

TRADEMARK CINEMAS – CORAL SQUARE 8

Issue: Vertical accessibility to all rows of seats in a movie theater complex undergoing an alteration.

Analysis: The applicant is requesting a waiver from providing vertical accessibility to all rows of new stadium seating in an 8 screen movie complex. The building was constructed in 1984 and at that time, the floor was sloped. The wheelchair seating areas are being relocated from the rear of each auditorium to the center and are raised above the occupants of the seats directly in front of them. The project will cost approximately \$700,000 and according to the project designer, making each row accessible would cost approximately the same amount as adding the stadium seats, although no specific figure was submitted. Each theater's design has the required number of wheelchair locations, but in some instances, compliant companion seats have not been provided.

Project Progress:

The project is under design.

Items to be Waived:

Vertical accessibility to all rows of seats, as required by Section 553.509, Florida Statutes.

553.509 Vertical accessibility. Nothing in Sections 553.501-553.513 or the guidelines shall be construed to relieve the owner of any building, structure or facility governed by those sections from the duty to provide vertical accessibility to all levels above and below the occupiable grade level regardless of whether the guidelines require an elevator to be installed in such building, structure or facility, except for:

- (1) Elevator pits, elevator penthouses, mechanical rooms, piping or equipment catwalks and automobile lubrication and maintenance pits and platforms;
- (2) Unoccupiable spaces, such as rooms, enclosed spaces and storage spaces that are not designed for human occupancy, for public accommodations or for work areas; and
- (3) Occupiable spaces and rooms that are not open to the public and that house no more than five persons, including, but not limited to equipment control rooms and projection booths.

Waiver Criteria: There is no specific guidance for a waiver of this requirement in the code. The Commission's current rule, authorized in Section 553.512, Florida Statutes, provides criteria for granting waivers and allows consideration of unnecessary or extreme hardship to the applicant if the specific requirements were imposed.

This application is available in alternate formats upon request.

**REQUEST FOR WAIVER FROM ACCESSIBILITY REQUIREMENTS
OF CHAPTER 553, PART V, FLORIDA STATUTES**

Your application will be reviewed by the Accessibility Advisory Council and its recommendations will be presented to the Florida Building Commission. You will have the opportunity to answer questions and/or make a short presentation, not to exceed 15 minutes, at each meeting. The Commission will consider all information presented and the Council's recommendation before voting on the waiver request.

1. Name and address of project for which the waiver is requested.

Name: TRADEMARK CINEMAS - CORAL SQUARE 8

Address: 770 RIVERSIDE DRIVE
CORAL SPRINGS, FL 33071

2. Name of Applicant. If other than the owner, please indicate relationship of applicant to owner and written authorization by owner in space provided:

Applicant's Name: MARK CLEMENT

Applicant's Address: 770 RIVERSIDE DRIVE, CORAL SPRINGS, FL 33071

Applicant's Telephone: 954 796 0442 FAX: 954 796 0442

Applicant's E-mail Address: MCLEMENT@TRADEMARKCINEMAS.COM

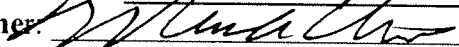
Relationship to Owner: APPLICANT IS OWNER

Owner's Name: SEE ABOVE

Owner's Address: SEE ABOVE

Owner's Telephone: " " FAX " "

Owner's E-mail Address: " "

Signature of Owner: 

Contact Person: MARK CLEMENT

Contact Person's Telephone: 954 796 0442 E-mail Address: MCLEMENT@TRADEMARK
CINEMAS.COM

This application is available in alternate formats upon request.
Form No. 2001-01

3. Please check one of the following:

- New construction.
- Addition to a building or facility.
- Alteration to an existing building or facility.
- Historical preservation (addition).
- Historical preservation (alteration).

4. **Type of facility.** Please describe the building (square footage, number of floors). Define the use of the building (i.e., restaurant, office, retail, recreation, hotel/motel, etc.)

EXISTING 8-SCREEN MOVIE THEATER, 27,795 SQUARE FEET
GROSS AREA, 1-STORY PLUS MEZZANINE (PROJECTION)

5. **Project Construction Cost (Provide cost for new construction, the addition or the alteration):**

700,000.00

6. **Project Status:** Please check the phase of construction that best describes your project at the time of this application. Describe status.

- Under Design Under Construction*
- In Plan Review Completed*

* Briefly explain why the request has now been referred to the Commission.

IN SPEAKING WITH BOB HANNON OF THE CORAL SPRINGS
BUILDING SERVICES DIVISION, WE WERE INFORMED THAT THE
PROPOSED DESIGN COULD NOT BE APPROVED WITHOUT A WAIVER.

7. **Requirements requested to be waived.** Please reference the applicable section of Florida law. Only Florida-specific accessibility requirements may be waived.

Issue

1: FLORIDA BUILDING CODE, SECTION 553.509, VERTICAL
ACCESSIBILITY

Issue

2: _____

Issue

3: _____

8. **Reason(s) for Waiver Request:** The Florida Building Commission may grant waivers of Florida-specific accessibility requirements upon a determination of unnecessary, unreasonable or extreme hardship. Please describe how this project meets the following hardship criteria. Explain all that would apply for consideration of granting the waiver.

The hardship is caused by a condition or set of conditions affecting the owner which does not affect owners in general.

SEE ATTACHED.

Substantial financial costs will be incurred by the owner if the waiver is denied.

SEE ATTACHED.

The owner has made a **diligent investigation** into the costs of compliance with the code, but cannot find an efficient mode of compliance. Provide detailed cost estimates and, where appropriate, photographs. Cost estimates must include bids and quotes.

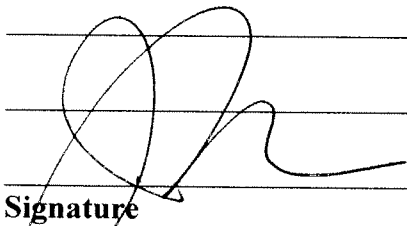
9. Provide documented cost estimates for each portion of the waiver request and identify any additional supporting data which may affect the cost estimates. For example, for vertical accessibility, the lowest documented cost of an elevator, ramp, lift or other method of providing vertical accessibility should be provided, documented by quotations or bids from at least two vendors or contractors.

a. PROJECT IS IN DESIGN PHASE AND HAS NOT BEEN BID.

b.

c.

10. **Licensed Design Professional:** Where a licensed design professional has designed the project, his or her comments **MUST** be included and certified by signature and affixing of his or her professional seal. The comments must include the reason(s) why the waiver is necessary.

 _____
Signature Printed Name


Phone number 215 928-9331

(SEAL)

CERTIFICATION OF APPLICANT:

I hereby swear or affirm that the applicable documents in support of this Request for Waiver are attached for review by the Florida Building Commission and that all statements made in this application are to the best of my knowledge true and correct.

Dated this 5 day of November, 2008


Signature

Mark A. Clement
Printed Name

By signing this application, the applicant represents that the information in it is true, accurate and complete. If the applicant misrepresents or omits any material information, the Commission may revoke any order and will notify the building official of the permitting jurisdiction. Providing false information to the Commission is punishable as a misdemeanor under Section 775.083, Florida Statutes.



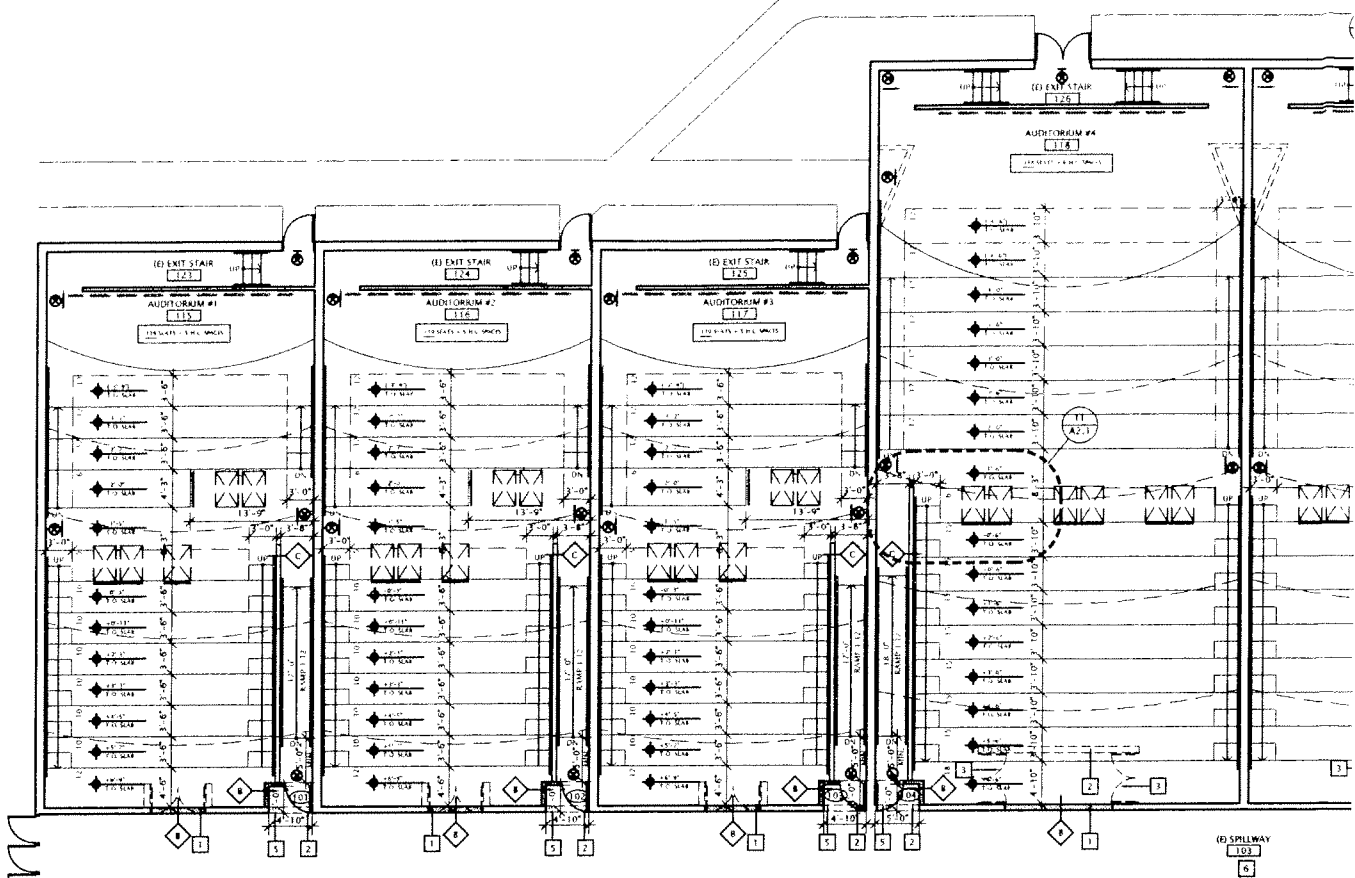
TradeMark Cinemas Coral Springs 8

**Request for Waiver
11.4.2008**

#8 Reasons for Waiver Request

The proposed project is the retrofit of an 8-screen sloped floor movie theater (built in 1984). The proposed renovation is to add stadium seating to each of the auditoriums to improve the viewing experience.

- Accessible seating has been improved from the existing sloped-floor design by moving the wheelchair accessible spaces from the rear of the auditorium to the center of the auditorium. Additionally, these spaces are elevated above the row of fixed seats in front of them.
- The nature of stadium design, whether in movie theaters, sports areas, or concert venues, is not able to accommodate wheelchairs on all levels without resulting in a highly inefficient design. As proposed, this project will result in the loss of approximately one-third of its existing seating capacity.
- The cost of adding mechanical vertical transportation for each auditorium would be roughly to the cost of the stadium structure as proposed. The total project cost would far exceed the projected return of revenue.
- The movie theater industry has moved towards this design approach as the market has become more competitive, and has to compete with other forms of media (DVD's, online movie, cable tv, etc.). The goal of this theater conversion is maintain its market presence and compete with other stadium-seating movie theaters in the region.



AUDITORIUM OCCUPANCY			
	EXISTING	PROPOSED	
	AUDITORIUM SEATING	AUDITORIUM SEATING	
AUD. 115	202 SEATS	4 RR	119 SEATS
AUD. 116	202 SEATS	4 RR	119 SEATS
AUD. 117	206 SEATS	4 RR	119 SEATS
AUD. 118	348 SEATS	4 RR	248 SEATS
AUD. 119	118 SEATS	4 RR	248 SEATS
AUD. 120	200 SEATS	4 RR	119 SEATS
AUD. 121	202 SEATS	4 RR	119 SEATS
AUD. 122	202 SEATS	4 RR	119 SEATS
TOTAL SEATS	1,388 SEATS	12 RR	1,113 SEATS

BUILDING / CODE INFORMATION	
APPLICABLE BUILDING CODES	BUILDING CODE OF FLORIDA STATE
USE GROUP / GROUP	USE GROUP A-11 ASSEMBLY - THEATRE
AUDITORIUM EQUIP.	AS AUDITORIUM EXISTING
FIRE EXTINGUISHING EQUIPMENT	
NOTE: MECHANICAL AND ELECTRICAL DESIGN SHALL BE FACILITATED BY A SEPARATE APPLICATION.	

SHEET INDEX			
SHEET NO.	SHEET TITLE	ISSUE / REV.	DATE / REV.
41.1	FLOOR PLAN & NOTES	12.15.2018	
42.1	MECHANICAL TRAYS & PIPES	12.15.2018	
43.1	DETAILS	12.15.2018	
44.1	SEATING PLAN		

GENERAL SYMBOLS

- INDICATES EXISTING CONSTRUCTION TO REMAIN
- INDICATES NEW CONSTRUCTION
- INDICATES EXISTING CONSTRUCTION TO BE REMOVED
- T84 FLUORESCENT FIXTURE
- RECESSED INCANDESCENT DOWNLIGHT
- PLAN KEYNOTE SYMBOL
- WALL-MOUNTED EXIT SIGN
- WALL-MOUNTED EXIT SIGN WITH DIRECTIONAL INDICATOR
- DIFFUSER
- EXISTING DEVICE TO REMAIN
- EXISTING DEVICE TO BE REMOVED
- DOOR #, SEE SHEET AS 1 FOR ADDITIONAL INFORMATION

PLAN KEYNOTES

- 1 ALIGN NEW CONSTRUCTION WITH EXISTING ADJACENT CONSTRUCTION
- 2 EXISTING WALL TO BE REMOVED. PATCH ADJACENT SURFACES AS REQUIRED.
- 3 EXISTING DOOR AND FRAME TO BE REMOVED. PATCH ADJACENT SURFACES AS REQUIRED.
- 4 LOCATION OF TRASH RECEPTACLE
- 5 EXTEND EXISTING CEILING AND LIGHTING AS REQUIRED TO ACCOMMODATE NEW LAYOUT
- 6 EXISTING CEILING AND LIGHTING TO REMAIN. REPLACE/REPAIR ANY DAMAGED PORTIONS OF CEILING, CHASE, OR FIXTURES AS REQUIRED.
- 7 ALIGN NEW PARTITION WITH EXISTING PROJECTION BOOTH ABOVE.
- 8 REMOVE EXISTING CONCRETE FLOOR SLAB AS REQUIRED TO ACCOMMODATE NEW LEVEL SLAB
- 9 PAINTED DIMS SOFFIT.

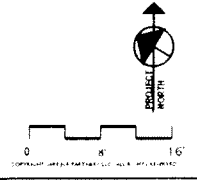
1 NEW FLOOR PLAN
 41.1 SCALE: 1/8" = 1'-0"

<p>OWNER TRADEMARK CINEMAS 2700 AVENUE 90 FT. LAUDERDALE, FL 33309 CONTACT: JIMMY L. CEMEN jimmy@trademarkcinemas.com 352.469.1400 GAIL WARDEN gwarden@trademarkcinemas.com 954.796.1117</p>	<p>ARCHITECT JKR PARTNERS LLC 11776 W. AVENUE 200 MIAMI, FL 33156 CONTACT: JIMMY L. CEMEN jimmy@jkrpartners.com 305.441.1100 GAIL WARDEN gwarden@jkrpartners.com 305.441.1100</p>	<p>CONTRACTOR LARGO CONSTRUCTION INC. 1555 N.W. 107th Ave. MIAMI, FL 33157 CONTACT: JIMMY L. CEMEN jimmy@largoconstruction.com 305.441.1100</p>	<p>SEATING TBI</p>
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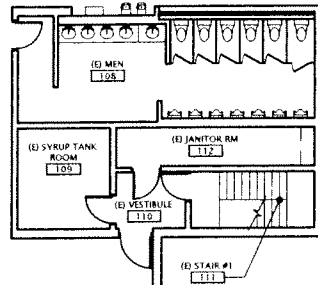
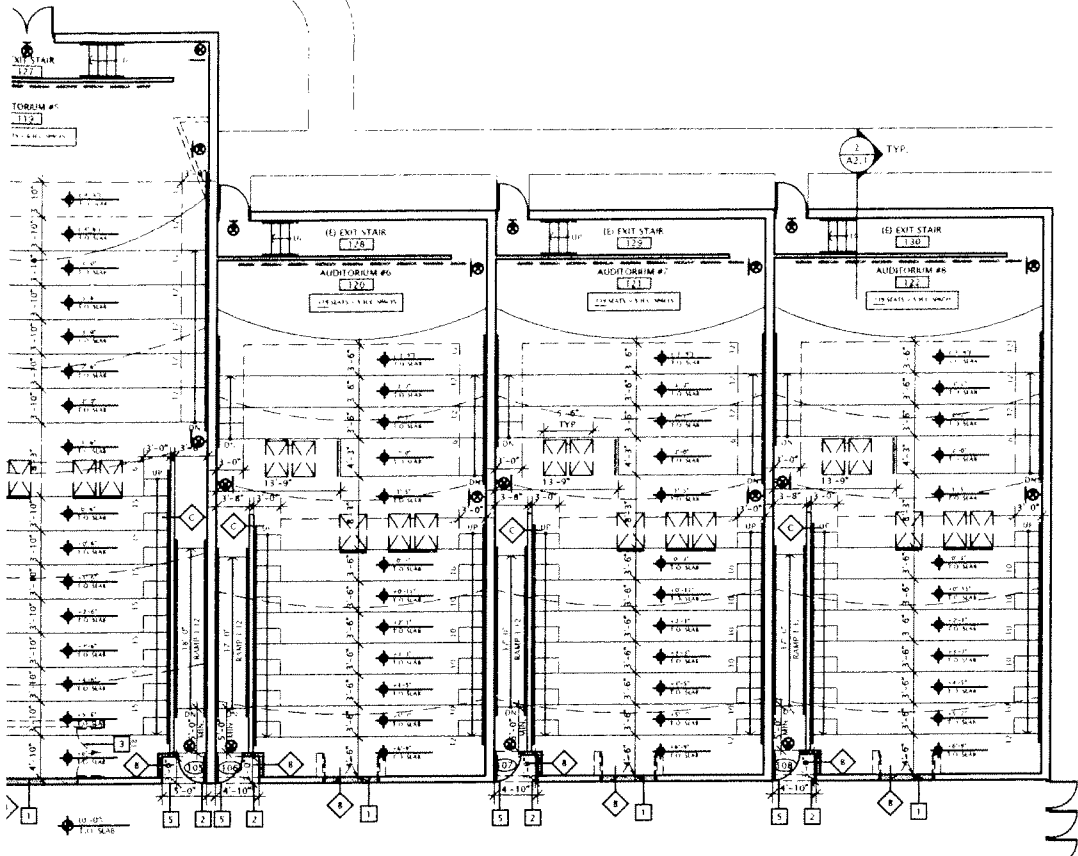
TRADEMARK CINEMAS
CORAL SQUARE 8
 770 RIVERSIDE DRIVE
 CORAL SPRINGS, FL 33071

THEATER FLOOR PLAN

DATE: 12/16/2006
 DRAWN BY: DJJ MB
 FILE: KTRADMARK CINEMAS - CORAL SPRINGS A11 REVISED
 REVISIONS



A1.1
 REVIEW ISSUE
 NOT FOR CONSTRUCTION



PARTITION NOTES

1. WHERE TWO OR MORE LAYERS OF GYPSUM BOARD ARE APPLIED TO ONE SIDE OF A WALL, JOINTS SHOULD BE STAGGERED BETWEEN LAYERS. THE GUTTER LAYER SHOULD BE TAPE AND FINISHED. ANY HOLES OR LARGE JOINTS IN THE INNER LAYERS SHOULD BE REPAIRED OR FILLED WITH DRYWALL MUD BEFORE APPLICATION OF THE SECOND LAYER.
2. ALL JOINTS AT THE FOOT, HEAD, OR PERIMETER OF THE WALL SHOULD BE SEALED AIRTIGHT WITH NON-HARDENING ACOUSTICAL OR FIRE SEALANT (USG OR TREMCO) ACOUSTICAL SEALANT OR EQUIVALENT PER THE MANUFACTURER'S RECOMMENDATIONS. WE RECOMMEND THAT THE GYPSUM BOARD BE HELD BACK 1/8" TO 1/4" FROM THE FLOOR, CEILING, OR ADJACENT SURFACE AND THEN CAULKED WITH ACOUSTICAL SEALANT.
3. DRYWALL PARTITIONS SHOULD BE CONSTRUCTED IN ACCORDANCE WITH ASTM E497 - STANDARD PRACTICE FOR INSTALLING SOUND-INSULATING GYPSUM BOARD PARTITIONS, AND ASTM C919 - STANDARD PRACTICE FOR USE OF SEALANTS IN ACOUSTICAL APPLICATIONS. ALL SOUND BARRIER PARTITIONS SHOULD EXTEND FROM FLOOR TO STRUCTURE UNLESS STATED OTHERWISE. METAL STUDS SHALL BE rigidly ATTACHED ONLY AT HEAD AND FOOT. STRUCTURAL CROSS BRACING MUST NOT RIGIDLY CONNECT TO BOTH METAL STUD WALLS.
4. NOTHING SHALL PENETRATE AUDITORIUM DEMISING WALLS.
5. ALL MECHANICAL, ELECTRICAL, AND STRUCTURAL PENETRATIONS OF A SOUND INSULATING PARTITION OR BARRIER, OTHER THAN AUDITORIUM DEMISING WALLS, MUST BE SEALED AIRTIGHT ON BOTH SIDES OF THE PARTITION. BATT INSULATION SHOULD BE STUFFED INSIDE THE WALL AROUND THE PENETRATING ELEMENT. HOLES OR GAPS AROUND THE ELEMENT LARGER THAN 1/2" SHOULD FIRST BE FILLED WITH DRYWALL MUD OR GROUT BEFORE BEING SEALED WITH ACOUSTICAL SEALANT. IF PENETRATING PIPES OR DUCTS ARE EXTERNALLY INSULATED, THE INSULATION SHOULD BE CUT BACK AT THE GYPSUM BOARD TO ASSURE AN AIRTIGHT SEAL.
6. ELECTRICAL BOXES ON OPPOSITE SIDES OF THE WALL SHOULD BE STAGGERED BY A MINIMUM OF 12" AND ONE STUD SPACE. THE PERIMETER OF ELECTRICAL BOXES SHOULD BE SEALED WITH ACOUSTICAL SEALANT.
7. ALL COMPOSITE FIBERGLASS MATERIAL AND DUCT LINER RETAINED WITH DRYWALL SCREWS AND WASHERS; IMPACTING PINS SHOULD REMAIN AT THEIR NORMAL THICKNESS. SCREWS AND WASHERS IN BLACK DUCT LINER TO BE PAINTED MATTE BLACK.
8. FOR ANY JUNCTION BOX MOUNTED BEHIND DRAPERY, PROVIDE BLOCKING TOP AND BOTTOM. PROVIDE WOOD BLOCKING AROUND ALL DEVICES IN DRAPERY FIELD. TYPICAL.

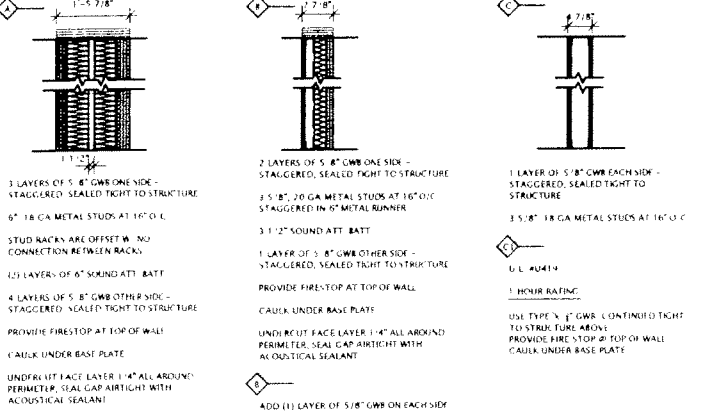
GENERAL NOTES

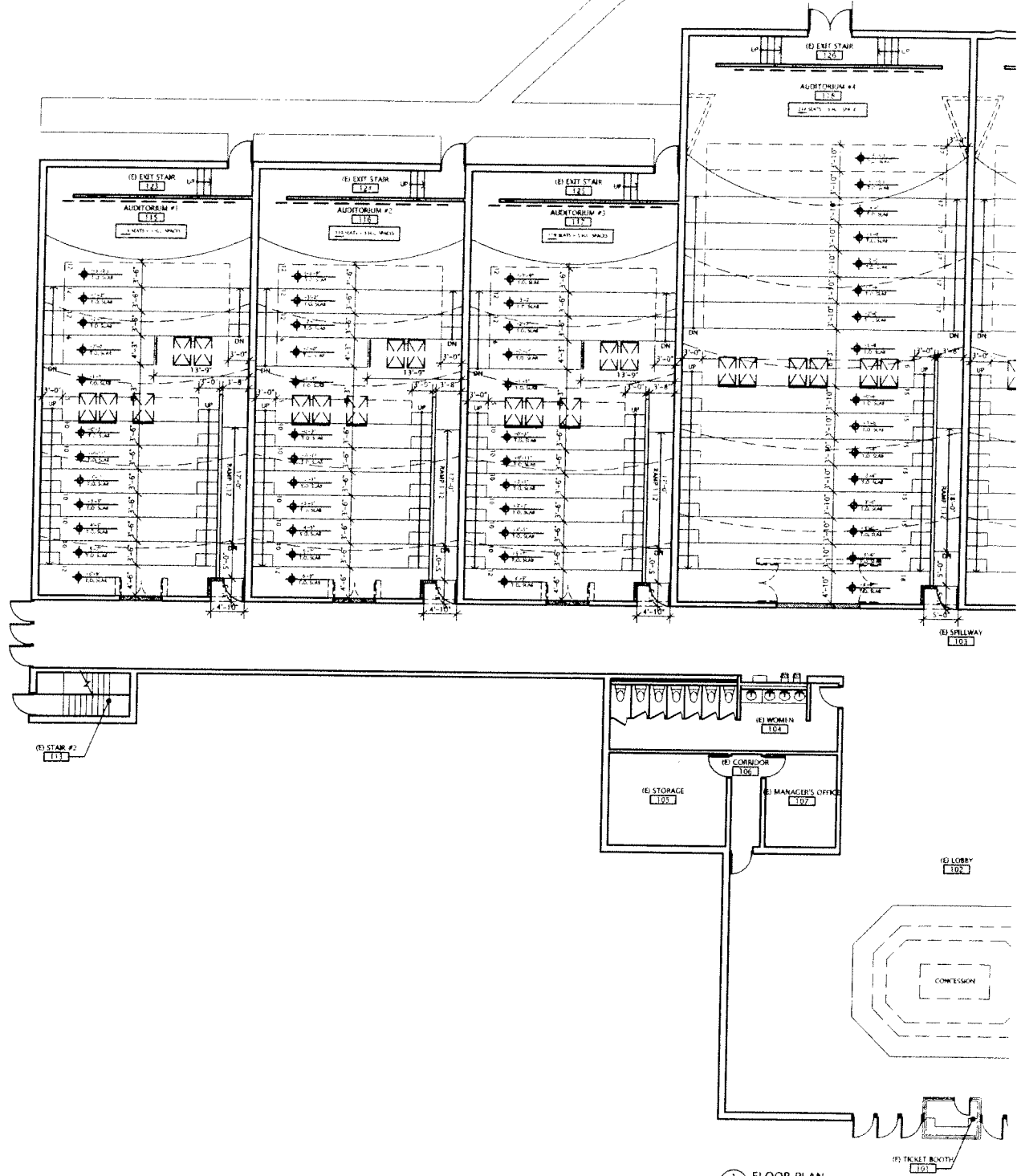
1. DIMENSIONS ARE TO FINISH MATERIAL AND OPENING UNLESS NOTED OTHERWISE.
2. CONTRACTOR TO USE DIMENSIONS PER DRAWINGS AND IS NOT TO SCALE DRAWINGS.
3. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, STOP WORK, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES IN THE CONTRACT DOCUMENTS BEFORE RESUMING WORK.
4. DETAILS NOTED "TYP" IMPLY ALL SUCH CONDITIONS TO BE TREATED SIMILARLY.
5. ALL CUTS IN EXISTING SURFACES TO BE MADE NEATLY AND CLEANLY.
6. ALL PIPING, ELECTRICAL CONDUIT, ETC., TO BE CONCEALED WITHIN GWR ENCLOSURES. CONTRACTOR TO FURF UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ALL CLEARANCE/LOCATION ISSUES WITH ARCHITECT PRIOR TO WORK.
7. ALL FLOOR ELEVATIONS ARE TOP OF FINISHED SLAB.
8. "FEC" INDICATES FIRE EXTINGUISHER IN CABINET. SEE DETAIL 10/A3.1.
9. EXISTING FIRE ALARM AND EMERGENCY LIGHTING TO REMAIN AND EXTEND INTO AND ADJUST AS NECESSARY FOR ALL AUDITORIUMS.
10. ALL INTERIOR FINISHES TO BE CLASS 1 AND HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE SPREAD RATING OF 450 OR LESS WHEN INSTALLED IN ACCORDANCE WITH ASTM E84.
11. INSTALL RELOCATE AUDITORIUM ENTRY SIGNS AND OR MARQUEES AND/OR POSTER CASES THAT ARE REQUIRED FOR NEW LAYOUT TO LOCATIONS SPECIFIED BY OWNER. PROVIDE POWER AND PATCH EXISTING LOCATIONS AS REQUIRED.
12. VERIFY CONDITION OF EXISTING AUDITORIUM EXIT DOORS AND HARDWARE AND REPAIR/REPLACE AS REQUIRED. EXIT DOORS AND FRAMES TO BE PAINTED.
13. EXISTING DRAPERY, SCREENS, PORTHOLES, SPEAKERS, SCENES TO REMAIN. RELOCATED SPEAKERS AND SCENES AS REQUIRED. MODIFY DRAPERY AS REQUIRED PER NEW CHAIR RAIL LOCATION.
14. REMOVE/RELOCATE ALL ELECTRICAL APPURTENANCES AS REQUIRED.
15. WHERE EXISTING WALLS, FLOORS, CEILINGS SUBSTRATE OR FINISHES ARE DISTURBED BY DEMOLITION, BOTH SUBSTRATE AND FINISH TO BE REPLACED AS REQUIRED.
16. ALL WORK TO BE COORDINATED WITH THEATER MANAGER TO MINIMIZE DISRUPTION OF OPERATIONS.
17. EXISTING BUILDING INFORMATION BASED UPON DRAWINGS PROVIDED BY OWNER. DRAWINGS PROVIDED INCLUDE THE PLAZA AT CORAL SPRINGS (CORAL SPRINGS, FL) BY FISCHER ASSOCIATES INC. ARCHITECTS AND PLANNERS (ATLANTA, GA), DATED MARCH 6, 1984 REVISED JUNE 20, 1984. DRAWN BY G. ATLES.

GENERAL DEMOLITION NOTES

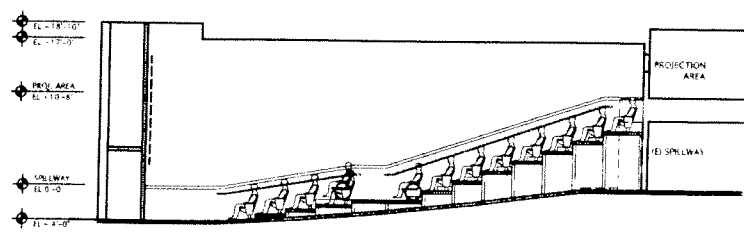
1. WORK INCLUDES ALL DEMOLITION REQUIRED TO ALLOW FOR INSTALLATION OF NEW FINISHES.
2. PROVIDE SHORING DURING DEMOLITION AS REQUIRED.
3. ALL DEBRIS RESULTING FROM DEMOLITION TO BE REMOVED FROM SITE.
4. DEMOLITION TO BE COORDINATED WITH ALL PROPOSED WORK. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
5. PROTECT ALL EXISTING CONSTRUCTION, FINISHES, FIXTURES, ETC. TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION AS REQUIRED.
6. EXISTING DRAPERY, PORTHOLES, SPEAKERS, SCENES TO REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION AS REQUIRED. EXISTING SCREWS TO BE REMOVED. CONFIRM REMOVAL OF EXISTING FIVE ITEM WITH OWNER.
7. DEMOLITION WITHIN THE BUILDING TO BE PERFORMED AND SCHEDULED SO AS NOT TO INTERFERE WITH OCCUPANT SAFETY AND THEATER OPERATIONS. PATHS OF ESCAPE AND FIRE ALARM SYSTEM TO BE LEGAL AND FULLY FUNCTIONAL WHEN BUILDING IS OCCUPIED.
8. ALL WORK TO BE COORDINATED WITH THEATER MANAGER TO MINIMIZE DISRUPTION OF OPERATIONS.

PARTITION TYPES

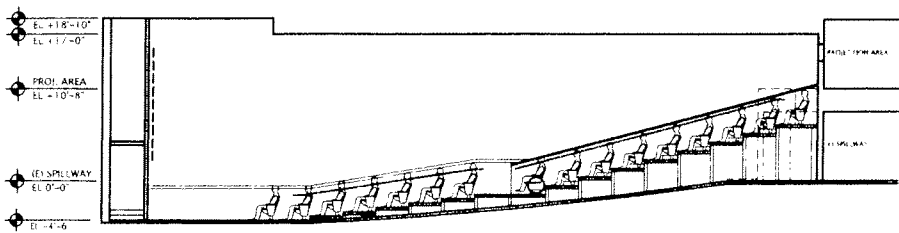
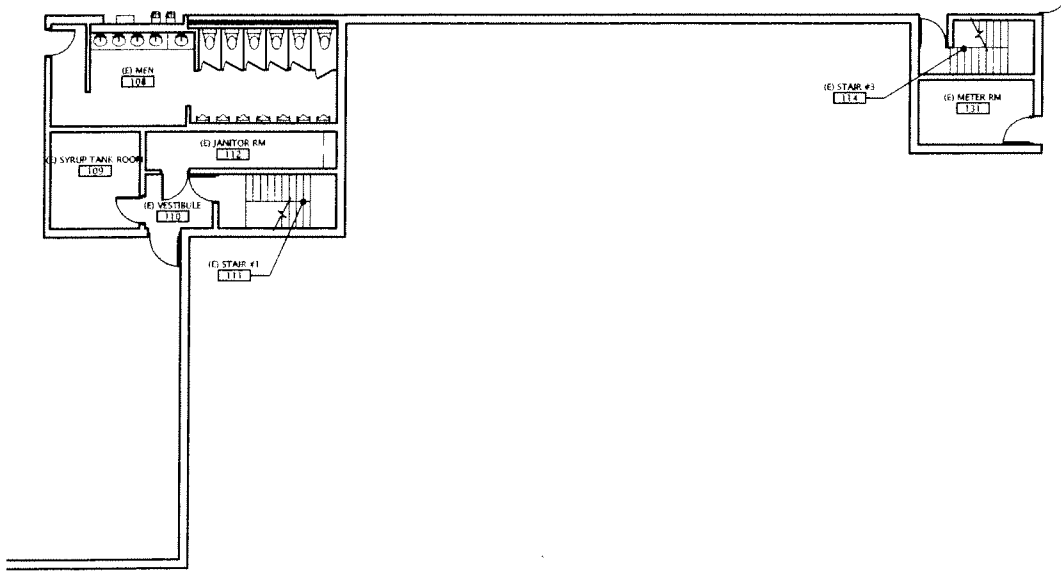
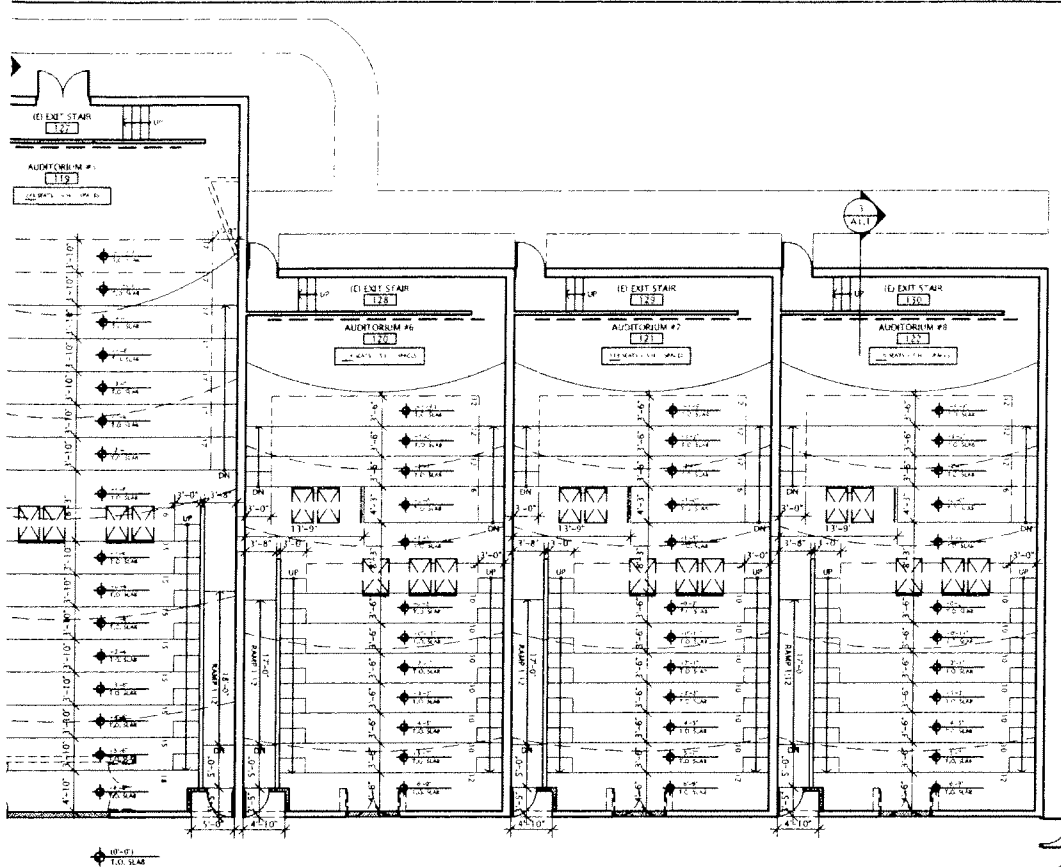




1 FLOOR PLAN
 SCALE 1/8" = 1'-0"



2 TYP. SMALL AUDITORIUM SECTION
 SCALE 1/8" = 1'-0"



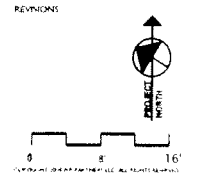
2 TYP. LARGE AUDITORIUM SECTION
 A1.1 SCALE 1/8" = 1'-0"

JKR PARTNERS LLC
 ARCHITECTS • DESIGNERS
 1128 WALNUT STREET
 SUITE 200
 PHILADELPHIA, PA 19107
 215.561.3333
 JKRPARTNERS.COM

TRADEMARK CINEMAS
 770 RIVERSIDE DRIVE
 CORAL SPRINGS, FL 33071

TRADEMARK CINEMAS
CORAL SQUARE 8
 770 RIVERSIDE DRIVE
 CORAL SPRINGS, FL 33071

FLOOR PLAN
 & AUDITORIUM
 SECTIONS
 DATE 11.03.2008
 DRAWN BY DU, CW
 FILE K:\TRADEMARK CINEMAS - CORAL
 SPRINGS



A1.1

SCHEMATIC
 NOT FOR CONSTRUCTION