

STRIKE INDUSTRIES

Issue: Vertical accessibility to second floor offices.

Analysis: The applicant is requesting a waiver from providing vertical accessibility to a mezzanine containing five offices in a warehouse. The project will cost \$70,000 to convert the mezzanine storage to offices and to add a toilet room. Toilet room dimensions were not provided, and it is unclear if the room is in compliance. According to the applicant, the public is not invited to the second floor work areas. Estimates of \$9,518 and \$10,084 for a stair lift (**not** a platform lift or LULA) were submitted.

Project Progress:

The project is under construction.

Items to be Waived:

Vertical accessibility to the second floor, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

Waiver Criteria: There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: Strike Industries

Address: 3446 SW 15th, Deerfield Beach, FL

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: Pat & Linda Sellati

Applicant's Address: 2711 East Atlantic Blvd., Pompano Beach, Florida 33062

Applicant's Telephone: (954) 788-8851 **FAX:** (954) 788-8852

Applicant's E-mail Address: psellati@strikeind.com

Relationship to Owner: _____

Owner's Name: _____

Owner's Address: _____

Owner's Telephone: _____ **FAX** _____

Owner's E-mail Address: _____

Signature of Owner: _____

Contact Person: Pat or Linda Sellati

Contact Person's Telephone: _____ **E-mail Address:** _____

This application is available in alternate formats upon request.

Form No. 2001-01

3. **Please check one of the following:**

New construction.

Addition to a building or facility.

Alteration to an existing building or facility.

Historical preservation (addition).

Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

The existing single story 3,150 S.F. Warehouse is being remodeled to Warehouse / Office. There will be an 858 S.F. Mezzanine interior addition which will hold 5 Offices and a Toilet Room.

5. **Project Construction Cost (Provide cost for new construction, the addition or the alteration):** \$70,000

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

Under Design Under Construction*

In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

The City of Deerfield Beach Building Department would not permit the project without the use of an elevator or wheelchair lift to the mezzanine which contains 5 offices not open to the public. The wheelchair lift was added to plans to allow for construction to begin, but the owner would like to receive a waiver from requiring the wheelchair lift to be installed.

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: The requirement of an Elevator or wheelchair lift to access an 858 S.F. mezzanine which contains 5 offices, not open to the public, per FBC section 11-4.1.3 (5)(3) & Exception 1.

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

The mezzanine was specifically designed for 4 offices and 1 storage room (Listed as 5 offices for future possibilities) to prevent the requirement of an elevator or chair lift, per FBC section 11-4.1.3 (5)(3) & Exception 1. There is accessible office area, not open to the public, on the 1st floor with a new ADA Toilet Room.

Substantial financial costs will be incurred by the owner if the waiver is denied.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

9. **Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates.** For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. Acorn Superglide 120 complete installation: JPH of Broward, Inc. = \$9,518, Brockmeier Construction Co. = \$10,084. Proposals are attached on following pages.

b. _____

c. _____

JPH of Broward, Inc.
State Certified Electrical Contractor
License # EX13003482
952 NW 66th Ave
Margate, FL 33063
Phone: 954-968-3750 Fax: 954-968-3746

Date: 10/28/08

To: Strike Industries, Inc.

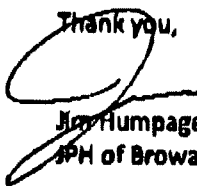
Attn: Pat Sellati

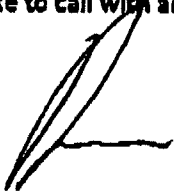
The following quotation includes labor, material and electrical to install an Acorn Superglide 120 Stairlift per your request. The proposed lift will be installed on an existing stair case with twelve flights of stairs to a landing located approximately 7'6" above the finished floor.

Acorn Superglide 120	\$5,808.00
Installation	\$3,500.00
Shipping	\$ 210.00
Project total	\$9,518.00

Please don't hesitate to call with any questions you may have!

Thank you,


Jim Humpage
JPH of Broward



Brockmeier Construction Co.

Date: 10/26/08

4613 University Drive Suite 253
Coral Springs, FL. 33067
954-234-0436

Patrick Sellati
Strike Industries, Inc.
2711 E. Atlantic Blvd.
Pompano Beach, FL 33062

RE: Mezzanine stair lift

Mr. Sellati

BCC is pleased to provide Strike Industries, the following proposal to install the Super Glide 120 stair lift in your facility. This proposal is based on your architectural specifications provided to us on 10/18/08.

Superglide 120	\$6,130.00
Installation	\$3,954.00
Total	\$10,084.00

Please feel free to contact me with any questions or concerns you may have!

Regards,


Joe Brockmeier

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 22 day of October, 2008



Signature

Patrick Sellati

Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

The mezzanine was specifically designed for 4 offices and 1 storage room (Listed as 5 offices for future possibilities) not open to the public alleviating the requirement for an elevator or chair lift to be provided by the owners, per FBC section 11-4.1.3 (5)(3) & Exception 1. There is a new accessible office area, not open to the public, on the 1st floor with a new ADA Toilet Room which allows any employee with disabilities to access the 1st floor office and warehouse environment.

Rick Brautigan Architecture, Inc.
Paul Richard Brautigan, Architect
1025 S. Dixie Highway
Delray Beach, FL 33483

OCT 29 2008

Signature

Printed Name

Phone number

(561) 272-9086

(SEAL)

FIELD COPY

3446 SW 15 St
Permit # 08-2668

REVIEW AND RECOMMENDATION BY LOCAL BUILDING DEPARTMENT.

Please state why the issue is being referred to the Florida Building Commission as well as a recommendation for disposition. The Building Official or his or her designee should review the application and indicate that to the best of his or her knowledge, all information stipulated herein is true and accurate. Further, if this project is complete, explain why it is being referred to the Commission. The Building Official or his or her designee should sign a copy of the plans accompanying this application as certification that such plans are the same as those submitted for building department review. Please reference the applicable section of the Accessibility Code.

- a. Owner change his mind after obtaining permit
- b. to get away with Code requirement for vertical Accessibility
- c. _____

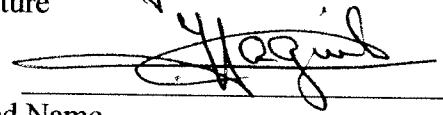
Has there been any permitted construction activity on this building during the past three years? If so, what was the cost of construction?

Yes No Cost of Construction 106,000. - \$

Comments/Recommendation Need vertical accessibility

Jurisdiction City of Deerfield Beach

Building Official or Designee Wagih Z. Messiha
Signature



Printed Name

BU 1323

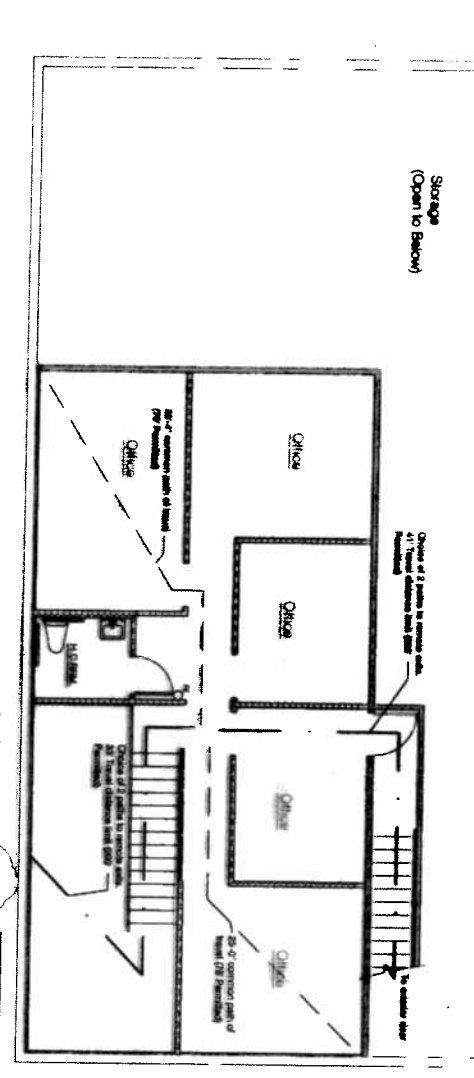
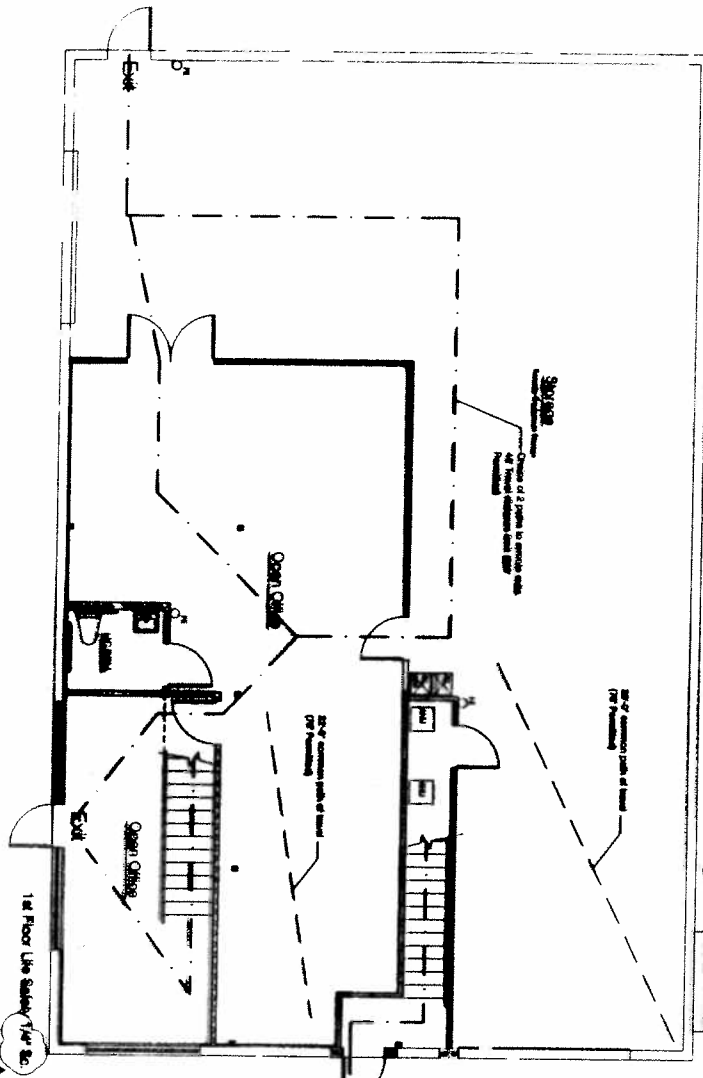
Certification Number

(954) 480-4247 Fax (954) 422-5812
Telephone/FAX

Address: 150 NE 2 Ave

Deerfield Beach FL 33441

08 OCT 23 7:10:07



1st Floor Like Study 1/4 Scale

2nd Floor Like Study 1/4 Scale

Notes:

- 1. Storage (Open to Below)
- Office
- Office
- Office
- Office
- Office

Code Data:	2004 RBC
Occupancy:	B (Business) S (Storage)
Type of Construction:	V UNPROTECTED
Square Footage	
Existing Total Square Footage	3,180 SF
New Measure Square Footage	888 SF
New Total Square Footage	4,068 SF

Occupant Loads:

Based on Minimum Occupancy: 12 sq ft per occupant = 110 to 120 SF per occupant

1200 SF Occupancy = 1200 SF / 12 SF = 100 Occupants

888 SF Occupancy = 888 SF / 12 SF = 74 Occupants

Total Occupancy = 174 Occupants

Contractor Note:

1. Verify all dimensions and quantities for materials and quantities.

2. Verify all dimensions and quantities for materials and quantities.

3. Verify all dimensions and quantities for materials and quantities.

4. Verify all dimensions and quantities for materials and quantities.

Commercial General Notes:

- The contractor shall be responsible for all utility connections, including gas, water, sewer, and electric, and shall coordinate with the appropriate authorities for all permits and connections.
- All utility lines shall be protected and shall be installed in accordance with applicable codes and standards.
- The contractor shall be responsible for all foundation, framing, and finish work, and shall coordinate with the appropriate authorities for all permits and connections.
- All foundation, framing, and finish work shall be installed in accordance with applicable codes and standards.
- The contractor shall be responsible for all mechanical, electrical, and plumbing (MEP) work, and shall coordinate with the appropriate authorities for all permits and connections.
- All MEP work shall be installed in accordance with applicable codes and standards.
- The contractor shall be responsible for all fire and life safety work, and shall coordinate with the appropriate authorities for all permits and connections.
- All fire and life safety work shall be installed in accordance with applicable codes and standards.
- The contractor shall be responsible for all accessibility work, and shall coordinate with the appropriate authorities for all permits and connections.
- All accessibility work shall be installed in accordance with applicable codes and standards.

Site Location Map N/T/S

Drawing Index:

No.	Title
1	Overall Study Like Study Plan
2	Overall Study Like Study Plan
3	1st & 2nd Floor Plan
4	Section Plans, Details & Perspectives

Strike Warehouse scope of work:

Removal of existing warehouse structure to include:

- Demolition of existing structure to include:
- Removal of existing structure to include:
- Removal of existing structure to include:
- Removal of existing structure to include:
- Removal of existing structure to include:

Unless otherwise noted, the contractor shall be responsible for all permits and connections.



RICK BRAUTIGAN ARCHITECTURE INC.

505 South Dixie Highway Delray Beach Florida 33463

Phone: 561-272-9084 FAX: 561-272-9085

WWW.RBAARCHITECTURE.COM

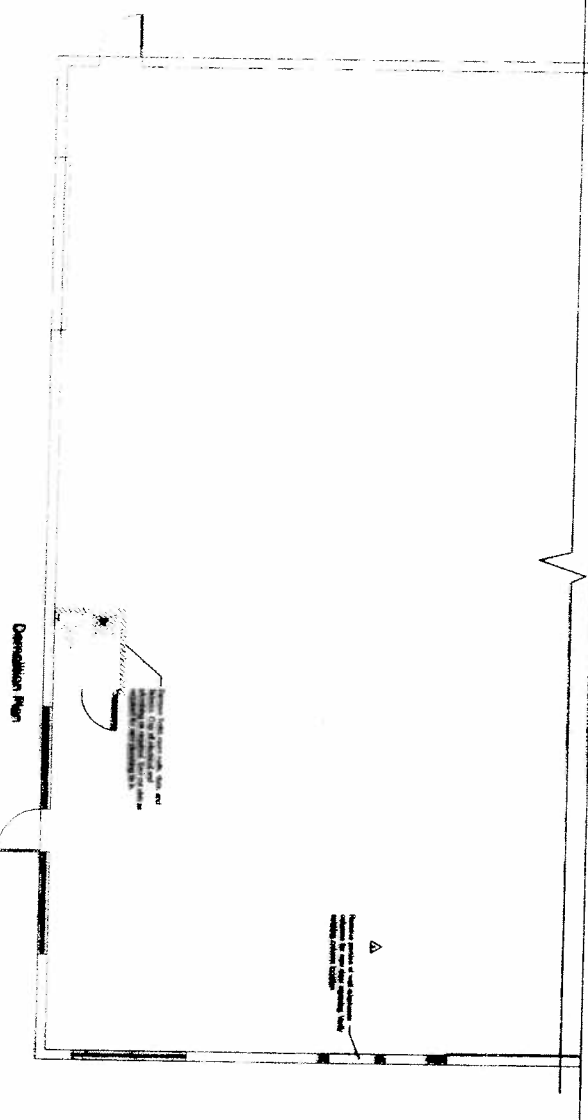
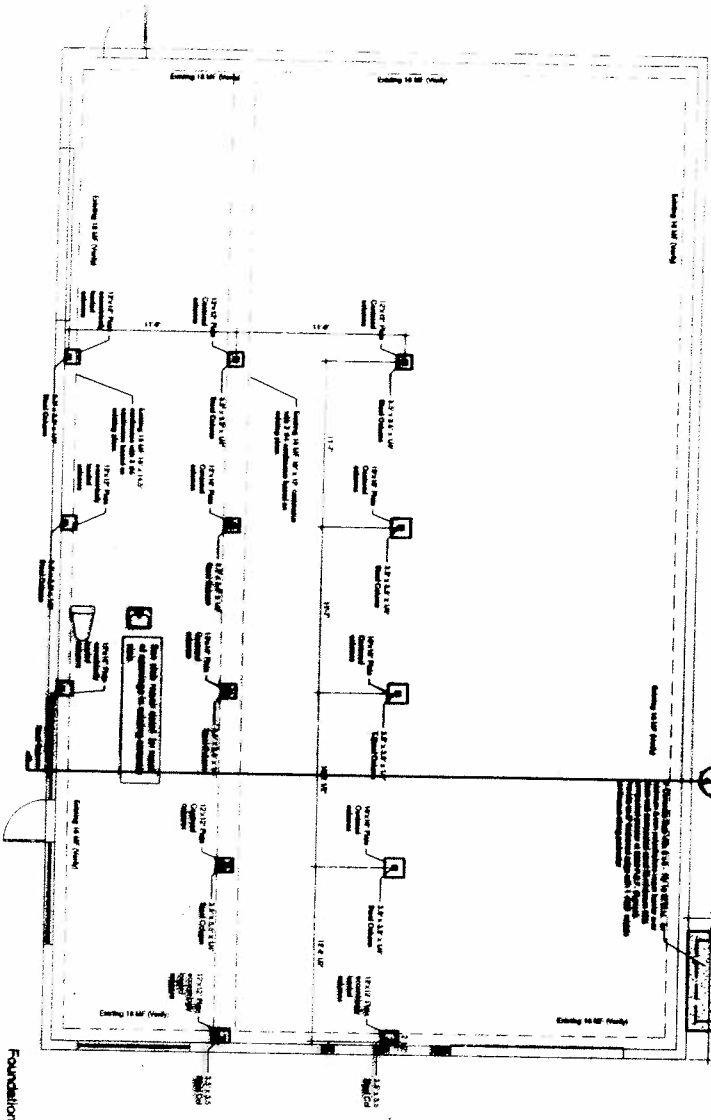
AAC 00029

WARNING: CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND QUANTITIES FOR MATERIALS AND QUANTITIES. CONTRACTOR SHALL NOT PROCEED UNTIL THE CONTRACTOR HAS RECEIVED ALL NECESSARY PERMITS AND CONNECTIONS FROM ALL APPLICABLE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND CONNECTIONS.

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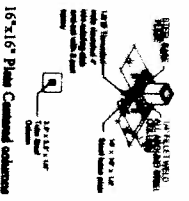
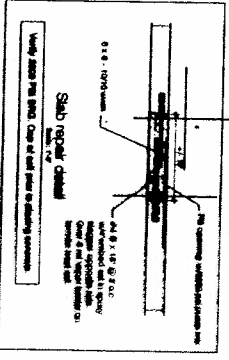
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Foundation Plan

Demolition Plan



General Demolition Notes:

1. Contractor to verify condition of any pre-demolition structure before demolition.
2. All existing structure to be demolished shall be shown on this plan by dashed lines.
3. The owner assumes the right to remove the structure, including the removal of any existing structure, and the contractor shall be responsible for the removal of any existing structure.
4. The contractor shall be responsible for the removal of any existing structure, including the removal of any existing structure.
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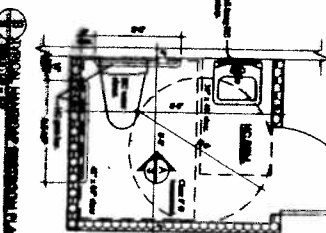
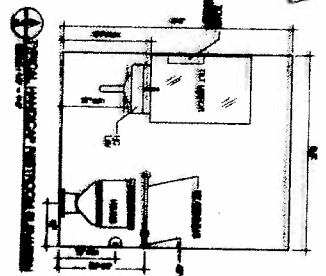
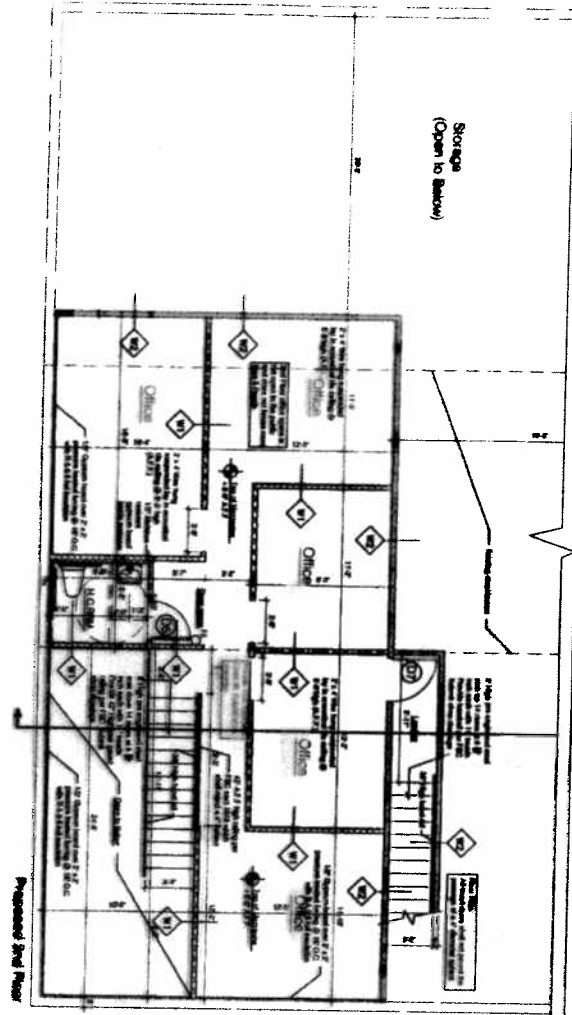
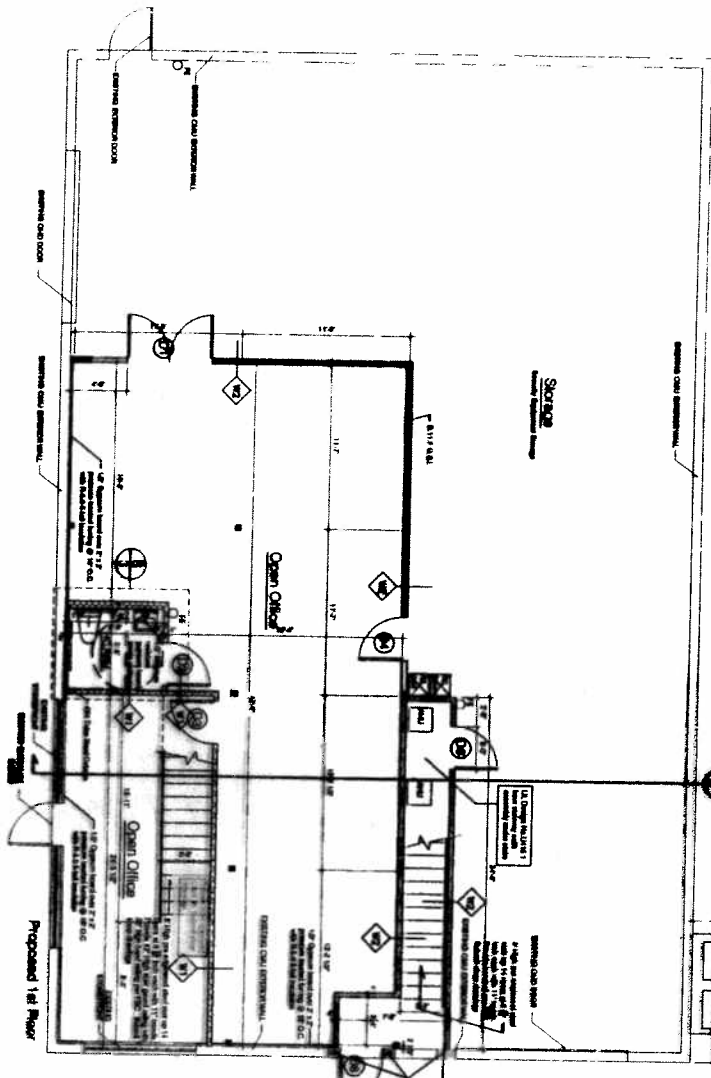
GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING STRUCTURE AND UTILITIES BEFORE DEMOLITION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING STRUCTURE AND UTILITIES.
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Demolition & Foundation Plan

1/4\"/>

RICK BRAUTIGAN ARCHITECTURE INC.
 1025 South Dixie Highway - Delray Beach, Florida 33483
 561-272-9086
 AAC002029
 NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



PROPOSED DOOR SCHEDULE

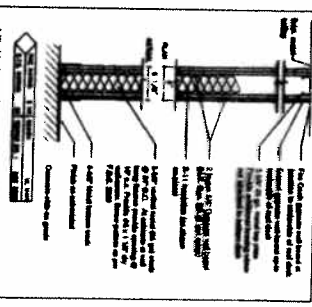
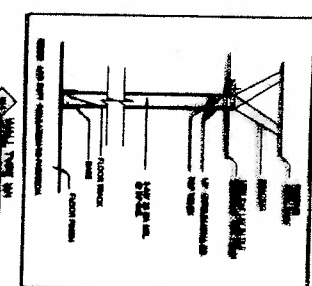
NO.	SIZE	TYPE	TYPE	MAT.	FINISH	FRAME	RELATIONS	MARK
D1	4'0" x 8'0"	1-4'P	Sw	0	Paint	Paint	W/1.1.1	N
D2	8'0" x 8'0"	1-4'P	Sw	0	WOOD	WOOD	W/1.1.1	N
D3	8'0" x 8'0"	1-4'P	Sw	0	WOOD	WOOD	W/1.1.1	N
D4	8'0" x 8'0"	1-4'P	Sw	0	WOOD	WOOD	W/1.1.1	N
D5	8'0" x 8'0"	1-4'P	Sw	0	WOOD	WOOD	W/1.1.1	N
D6	8'0" x 8'0"	1-4'P	Sw	0	WOOD	WOOD	W/1.1.1	N
D7	8'0" x 8'0"	1-4'P	Sw	0	WOOD	WOOD	W/1.1.1	N
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 G.C. TO VERIFY WITH MANUFACTURER, SUPPLIER, AND/OR ARCHITECT.

Hardware Schedule
 1. 1" Dia. Brass Knob
 2. 1" Dia. Brass Knob
 3. 1" Dia. Brass Knob

CONTRACTOR TO VERIFY ALIGNMENT OF ALL
 DIMENSIONS. DIMENSIONS SHOWN SHALL GOVERN
 OVER ALL OTHER DIMENSIONS.

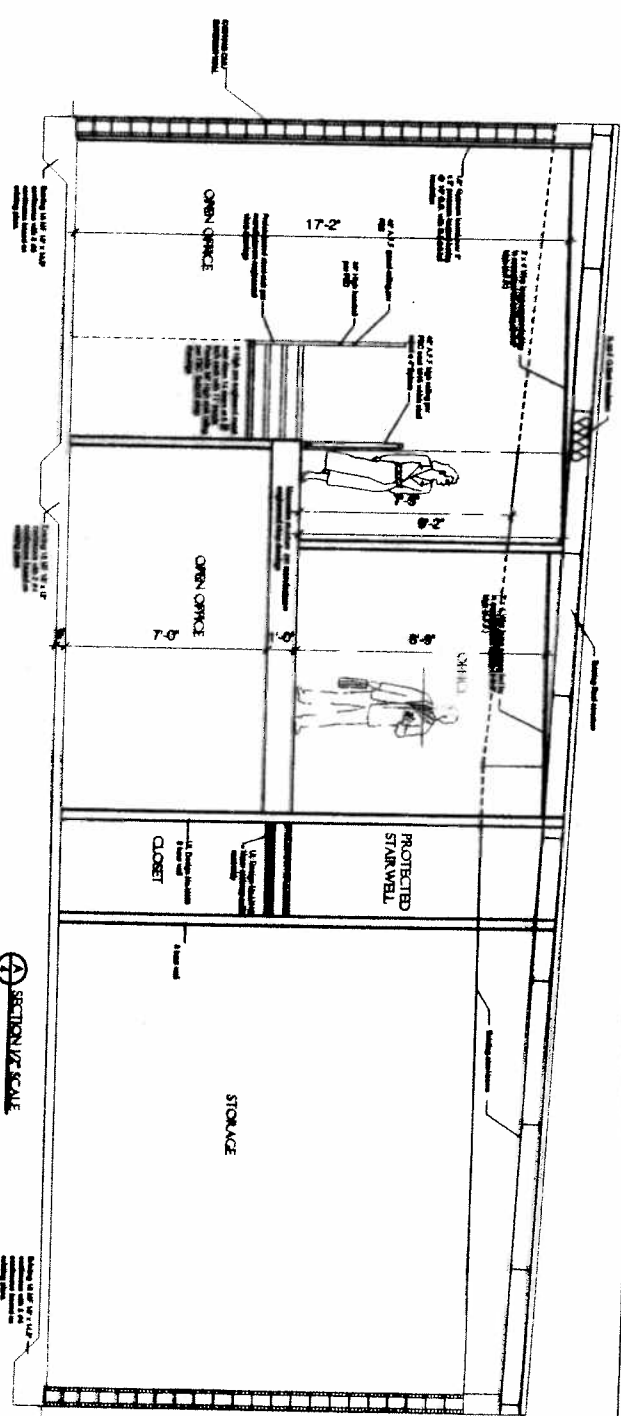
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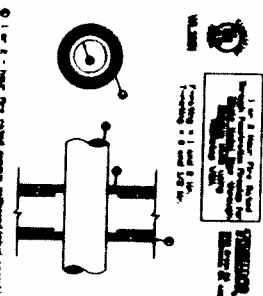
RICK BRAUTIGAN ARCHITECTURE INC
 1005 South Dixie Highway Delray Beach Florida 33483
 561-272-8934
 AACC002029

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 DRAWINGS ARE NOT TO BE SCALED. WHEN DIMENSIONS DO NOT MATCH, DIMENSIONS SHALL GOVERN.
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SECTION 1/2" SCALE



WALL PENETRATION

Plumbing Calculations

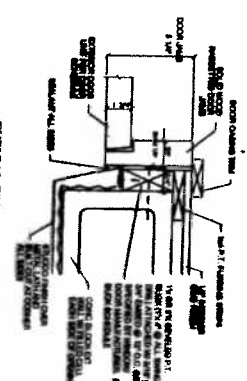
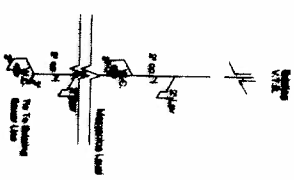
Based on minimum occupancy for each room (minimum 1 person) and minimum occupancy for each room (minimum 1 person) for each room.

Minimum number of fixtures (minimum):

- 1.000 G.P.U. / 100 = 10
- 1.000 G.P.U. / 100 = 10
- 1.000 G.P.U. / 100 = 10

Notes: All calculations are based on minimum occupancy for each room. All calculations are based on minimum occupancy for each room.

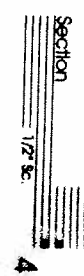
SANITARY RISER DIAGRAM



TYPICAL BATH DOOR DETAIL 1/8" = 1'-0"

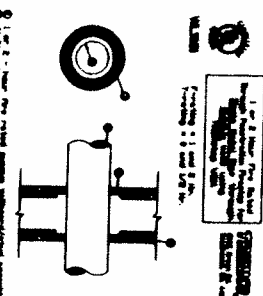
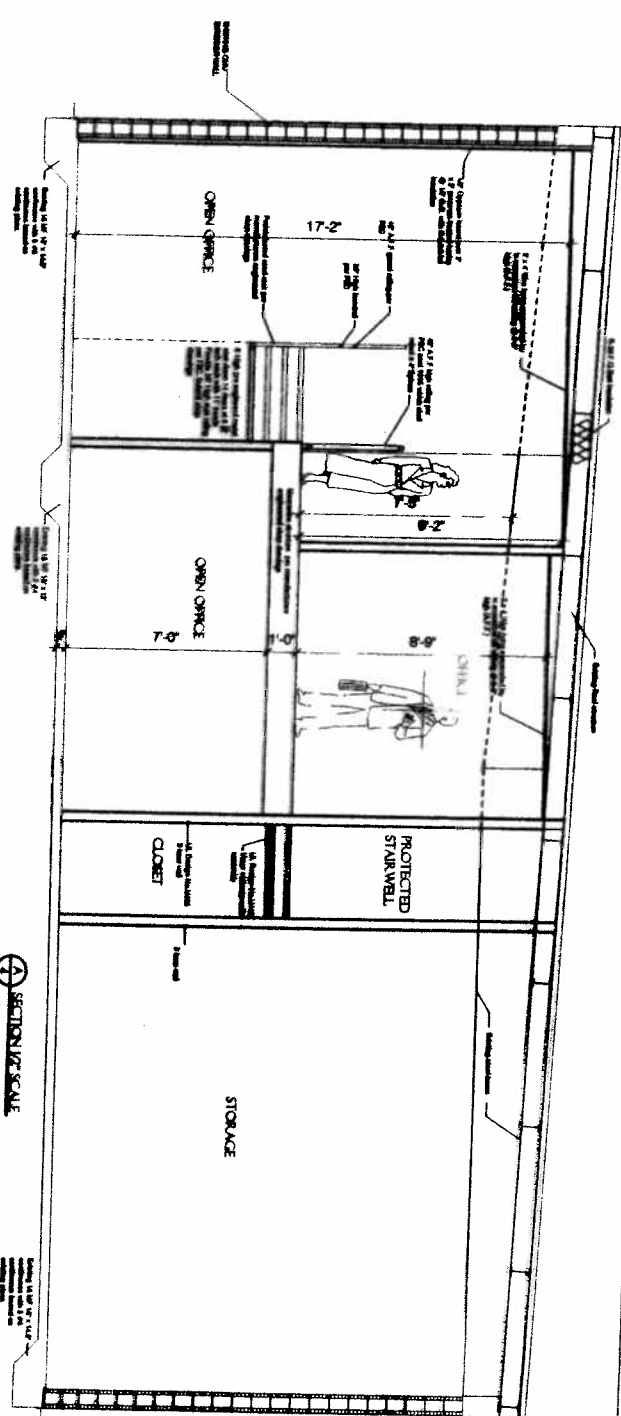
PLUMBING NOTES:

- All workmanship and materials shall be in strict accordance with the Florida plumbing code.
- Contractor shall provide the site with necessary sanitary fixtures and all necessary connections.
- All materials shall be new.
- All work shall be performed by a licensed plumbing contractor in a first class workshop. The contractor shall provide the necessary materials and labor.
- Provisional equipment shall be provided by the contractor for protection against public liability and property damage for the duration of the work.
- Contractor shall obtain and pay for all permits, fees, inspections, and approvals.
- Drawings are approximate. Do not build for the exact dimensions, unless otherwise specified.
- All work shall be coordinated with other trades by the contractor with the presence of construction.



RICK BRAUTIGAN ARCHITECTURE INC.
 1055 South Dixie Highway, Delray Beach, Florida 33485
 561-272-9086
 AIA C002029

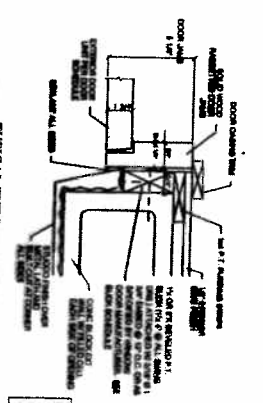
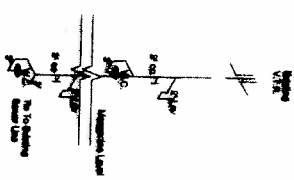
1. DRAWINGS ARE NOT TO BE SCALE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ALWAYS APPROVE BY ANY DIMENSIONS. CONSTRUCTION SHALL NOT PROCEED UNTIL ALL DIMENSIONS HAVE BEEN REVIEWED AND APPROVED.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES BY THE CONTRACTOR WITH THE PRESENCE OF CONSTRUCTION.



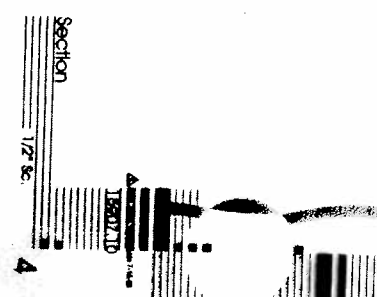
WALL PENETRATION

Plumbing Calculations
 Based on the following assumptions:
 1. All fixtures are standard.
 2. All fixtures are standard.
 3. All fixtures are standard.
 4. All fixtures are standard.
 5. All fixtures are standard.
 6. All fixtures are standard.
 7. All fixtures are standard.
 8. All fixtures are standard.
 9. All fixtures are standard.
 10. All fixtures are standard.

SANITARY RIVER DIAGRAM



Plumbing Notes:
 1. All work shall be in accordance with the Florida Building Code.
 2. Contractor shall verify all utility locations before any work begins.
 3. All materials shall be approved.
 4. All work shall be performed by a licensed plumbing contractor.
 5. All work shall be inspected and approved by the local authority having jurisdiction.
 6. Contractor shall provide all necessary permits.
 7. Contractor shall provide all necessary labor and materials.
 8. All work shall be completed within the specified time frame.



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