, BREAKER IN EXISTING PANEL TO FEED NEW GFI RECEPTACLES.



**REMODELED BATH  
 SECOND FLOOR PLAN**  
 1/4" = 1'-0"

- NOTE: EXHAUST FANS MUST TO OUTSIDE WITH POWER ROOF VENTILATOR OR OUTSIDE WALL MOUNT DOWNER.
- NOTE: ALL ELECTRICAL TO BE NEW
- ELECTRIC PANEL SHALL HAVE 36" IN FRONT OF AND 30" ACROSS, CLEARANCE



**DEC Engineering, Inc.**  
 2427 Conover Road Tallahassee, Florida 32308  
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 Website: decengineering.com State Certification #4244  
 William K. Douglas, P.E., President

PROJECT: 537 West Jefferson Street  
 TITLE: Bathroom Plumbing Plans  
 DATE: 04/28/10  
 DRAWN BY: [ ]  
 CHECKED BY: [ ]  
 SCALE: 1/4" = 1'-0"  
 CLIENT: Alpha Data P1 Sorority

Sheet P1 of 3  
 NO. 09D-209

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NOTE:  
 ALL PLUMBING FIXTURES & MATERIAL NEW

REMODELED BATH  
 SECOND FLOOR PLAN  
 1/4" = 1'-0"

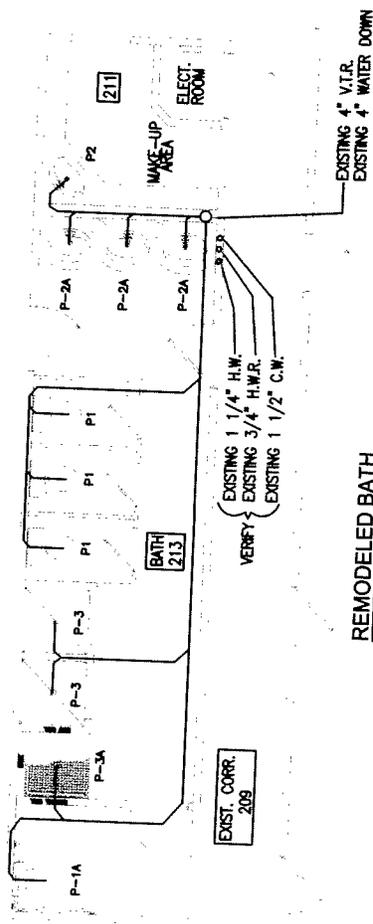
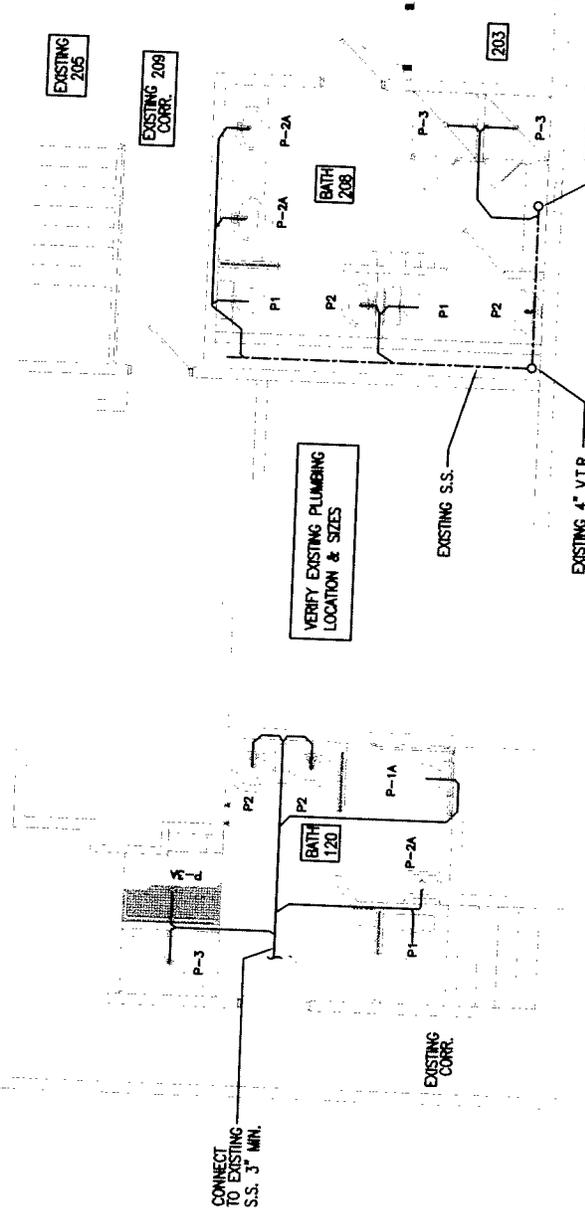
NOTE:  
 MAINTAIN ACCESSIBLE CLEARANCES UNDER  
 SINK COUNTER TOP

REMODELED BATH  
 MAIN FLOOR PLAN  
 1/4" = 1'-0"

REMODELED BATH  
 SECOND FLOOR PLAN PLUMBING  
 1/4" = 1'-0"

**LEGEND:**

|          |  |
|----------|--|
| [Symbol] | HOT WATER LINE                           |
| [Symbol] | COLD WATER LINE                          |
| [Symbol] | WASTE LINE                               |
| [Symbol] | VENT LINE                                |
| [Symbol] | VENT THRU ROOF                           |
| [Symbol] | CLEAN OUT                                |
| [Symbol] | FLOOR DRAIN                              |
| [Symbol] | COMFORT HEIGHT<br>TANK TYPE WATER CLOSET |
| [Symbol] | HANDICAPPED<br>TANK TYPE WATER CLOSET    |
| [Symbol] | HANDICAPPED<br>LAVATORY CLEARANCES       |
| [Symbol] | LAV.                                     |
| [Symbol] | SHOWER                                   |
| [Symbol] | HANDICAPPED SHOWER                       |
| [Symbol] | SANITARY SEWER                           |
| [Symbol] | NEW CONNECT TO EXISTING                  |

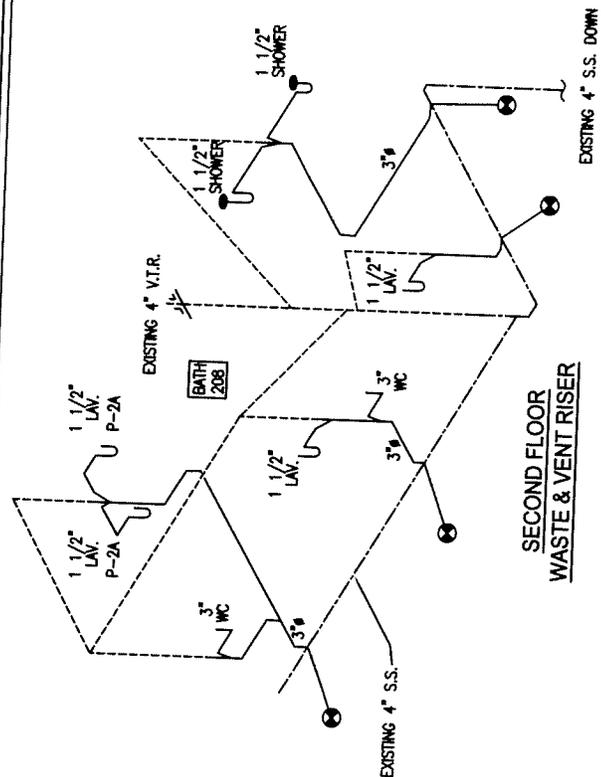




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|                                     |                                |
|-------------------------------------|--------------------------------|
| Project: 537 West Jefferson Street  | Client: Alpha Delta Pi Society |
| Title: Bathroom Waste & Vent Risers | Scale: 1/4" = 1'-0"            |
| Prepared by: [Blank]                | Reviewed by: [Blank]           |
| Date: 04/28/10                      | Sheet: P-2 of 3                |

PROJECT: 537 West Jefferson Street  
 CLIENT: Alpha Delta Pi Society  
 SCALE: 1/4" = 1'-0"  
 SHEET: P-2 of 3  
 DATE: 04/28/10



**PLUMBING NOTES**

- All work must be done in accordance with the Florida Building Code, Plumbing (FBC-P) 2007 Edition with 2009 Supplements.
- All supply lines shall be copper or galv. or PVC meeting plumbing code.
- All drain lines to be schedule 40 PVC or equal.
- All lines to be under floor, in ceiling or in walls.
- Provide PVC pipe for refrigerant lines.
- Provide 2" minimum condensation drain lines for all heater units. Coordinate with mechanical contractor.
- All drain lines shall be sloped min. 1/8" per linear foot of run unless otherwise noted.
- No solder joints shall be made under slab.
- All copper pipes, where passing through walls and slabs, shall have protective sleeves.
- Provide clean-out(s) along runs (at max 100' o.c.), at base of waste stacks, at floor level, and at changes in direction of runs (but always, max. 40').
- Provide clean-out(s) at floor level, and at changes in direction of runs (but always, max. 40').
- All floor drains shall be equipped w/trap primer connected to 200' water supply.
- See Florida Building Code 2007, Plumbing Code w/2009 supplements section 1002.4 trap seals. (Typ. all floor drains)
- Water heater is required to have pressure and temperature relief valve and overflow protection in accordance with Florida Building Code 2007 Code w/2009 supplements, Plumbing.
- Install water-temperature arrestors in accordance with Florida Building Code 2007 Code w/2009 supplements, Plumbing Code 804.3.

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Apr 28, 2010 - 11:49am

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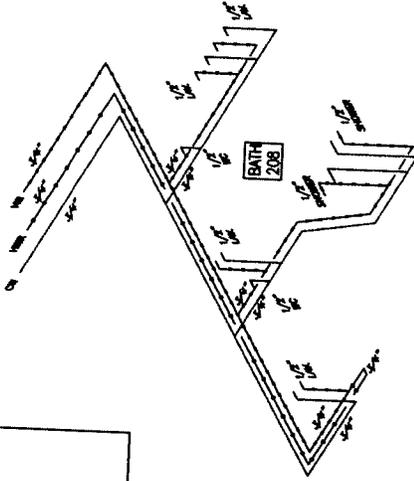
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|                                 |                                 |
|---------------------------------|---------------------------------|
| DATE: 04/28/10                  | PROJECT: Bathroom Supply Risers |
| CLIENT: Alpha Delta Pi Sorority | SCALE: 1/4"=1'-0"               |
| DESIGNED BY: [Blank]            | DRAWN BY: [Blank]               |
| CHECKED BY: [Blank]             | DATE: [Blank]                   |
| DATE: [Blank]                   | SCALE: [Blank]                  |
| PROJECT: [Blank]                | CLIENT: [Blank]                 |
| DATE: [Blank]                   | SCALE: [Blank]                  |
| DATE: [Blank]                   | SCALE: [Blank]                  |
| DATE: [Blank]                   | SCALE: [Blank]                  |
| DATE: [Blank]                   | SCALE: [Blank]                  |

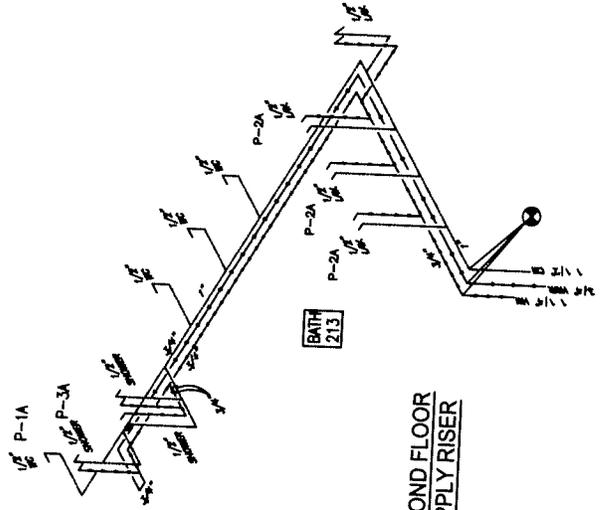
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PROJECT: 537 West Jefferson Street

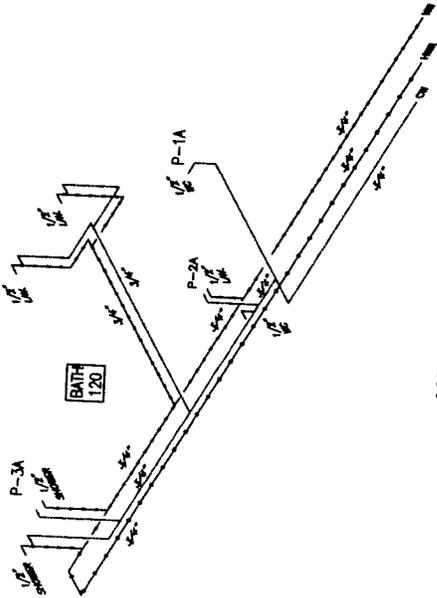


SECOND FLOOR  
 SUPPLY RISER



SECOND FLOOR  
 SUPPLY RISER

- NOTE:**
1. VERIFY EXISTING WATER LINES ABOVE CEILING HOT WATER, HOT WATER RETURN & COLD WATER
  2. WATER SUPPLY BASED ON FLUSH TANK TYPE WATER CLOSETS FLUSH VALUES REQUIRE RESIZING WATER LINE
  3. INSULATE ALL HOT WATER LINES COMPLETE
  4. ALL WATER CLOSETS HC ACCESSIBLE HEIGHT
  5. LAVATORY & SHOWER CONTROLS LEVER-OPERATED
  6. ADA APPROVED FLOOR TILE



MAIN FLOOR  
 SUPPLY RISER